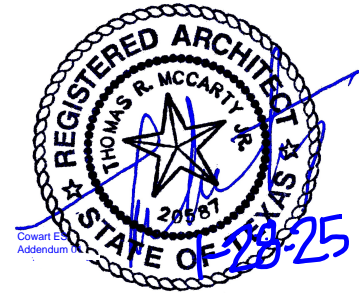




DISD Leila P Cowart Elementary School
DISD James Bowie Elementary School
COMM. NO. 1287 and 1288
ORG 130 and 112
CSP J130_P1000_1 and J112_P1000_1 (207858)
January 28, 2025



ADDENDUM NO. 01
TO THE DRAWINGS AND PROJECT MANUAL

PRE-PROPOSAL SITE WALK SIGN-IN

Attached to this Addendum are the sign-in sheets for the pre-proposal virtual meeting and project walk held on January 13, 2025.

QUESTIONS RECEIVED DURING THE PROPOSAL PROCESS:

- 1.01 Combined Specifications: "Please provide the available existing swing space"
RESPONSE: None is available. See attached replacement specification section 01 52 14 Temporary Facilities For Students.
- 1.02 Leila Cowart: "Please provide detail for sidewalk replacement"
RESPONSE: Detail added, see attached sheet 1.01.
- 1.03 Leila Cowart: "Please move note so it can be read"
RESPONSE: Note moved, see attached sheet 2.17A.
- 1.04 James Bowie: "Signage Schedule is incomplete. Can we get a complete schedule?"
RESPONSE: Signage Schedule has been filled-in. See attached sheets 4.04A and 4.04B.
- 1.05 James Bowie: "Note is hard to read due to background. Can you move note?"
Response: Note moved, see attached sheets QF121 and QF131.

ALTERATIONS TO THE PROJECT MANUAL

- 1.06 Replace the entirety of existing section 01 52 14 TEMPORARY FACILITIES FOR STUDENTS with attached new section 01 52 14 TEMPORARY FACILITIES FOR STUDENTS noted with ADDENDUM 01 dated 1-28-25 showing no swing space available on page 01 of the section.

ALTERATIONS TO THE DRAWINGS

- 1.07 Leila Cowart: Replace existing sheet 1.01 SITE PLAN with new sheet 1.01 SITE PLAN dated 1-27-25 showing an added detail 06 TYPICAL CONCRETE WALK DETAIL.
- 1.08 Leila Cowart: Replace existing sheet 2.17A DEMOLITION ROOF PLAN – AREA D with new sheet 2.17A DEMOLITION ROOF PLAN – AREA D dated 1-27-25 showing DEMOLITION ROOF PLAN NOTES BY NUMBER relocated for clarity.
- 1.09 James Bowie: Replace existing 4.04A SIGNAGE PLAN – LEVEL 01 with new sheet 4.04A SIGNAGE PLAN – LEVEL 01 1-28-25 showing alterations to SIGNAGE SCHEDULE – LEVEL 01.

- 1.10 James Bowie: Replace existing 4.04B SIGNAGE PLAN – LEVEL 02 with new sheet 4.04B SIGNAGE PLAN – LEVEL 02 1-28-25 showing alterations to SIGNAGE SCHEDULE – LEVEL 02.
- 1.11 James Bowie: Replace existing QF121 FOOD SERVICE PLUMBING REQUIREMENTS PLAN with new sheet QF121 FOOD SERVICE PLUMBING REQUIREMENTS PLAN 02 1-27-25 showing a note moved for clarification.
- 1.12 James Bowie: Replace existing QF131 FOOD SERVICE VENTILATION & FLOOR DEP. REQUIREMENTS PLAN with new sheet QF131 FOOD SERVICE VENTILATION & FLOOR DEP. REQUIREMENTS PLAN 02 1-27-25 showing a note moved for clarification.

— END OF ADDENDUM NO. 01 —

James Bowie Elementary School and Leila P. Cowart Elementary School
Pre-Proposal Sign in Sheet (Virtual)
Monday, January 13th, 2025 at 10:00am

Tara Lott
Tara Lott, Dallas ISD Procurement. tarlott@dallasisd.org. 972.925.7199

Champion Johnson
M/WBE Coordinator
O: 972.925.7282
C108686@DallasISD.org

Ovais Khan
Controls Specialist
469.360.0658
c103005@dallasisd.org

Stacy Crawford
AEOM Document Controls / Closeout C16816@dallasisd.org

Deborah Burkhalter-Ellis
Deborah Burkhalter-Ellis, Dallas ISD Procurement. dburkhalterellis@dallasisd.org. 972.925.4123

Darby Eckles
Senior Designer, LBL Architects
Office: 817-265-1510 xt30

Jason A. Lam
Director of Construction, LBL Architects
Office: 817-265-1510 Ex:25
Mobile: 817-917-1510

Austin Paxton
Construction Administrator, LBL Architects
Office: 817-265-1510
Mobile: 817-709-9613

SSP Consulting, L.C.
10:14 AM
Tameka Sadler - Dallas ISD Bonding and Insurance - SSP Consulting, L.C. -
tsadler@sspconsulting.com - 214-693-0531

Dallas ISD Construction Services

CSP 207858 - Leila P. Cowart Elementary School - Renovation

Pre-Proposal Meeting Sign-In Sheet - Monday, January 13th, 2025 @ 3:30pm

GC/SUB

<p>AECOM Business Name</p> <p>9400 N US 75-Central Expy 1000, Dallas, TX 75231 Mailing Address</p> <p>469-360-0658 Phone</p>	<p>Ovais Khan Representative's Name</p> <p>6103005@dallasisd.org E-mail</p>	<p>PMF</p>
<p>The Crowther Group Business Name</p> <p>Mailing Address</p> <p>Phone</p>	<p>Jesus Rivera Representative's Name</p> <p>5ids@thecrowthergroup.com E-mail</p>	
<p>The Crowther Group Business Name</p> <p>Mailing Address</p> <p>Phone</p>	<p>Erico Garza Representative's Name</p> <p>5ids@thecrowthergroup.com E-mail</p>	
<p>LBL Architects Business Name</p> <p>Mailing Address</p> <p>Phone</p>	<p>Darby Eckels, Jason Lam Representative's Name</p> <p>jlam@lblarchitects.com E-mail</p>	
<p>Bellan ISD Business Name</p> <p>Mailing Address</p> <p>Phone</p>	<p>Deborah Burchhalter-Ellis Representative's Name</p> <p>dburchhalterellis@dallasisd.com E-mail</p>	
<p>Cowart Elementary, Principal Business Name</p> <p>Mailing Address</p> <p>Phone</p>	<p>Christine Rodriguez Representative's Name</p> <p>chrisrodriguez@dallasisd.org E-mail</p>	
<p>Custodian Business Name</p> <p>Mailing Address</p> <p>Phone</p>	<p>Dominice Cortez Representative's Name</p> <p>Docortez@dallasisd.org E-mail</p>	

Dallas ISD Construction Services

CSP 207858 - James Bowie Elementary School - Renovation

Pre-Proposal Meeting Sign-In Sheet - Monday, January 13th, 2024 @ 2:00pm

GC/SUB

<p>LBL Architects Business Name</p> <p>87 265-1510 Phone</p>	<p>Darby Eckles Representative's Name</p> <p>deckles@LBLArchitects.com E-mail</p>	
<p>The Crowther Group Business Name</p> <p>214-460-4644 Phone</p>	<p>Erzo Garza Representative's Name</p> <p>Bids@TheCrowtherGroup.com E-mail</p>	
<p>LBC Architects Business Name</p> <p>817-917-1510 Phone</p>	<p>Jason A. Law Representative's Name</p> <p>jlaw@lbaarchitects.com E-mail</p>	
<p>Dallas ISD Business Name</p> <p>972-925-4123 Phone</p>	<p>Deborah Burkhalter Representative's Name</p> <p>dburkhalter@rise.dallasisd.org E-mail</p>	
<p>The Crowther Group Business Name</p> <p>469 885 2749 Phone</p>	<p>Jesus Rivera Representative's Name</p> <p>Bids@Thecrowthergroup.com E-mail</p>	
<p> Business Name</p> <p> Mailing Address</p> <p> Phone</p>	<p> Representative's Name</p> <p> E-mail</p>	
<p> Business Name</p> <p> Mailing Address</p> <p> Phone</p>	<p> Representative's Name</p> <p> E-mail</p>	

SECTION 01 52 14 - TEMPORARY FACILITIES FOR STUDENTS

PART 1 – GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 00 and 01 Specification Sections, apply to this section.

1.2 SUMMARY

- A. Section includes requirements for temporary facilities (Swing Space) for the purpose of relocating students to provide temporary classroom facilities during construction activities.
- B. Related Sections:
 - 1. Division 00 Section titled “Technical Proposal”
 - 2. Division 01 Section title “Temporary Facilities and Controls”

1.3 DESCRIPTION OF REQUIREMENTS

Since the school buildings will be in use during construction, the Work shall be conducted in phases as proposed in the phasing drawings. Contractor will provide temporary classroom buildings for swing space, per the requirements indicated in this section. Contractor will provide moving services to relocate movable classroom furnishings, fixtures and/or equipment in/out of each phased zone. The number of temporary buildings and classrooms which will be made available during the project shall not exceed the numbers summarized below:

SWING SPACE TYPE	Org 112 James Bowie Elementary School	Org 130 Leila P. Cowart Elementary School
Maximum External Temporary Swing Space Classrooms	None	None
Maximum Temporary Restrooms	None	None
Swing Space Classrooms Provided Within Existing Facilities	None	None

The Contractor can submit, as part of the proposal, alternate phasing plans that can potentially save the District time and money.

If no external or internal temporary swing space classrooms are indicated above, then Contractor will be required to schedule work during holidays, weekends, or hours other than regular school hours, and price its work accordingly. A Dallas ISD representative must be present at the school during times that the Contractor is working at the school site. Contractor will be responsible for overtime costs for Dallas ISD staff for presence at the school site outside normal hours of school operation, including holidays.

- A. If students must be displaced from classroom areas due to the phasing and execution of the work according to the Contractor’s work plan, the Contractor shall be responsible for providing, on a turn-key basis, temporary facilities for those displaced students.
- B. If the Contractor elects to utilize Swing Space, they must include all costs associated with the removal, transportation, installation and dismantling, including, but not limited to:
 - 1. Equipment relocation

2. Transport and setup
3. Maintenance of the temporary facilities for the duration of their use (i.e. HVAC, electrical, and other building repair and maintenance needed, not custodial maintenance)
4. Site work and utilities
5. ADA/TAS Accessible ramps and sidewalks
6. Stairs
7. Skirting
8. Interior finish-out
9. Miscellaneous specialties (i.e. marker boards, tack boards, flag holders, map clips, fire extinguishers)
10. Signage
11. Wall Clock and bell to interface with the existing system at the school
12. Coordination with movers for relocation of Furnishings, Fixtures, and Equipment (FF&E)
13. Breakdown, removal, and transport of the Swing Space at the completion of its use
14. Restoration of the site following removal of facilities
15. P.A. to interface with the existing system at the school

1.4 SCOPE OF WORK

The intent of this scope item is for the Contractor to dismantle and remove the District’s existing portable building at the site(s) identified in this section, and relocate to the campus requiring swing space as identified in Section 10.7. Contractor shall be responsible for a turnkey dismantling, transportation and setup of these portable buildings.

Schools with existing portables to be utilized for this project and the portable count are as follows:

Name of School	Portable Details (Include ID# and Single/Double)
N/A	N/A
N/A	N/A

Removal of Existing Portables from Other Schools. Contractor shall provide an advance notice of at least five (5) days to the School Principal and the Program Manager before the temporary buildings are expected to be dismantled and demobilized from any of the above sites. Scope may also involve demolition of sidewalks, canopies, electrical, technology pathways as identified in the contract documents. Again, the intent of this scope of work is for the contractor to provide turnkey dismantling, and removal of identified portables and associated infrastructure. Refurbish site(s) where portables / sidewalks are removed.

Removal of Existing Portables scheduled for Demolition in the footprint of Construction or Staging. If a portable needs to be demolished because it is in the footprint of construction or staging, any necessary Abatement will be the responsibility of the Contractor. After any necessary Abatement, the GC will be responsible for the demolition and removal/disposal of the debris remaining. Refurbish site(s) where portables / sidewalks are removed.

Removal of Existing Portables Not Scheduled for Demolition in the footprint of Construction or Staging. If it is necessary to remove a portable building due to construction or staging at a campus and it is not scheduled for demolition, the GC will be responsible to disassemble, disconnect the portable, and deliver it and set it on blocks at a location designated by Dallas ISD Maintenance (this could be another campus). This would only require that the GC set the building in the designated location, set on blocks, level, etc. Maintenance will be responsible for setting the portable up (Skirting, walkways, utilities, fire alarm hookup, etc.) at the new location and Maintenance will also be responsible for picking up the awnings, skirting and other related items that had to be disassembled at the original location. Maintenance will

also be responsible for authorizing the disconnect and any re-connect of the utilities with their requested move of portables. Where portables were removed for staging, refurbish site(s) to match existent surrounding conditions.

Portables designated to be relocated into another Dallas ISD Location If there is a Dallas ISD portable that is designated to be moved from a Dallas ISD location to a campus needing Swing Space – The GC (with contract for the campus needing the swing space) would be responsible for the disconnecting of any utilities and cabling for fire and technology. The GC, who is to move the building for swing space, will be responsible for the removal of awnings, porches, skirting, etc. and be responsible for the removal of the debris. The General Contractor would then be responsible for re-grading the area. The General Contractor would then be responsible to pick up the completely disconnected portable(s) and transport it (them) to the campus they are assigned by Dallas ISD Construction Services office and then be responsible for the setup and complete reconnection of all utilities, fire alarm, technology, etc. that would match Dallas ISD requirements. At the point the work is complete and/or the swing space is no longer necessary, the GC would be responsible for the disconnect and moving to a location designated by the Dallas ISD and would have no requirement other than to secure the moving permit and to set the portable(s) securely in place. The General Contractor would have responsibility to remove any debris from that disconnect and removal. The General Contractor is responsible for all permitting required to install the portable buildings.

NOTE: In all cases involving swing space, the Campus Principal and Facilities must be appropriately and timely notified and aware of swing space issues, including determination and disposition of portable contents.

Transportation of Existing Portables from Other Schools to the Project. Contractor shall provide turnkey transportation services, including management of any required permits, for safe transportation of existing portables from any of the above site to the project. Any removal and replacement of any fencing, or other obstacles for relocation of such buildings shall be the responsibility of the Contractor.

Installation of Portables at the Project. Provide turnkey services for delivery, set-up, maintenance, removal, and restoration of the site for temporary classroom buildings to accommodate phased construction for the Dallas ISD Construction Services office

- A. Engineering: The Contractor will provide site engineered civil, utility, blocking plan/foundation plan, sidewalk design and deck/ramp design sufficient to receive a Building Permit from the City, for each site for the installation of all temporary classroom buildings. Existing canopies, sidewalks, foundation details, technology, fire alarm etc. at the schools may be used as a guide for the scope expectations also.
- B. Location: The locations of the temporary classrooms are as indicated on the site plan drawings.
- C. Permits: The Contractor will coordinate and obtain the permits as required by the City for placement of the classroom buildings at each site. This includes the permits required for the transportation of the classroom buildings.
- D. Temp. Facilities: Roll off dumpsters will be provided by the Contractor as required for clean-up during installation and removal of swing space.
- E. Clean up: Final broom sweep of the building(s) and removal of trash and debris from each site will be provided by the Contractor prior to occupancy of the swing space by the students and staff. Floor waxing or shampooing will be provided by the Contractor prior to occupancy by the students and staff. Provisions for site restoration upon completion of the delivery of the modules and/or completion of the scope of work will be provided by the

Contractor. Upon the removal of the buildings all underground utilities and/or structures associated with the temporary classroom buildings will be removed and discarded. The concrete sidewalks will be removed and discarded. Rough grading will be performed and new sod will be placed to restore the area to its original condition.

- F. Site Preparation: Dallas ISD has made no provisions for any site preparation and/or demolition as may be required for the delivery and/or installation of the portable buildings. Any site preparation and/or demolition that might be required of for installation of the temporary classrooms will be included in the Contractor's scope.
- G. Construction Fencing: The contractor will maintain a clean and safe site environment within the limits of the temporary classroom construction area. Temporary chain link construction fencing 6' high will be installed around the perimeter of the limits of construction.
- H. Sodding: Upon the removal of the buildings, the Contractor will provide sod within the limits of construction associated with the temporary classroom scope of work. Any irrigation of the new sod will be provided by Dallas ISD.
- I. Site Utilities (if applicable): The Contractor will provide the site utility connections required for the temporary classroom buildings. The Contractor is responsible for consulting with the City regarding requirements for restrooms on school projects that are located in cities other than Dallas. If required by those cities, the Contractor must provide restroom services and utilities as required by local code.
- J. Storm: All storm water management and any sedimentation control will be the responsibility of the Contractor. Gutters and downspouts will be installed as needed by the Contractor.
- K. Sanitary (if applicable): The Contractor will install all fixtures, stub all sanitary lines below the floor and manifold to one location at the edge of the building(s). All final connections, utility company charges and impact fees that might be required will be included in the Contractor's scope of work. The Contractor is responsible for consulting with the City regarding requirements for restrooms on school projects that are located in cities other than Dallas. If required by those cities, the Contractor must provide restroom services and utilities as required by local code.
- L. Water (if applicable): The Contractor will install all fixtures and stub all water lines to one location at the edge of the building(s). All final connections, utility company charges and impact that might be required will be included in the Contractor's scope of work. The Contractor is responsible for consulting with the City regarding requirements for restrooms on school projects that are located in cities other than Dallas. If required by those cities, the Contractor must provide restroom services and utilities as required by local code.
- M. Natural Gas: No provisions for any gas service are anticipated at the present time.
- N. Life Safety: Building(s) will be approved and inspected by the Texas Department of Licensing and Regulation. Any provisions for fire suppression, fire sprinkler system or fire rated assemblies that might be required will be included in the Contractor's scope of work.
- O. Fire Alarm: The contractor will provide and install fire detection systems as required by the building code and the City.
- P. Electrical: The contractor will provide and install electrical systems as required by the building code and the City. Installation and electricity consumption costs associated with the swing space will be the financial responsibility of the Contractor.

- Q. Mechanical: The Contractor will supply and install the standard end mount HVAC units. The condensate from both HVAC units of a classroom building will be harnessed together and discharged into a 24" diameter by 36" deep french drain filled with gravel. All condensate piping will be PVC but will be protected where directly exposed to UV radiation.
- R. Internet Access: The Contractor will provide wireless internet access appropriate for the swing space. Portable technology connectivity shall be coordinated with the Technology Department.
- S. Skirting: After the modules are installed, the Contractor will install full perimeter skirting around the building(s) using the same material and finish as that of the building siding to provide a consistent finish down to grade. Sections of skirting will be perforated as required for proper crawl space ventilation. Access to the crawl space will be accomplished by removing sections of the skirting.
- T. Decks/Stairs: The Contractor will install landings at the exit doors of the building(s) within the limits of construction as required by code and the City. Landings will utilize pressure treated wood construction with slip resistant surface treatment and handrails.
- U. Ramps: The Contractor will install handicapped accessible ramps at the exit doors of the building(s) within the limits of construction as required by code and the Local City. Ramps will utilize pressure treated wood construction with slip resistant surface treatment and handrails.
- V. Sidewalks: The Contractor will install 4' wide, 4" thick, 3,000 psi concrete sidewalks to service the building(s) within the limits of construction. Sidewalks will receive a light broom finish and be poured on select fill and/or sand bed.
- W. Foundation and Anchorage: The swing space facilities should be securely anchored to a foundation system which utilizes some means of structural support, as determined by a certified structural engineer. Provide construction documents that depict the foundation system as designed and certified by a structural engineer.
- X. Hitch/Tires/Axles: Hitches will be removed and stored under building while tires and axles are to remain on the modules. Tires and axles will be removed only if necessary to complete the building installation due to site constraints and will also be placed under the modules.
- Y. Keys. Contractor shall coordinate with the District for re-keying of all swing space buildings. Provide 10 sets of keys for each building. Doors shall be provided with hardware to enable locking of the buildings from the inside also, and shall have vandal resistant hardware.

Dismantling / Removal of Temporary Buildings upon Completion of Work. Contractor shall demobilize/dismantle/ remove the temporary buildings from site only upon mutual agreement with the Program Manager and Dallas ISD. The temporary buildings shall not be removed from site unless the classrooms that are being renovated under the "Work" of the Contract have been substantially completed and all system upgrades/installation/repairs are completed to accommodate students. Under no circumstances shall the temporary buildings be demobilized if it is deemed by the Program Manager and Dallas ISD that student safety is a potential issue or if the demobilization is likely to adversely impact the student instruction schedule. Contractor shall provide an advance notice of at least five (5) days to the School Principal and the Program Manager before the temporary buildings are expected to be dismantled and demobilized from the site.

Maintenance and Final Cleaning. Dallas ISD will be responsible for the day-to-day cleaning and janitorial services such as floor cleaning, floor vacuuming, trash removal, etc. Contractor shall be responsible for other maintenance of the temporary buildings, including vandalism. Maintenance of building structure and systems (HVAC, Plumbing, Electrical, Lighting, etc.), for the duration that the buildings are on the School site shall be the responsibility of the Contractor. Contractor shall be responsible for rendering the Project site to its original condition after removal of the temporary buildings, including cleaning and grading and ground cover, termination of the temporary facilities and connections per the requirements of the Owner, the City of Dallas and/or the relevant Government Agency or applicable code. Removal of foundations for the buildings, sidewalks, canopies, ramps etc. will be the responsibility of the Contractor.

Coordination with Project Schedule and Phasing Plan. Contractor shall provide a detailed schedule listing all relevant milestones for the installation and dismantling of swing space buildings as part of the overall project schedule. Activities may include, but are not limited to:

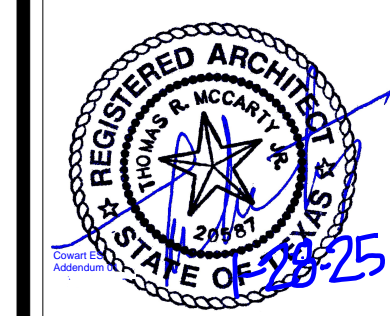
1. Texas Accessibility Standards (TAS) submittals, if required,
2. Procurement of permit to transport the prefabricated buildings from another school to the Project site,
3. Procurement and delivery of the prefabricated temporary buildings,
4. Coordination with the power, water, sanitary sewer and any other applicable utility companies to obtain permits and procure additional primary connections, if required.
5. Installation of canopies, sidewalks, fire alarm systems etc.

Lack of understanding of involved coordination and approval processes, and delays caused thereby shall not be grounds for claim(s) for any contract time extension(s). Contractor shall assume a reasonable time frame from the date of issuance of the Notice To Proceed for the installation of these swing space buildings, and coordinate the timing for the delivery and installation of the temporary classroom buildings with the Project schedule.

END OF SECTION 01 52 14

BAR IS ONE INCH IN LENGTH ON ORIGINAL DRAWING CHECK SCALE AND ADJUST ACCORDINGLY

ONE INCH REVISIONS: 1 11/27/25 Addendum 01



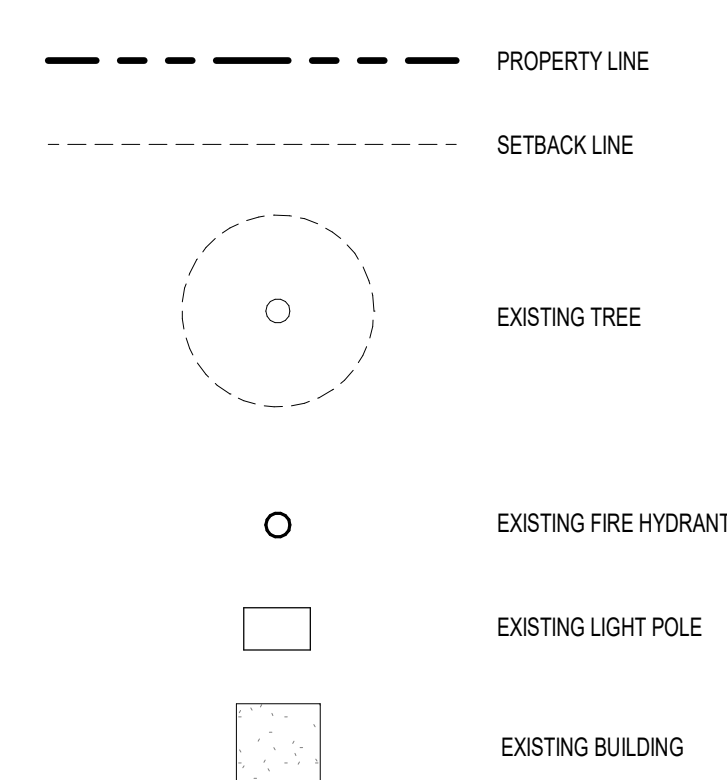
1108 W. RANDOL MILL ROAD SUITE 300 ARLINGTON, TEXAS 76012 TEL: (817) 285-5832 FAX: (817) 285-5832 WWW.LBLARCHITECTS.COM LBL ARCHITECTS Lillian, Build, Lead.

DALLAS INDEPENDENT SCHOOL DISTRICT RENOVATIONS TO LEILA COWART ELEMENTARY SCHOOL 1515 S RAVINIA DR., DALLAS, TX 75211

SITE PLAN GENERAL NOTES

- A. ALL DIMENSIONS ARE TO THE FACE OF CURB AND FACE OF BUILDING UNLESS NOTED OTHERWISE.
- B. ALL SITE LIGHTING PIERS AND POLES SHALL BE LOCATED ACCORDING TO THE ARCHITECTURAL SITE PLAN. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- C. ALL FACE OF CURB RADIUS AT PARKING ISLANDS AND CORNERS SHALL BE 2'-0" UNLESS NOTED OTHERWISE.
- D. AT ALL ACCESSIBLE PARKING SPACES, 2% IS THE MAXIMUM ALLOWABLE SLOPE IN ANY DIRECTION.
- E. REMOVE ALL EXISTING ELEMENTS FROM THE SITE AS NECESSARY TO CONSTRUCT THE NEW WORK AS INDICATED. REFER TO SURVEY TAPE/FLAG ALL EXISTING TREES TO BE REMOVED AND VERIFY WITH ARCHITECT IN FIELD PRIOR TO REMOVAL.
- F. PROVIDE FIRE LANE AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
- G. PROVIDE NEW SIGN FOR EACH ACCESSIBLE PARKING SPACE.
- H. REFER TO GRADING PLAN FOR ADDITIONAL INFORMATION.
- I. INSTALL NEW EXTERIOR WATERPROOF SEALANT JOINTS.
- J. PAINT ALL PREVIOUSLY PAINTED EXTERIOR SURFACES. POWERWASH AS REQUIRED.

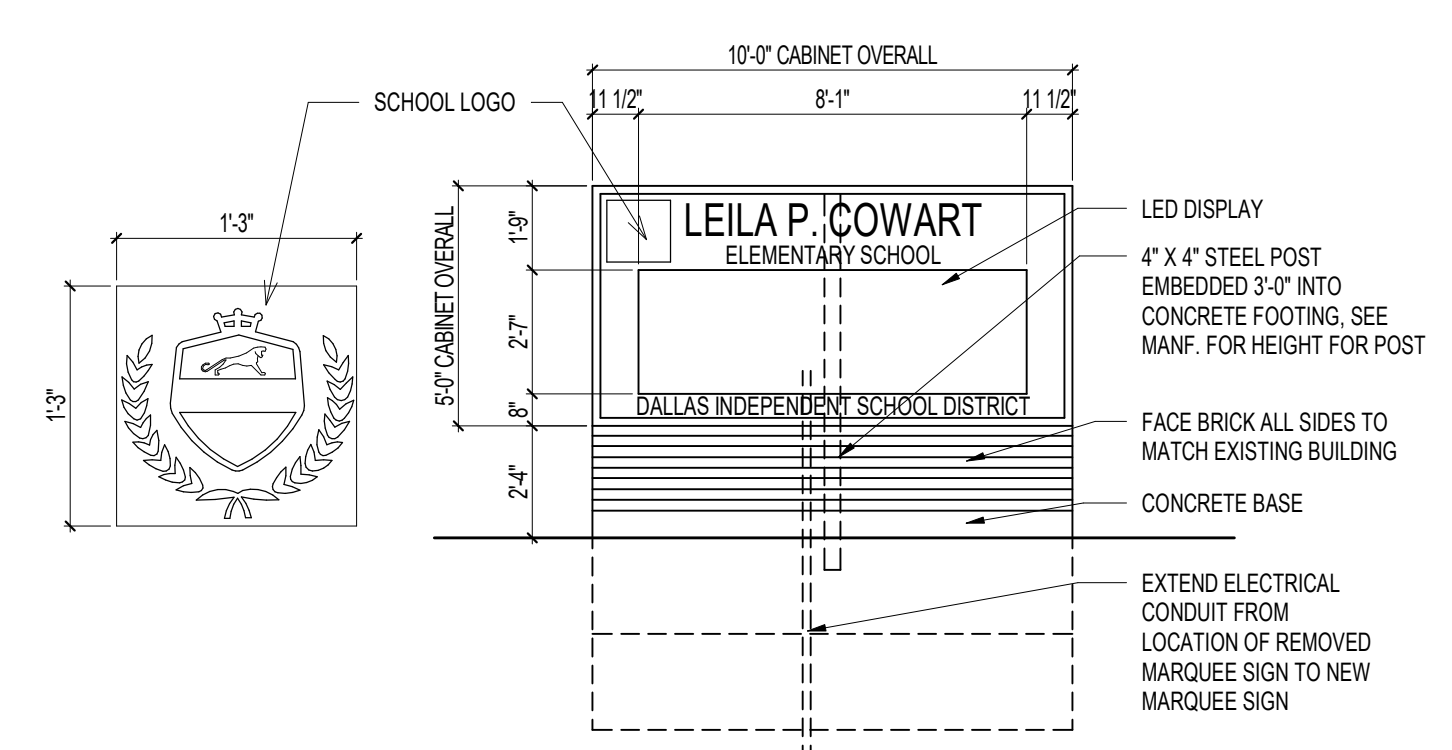
SITE PLAN SYMBOLS LEGEND



SITE PLAN NOTES BY NUMBER

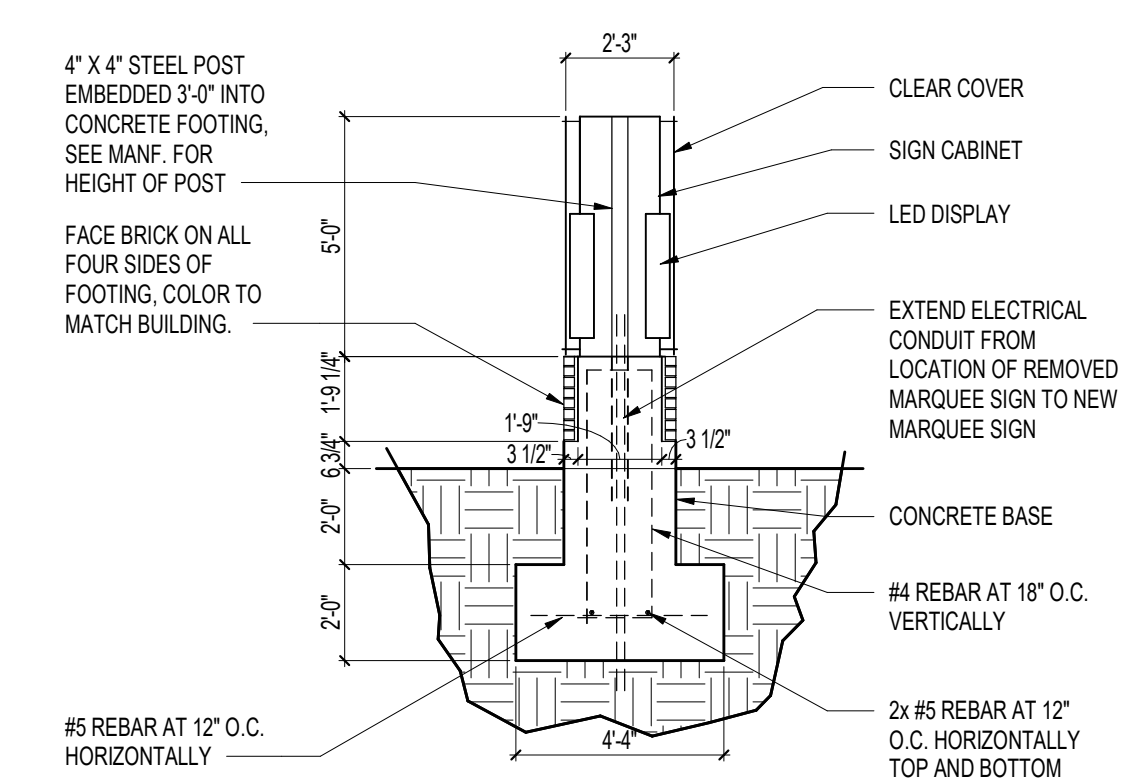
- S1 WALL MOUNTED LED LIGHT. REFER TO ELECTRICAL.
- S2 NEW ELECTRICAL MARQUEE SIGN. SEE SHEET 1.00 FOR DEMOLITION INFORMATION AND LOCATION.
- S3 NEW CONCRETE STAIR AND PAINTED HANDRAIL. SEE DETAILS S&T/01.
- S4 REPLACE PORTION OF EXISTING CONCRETE SIDEWALK AND PAVEMENT. MATCH EXISTING ADJACENT COLOR AND TEXTURE. SEE DETAIL S1.01. SEE SHEET 1.00 FOR DEMOLITION INFORMATION AND LOCATION(S).
- S5 REPLACE EXTERIOR LIGHT WITH NEW LED LIGHT ON EXISTING LIGHTING POLE. SEE REFER TO ELECTRICAL DRAWINGS.
- S6 TRENCH AS REQUIRED TO EXTEND CONDUIT AND POWER FROM LOCATION OF REMOVED MARQUEE.
- S7 25'-0" EASEMENT LINE.
- S8 EXISTING FLAG POLE TO REMAIN.

2 MARQUEE SIGN ELEVATION 1/4" = 1'-0"

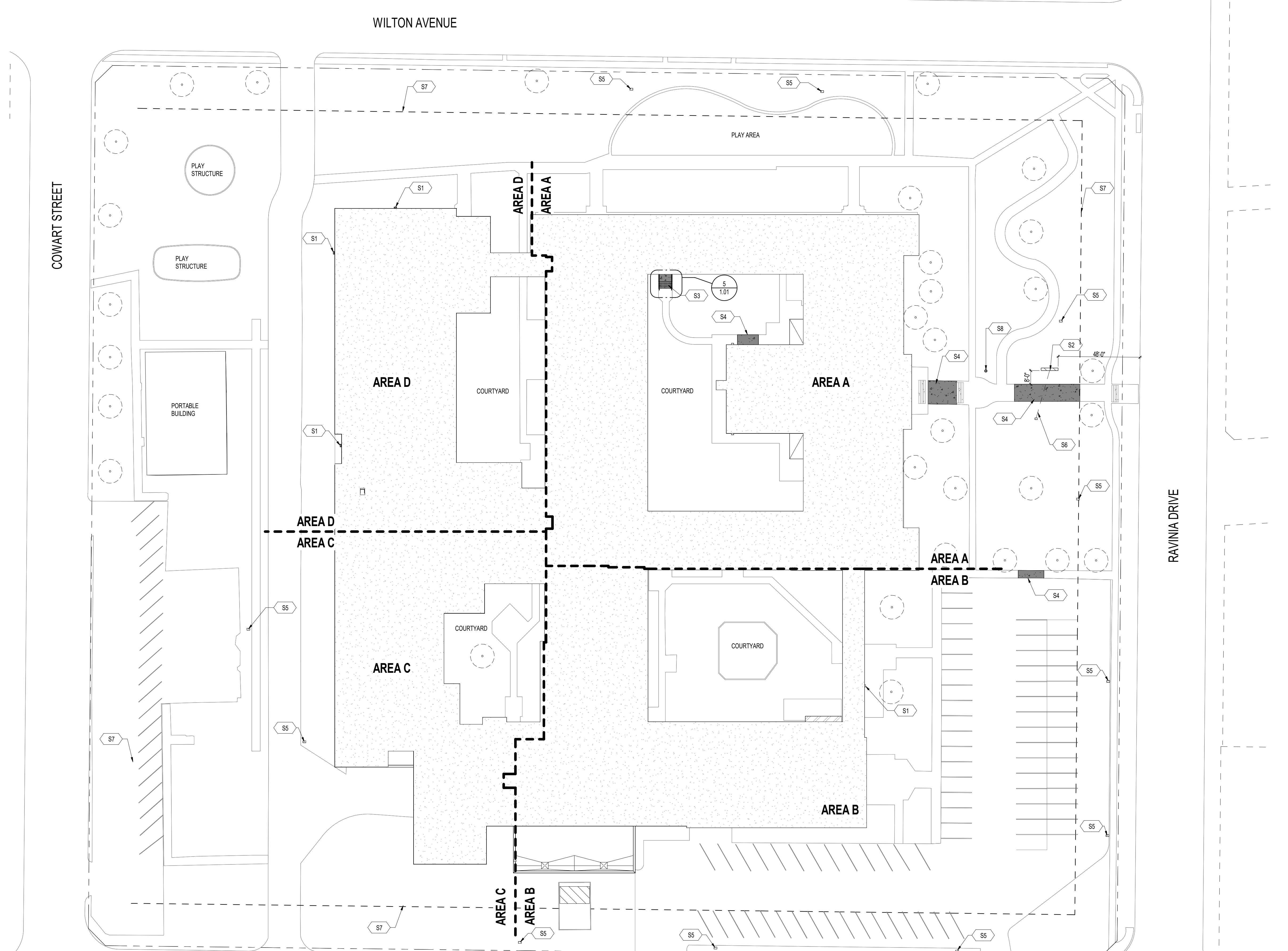


MARQUEE INSTALLATION IS A TURNKEY TASK. ALL CABLING AND RELATED WORK TO BE PERFORMED BY THE CONTRACTOR. RESPONSIBILITY MATRIX IS NOT APPLICABLE TO THE MARQUEE SIGN SCOPE.

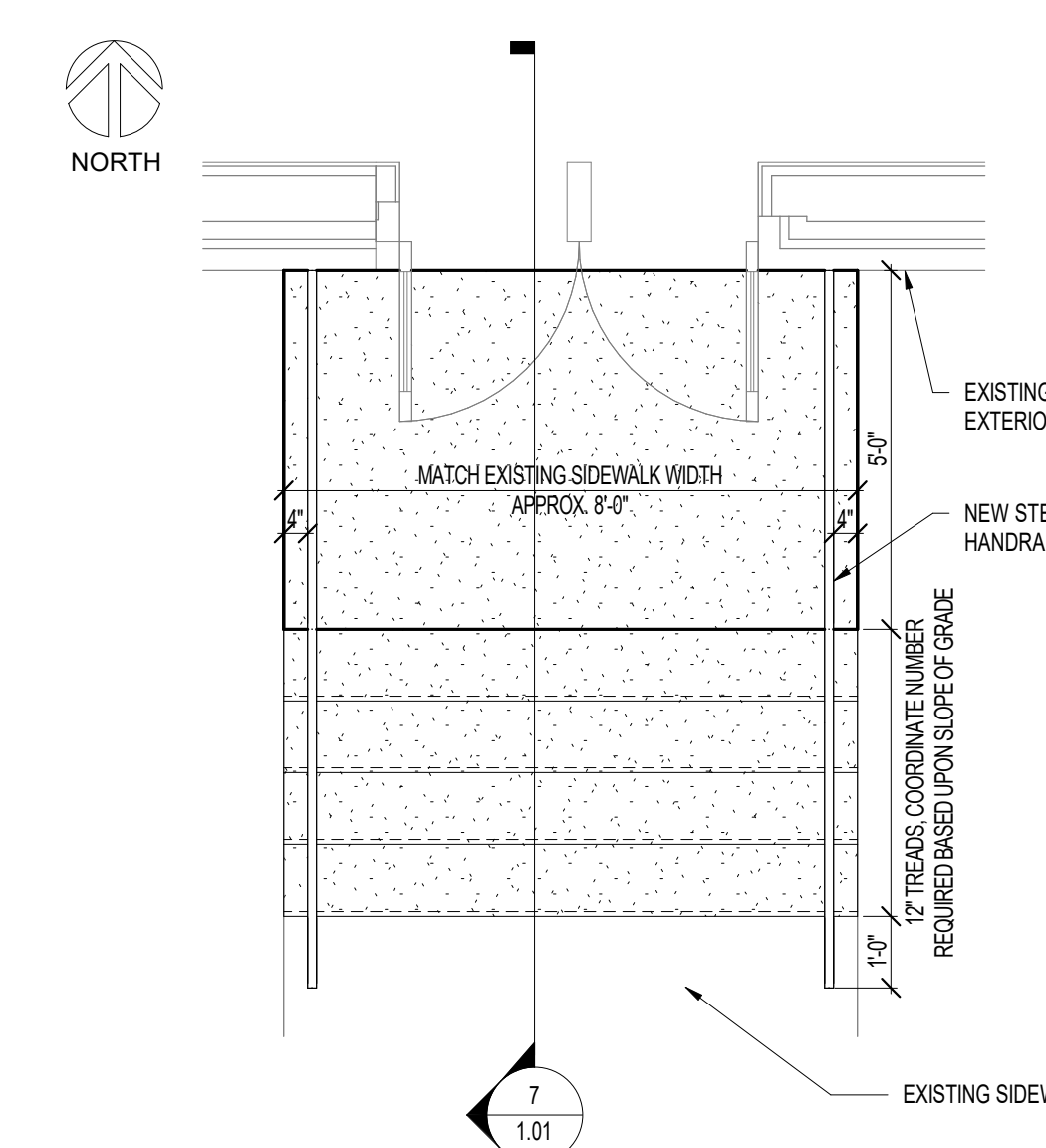
3 MARQUEE SIGN SECTION 1/4" = 1'-0"



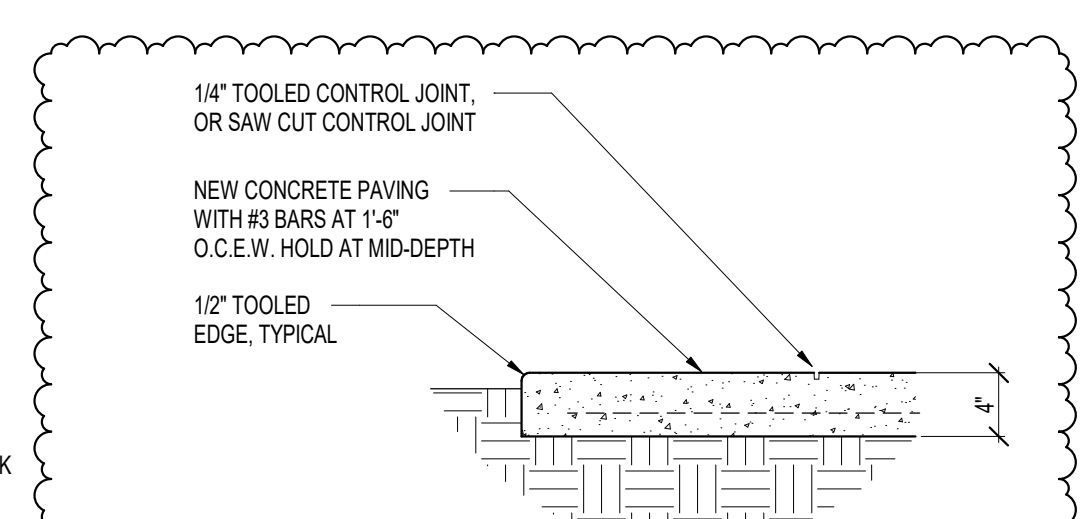
MATERIAL	MANUFACTURER & PRODUCT NAME	NUMBER	COLOR	COMMENTS	CONTACT
ROOFS					
2-PLY MOD BIT. ROOFING	REFER TO SPECIFICATIONS	-	BRIGHT WHITE	-	-
PROJECTIONS					
WOOD	SHERWIN WILLIAMS - GLOSS	-	COLOR MATCH: KELLY MOORE SOFT SESAME - OW227	FASCIAS, SOFFITS AND TRIM	-
STEEL	SHERWIN WILLIAMS - GLOSS	-	COLOR MATCH: KELLY MOORE SOFT SESAME - OW227	LADDERS AND MISC. STEEL	-
MISCELLANEOUS					
EXTERIOR FORMED METAL INCLUDING GUTTERS, DOWNSPOUTS, BREAK-METAL FLASHING, COPINGS	-	-	COLOR MATCH: KELLY MOORE SOFT SESAME - OW227	FACTORY FINISHED	-



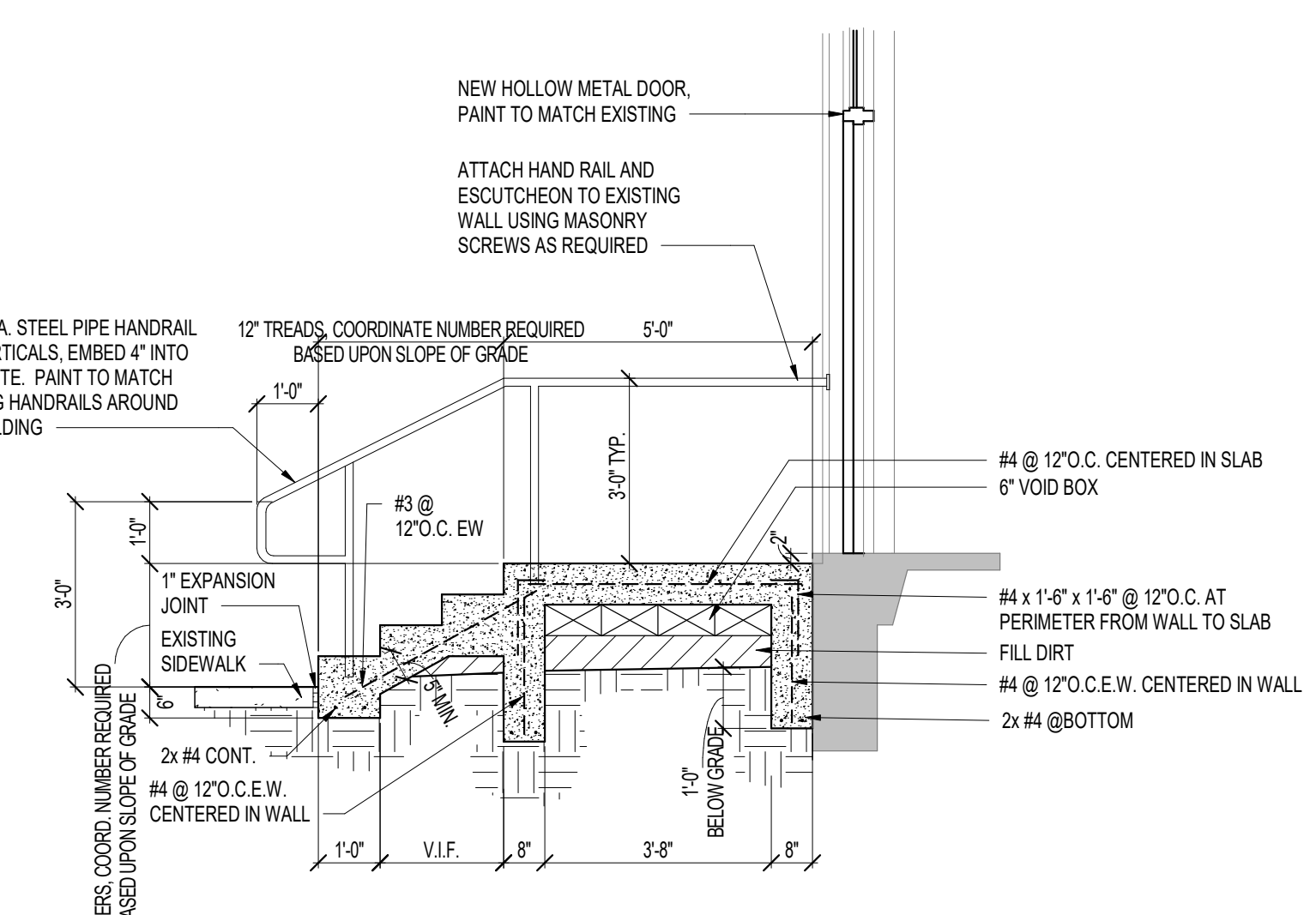
1 SITE PLAN 1" = 30'-0"



5 STAIR PLAN 3/8" = 1'-0"



6 TYPICAL CONCRETE WALK DETAIL 1" = 1'-0"



7 STAIR DETAIL 01 3/8" = 1'-0"

BAR IS ONE INCH IN LENGTH ON ORIGINAL DRAWING CHECK SCALE AND ADJUST ACCORDINGLY

ONE INCH REVISIONS: 1 11/27/25 Addendum 01

DEMOLITION ROOF PLAN GENERAL NOTES:

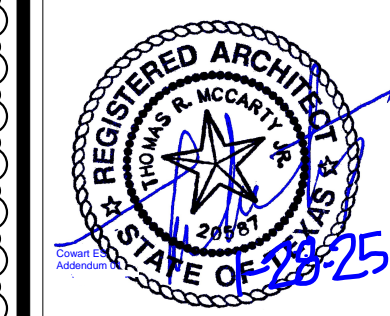
- A. GENERAL CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO BID. NOTIFY ARCHITECT OF DISCREPANCIES PRIOR TO BID.
- B. EXAMINE AND PREPARE THE EXISTING ROOF SYSTEM TO MEET THE ROOF MANUFACTURER'S REQUIREMENTS AS A SUITABLE SUBSTRATE FOR THE NEW ROOFING. (DECK IS NOT REVEALED)
- C. ALL EXISTING PITCH PANS AND EQUIPMENT RAILS ARE TO BE REMOVED AND REPLACED WITH BOX EQUIPMENT CURBS.
- D. EXISTING ROOF HAS BEEN CORED. ALL AREAS ARE STEEL STRUCTURE WITH METAL DECK SLOPING AT 1/8" PER FOOT WITH ROOFING COMPOSED OF GRANULAR SURFACED MODIFIED BITUMEN ROOFING SYSTEM WITH ALUMINUM FOIL FLASHING. (CONTRACTOR TO VERIFY)
- E. REMOVE ALL PLAIN WIRING AND FLEXIBLE CONDUIT AND REPLACE WITH RIGID CONDUIT. ALL CONDUIT IS TO RUN TO "VAULTS" AND NOT PENETRATE THE ROOF DIRECTLY.
- F. REMOVE ALL ROOF RELATED SHEET METAL, COPINGS, FLASHING AND COUNTER FLASHING AND REPLACE WITH NEW AS NOTED IN DRAWINGS AND DETAILS.
- G. ALL EXISTING PIPING/CONDUIT PRESENT SHALL BE ROUTED INTO HARD PIPE TO ALLOW FOR THE INSTALLATION OF RESIN FLASHING.

DEMOLITION ROOF PLAN NOTES BY NUMBER

- DR1 CLEAN AND PREPARE EXISTING GRANULAR MOD.BIT. SYSTEM PER MANUFACTURER'S REQUIREMENTS FOR INSTALLATION OF ROOF RECOVERY SYSTEM. REMOVE ALL ALUMINUM FOIL FACED FLASHING.
- DR2 REMOVE EXISTING EXPANSION JOINT COVER AND REPLACE WITH NEW METAL EXPANSION JOINT COVER.
- DR3 REMOVE EXISTING METAL PARAPET CAP AND REPLACE WITH NEW PARAPET METAL CAP.
- DR4 REMOVE EXISTING GUTTER AND DOWNSPOUTS AND PREPARE FOR NEW METAL FASCIA WITH NEW METAL GUTTER. DOWNSPOUTS THAT ROUTE UNDERGROUND ARE TO BE CAPPED 8" BELOW THE SURFACE AND COVERED OVER WITH SOIL.
- DR5 REMOVE PORTION OF EXISTING ROOF AS REQUIRED FOR INSTALLATION OF NEW ROOF HATCH SET ON 12X 14" FRAME, WELD TO ROOF FRAMING.
- DR6 REMOVE AND REPLACE EXISTING CURB AND EXISTING MECHANICAL UNIT, REFER TO MECHANICAL DRAWINGS.
- DR7 REMOVE AND REPLACE EXISTING EXHAUST FAN AND CURB WHERE PRESENT, REFER TO MECHANICAL DRAWINGS.
- DR8 EXISTING ASPHALT SHINGLE ROOF TO REMAIN.
- DR9 EXISTING RTU/MECHANICAL UNIT TO REMAIN, REMOVE EXISTING CURB AND REPLACE WITH NEW CURB ALLOWING FOR 14" FLASHING HEIGHT ABOVE NEW ROOF SYSTEM.
- DR10 REMOVE EXISTING ROOF HATCH AND REPLACE AFTER RAISING EXISTING CURB.
- DR11 REMOVE EXISTING POLYURETHANE FOAM ROOF SYSTEM DOWN TO DECK.
- DR12 DEMOLISH EXISTING GAS LINE, REFER TO MECHANICAL SHEETS.
- DR13 EXISTING SCUPPER TO REMAIN, REMOVE EXISTING FLASHING AND PREPARE FOR NEW FLASHING.
- DR14 REMOVE EXISTING BRICK AND PORTION OF EXISTING WALL AS REQUIRED TO INSTALL A NEW OVERFLOW SCUPPER WITH SCUPPER BOTTOM 2" ABOVE NEW ROOF SURFACE HEIGHT.
- DR15 EXISTING AIR INTAKE TO REMAIN, RAISE CURB TO ACCOMMODATE NEW FLOOR SYSTEM, MIN 14" FLASHING HEIGHT.
- DR16 REMOVE AND REPLACE EXISTING COOLING TOWER. SEE MECHANICAL SHEETS.

DEMOLITION ROOF LEGEND

	EXISTING TO REMAIN
	GUTTERS, PARAPET CAP, EXPANSION JOINT COVERS, ETC. TO BE REMOVED
	ELEMENT TO BE DEMOLISHED OR MODIFIED
	EXISTING OVERFLOW DRAIN
	EXISTING ROOF DRAIN



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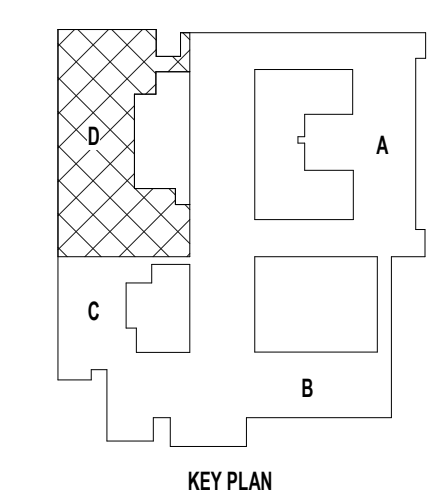
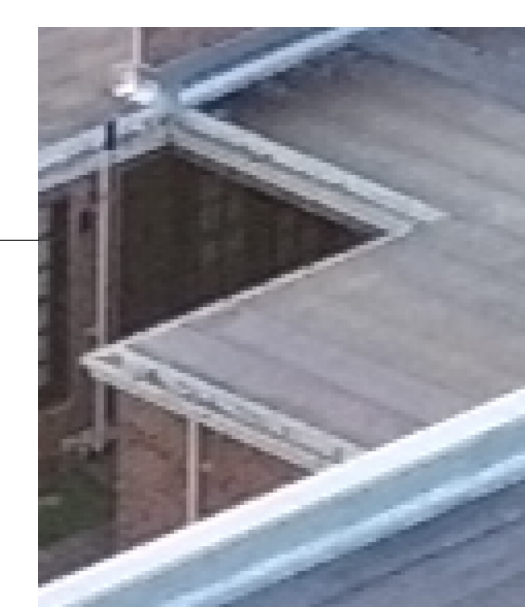
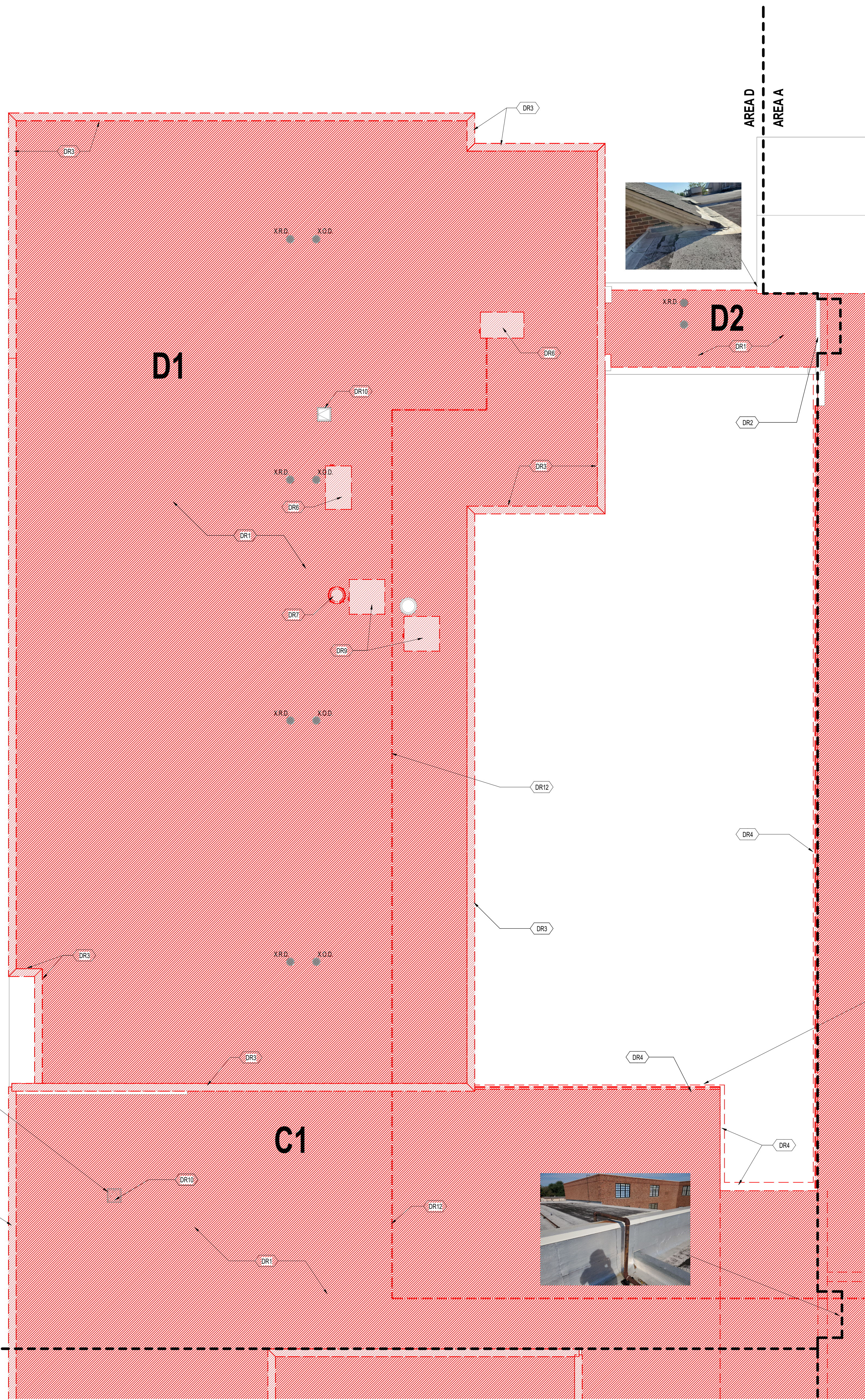


DALLAS INDEPENDENT SCHOOL DISTRICT
RENOVATIONS TO LEILA COWART ELEMENTARY SCHOOL
1515 S PAVINIA DR., DALLAS, TX 75211

DEMOLITION ROOF PLAN - AREA D

2.17A

10/27/2024 10:17 AM



AREA D

AREA C

1 DEMOLITION ROOF PLAN - AREA D
1/8" = 1'-0"



THIS DRAWING HAS INFORMATION THAT IS DISTINGUISHED BY COLOR, AND IS INTENDED TO BE VIEWED AS A FULL DOCUMENT ONLY. ANY GRAYSCALE OR BLACK AND WHITE COPY SHALL NOT BE USED.

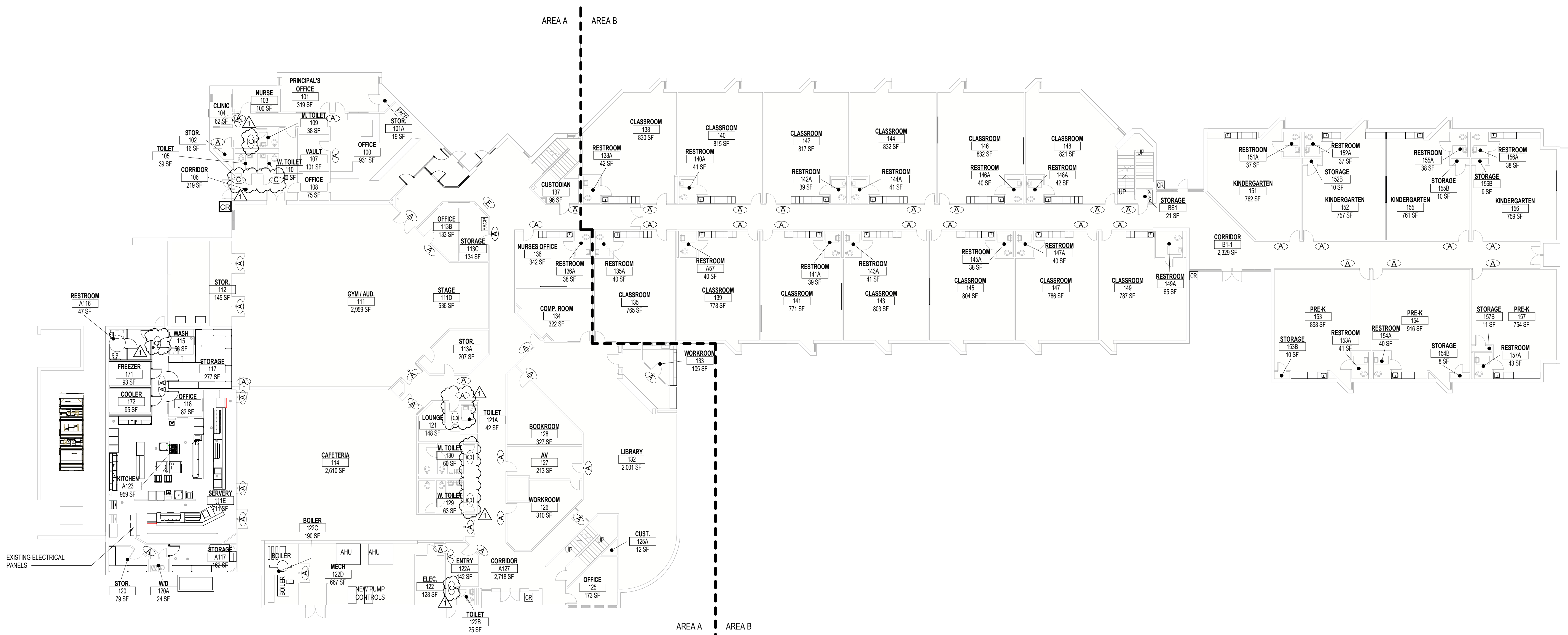
GRAPHICS PLAN NOTES BY NUMBER G1

G1 THIS IS USED FOR GRAPHICS/SIGNAGE PLANS.

BAR IS ONE INCH IN LENGTH ON ORIGINAL DRAWING CHECK SCALE AND ADJUST ACCORDINGLY
 ONE INCH
 REVISIONS:
 1 1/28/25 Addendum 01

SIGNAGE SCHEDULE - LEVEL 01				
PLAN NUMBER	PLAN NAME	SIGN TYPE	SIGN MESSAGE	SIGN NUMBER
100	OFFICE	A		
100A	VESTIBULE	A		
101	PRINCIPAL'S OFFICE	A		
101A	STOR	A		
102	STOR	A		
103	NURSE	A		
104	CLINIC	A		
105	TOILET	C		
106	CORRIDOR	A		
107	VAULT	A		
108	OFFICE	A		
109	M. TOILET	C		
110	W. TOILET	C		
111	GYM/AUD.	A		
111D	STAGE	A		
111E	SERVERY	A		
112	STOR	A		
113A	STOR	A		
113B	OFFICE	A		
113C	STORAGE	A		
114	CAFETERIA	A		
115	WASH	A		
117	STORAGE	A		
118	OFFICE	A		
120	STOR	A		
120A	WID	A		
121	LOUNGE	A		
121A	TOILET	C		
122	ELEC	A		
122A	ENTRY	A		
122B	TOILET	C		
122C	BOILER	A		
122D	MECH	A		
125	OFFICE	A		
125A	CLST.	A		
126	WORKROOM	A		
127	AV	A		
128	BOOKROOM	A		
129	W. TOILET	C		
130	M. TOILET	C		
132	LIBRARY	A		
133	WORKROOM	A		
134	COMP. ROOM	A		
135	CLASSROOM	A		
136	NURSES OFFICE	A		
137	CUSTODIAN	A		
138	CLASSROOM	A		
139	CLASSROOM	A		
140	CLASSROOM	A		
141	CLASSROOM	A		
142	CLASSROOM	A		
143	CLASSROOM	A		
144	CLASSROOM	A		
145	CLASSROOM	A		
146	CLASSROOM	A		
147	CLASSROOM	A		
148	CLASSROOM	A		
149	CLASSROOM	A		
151	KINDERGARTEN	A		
152	KINDERGARTEN	A		
152B	STORAGE	A		
153	PRE-K	A		
153B	STORAGE	A		
154	PRE-K	A		
154B	STORAGE	A		
155	KINDERGARTEN	A		
155B	STORAGE	A		
156	KINDERGARTEN	A		
156B	STORAGE	A		
157	PRE-K	A		
157B	STORAGE	A		
171	PREEZER	A		
172	COOLER	A		
A24	Room	A		
A116	RESTROOM	C		
A117	STORAGE	A		
A118	BREAKROOM	A		
A123	KITCHEN	A		
A127	CORRIDOR	A		
B1-1	CORRIDOR	A		
BS1	STORAGE	A		

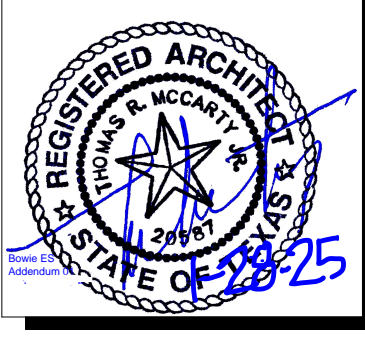
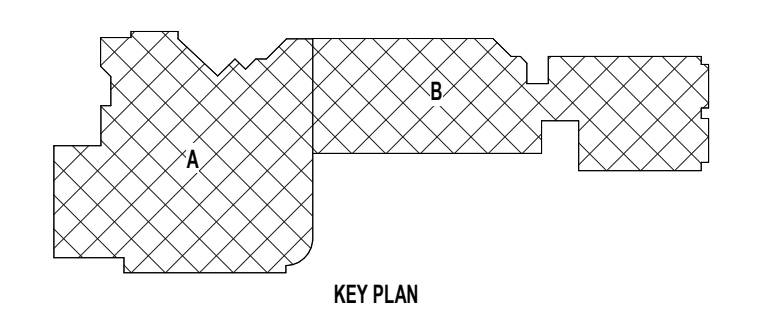
TBD DURING SUBMITTAL



1 SIGNAGE PLAN - FIRST FLOOR
 1/16" = 1'-0"
 NORTH

SIGNAGE LEGEND	
	ROOM NUMBER GRAPHIC W/ DISPLAY (SIGN TYPE A)
	ROOM NUMBER GRAPHIC (SIGN TYPE B)
	RESTROOM SIGNAGE (SIGN TYPE C)
	OCCUPANT LOAD SIGN (SIGN TYPE D)
	EVACUATION PLAN (SIGN TYPE E)
	WAY FINDING (TYPE F)

GENERAL NOTES:
 FINAL DESIGN AND PLACEMENT OF GRAPHICS ARE DEPENDENT ON OWNER REVIEW.



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 JAMES BOWIE ELEMENTARY SCHOOL
 330 NORTH MARSHALLS AVE., DALLAS, TX 75203

SIGNAGE PLAN - LEVEL 01
 4.04A

GRAPHICS PLAN NOTES BY NUMBER G1

G1 THIS IS USED FOR GRAPHICS/SIGNAGE PLANS.

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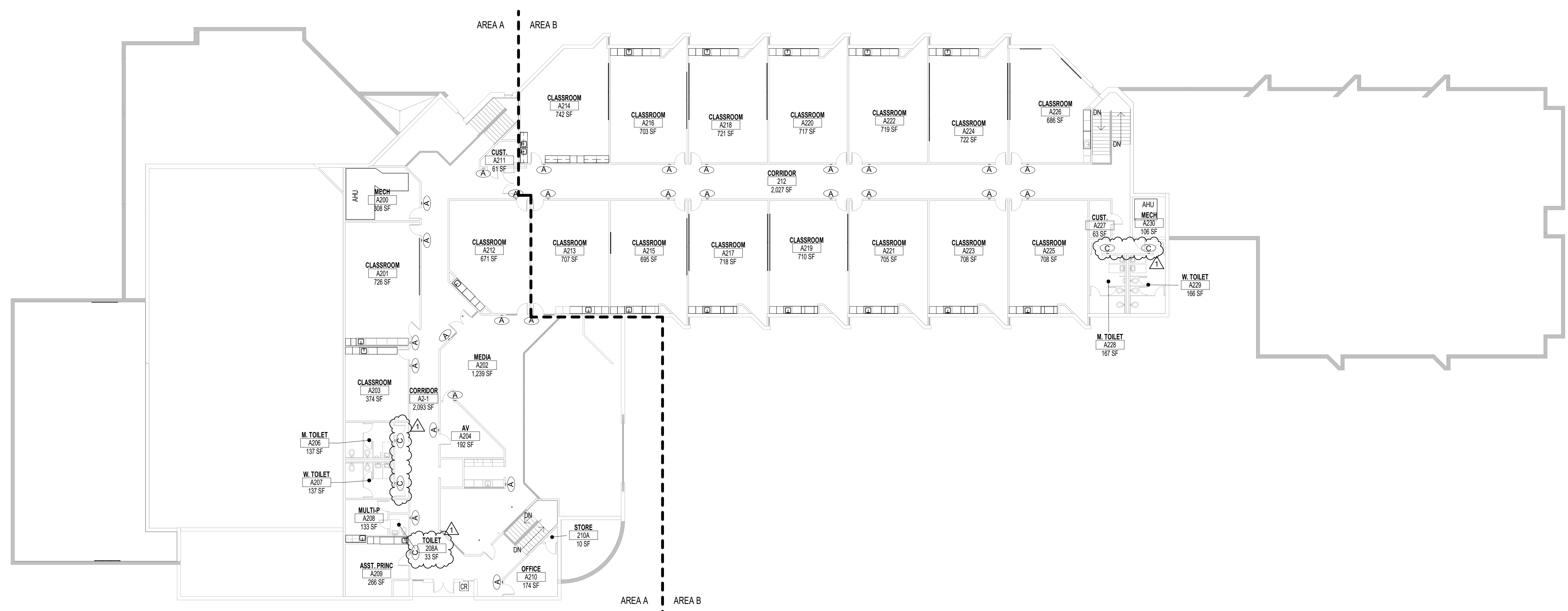
ONE INCH REVISIONS:
 1 1/28/25 Addendum 01

SIGNAGE SCHEDULE - LEVEL 02				
PLAN NUMBER	PLAN NAME	SIGN TYPE	SIGN MESSAGE	SIGN NUMBER
123	Room	A		
124	Room	A		
131	Room	A		
150	Room	A		
158	Room	A		
159	Room	A		
160	Room	A		
161	Room	A		
162	Room	A		
163	Room	A		
164	Room	A		
165	Room	A		
166	Room	A		
167	Room	A		
168	Room	A		
169	Room	A		
170	Room	A		
173	Room	A		
175	Room	A		
176	Room	A		
177	Room	A		
178	Room	A		
197	Room	A		
198	Room	A		
206	Room	A		
206A	TOILET	C		
210A	STORE	A		
212	CORRIDOR	A		
237	Room	A		
A21	CORRIDOR	A		
A200	MECH	A		
A201	CLASSROOM	A		
A202	MEDIA	A		
A203	CLASSROOM	A		
A204	AV	A		
A206	M. TOILET	C		
A207	W. TOILET	C		
A208	MULTIP	A		
A209	ASST. PRINC	A		
A210	OFFICE	A		
A211	CUST.	A		
A212	CLASSROOM	A		
A213	CLASSROOM	A		
A214	CLASSROOM	A		
A215	CLASSROOM	A		
A216	CLASSROOM	A		
A217	CLASSROOM	A		
A218	CLASSROOM	A		
A219	CLASSROOM	A		
A220	CLASSROOM	A		
A221	CLASSROOM	A		
A222	CLASSROOM	A		
A223	CLASSROOM	A		
A224	CLASSROOM	A		
A225	CLASSROOM	A		
A226	CLASSROOM	A		
A227	CUST.	A		
A228	M. TOILET	C		
A229	W. TOILET	C		
A230	MECH	A		

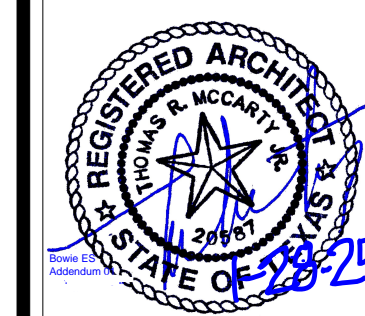
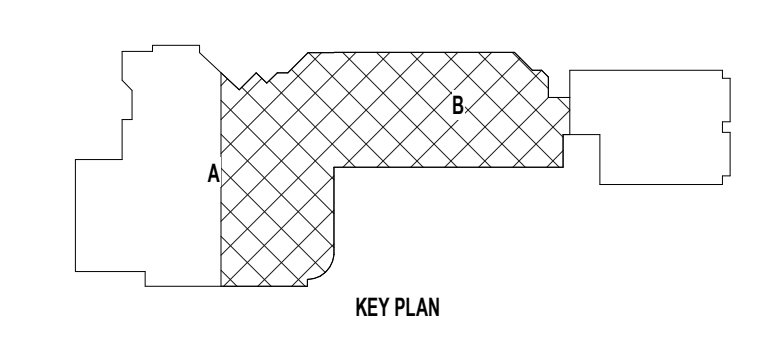
TBD DURING SUBMITTAL

SIGNAGE LEGEND	
A	ROOM NUMBER GRAPHIC W/ DISPLAY (SIGN TYPE A)
B	ROOM NUMBER GRAPHIC (SIGN TYPE B)
C	RESTROOM SIGNAGE (SIGN TYPE C)
D	OCCUPANT LOAD SIGN (SIGN TYPE D)
E	EVACUATION PLAN (SIGN TYPE E)
F	WAY FINDING (TYPE F)

GENERAL NOTES:
 FINAL DESIGN AND PLACEMENT OF GRAPHICS ARE DEPENDENT ON OWNER REVIEW.



1 SIGNAGE PLAN SECOND FLOOR
 1/16" = 1'-0"
 NORTH



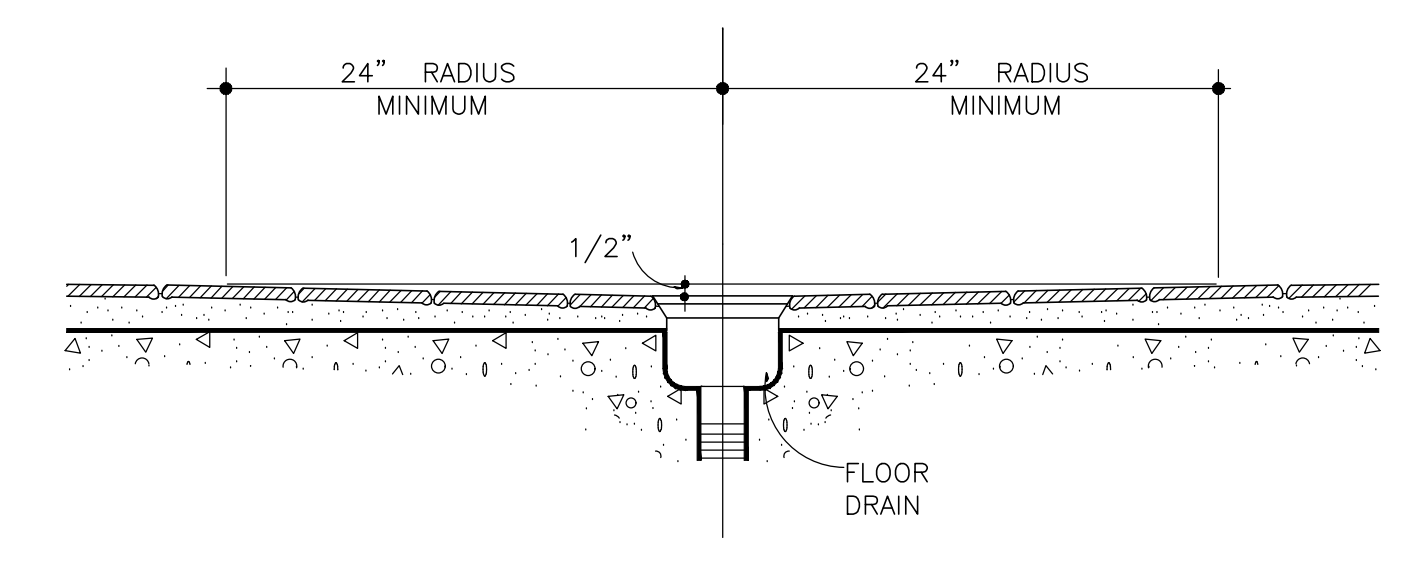
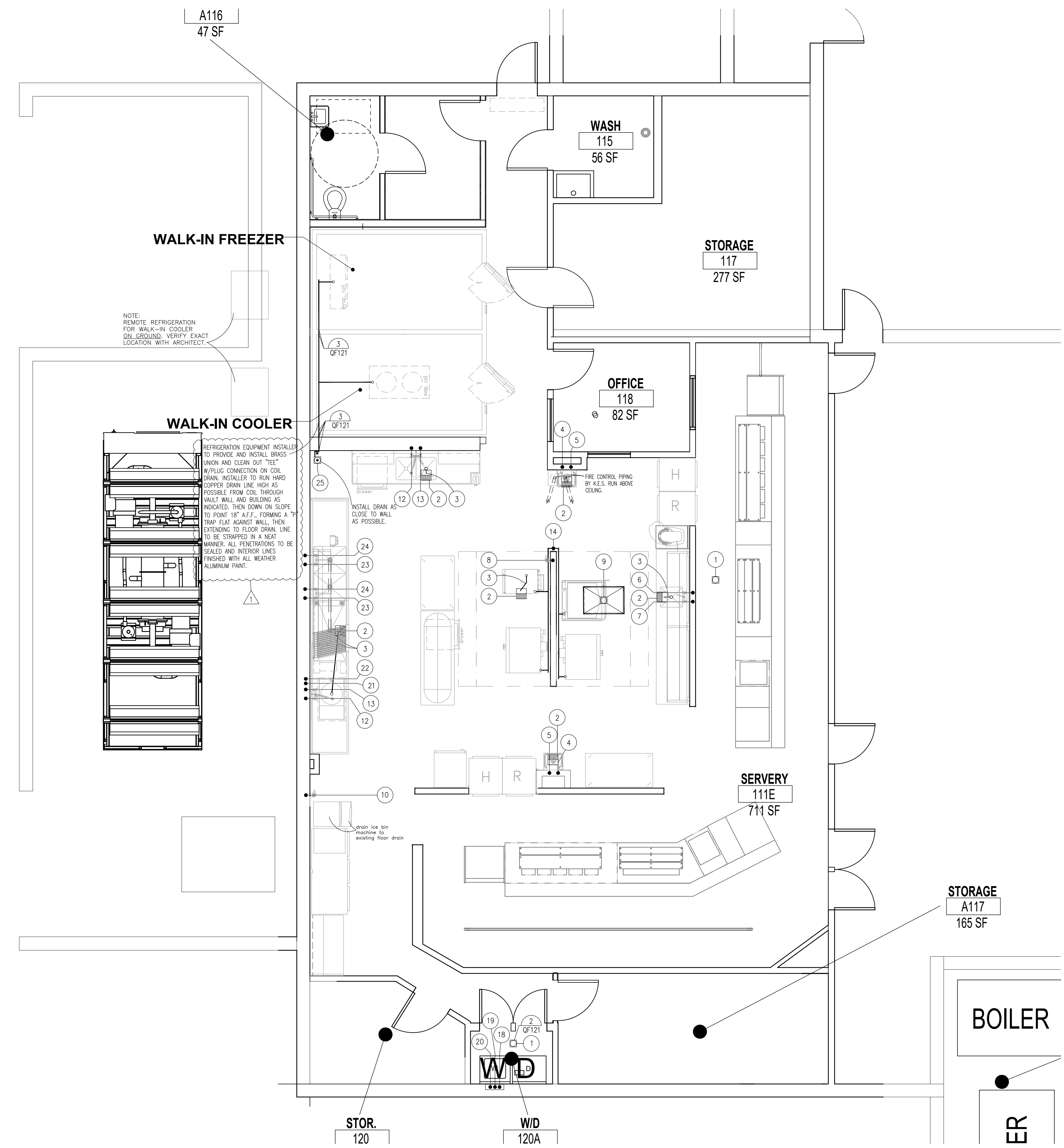
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RENOVATION TO DALLAS INDEPENDENT SCHOOL DISTRICT
 JAMES BOWIE ELEMENTARY SCHOOL
 330 NORTH MARSHALLS AVE., DALLAS, TX 75203

PLUMBING LEGEND

- 3" FLOOR DRAIN, SET 1/2" B.F.F., SEE DETAIL 2/QF121.
 - 3" FLOOR SINK, SET FLUSH WITH FINISHED FLOOR TO RECEIVE WASTE FROM FIXTURES. FLOOR SINK TO HAVE HALF GRATE UNLESS SPECIFIED OTHERWISE.
 - INDIRECT WASTE BY PLUMBER.
 - 1/2" H.W., EL. 16", B.T.C. ON HAND SINK.
 - 1/2" C.W., EL. 16", B.T.C. ON HAND SINK.
 - 1/2" H.W., EL. 16" A.F.F., FOR SINK FAUCET.
 - 1/2" C.W., EL. 16" A.F.F., FOR SINK FAUCET.
 - 3/4" C.W., EL. 48" A.F.F., B.T.C. ON DOUBLE STEAMER VIA WATER FILTER.
 - 3 1/2" FLOOR DRAIN, SET 5" B.F.F., FOR FLOOR TROUGH. SEE DETAIL 4/QF121.
 - 1/2" C.W., EL. 60" A.F.F., D.F.A., B.T.C. ON ICE MACHINE VIA WATER FILTER WITH SEPARATE SHUT OFF VALVE. (3/8" F.P.T. CONNECTION). PROVIDE REDUCED PRESSURE ZONE (RPZ) AT 48" A.F.F. REFER TO DIVISION 22 FOR REQUIREMENTS.
 - SPARE
 - 1/2" H.W., EL. 16" A.F.F., FOR SINK FAUCET OR PRERINSE SPRAY ASSEMBLY.
 - 1/2" C.W., EL. 16" A.F.F., FOR SINK FAUCET OR PRERINSE SPRAY ASSEMBLY.
 - NATURAL GAS OF SUFFICIENT SIZE TO HANDLE 300,000 B.T.U., D.F.A. AT POINTS SHOWN (FROM LOOP ABOVE CEILING), SERVING THE FOLLOWING EQUIPMENT: (UTILIZE EXISTING UTILITIES, IF POSSIBLE.)

QTY.	DESCRIPTION	CONN.	BTU/HR.
2	DBL CONVECTION OVEN	3/4" (2)	50,000 BTU (EA)
1	DBL STEAMER	3/4" (1)	200,000 BTU (EA)
1	TILT SKILLET	3/4" (1)	90,000 BTU (EA)
 - SPARE
 - SPARE
 - SPARE
 - 1/2" H.W., EL. 30", B.T.C. ON DOMESTIC CLOTHES WASHER, PROVIDE HOSE BIBB END IN RECESS BOX.
 - 1-1/2" DRAIN, EL. 30", B.T.C. ON DOMESTIC CLOTHES WASHER, CONNECTION FROM RECESS BOX.
 - 1/2" C.W., EL. 30", B.T.C. ON DOMESTIC CLOTHES WASHER, PROVIDE HOSE BIBB END IN RECESS BOX.
 - 3/4" H.W., EL. 16" A.F.F., FOR POT/PAN COLLECTOR.
 - 3/4" C.W., EL. 16" A.F.F., FOR POT/PAN COLLECTOR.
 - 3/4" H.W., EL. 16" A.F.F., FOR SINK FAUCET.
 - 3/4" C.W., EL. 16" A.F.F., FOR SINK FAUCET.
 - 3" FLOOR DRAIN WITH 4" HIGH FUNNEL, SET FLUSH WITH FINISHED FLOOR.
- * PLUMBER TO SET GAS VALVES, FURNISHED BY THE KITCHEN EQUIPMENT SUPPLIER, IN THE GAS LINES AS PART OF THE FUEL SHUT OFFS FOR THE FIRE SUPPRESSION SYSTEM.
 * PLUMBER TO MAKE FINAL CONNECTION FROM THE MAIN GAS LINE TO EACH PIECE OF EQUIPMENT WITH FLEXIBLE GAS DISCONNECT HOSE PROVIDED BY THE KITCHEN EQUIPMENT SUPPLIER.



SECTION THRU TYPICAL FLOOR DRAIN QF121 SCALE: NONE

1 FOODSERVICE PLUMBING REQUIREMENTS PLAN QF121 SCALE: 1/4" = 1'-0"

NOTE: THESE PLANS ARE NOT TO BE USED FOR ROUGHING-IN OF UTILITY SERVICES BUT ARE PROVIDED FOR DESIGN INFORMATION ONLY.

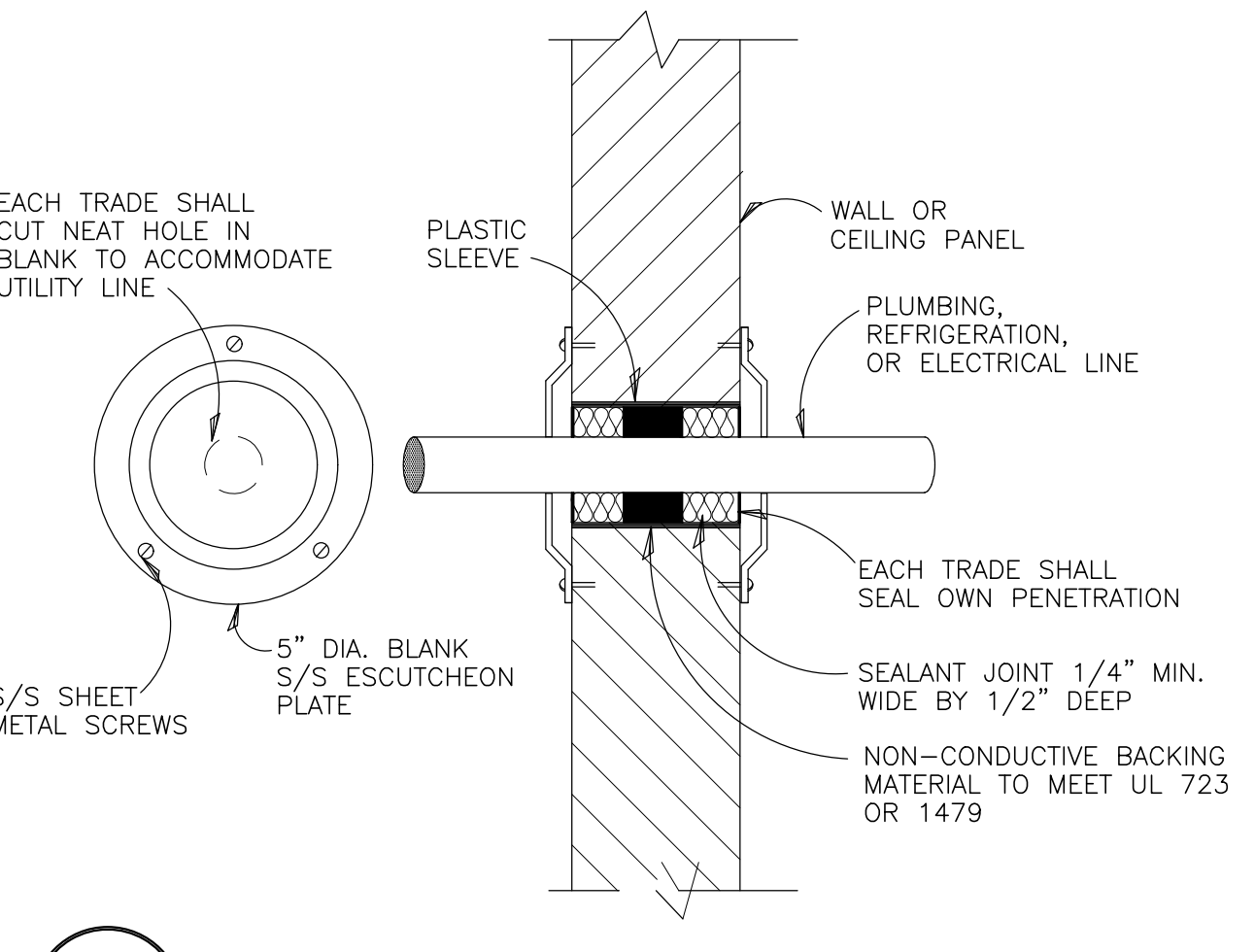
NOTE: UNLESS OTHERWISE SPECIFIED, ALL WATER SUPPLY AND DRAIN LINES FOR ALL KITCHEN EQUIPMENT ARE TO BE SOLDERED COPPER PIPE. ALL EXPOSED WATER SUPPLY AND DRAIN LINES ARE TO BE PAINTED WITH CHROME OR ALUMINUM, ALL-WEATHER PAINT BY THE PLUMBING CONTRACTOR.

PLUMBING NOTES

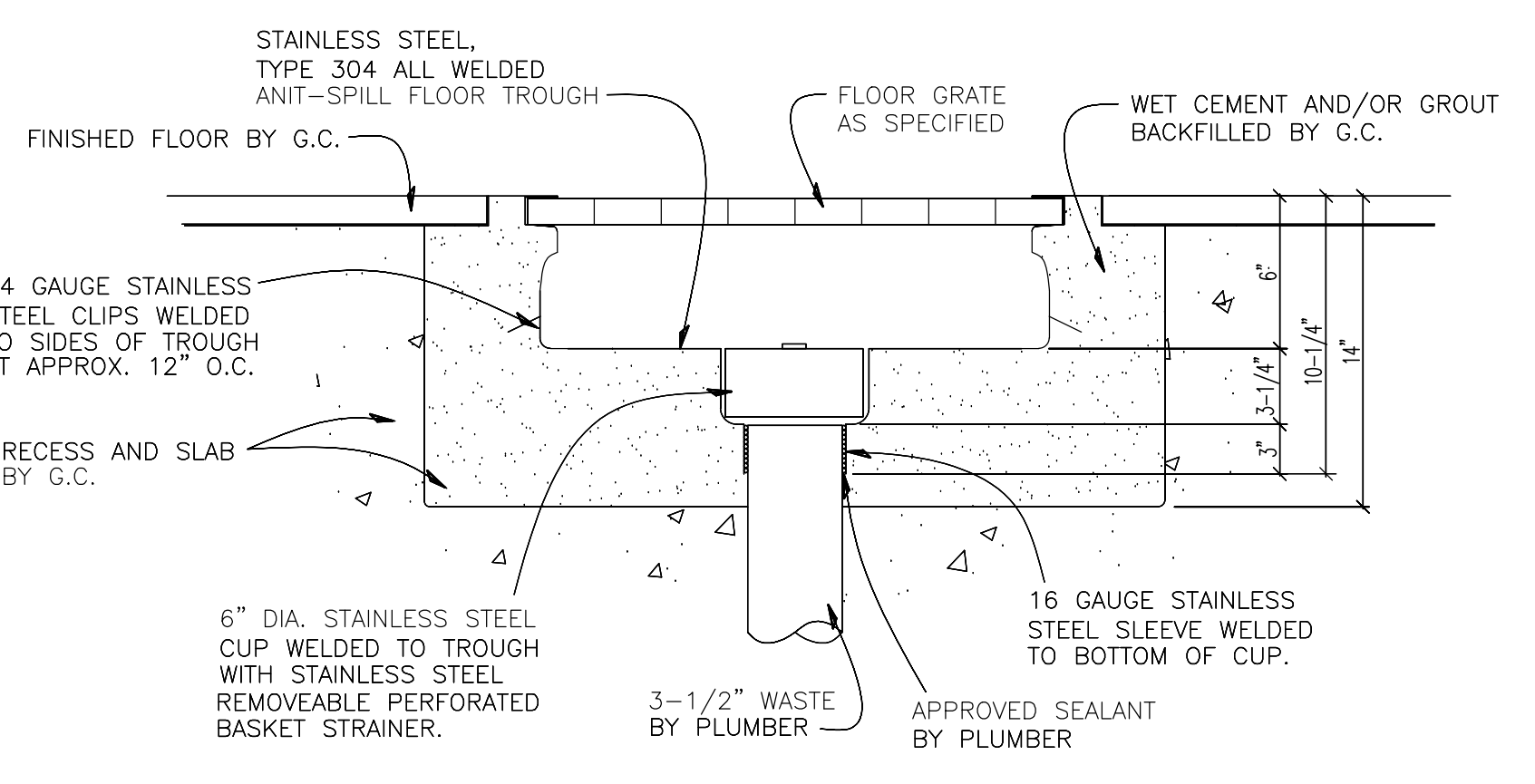
ALL PLUMBING OUTLETS AND REQUIREMENTS SHOWN ON THIS PLAN ARE FOR FIXTURES AND EQUIPMENT SPECIFIED AS FURNISHED BY KITCHEN EQUIPMENT SUPPLIER. FOR ANY ADDITIONAL BUILDING PLUMBING REQUIREMENTS, SEE OTHER MECHANICAL PLANS.
 ALL DIMENSIONS ARE TO BE FROM COLUMN CENTERLINES AND/OR FINISHED WALLS AND ARE IN INCHES TO 4'-0". ELEVATIONS GIVEN ARE FROM FINISHED FLOOR. ALL FLOOR DRAINS TO SET 1/2" BELOW FINISHED FLOOR UNLESS OTHERWISE NOTED. DO NOT SLOPE FLOORS SO CLOSE TO DRAINS AS TO CREATE "PITS" OR "DIPS" IN FLOOR. MINIMUM RADIUS OF SLOPE TO BE 24" FROM CENTERLINE OF DRAIN.
 PLUMBER TO CONNECT ALL WATER LINES, GAS LINES, WASTE LINES, ETC. TO FULLY CONNECT ALL EQUIPMENT AND RUN CONDENSATE LINES FROM UNITS TO DRAINS AND THESE LINES TO BE NO SMALLER THAN THE STUB OUT OF THE FIXTURE. PLUMBER TO PROVIDE GATE VALVES ON ALL WATER AND GAS LINES, VALVES, CUT-OFFS, TRAPS, HYDROSTATIC SHOCK ELIMINATORS, PRESSURE REGULATORS AND MATERIAL NECESSARY TO CONNECT ALL LINES, UNLESS OTHERWISE SPECIFIED IN THE ITEM SPECIFICATIONS. FAUCETS, DRAIN OUTLET FITTINGS IN FIXTURES AND SPECIALTY ITEMS ARE TO BE FURNISHED BY KITCHEN EQUIPMENT SUPPLIER AS OUTLINED ON THE ITEM SPECIFICATIONS. ALL WORK TO BE PERFORMED IN FULL ACCORDANCE WITH ALL APPLICABLE CODES RELATING TO INSTALLATION AND HOOK-UP OF EQUIPMENT.
 UNLESS OTHERWISE NOTED, ALL MANUFACTURED AND FABRICATED ITEMS HAVING INTERNAL OR EXTERNAL WATER PIPING ARE TO BE COPPER WITH WELDED CONNECTIONS OR CONNECTIONS USING LEAD-FREE SOLDER WITH THE EXCEPTION OF ICE BINS WHICH ARE TO BE PVC. ALL EXPOSED SUPPLY AND DRAIN LINES UNLESS SPECIFIED OTHERWISE ARE TO BE PAINTED WITH CHROME OR ALUMINUM ALL-WEATHER PAINT.

MECHANICAL SYMBOLS & ABBREVIATIONS

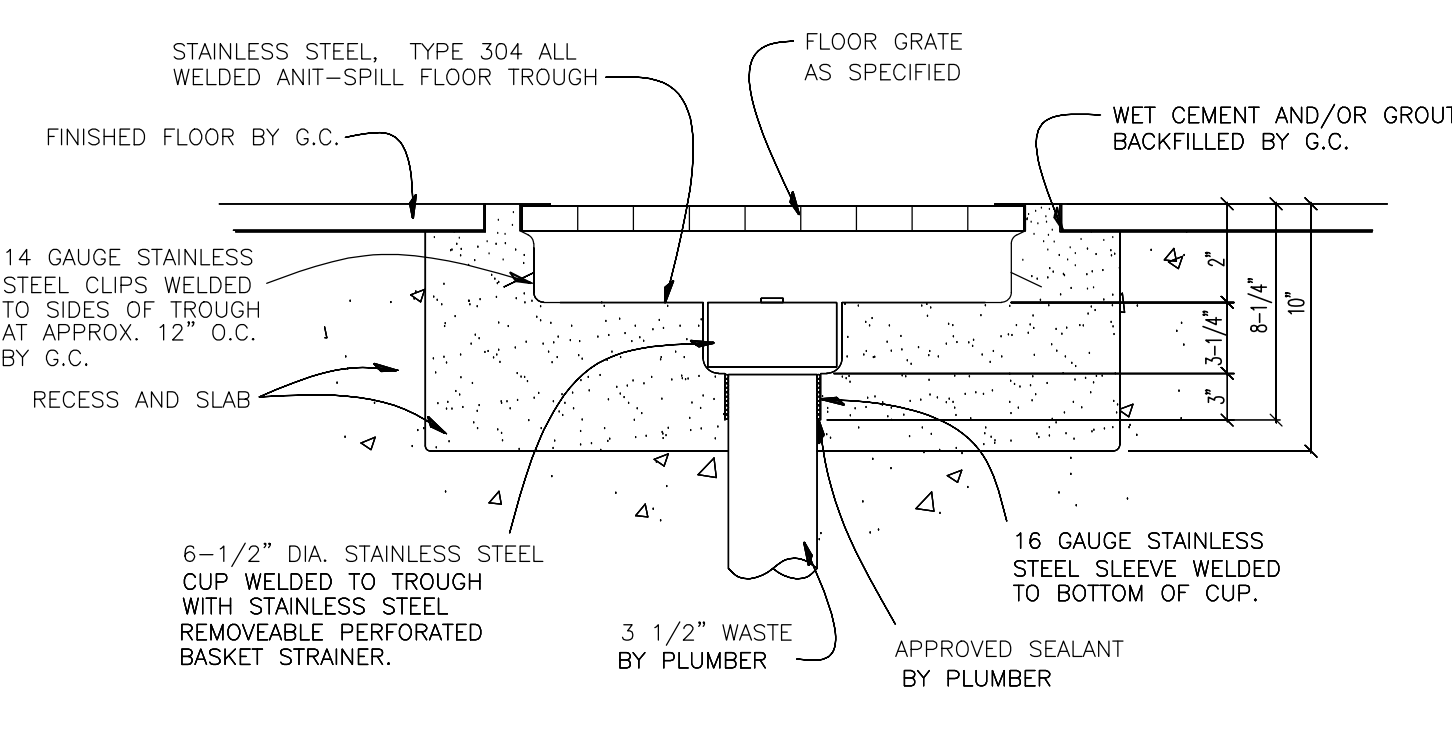
- HUB DRAIN AS NOTED
- FLOOR DRAIN-4" HIGH FUNNEL
- FLOOR DRAIN AS NOTED (FD)
- FLOOR SINK AS NOTED (FS)
- RIGHT ANGLE FLOOR DRAIN AS NOTED
- MIXING HOSE BIBB, SINGLE OUTLET
- HOSE BIBB, SINGLE OUTLET
- HOT/COLD WATER AS NOTED
- DR DRAIN
- CW COLD WATER
- HW HOT WATER
- HD HUB DRAIN SET 1" AFF
- EL ELEVATION AFF
- AFF ABOVE FINISHED FLOOR
- BFF BELOW FINISHED FLOOR
- SU STUB UP AFF
- GPH GALLONS PER HOUR
- GPM GALLONS PER MINUTE
- SS STEAM SUPPLY
- SR STEAM RETURN
- BHP BOILER HORSEPOWER
- PPH POUNDS PER HOUR
- PSI POUNDS PER SQUARE INCH
- DFA DOWN FROM ABOVE
- BTC BRANCH TO CONNECTION
- RTN RETURN AIR DUCT CONNECTION
- ED EXHAUST DUCT CONNECTION
- SP STATIC PRESSURE
- WG INCHES OF WATER GAUGE
- CFM CUBIC FEET PER MINUTE
- FPM FEET PER MINUTE (VELOCITY)
- KES KITCHEN EQUIPMENT SUPPLIER



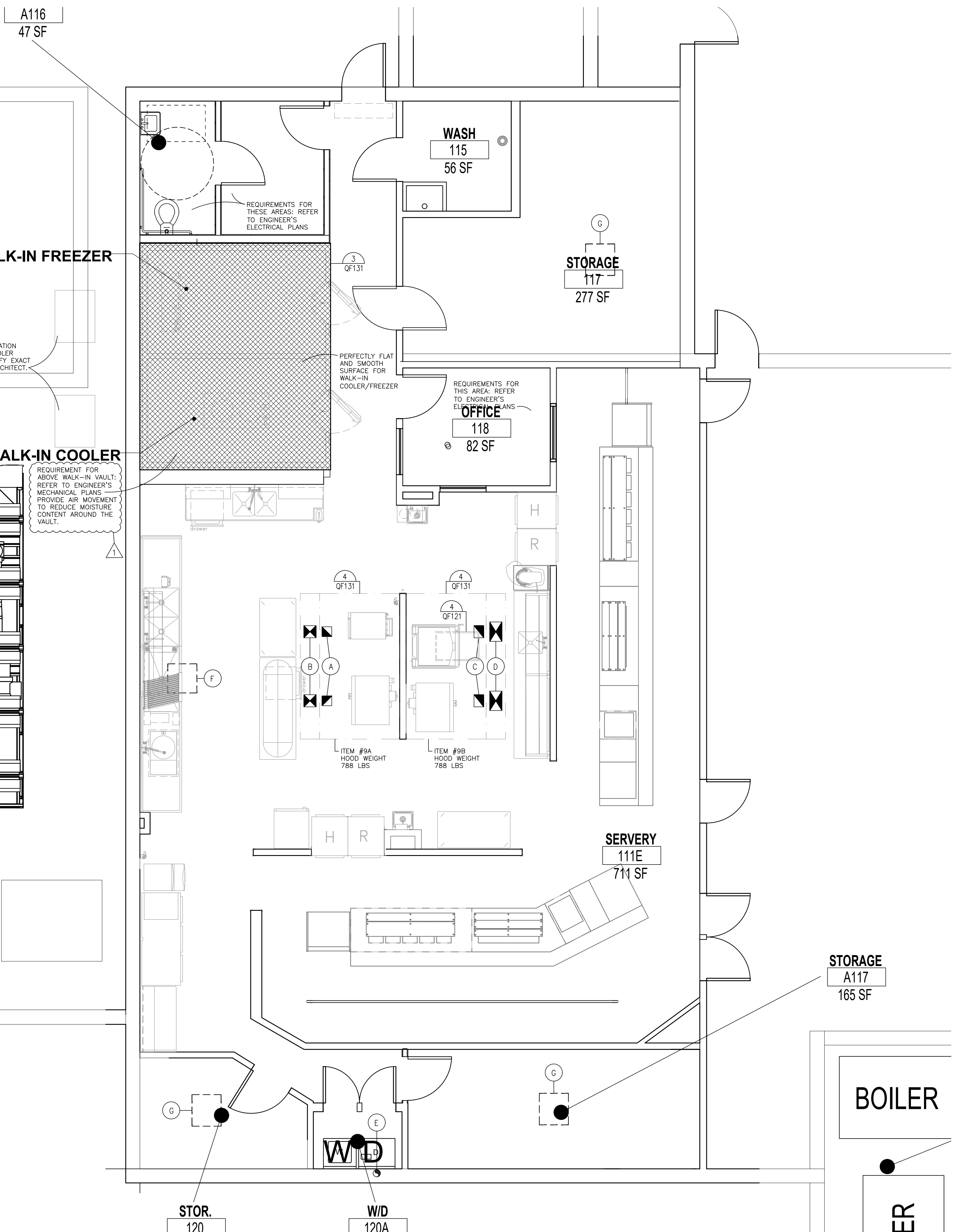
3 ESCUTCHEON & PENETRATION DETAIL QF121 SCALE: NONE



4 SECTION THRU FLOOR TROUGH QF121 SCALE: NONE



5 SECTION THRU FLOOR TROUGH QF121 SCALE: NONE



1 FOODSERVICE VENTILATION AND FLOOR DEPRESSION REQUIREMENTS PLAN
 QF131 SCALE: 1/4" = 1'-0"

NOTE:
 THESE PLANS ARE NOT TO BE USED FOR ROUGHING-IN OF UTILITY SERVICES BUT ARE PROVIDED FOR DESIGN INFORMATION ONLY.

VENTILATION NOTES

UNLESS OTHER PROVISIONS ARE MADE AND/OR INDICATED ON PLANS, VENTILATING HVAC CONTRACTOR TO PROVIDE OUTSIDE FILTERED MAKE-UP AIR FOR HOOD EXHAUST SYSTEM. THE TOTAL KITCHEN MAKE-UP AIR SYSTEM SHALL HAVE A SUFFICIENT CAPACITY TO MAKE UP 100% OF THE AIR BEING EXHAUSTED AND SHALL BE BALANCED TO MAKE-UP 90% OF THAT AIR. TEMPERED MAKE-UP AIR TO BE RETURNED AT THE HOOD LOCATION SHALL BE FROM 45% TO 80% AS INDICATED ON THE PLANS.
 EXHAUST FANS, DUCTWORK ABOVE FINISHED CEILING AND MAKE-UP AIR SYSTEM TO BE BY THE VENTILATING HVAC CONTRACTOR. EXHAUST VENTILATORS AND ANY CONNECTING DUCTWORK FROM VENTILATORS, FIXTURES AND EQUIPMENT TO FINISHED CEILING TO BE BY THE KITCHEN EQUIPMENT SUPPLIER.
 GENERAL CONTRACTOR TO CUT OR PROVIDE ANY HOLES THROUGH CEILING, ROOFS AND WALLS FOR DUCTS, CONDUITS, REFRIGERATION LINE ACCESS, ETC., IN ACCORDANCE WITH LOCAL SITE FIRE AND BUILDING CODES AND IN ACCORDANCE WITH DUCT SIZES SPECIFIED. GENERAL CONTRACTOR ALSO TO PROVIDE ALL DUCT FIRE SEPARATIONS, ENCLOSURES, WRAPPINGS, ETC., AS MAY BE REQUIRED BY LOCAL BUILDING AND FIRE CODES.

SPECIAL NOTE TO GENERAL CONTRACTOR AND ANY SUBCONTRACTORS FOR QUARRY TILE OR CONCRETE WEARING FLOORS IN WALK-IN VAULTS:
 THE SHEET METAL PANEL FACINGS OF VAULTS ARE SUSCEPTIBLE TO STAINING DUE TO EXCESSIVE MOISTURE CREATED BY HYDRATION OF CONCRETE TYPE MATERIALS. THEREFORE, IT IS ABSOLUTELY NECESSARY THAT EACH WALK-IN ROOM BE PROPERLY VENTILATED AND ENTRANCE DOORS LEFT OPEN (OR OFF) UNTIL FLOORS ARE CURED. ALSO NOTE THAT SPECIAL PRECAUTIONS MUST BE TAKEN WHEN USING MURIATIC ACID DUE TO EFFECTS HYDROCHLORIC ACID FUMES HAVE ON ALUMINUM AND STAINLESS STEEL.

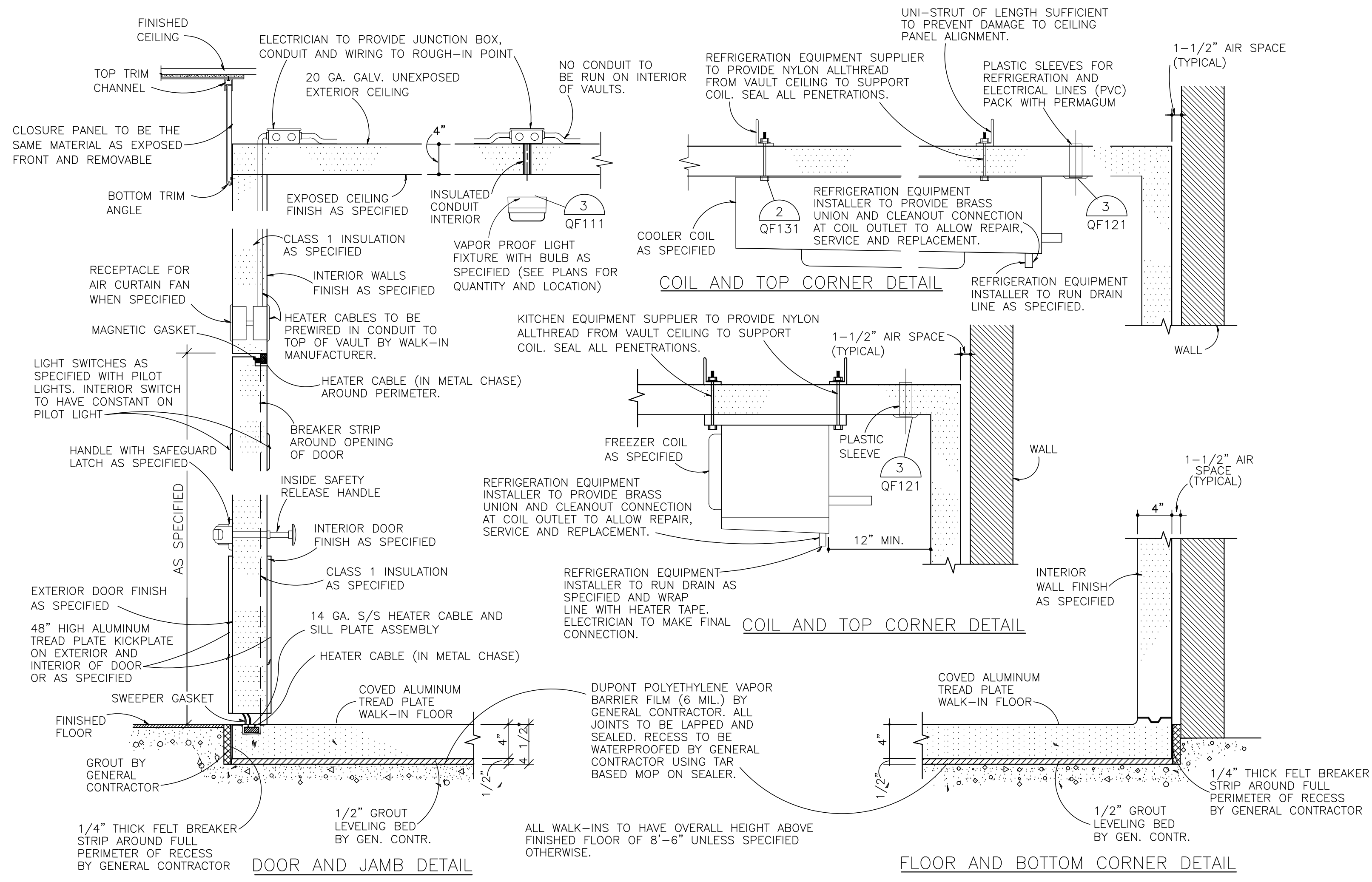
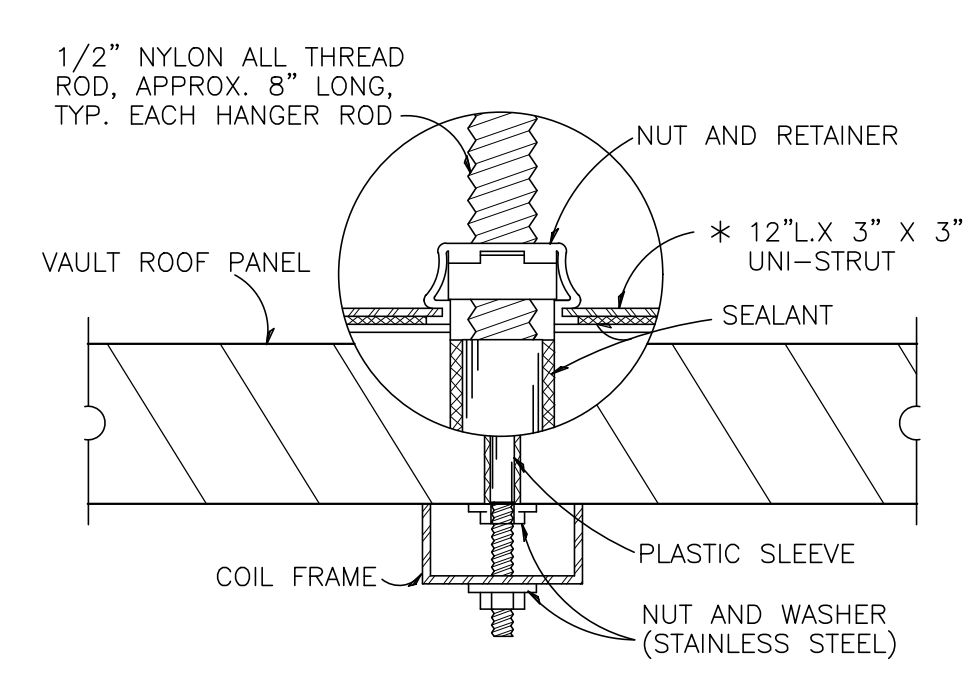
VENTILATION SYMBOLS & ABBREVIATIONS

	RETURN AIR DUCT CONNECTION
	EXHAUST DUCT CONNECTION
	GRAVITY EXHAUST CONNECTION
SP	STATIC PRESSURE
WG	INCHES OF WATER GAUGE
CFM	CUBIC FEET OF AIR PER MINUTE
FPM	FEET PER MINUTE (VELOCITY)
KES	KITCHEN EQUIPMENT SUPPLIER

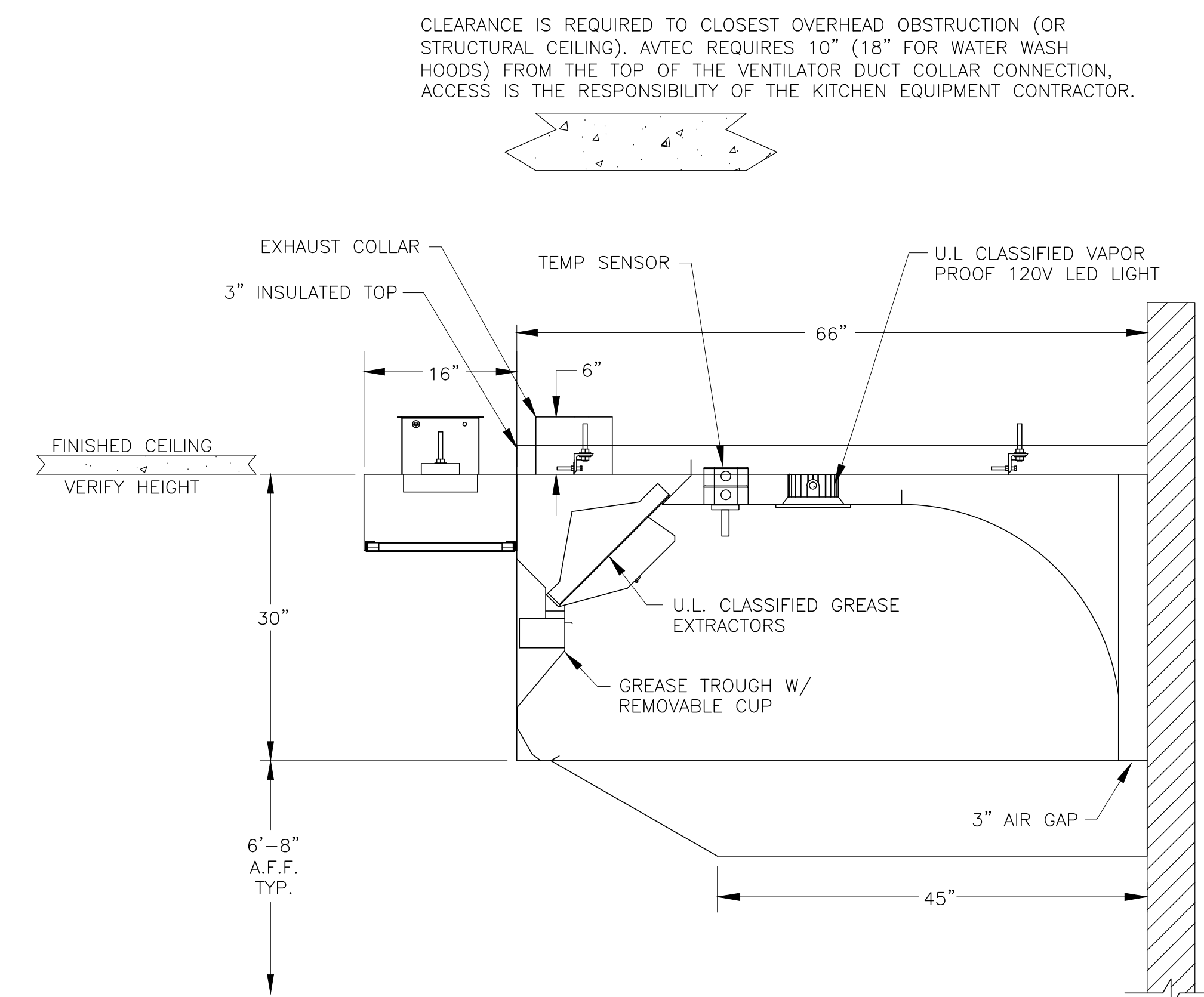
THE MECHANICAL DATA REPRESENTED REFERENCES EQUIPMENT THAT ARE IN ACCORDANCE WITH RECOMMENDATIONS OF THE NATIONAL FIRE PROTECTION ASSOCIATION'S STANDARD NFPA 96 "VAPOR REMOVAL FROM COOKING EQUIPMENT", THE NATIONAL SANITATION FOUNDATION STANDARD #2 "FOOD SERVICE EQUIPMENT", AND UNDERWRITER'S LABORATORIES STANDARD U.L. 710 "EXHAUST HOODS FOR COMMERCIAL COOKING EQUIPMENT" U.L. LISTED."

VENTILATION LEGEND

- A. 8" X 8" EXHAUST DUCT MOVING 750 CFM AT 0.90" S.P. (2 REQUIRED)
- B. 10" X 10" SUPPLY DUCT MOVING 600 CFM AT 0.50" S.P. (2 REQUIRED)
- C. 8" X 10" EXHAUST DUCT MOVING 875 CFM AT 0.90" S.P. (2 REQUIRED)
- D. 10" X 16" SUPPLY DUCT MOVING 700 CFM AT 0.50" S.P. (2 REQUIRED)
- E. 4" GRAVITY VENT FOR DOMESTIC CLOTHES DRYER.
- F. EXHAUST 500 C.F.M. FREE AIR FROM THIS AREA THRU HVAC CONTRACTOR FURNISHED AND INSTALLED STAINLESS STEEL OR ALUMINUM CEILING GRILL.
- G. EXHAUST 300 C.F.M. FREE AIR FROM DRY STORAGE ROOM THRU HVAC CONTRACTOR FURNISHED AND INSTALLED STAINLESS STEEL OR ALUMINUM CEILING GRILLE, IF SPACE NOT CONDITIONED.



3 WALK-IN COOLER/FREEZER DETAILS
 QF131 SCALE: NONE



CLEARANCE IS REQUIRED TO CLOSEST OVERHEAD OBSTRUCTION (OR STRUCTURAL CEILING). AVTEC REQUIRES 10" (18" FOR WATER WASH HOODS) FROM THE TOP OF THE VENTILATOR DUCT COLLAR CONNECTION, ACCESS IS THE RESPONSIBILITY OF THE KITCHEN EQUIPMENT CONTRACTOR.