

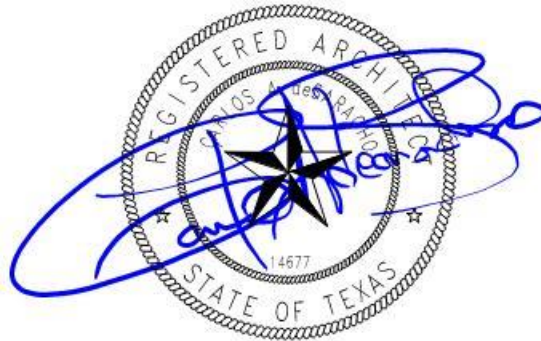
ADDENDUM No. 3

CSP#207705

**ORG #207 – San Jacinto Elementary School - Renovation
ORG #273 – Pleasant Grove Elementary School – Renovation**

DALLAS INDEPENDENT SCHOOL DISTRICT

11/01/2024



11/01/24

Any addendum issued will be listed or posted at the District website <http://www.dallasisd.org/>. Click on "Departments" Click On "Construction Services/Bond Office" Click On "Bond Vendor Opportunities" then click on bid Package number. Any and all addenda that are too large in size for the website will not be posted on the District website. However, all such addenda will be listed on the website with the of issuance of each addendum, and instructions to proposers for procuring such addenda from the Printing Company.

**Thomas Printworks
Attention: Jon Sauve
Address: 3610 Oak Lawn Ave
Dallas, Texas 75219
Phone: 214-880-0022
Email: jon.sauve@thomasprintworks.com**

Addenda will be available from the Printing Company for purchase. Purchase price must be obtained directly from the Printing Company.

The Bidder or proposer is responsible for obtaining all Addenda prior to submitting a bid or proposal to the district.

The following items modify the plans and specifications and shall become a part of the contract documents.

ORG #207 SAN JACINTO ELEMENTARY SCHOOL and ORG #273 PLEASANT GROVE ELEMENTARY SCHOOL

GENERAL

- DISD, Dallas Independent School District is the owner of the project. Please refer to DISD's procurement website for more details on solicitation timeline:

<https://www.dallasisd.org/departments/construction-servicesbond-office/bond-vendor-opportunities>
- This project will be bid as a bid package. Please refer to specification 00 41 11.
- For bidding purposes, please note no substitutions will be accepted.
- Question: Please confirm that the question deadline for CSP 207705 has been extended to 10/30/2024 as announced in the 10/28/2024 pre-proposal meeting.
 - Response: This item has been addressed in Addendum 2.
- Replace specification 00 41 12 with the attached.

QUESTIONS

- Question: Can you send me a plan holders list w/ contact information for the DISD San Jacinto & Pleasant Grove Elementary Schools?
 - Response: Refer to the plan room list on DIV 00 11 13 of Volume 1.
- Question: Found the listing for the San Jacinto ES Renovation and was hoping to get some more information regarding the plans and specifications. Is this something you can share?
 - Response: Refer to the plan room list on DIV 00 11 13 – Document Distribution for info on plans and specs.
- Question: Is there anything we have the privilege of providing a quote on for you? Would you please put us on file as a vendor so we can quote you in the future?
 - Response: All quotes need to go to a general contractor, please refer to DIV 00 11 13 in Project Manual Vol 1 for Solicitation timeline for GCs bidding the job.

ORG #207 SAN JACINTO ELEMENTARY SCHOOL

GENERAL

- The contractor shall not install more than 6' of flex conduit for motion beam detector replacement without approval from DISD.
- Brackets for motion beam detectors are to be powder coated. Verify the bracket style with DISD.
- The contractor shall provide 8-motion detectors at the modular building roof edge to replace existing detectors. The motion beam detector panel replacement shall also be provided as part of the cost.

QUESTIONS

- Question: How many overflow scuppers are needed for the roof project?
 - Response: Refer to sheets R1 and R2.
- Question: What is the curb height of the (2) RTUs that are not being replaced and will those curbs need to be replaced?
 - Response: Refer to sheets M3.01 and M3.02 for curb height and details. Curbs are only replaced if providing new roof; Modular building roof to be replaced, refer to sheets M1.33, M1.34, R1 and R2. Main building has no roof scope.
- Question: What is the distance between new pipe supports?
 - Response: Refer to M3.01 and M3.02 for details.
- Question: Since installing the through wall scuppers as shown on the plans at the modular buildings would require disturbing the cementitious wall panels that are asbestos containing would it be acceptable to utilize the existing roof drain system in lieu of the new scuppers and downspouts?
 - Response: Refer to sheet R1 and R2 details for scope of work.
- Question: Are the missing / damaged rooftop motion detectors to be replaced on the modular buildings?
 - Response: 8-Motion beam detectors shall be provided in the scope of work. Refer to revised sheets TS2.13, E3.01 and Division 28 16 00 – Intrusion Detection.
- Question: BASF is currently specified as the Roofing Foam on this project. Would you be open to considering Huntsman FoamLok as an approved alternative? We have several contractors that are interested in bidding this project, I would love to connect with you and the GC involved in this project.
 - Response: For bidding purposes, please note no substitutions will be accepted.

SPECIFICATIONS

- Add Division 28 16 00 – Intrusion Detectors

DRAWINGS

- Replace sheet with the revised attached A2.03.
 - Carpet to be Mohawk Datum in color Basalt as indicated.
- Replace sheet with the revised attached A0.02 and A0.01.
 - Note added: “Removal / reinstallation of existing WAPs must be coordinated with DISD IT at least 2 weeks in advance.”
- Replace sheet with the revised attached A1.01.
 - ALTERNATE: Mild-detergent medium power wash to be done at brick, front of building only as indicated.
 - ALTERNATE: Mild-detergent medium power wash to be done at all cast stone areas, front of building only as indicated.
 - ALTERNATE: Provide sandblasting, prime & repaint all handrailing, guard railing, and exposed metal at ramps as indicated.
- Replace sheet with the revised attached E2.22.
 - Revised note by symbol 1 as indicated.
- Replace sheet with the revised attached TS2.13.
 - Video intercoms with door release added to main building back entrance and building B entrance.
 - Pathway notes added.
 - Exterior 360-degree camera location added.
 - New motion beam detector locations and new panel
- Replace sheet with the revised attached M1.33.
 - Updated note #3 to include fall protection for units less than 10’ from roof edge as indicated.
- Replace sheet with the revised attached P1.31 and P1.32.
 - Updated note #1 to include painting of new gas piping as indicated.
- Replace sheet with the revised attached C3.00.
 - Fence scope removed as indicated.

- Replace sheet with the revised attached A1.02.
 - Add note: Ensure UPN fiber running into building will not be affected by marquee excavation. If UPN fiber needs to be relocated, notify DISD.
- Replace sheet with the revised attached S2.01.
 - Add note: Ensure UPN fiber running into building will not be affected by marquee excavation. If UPN fiber needs to be relocated, notify DISD.
- Replace sheet with the revised attached R1 and R2
 - Add note: If there are adjustments to the existing roof openings or conflicts with the existing structure regarding roof top units, contact the Architect/EOR.

ORG #273 PLEASANT GROVE ELEMENTARY SCHOOL

DRAWINGS

- Replace sheet with the revised attached A3.01.
 - Carpet to be Mohawk Datum in color Basalt as indicated.
- Replace sheet with the revised attached A1.01.
 - ALTERNATE: Mild-detergent medium power wash to be done at front of building only as indicated.
 - ALTERNATE: Provide sandblasting, prime & repaint all handrailing, guard railing and exposed metal at ramps as indicated.

SHEETS AND SPECIFICATIONS (ATTACHMENTS)

SPECIFICATIONS

00 01 00	Table of contents
00 41 12	Proposal Form – Alternates and Unit Pricing (Part 1-C of the CSP)

ORG #207 SAN JACINTO ELEMENTARY SCHOOL

SPECIFICATIONS

28 16 00	Intrusion Detection
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SHEETS

G0.02	- INDEX OF DRAWINGS
R1	- ROOF PLAN

R2 – ROOF DETAILS
M1.33 - PARTIAL MECHANICAL ROOF PLAN 'B1'
TS2.13 - PARTIAL SECURITY AND SYSTEMS PLAN FLOOR AREA 'B1' AND 'B2'
E3.01 – ELECTRICAL DETAILS
A2.03 – ENLARGED PLANS, DOOR SCHEDULES, DETAILS & FINISHES
A0.02 – ENLARGED DEMOLITION PLANS
A0.01 - OVERALL DEMOLITION PLAN
A1.01 – SITE PLAN
E2.22 - PARTIAL PLUMBING ROOF PLAN 'A2'
P1.31 - PARTIAL PLUMBING ROOF PLAN 'B1'
P1.32 - PARTIAL PLUMBING ROOF PLAN 'B2'
C3.00 – SITE PLAN
A1.02 - MARQUEE SIGNAGE & DETAILS
S2.01 - MARQUEE SIGN FRAMING PLAN AND DETAILS

All sheets shown shall replace the original bid documents issued.

ORG #273 PLEASANT GROVE ELEMENTARY SCHOOL

SHEETS

G0.02 - INDEX OF DRAWINGS
A3.01 – ENLARGED FINISH PLANS & MILLWORK DETAILS
A1.01 - SITE PLAN

All sheets shown shall replace the original bid documents issued.

END OF ADDENDUM

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00 01 00	Project Manual Cover
00 01 01	Project Title Page
00 01 07	Seals Page
00 01 10	Table of Contents
00 01 15	List of Drawing Sheets
00 11 13	Advertisement for CSP

Proposal Requirements

00 11 17	Intention to Propose Form
00 21 13	Instructions to Proposers

Project Information

00 31 00	Available Project Information
00 31 18	School Operation Parameters Statement

Proposal Documents

00 41 10	Overall Proposal Packaging Checklist
00 41 11 (a)	Materials Escalation Price Reconciliation Form
00 41 11	Proposal Form – Base Bid (Part 1-A of the CSP)
00 41 12	Proposal Form – Alternates and Unit Pricing (Part 1-C of the CSP)
00 41 13	Technical Proposal (Part 1-B of the CSP)
00 43 13	Proposal Guarantee Bond (Part 1-A of the CSP)
00 43 43	Prevailing Wage Rates Schedule
00 45 00	DISD Required forms combined (Part 1-A of the CSP)
00 45 20	Certificate of Non-Discrimination (Part 1-A of the CSP)
00 45 22	Notification of Hazardous Materials Affidavit (Part 1-A of the CSP)
00 45 23	Family Conflict of Interest Questionnaire (Part 1-A of the CSP)
00 45 39	MWBE Compliance Guidelines and Forms (Part 2 of the CSP)

Contract Forms

00 52 10	Standard form of Agreement between Owner and Contractor
00 52 11	General Conditions of the Contract for Construction
00 55 00	Notice to Proceed Forms
00 61 13	Performance Bond Form
00 61 16	Payment Bond Form
00 73 19	Dallas Independent School District Construction Minimum Safety Program Guidelines Manual

Division 1

General Requirements

01 10 00	Summary of Work
01 21 00	Allowances
01 22 00	Unit Prices
01 23 00	Alternates
01 25 00	Substitution Procedures
01 29 00	Payment Procedures
01 29 73	Schedule of Values
01 31 00	Project Management and Coordination
01 32 00	Construction Progress Documentation
01 32 16	Construction Progress Schedule
01 32 33	Photographic Documentation
01 33 00	Submittal Procedures
01 35 43	EPA Lead-Based Paint Renovation, Repair, and Painting Program
01 40 00	Quality Requirements
01 42 00	References
01 45 23	Testing Adjusting and Balancing for HVAC – (updated 1-28-2020 Final)

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01 50 00	Temporary Facilities and Controls
01 52 14	Temporary Facilities for Students
01 60 00	Product Requirements
01 73 00	Execution
01 77 00	Closeout Procedures & Checklist
01 78 23	Operation and Maintenance Data
01 78 39	Project As-Builts & Record Documents
01 79 00	Demonstration and Training
01 91 00	General Cx Requirements

VOLUME 2 OF 3

ORG 207 DISD San Jacinto Elementary

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00 01 01	Project Title Page
00 01 07	Seals Page
00 01 10	Table of Contents

Division 2

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02 26 23A	Renovation Asbestos Survey
02 26 23B	Abatement Project Design
02 32 00	Geotechnical Data
02 41 19	Selective Demolition

Division 3 NOT USED

Division 4

Masonry

04 20 00	Unit Masonry
04 72 00	Cast Stone Masonry

Division 5

Metals

05 50 00	Metal Fabrications
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Division 6

Wood, Plastics, and Composites

06 10 53	Miscellaneous Rough Carpentry
06 41 16	Plastic-Laminate-Clad Architectural Cabinets

Division 7

Thermal and Moisture Protection

07 01 50.19	Preparation for Re-Roofing (R)
07 52 16	Styrene-Butadiene-Styrene (SBS) Modified Bituminous Membrane Roofing
07 57 13	Sprayed Polyurethane Foam Roofing (R)
07 62 00	Sheet Metal Flashing and Trim (R)
07 84 13	Penetration Firestopping
07 92 00	Joint Sealants

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- 08 14 16 Flush Wood Doors
- 08 41 13 Aluminum-Framed Entrances and Storefronts
- 08 71 00 Door Hardware
- 08 71 00a Door Hardware Schedule
- 08 80 00 Glazing

Division 9

Finishes

- 09 51 13 Acoustical Panel Ceilings
- 09 65 13 Resilient Base and Accessories
- 09 68 13 Tile Carpeting
- 09 91 13 Exterior Painting
- 09 91 23 Interior Painting

Division 10

Specialties

- 10 14 27 Marquee Pylon Signage
- 10 44 13 Fire Protection Cabinets
- 10 44 16 Fire Extinguishers

Division 11 NOT USED

Division 12

Furnishings

- 12 36 61.16 Solid Surfacing Countertops

Divisions 13 – 20 NOT USED

Division 21

Fire Suppression

- 21 05 00 Common Work Results for Fire Suppression
- 21 13 13 Wet-Pipe Sprinkler Systems

Division 22

Plumbing

- 22 05 00 Common Work Results for Plumbing
- 22 05 17 Sleeves and Sleeve Seals for Plumbing Piping
- 22 05 23 General-Duty Valves for Plumbing Piping
- 22 05 29 Hangers and Supports for Plumbing Piping and Equipment
- 22 05 53 Identification for Plumbing Piping and Equipment
- 22 07 19 Plumbing Piping Insulation
- 22 08 00 Commissioning of Plumbing
- 22 11 16 Domestic Water Piping
- 22 40 19 Plumbing Specialties

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23 05 13	Common Motor Requirements for HVAC Equipment
23 05 19	Meters and Gages for HVAC Piping
23 05 23	General-Duty Valves for HVAC Piping
23 05 29	Hangers and Supports for HVAC Piping and Equipment
23 05 48	Vibration and Seismic Controls for HVAC
23 05 53	Identification for HVAC Piping and Equipment
23 07 13	Duct Insulation
23 07 19	HVAC Piping Insulation
23 08 00	Commissioning Of HVAC
23 09 23	Energy Management Control System
23 09 93	Sequence of Operations for HVAC DDC
23 11 23	Facility Natural-Gas Piping
23 21 13	Hydronic Piping
23 23 00	Refrigerant Piping
23 31 13	Metal Ducts
23 33 00	Air Duct Accessories
23 37 13	Diffusers, Registers, and Grilles
23 41 00	Bipolar Ionization
23 74 13	Packaged, Outdoor, Central-Station Air-Handling Units
23 81 26	Split-Systems Air-Conditioning Systems

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Division 26

Electrical

26 05 00	Common Work Results for Electrical
26 05 19	Low-Voltage Electrical Power Conductors and Cables
26 05 26	Grounding and Bonding for Electrical Systems
26 05 29	Hangers and Supports for Electrical Systems
26 05 33	Raceway and Boxes for Electrical Systems
26 05 43	Underground Ducts and Raceways for Electrical Systems
26 05 44	Sleeves and Sleeve Seals for Electrical Systems
26 05 53	Identification for Electrical Systems
26 08 00	Commissioning of Electrical Systems
26 09 23	Lighting Control Devices
26 09 41	Lighting Controls
26 24 16	Panelboards
26 27 26	Wiring Devices
26 28 16	Enclosed Switches and Circuit Breakers
26 29 13	Enclosed Controllers
26 51 19	LED Interior Lighting
26 52 19	Emergency and Exit Lighting
26 56 19	LED Exterior Lighting

Division 27

Communications

27 05 00	Common Work Results for Communications
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Division 28

Electronic Safety and Security

28 05 00	Common Work Results for Electronic Safety and Security
28 05 13	Conductors and Cables for Electronic Safety and Security
28 16 00	Intrusion Detection
28 31 49	Carbon Monoxide Detection System
28 46 21	Addressable Fire-Alarm and Voice Evacuation Systems

Divisions 29 – 30 NOT USED

Division 31

Earthwork

31 10 00	Site Preparation and Demolition (C)
31 22 00	Earthwork (C)
31 25 00	Erosion Control (C)

Division 32

Exterior Improvements

32 12 16	Asphalt Paving (C)
32 13 13	Concrete Paving (C)
32 17 23	Pavement Markings
32 31 19	Decorative Metal Fences and Gates

Divisions 33 – 49 NOT USED

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ORG 273 DISD Pleasant Grove Elementary

Division 0

00 01 00	Project Manual Cover
00 01 01	Project Title Page
00 01 07	Seals Page
00 01 10	Table of Contents

Division 2

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Masonry

04 20 00	Unit Masonry
04 72 00	Cast Stone Masonry

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Division 5

Metals

- 05 40 00 Cold-Formed Metal Framing
- 05 50 00 Metal Fabrications

Division 6

Wood, Plastics, and Composites

- 06 10 53 Miscellaneous Rough Carpentry
- 06 40 23 Interior Architectural Woodwork
- 06 41 16 Plastic-Laminate-Clad Architectural Cabinets
- 06 64 00 Plastic Paneling

Division 7

Thermal and Moisture Protection

- 07 84 13 Penetration Firestopping
- 07 92 00 Joint Sealants

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- 08 71 00 Door Hardware
- 08 71 00a Door Hardware Schedule
- 08 80 00 Glazing

Division 9

Finishes

- 09 22 16 Non-Structural Metal Framing
- 09 29 00 Gypsum Board
- 09 51 13 Acoustical Panel Ceilings
- 09 65 13 Resilient Base and Accessories
- 09 65 19 Resilient Tile Flooring
- 09 68 13 Tile Carpeting
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- 21 13 13 Wet-Pipe Sprinkler Systems

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- 22 05 17 Sleeves and Sleeve Seals for Plumbing Piping
- 22 05 23 General-Duty Valves for Plumbing Piping
- 22 05 29 Hangers and Supports for Plumbing Piping and Equipment
- 22 05 53 Identification for Plumbing Piping and Equipment
- 22 07 19 Plumbing Piping Insulation
- 22 08 00 Commissioning of Plumbing
- 22 11 16 Domestic Water Piping
- 22 40 19 Plumbing Specialties

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- 23 05 48 Vibration and Seismic Controls for HVAC
- 23 05 53 Identification for HVAC Piping and Equipment
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- 23 07 19 HVAC Piping Insulation
- 23 08 00 Commissioning Of HVAC
- 23 09 23 Energy Management Control System
- 23 09 93 Sequence Of Operations for HVAC DDC
- 23 21 13 Hydronic Piping
- 23 23 00 Refrigerant Piping
- 23 31 13 Metal Ducts
- 23 33 00 Air Duct Accessories
- 23 37 13 Diffusers, Registers, and Grilles
- 23 41 00 Bipolar Ionization
- 23 74 13 Packaged, Outdoor, Central-Station Air-Handling Units
- 23 81 26 Split-Systems Air-Conditioning Systems

Divisions 24 - 25 NOT USED

Division 26

Electrical

- 26 05 00 Common Work Results for Electrical
- 26 05 19 Low-Voltage Electrical Power Conductors and Cables
- 26 05 26 Grounding and Bonding for Electrical Systems
- 26 05 29 Hangers and Supports for Electrical Systems
- 26 05 33 Raceway and Boxes for Electrical Systems
- 26 05 43 Underground Ducts and Raceways for Electrical Systems
- 26 05 44 Sleeves and Sleeve Seals for Electrical Systems
- 26 05 53 Identification for Electrical Systems
- 26 08 00 Commissioning Of Electrical Systems
- 26 09 23 Lighting Control Devices

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26 09 41	Lighting Controls
26 27 26	Wiring Devices
26 28 16	Enclosed Switches and Circuit Breakers
26 51 19	Led Interior Lighting
26 52 19	Emergency and Exit Lighting
26 56 19	Led Exterior Lighting

Division 27

Communications

27 05 00	Common Work Results for Communications
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Division 28

Electronic Safety and Security

28 05 00	Common Work Results for Electronic Safety and Security
28 05 13	Conductors and Cables for Electronic Safety and Security
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28 46 21	Addressable Fire-Alarm and Voice Evacuation Systems

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31 22 00	Earthwork (C)
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Division 32

Exterior Improvements

32 13 13	Concrete Paving (C)
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Divisions 32 - 49 NOT USED

END OF TABLE OF CONTENTS

SECTION 00 41 12 – PROPOSAL FORM – ALTERNATES AND UNIT PRICING

Name of Contractor	
---------------------------	--

**COMPETITIVE SEALED PROPOSAL (Part 1C)
to
DALLAS INDEPENDENT SCHOOL DISTRICT
FOR THE FOLLOWING WORK:**

PART 1. General Information

CSP PACKAGE 207705, consisting of improvements to:

Org #	PROJECT NAME	PROJECT TYPE	ADDRESS
207	SAN JACINTO ELEMENTARY SCHOOL	RENOVATION	7900 Hume Dr, Dallas, TX 75227
273	PLEASANT GROOVE ELEMENTARY SCHOOL	RENOVATION	1614 N St Augustine Rd, Dallas, TX 75217

PART 2. Proposal Form

2.01 through 2.09

Refer to Specification Section 00 41 11.

2.10 Alternate Price Items

The Contractor proposes the following sums as **additions to or deductions from** the Base Price amount for alternates. Failure to quote every item may cause the entire Proposal to be considered non-responsive. If there is no cost change in the alternate(s) pricing, the Contractor should enter "\$0.00" as the price for the alternate. Do not make an entry of N/A.

All Alternates must be priced. Alternates are not listed in the order of preference.

ORG 207 SAN JACINTO ELEMENTARY SCHOOL

No.	Alternate Description	Proposer's Add Price	Proposer's Deduct Price
001	ALTERNATE 1 – Repair existing concrete blacktop court		
002	ALTERNATE 2 – Provide interior lighting controls		
003	ALTERNATE 3 – Replace half of the interior lights with LED lighting		
004	ALTERNATE 4 – Power wash existing building brick		
005	ALTERNATE 5 – Power wash existing building cast stone		
006	ALTERNATE 6 – Paint existing handrail, guardrail and exposed metal at ramps.		

ORG 273 PLEASANT GROOVE ELEMENTARY SCHOOL

No.	Alternate Description	Proposer's Add Price	Proposer's Deduct Price
001	ALTERNATE 1 - PA system		
002	ALTERNATE 2 – Power wash existing building brick		
003	ALTERNATE 3 – Paint existing handrail, guardrail and exposed metal at ramps.		

2.11 Unit Prices

The Contractor proposes the following all-inclusive unit prices for the items/tasks. Failure to provide unit pricing

SECTION 00 41 12 – PROPOSAL FORM – ALTERNATES AND UNIT PRICING

Name of Contractor	
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for each item may result in the Proposal being deemed as non-responsive. Do not make an entry of N/A. All unit prices must be priced. Unit prices are not listed in order of preference.

ORG 207 SAN JACINTO ELEMENTARY SCHOOL

No.	Unit Price Item	Unit of measure	Proposer's Unit Price
	ADD PRICE FOR ADDITIONAL DEPTH OF 24" DIAMETER PIERS	LINEAR FEET	
	ADD PRICE FOR CASING OF 24" DIAMETER PIERS	LINEAR FEET	
	ADD PRICE FOR ADDITIONAL DEPTH OF CASED 24" DIAMETER PIER	LINEAR FEET	

ORG 273 PLEASANT GROOVE ELEMENTARY SCHOOL

No.	Unit Price Item	Unit of measure	Proposer's Unit Price
	ADD PRICE FOR ADDITIONAL DEPTH OF 24" DIAMETER PIERS	LINEAR FEET	
	ADD PRICE FOR CASING OF 24" DIAMETER PIERS	LINEAR FEET	
	ADD PRICE FOR ADDITIONAL DEPTH OF CASED 24" DIAMETER PIER	LINEAR FEET	

2.12 through 2.14

Refer to Specification Section 00 41 11.

SECTION 00 41 12 – PROPOSAL FORM – ALTERNATES AND UNIT PRICING

Name of Contractor	
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PART 3. Execution

3.01 Proposal Form Execution (Part 1A)

Contractor's Firm Name (legal name)	
Federal Tax I. D. Number	
Contractor's Street Address	
Contractor's Phone Number	
Contractor's Fax Number	
Contractor's Email Address	

SUBMITTED BY:

(Corporation, Partnership, Individual, etc.)

Name of President of Corporation *or*
Name of Principal Owner

Name of Secretary of Corporation
(if applicable)

(Corporation, Partnership, etc.) is organized under the laws of the State of _____.

Firm: _____

By: _____

Title: _____

Legal Address: _____

Date: _____

Affix Corporation Seal here (if applicable)

SECTION 28 16 00 - INTRUSION DETECTION

PART 1 - GENERAL

1.1 SUMMARY

- A. This Section includes the following:
 - 1. Performance based intrusion detection system, with hard-wired, modular, microprocessor-based controls, intrusion sensors and detection devices, and communication links to perform monitoring, alarm, and control functions.
- B. When replacing an existing system, remove all components of the old system, including all wiring and controls.
- C. Related Sections include the following:
 - 1. Division 28 Section "Conductors and Cables for Electronic Safety and Security" for cabling between central-station control- units and field-mounted devices and controllers.

1.2 DEFINITIONS

- A. Protected or Protection Zone: A space or area for which an intrusion must be detected and uniquely identified, the sensor or group of sensors assigned to perform the detection, and any interface equipment between sensors and communication link to central-station control unit.
- B. Standard-Intruder Movement: Any movement, such as walking, running, crawling, rolling, or jumping, of a "standard intruder" in a protected zone.

1.3 SUBMITTALS

- A. Product Data: Components for sensing, detecting, and control, including dimensions and data on features, performance, electrical characteristics, ratings, and finishes.
- B. Shop Drawings: Detail assemblies of standard components that are custom assembled for specific application on this Project.
 - 1. Functional Block Diagram: Show single-line interconnections between components. Indicate control, signal, and data communication paths and identify control interface devices and media to be used. Describe characteristics of network and other data communication lines.
 - 2. Raceway Riser Diagrams: Detail raceway runs. Include designation of devices connected by raceway, raceway type, and size, and type and size of wire and cable fill for each raceway run.
 - 3. Site and Floor Plans: Indicate final outlet and device locations, routing of raceways, and cables inside and outside the building
 - 4. Central-Station Control-Unit Console Layout: showing required artwork and device identification.
 - 5. Device Address List: Coordinate with final system programming.
 - 6. System Wiring Diagrams: Include system diagrams unique to Project. Show connections for all devices, components, and auxiliary equipment. Include diagrams for equipment and for system with all terminals and interconnections identified.
 - 7. Sensor detection patterns and adjustment ranges.
- C. Equipment and System Operation Description: Include method of operation and supervision of each component and each type of circuit. Show sequence of operations for manually and

automatically initiated system or equipment inputs. Description must cover this specific Project; manufacturer's standard descriptions for generic systems are not acceptable.

- D. Samples for Initial Selection: For units with factory-applied color finishes.
- E. Samples for Verification: For each type of exposed finish required.
- F. Qualification Data: Factory trained Installer.
- G. Field quality-control test reports.
- H. Operation and Maintenance Data: For intrusion detection system to include in emergency, operation, and maintenance manuals. In addition to items specified in Division 01 Section "Operation and Maintenance Data," include the following:
 - 1. Data for each type of product, including features and operating sequences, both automatic and manual.
 - 2. Central-station control-unit hardware and software data.
- I. Warranty: One year from date of acceptance.
- J. Other Information Submittals:
 - 1. Test Plan and Schedule: Test plan defining all tests required to ensure that system meets technical, operational, and performance specifications within 60 days of date of Contract award.
 - 2. Examination reports documenting inspections of substrates, areas, and conditions.
 - 3. Anchor inspection reports documenting inspections of built-in and cast-in anchors.

1.4 QUALITY ASSURANCE

- A. Installer Qualifications:
 - 1. An employer of workers, at least one of whom is a technician certified by the National Burglar & Fire Alarm Association.
 - 2. Manufacturer's authorized representative who is trained and approved for installation of units required for this Project.

1.5 DESCRIPTION OF SECURITY SYSTEM.

- A. Provide motion detectors in all corridor areas on all floor levels, administrative offices, computer labs, media centers, first floor classrooms with windows, libraries and all exterior doors. Motion detectors can be wall mounted or ceiling mounted. Provide wire guards on detectors in gymnasiums.
- B. Provide globe type long range (60 ft) motion detectors (similar to Bosch DS938Z) in corridor ceilings.
- C. Where roof mounted HVAC equipment is used, provide exterior beam detectors (Optex Model AX-250/500PLUS) mounted to fabricated brackets extended from exterior walls. Do not penetrate roof. Paint all exposed parts.
- D. Provide security keypads at the Administrative area and at the receiving areas.
- E. System shall include coverage of all portable buildings, and any remote chiller building, two interior motion detectors per building.

- F. Utilize a Napco GEM-EZM8 expansion module with power supply for every eight (8) devices, and connect expansion modules to security alarm panel with Cat. 5e cable, or 18/4 cable as required to support the expansion modules. Include cost for furnishing any electrical outlets required for expansion modules.
- G. If an existing security system is replaced, remove existing system panels devices and wiring after the new security system has been installed, tested, and accepted.

PART 2 - PRODUCTS

2.1 ACCEPTABLE MANUFACTURER

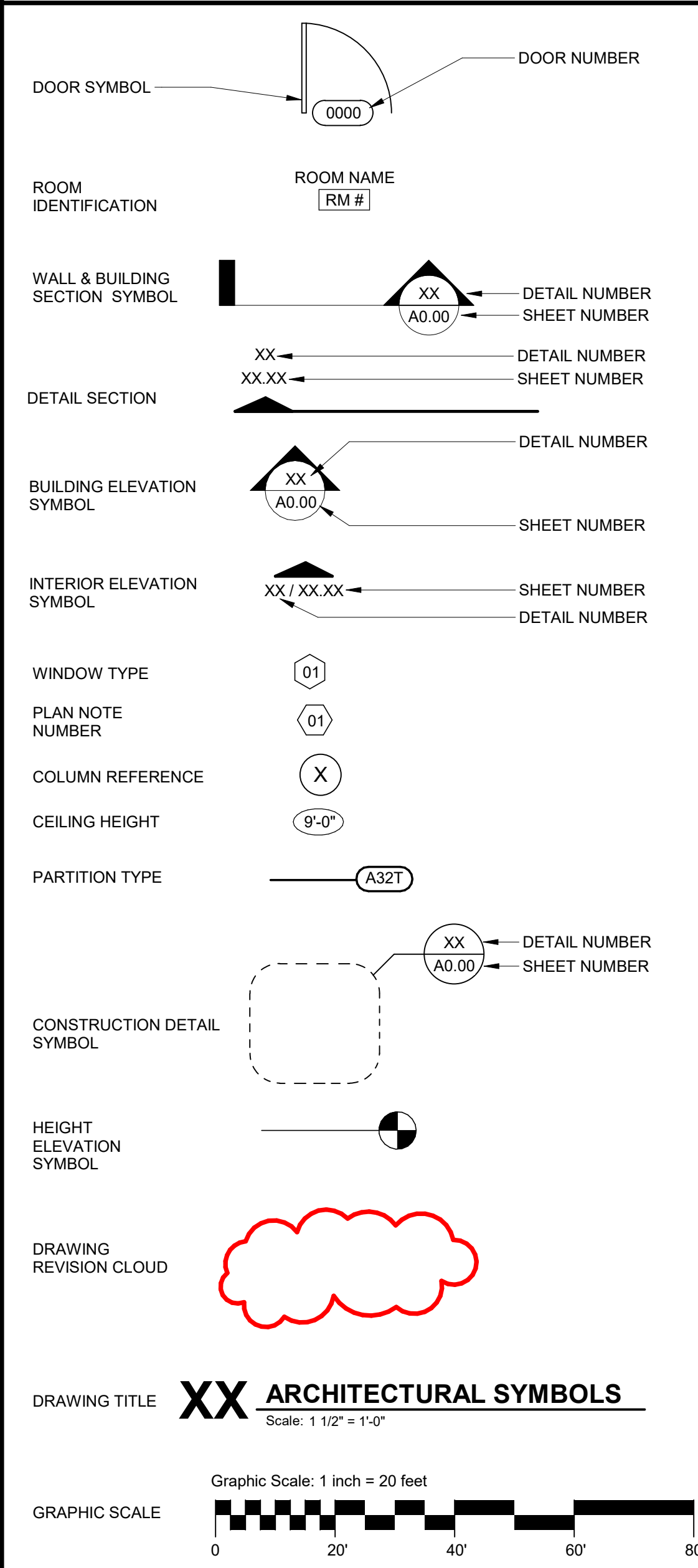
- A. NAPCO's Gemini GEM-P9600.

2.2 DEMONSTRATION

- A. Engage a factory-authorized service representative to train Owner's maintenance personnel to adjust, operate, and maintain intrusion detection. Refer to Division 01 Section "Demonstration and Training."

END OF SECTION

ARCHITECTURAL SYMBOLS



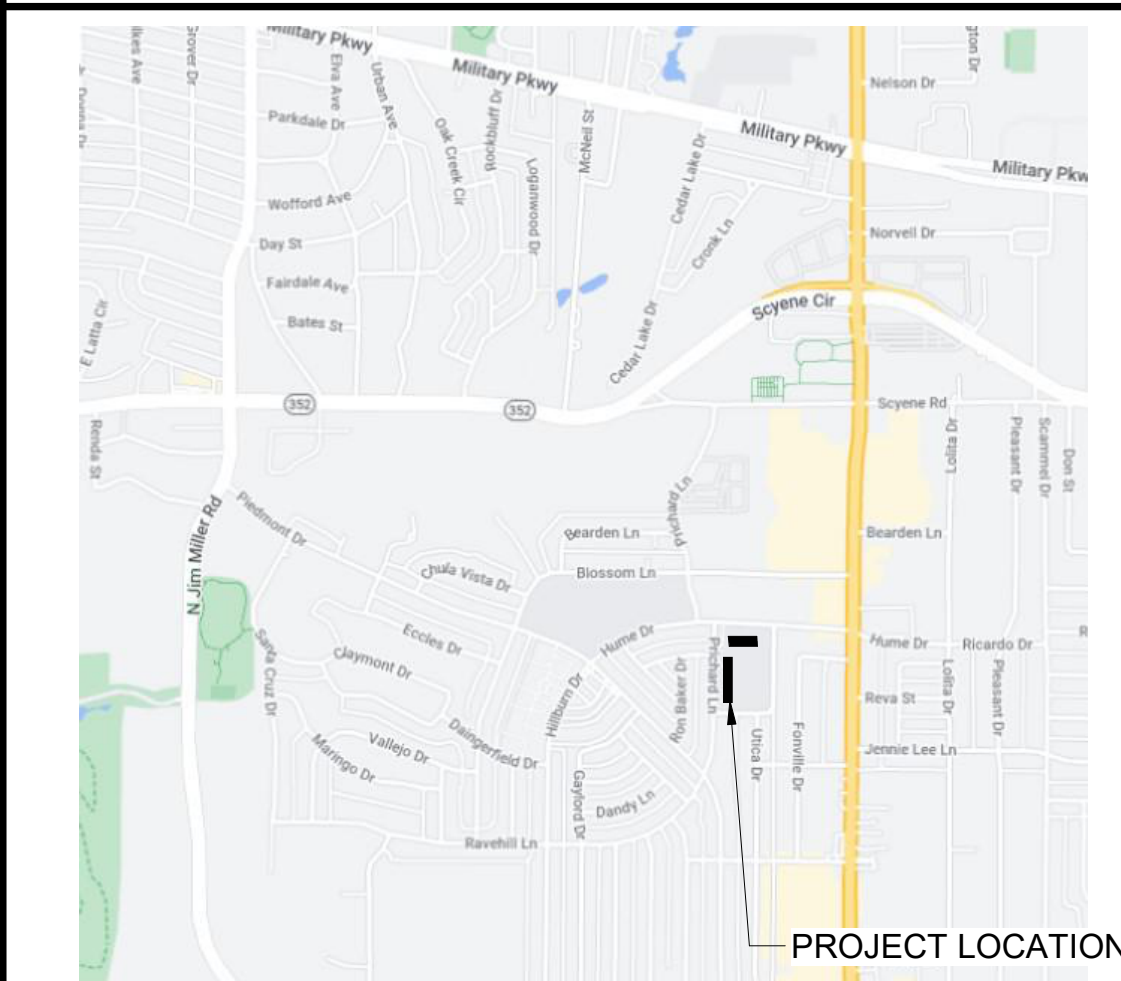
BUILDING/CODE INFORMATION

SITE: 8.0 ACRES 350.075 S.F.
TOTAL BUILDING AREA: 174,000 SF
PARKING REQUIRED: 65
PARKING PROVIDED: 70 SPACES
2021 INTERNATIONAL BUILDING CODE W/ DALLAS AMENDMENTS
2021 INTERNATIONAL PLUMBING CODE W/ DALLAS AMENDMENTS
2021 INTERNATIONAL MECHANICAL CODE W/ DALLAS AMENDMENTS
2020 NATIONAL ELECTRICAL CODE W/ DALLAS AMENDMENTS
2021 INTERNATIONAL FIRE CODE W/ DALLAS AMENDMENTS
2021 INTERNATIONAL ENERGY CONSERVATION CODE W/ DALLAS AMENDMENTS
2012 TEXAS ACCESSIBILITY STANDARDS
ZONING: XXXXX
MUNICIPALITY: DALLAS
OCCUPANCY CLASSIFICATION: E - EDUCATION
OCCUPANT LOAD: E
CONSTRUCTION TYPE: II-B

SCOPE OF WORK

CIVIL
ARCHITECTURAL
MECHANICAL / ELECTRICAL / PLUMBING / TECHNOLOGY
A. PARTITIONS ABUTTING WINDOW WALL SYSTEM SHALL NOT BE ATTACHED TO MULLIONS BY SCREWS OR OTHER MECHANICAL FASTENERS...
B. PROVIDE BRACINGS ABOVE GLAZED OPENING FRAMES & CEILING-HEIGHT PARTITIONS...
C. ALL TOILET ROOM WALLS TO RECEIVE MOISTURE RESISTANT GYPSUM WALLBOARD...
D. ALL DIMENSIONS ARE TO FINISH FACE OF PARTITION, INCLUDING WOOD OR STONE FINISHES...

VICINITY MAP



GENERAL NOTES

THE AMERICAN INSTITUTE OF ARCHITECTS STANDARD FORM AIA DOCUMENT A201, SEVENTEENTH EDITION, 2017 "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION," IS HEREBY MADE A PART OF THESE CONTRACT DOCUMENTS.
UNLESS OTHERWISE INDICATED, THE CONTRACTOR WILL PROCURE AND PAY FOR ALL PERMITS, TESTS, LICENSES, CERTIFICATES, TAP FEES, IMPACT FEES AND REGISTRATIONS REQUIRED BY ALL AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT.
THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING PERFORMANCE OF THE WORK.
UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, TEMPORARY UTILITIES, EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY, TRANSPORTATION, AND OTHER FACILITIES AND SERVICES NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.

DRAWING INDEX

GENERAL

Table with columns: NUMBER, SHEET NAME, SD PHASE, DD PHASE, 50% CD, 95% CD, 100% CD, BID SET, CURRENT SET

CIVIL

Table with columns: NUMBER, SHEET NAME, SD PHASE, DD PHASE, 50% CD, 95% CD, 100% CD, BID SET, CURRENT SET

ARCHITECTURAL

Table with columns: NUMBER, SHEET NAME, SD PHASE, DD PHASE, 50% CD, 95% CD, 100% CD, BID SET, CURRENT SET

STRUCTURAL

Table with columns: NUMBER, SHEET NAME, SD PHASE, DD PHASE, 50% CD, 95% CD, 100% CD, BID SET, CURRENT SET

MECHANICAL

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PLUMBING

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ELECTRICAL

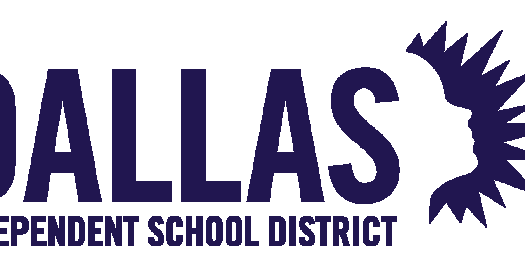
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ROOFING

Table with columns: NUMBER, SHEET NAME, SD PHASE, DD PHASE, 50% CD, 95% CD, 100% CD, BID SET, CURRENT SET

ABBREVIATIONS

Table listing abbreviations and their meanings for various construction materials and terms.



Jacobs

ORG 207 DISD SAN JACINTO ELEMENTARY

INDEX OF DRAWINGS

DRAWING RECORD

Table with columns: DATE, DESCRIPTION, and rows listing drawing revisions from 04/29/24 to 11/01/24.

PROJECT NO.: 2023209

ROOF SYSTEM SCHEDULE

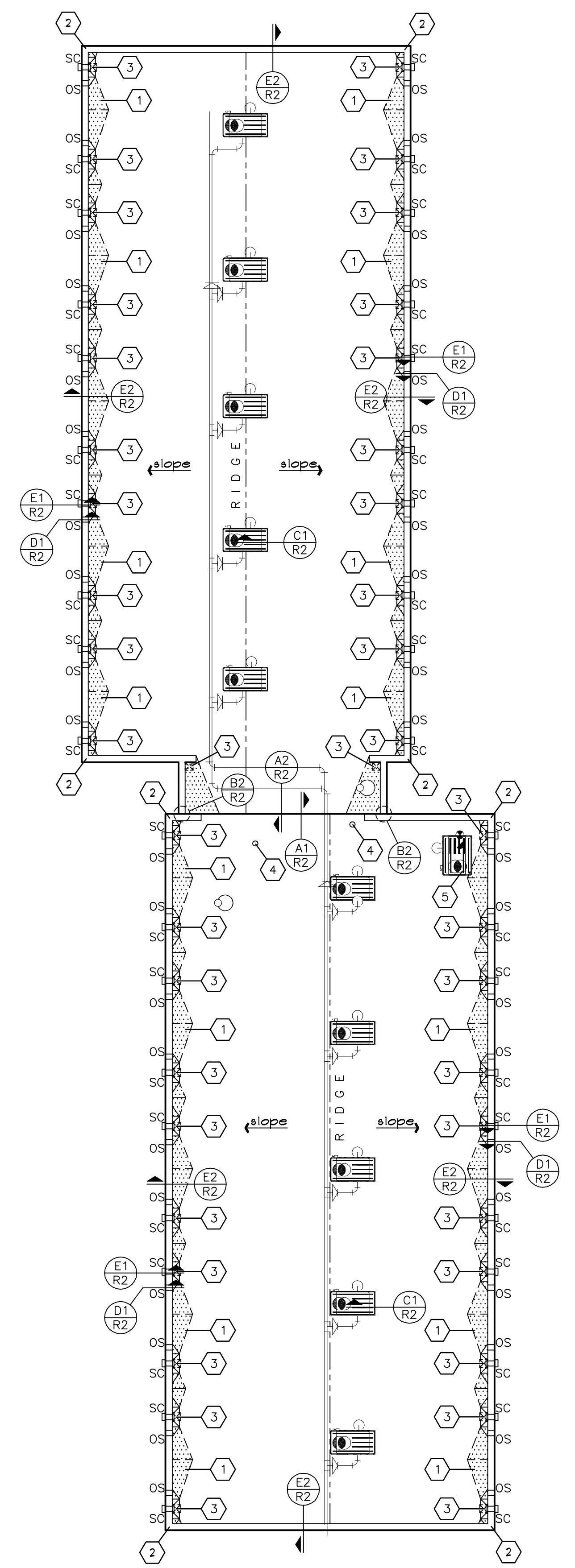
- ALL AREAS (UNLESS OTHERWISE NOTED)
- ROOF COATING AS SPECIFIED
 - SPRAYED POLYURETHANE FOAM
 - OVER SCARIFIED EXISTING POLYURETHANE FOAM

NOTES TO CONTRACTOR and HABITUAL PUNCH LIST ITEMS

- 1-FORM CRICKETS ON THE HIGH SIDE OF ALL WALLS, CURBS, OR OTHER OBSTRUCTIONS 24" WIDE OR GREATER TO DIVERT STORM WATER DRAINAGE TO DISCHARGE AREAS (I.E. ROOF DRAINS, SCUPPERS, GUTTERS ETC.) MINIMUM 1/4" PER FOOT NET SLOPE REQUIRED.
- 2-VERIFY NUMBER AND LOCATIONS OF ALL ROOF TOP EQUIPMENT AND PENETRATIONS WITH MEP DRAWINGS. FINAL LOCATIONS TO BE COORDINATED WITH ARCHITECTURAL, STRUCTURAL, AND ROOFING.
- 3-EACH ROOF PENETRATION TO BE FLASHING INDEPENDENTLY FROM EACH OTHER (NOT GANGED). PENETRATIONS THRU BASE FLASHING AT SIDES OF CURBS OR WALLS ARE NOT PERMITTED.
- 4-PROVIDE 18" MINIMUM HORIZONTAL FLASHING CLEARANCE ON ALL SIDES OF EACH ROOF PENETRATION AND CURBS FROM OTHER ROOF PENETRATIONS, CURBS, EDGES, OR VALLEYS. PROVIDE 24" MINIMUM CLEARANCE ON ALL SIDES OF CURBS FROM OTHER CURBS AND/OR WALLS.
- 5-PROVIDE CONCRETE SPLASHBLOCKS AT ALL ROOF DRAIN LINE DISCHARGE AND/OR DOWNSPOUT LOCATIONS. SET CONCRETE SPLASHBLOCKS ON TRAFFIC PADS AT ALL ROOF LEVEL LOCATIONS.
- 6-PROVIDE TRAFFIC PADS AT THE TOP AND BOTTOM OF ALL ROOF LADDERS, ON ALL SIDES OF MECHANICAL EQUIPMENT, AROUND ANY ROOF ACCESS LOCATIONS, AND UNDER ALL OVER ROOF PIPE OR DUCT SUPPORTS. UNIT SIZE OF TRAFFIC PAD TO BE THREE FEET WIDE WITH ONE INCH JOINTS AT SIX FEET ON CENTER. AT PIPE OR DUCT SUPPORTS, EXTEND TRAFFIC PADS 4" BEYOND EACH SIDE OF SUPPORT.
- 7-ALL ROOF TOP EQUIPMENT TO BE PROPERLY SUPPORTED BY ROOF CURB OR EQUIPMENT CURB SUPPORT.
- 8-AT SPUF ROOFS, TEAR OUT EXISTING PIPE FLASHING, CLEAN, REFOAM, AND RECOAT. PROVIDE 14" MINIMUM FLASHING HEIGHT. PENETRATIONS TO BE RIGID AND FULLY SUPPORTED BELOW DECK WITH 18" MINIMUM SEPARATION BETWEEN EACH PENETRATION AND CURBS OR WALLS. FLASH REFRIGERANT LINES PRIOR TO INSTALLATION OF FOAM PIPE INSULATION.
- 9-ALL ROOF SYSTEM BASE FLASHING TO BE 14" MINIMUM ABOVE ROOF SURFACE, INCLUDING ALL PENETRATION FLASHING. RAISE ALL EXISTING EQUIPMENT OR PENETRATIONS TO ACCOMMODATE.
- 10-MITER AND SOLDER ALL CORNERS OF SHEET METAL COUNTER FLASHING AT ROOF CURBS. VERIFY CURBS ARE PROPERLY SIZED.
- 11-VERIFY PIPE SUPPORTS ARE PROPERLY SIZED FOR SIZE AND WEIGHT OF OVER ROOF UTILITY LINES. PLACE SUPPORTS AT 8'- 0" O.C. MAXIMUM SPACING AND WITHIN 2'- 0" OF CHANGE IN PIPE DIRECTION. DECREASE SPACING AS REQUIRED TO REMAIN WITHIN PIPE SUPPORT DESIGN LOADS. PIPE SUPPORTS WITH ROLLERS REQUIRED FOR 1.25" DIAMETER PIPING OR GREATER. PROVIDE PADS UNDER ALL SUPPORTS THAT EXTEND 4" BEYOND EACH SIDE OF SUPPORT.
- 12-TEMPORARY PROTECTION FOR INSTALLED ROOFING MEMBRANE REQUIRED BY ANY TRADE PERFORMING WORK OVER ROOF SYSTEM. FURTHER PROTECT ROOF AGAINST DAMAGE FROM CUTTING OILS, REFRIGERANT OILS, SOLDER, ETC.
- 13-VERIFY WEEPS ARE INSTALLED ABOVE THRU-WALL FLASHINGS AND ROOF BASE FLASHING AT ALL MASONRY RISE WALLS THAT OCCUR ABOVE ROOFING.
- 14-VERIFY OVERFLOW DRAIN INLETS ARE SET TWO INCHES ABOVE PRIMARY DRAIN.
- 15-PONDING WATER 48 HOURS AFTER RAINFALL IS UNACCEPTABLE.
- 16-VERIFY DRAIN STRAINERS ARE METAL AND NOT PLASTIC. VERIFY CLAMPING RINGS ARE PROPERLY SECURED.
- 17-VERIFY ALL DRAIN LINES (ROOF DRAINS, OVERFLOW DRAINS, DOWNSPOUTS, ETC.) ARE OPEN AND IN PROPER WORKING ORDER.
- 18-VERIFY GAS DIRT LEGS ARE ONE INCH MINIMUM ABOVE FINISHED ROOF SURFACE.
- 19-ALL FASTENER SPACING TO BE 8" O.C. MAXIMUM UNLESS OTHERWISE NOTED.
- 20-STEP FLASHING IS NOT PERMITTED. MAINTAIN CONSISTENT THRU-WALL FLASHING AND BASE FLASHING ELEVATION.
- 21-PROVIDE BOND BREAKER BETWEEN ALL GALVANICALLY INCOMPATIBLE METALS.
- 22-PRIME AND PAINT ALL ROOF LEVEL GAS PIPING.
- 23-FULLY SOLDER ALL JOINTS OF THROUGH-WALL SCUPPERS. APPLY SEALANT CONTINUOUSLY AROUND ALL EDGES OF FACE PLATE.
- 24-PROVIDE PRE-MANUFACTURED EDGE PROTECTION RAILING SYSTEM AT ALL ROOF EDGES WHERE REQUIRED BY CODE.
- 25-IF THERE ARE ADJUSTMENTS TO THE EXISTING ROOF OPENINGS OR CONFLICTS WITH THE EXISTING STRUCTURE REGARDING ROOF TOP UNITS, CONTACT THE ARCHITECT/EOR.

SYMBOL NOTES TO CONTRACTOR

- 1 PROVIDE CRICKETS (SLOPE 1/2" PER FOOT) AT ALL LOCATIONS INDICATED ON ROOF PLAN AND ON THE HIGH SIDE OF ALL WALLS, CURBS, OR OTHER OBSTRUCTIONS 24" WIDE OR GREATER TO DIVERT STORM WATER DRAINAGE TO DISCHARGE AREAS (I.E. SCUPPERS). MINIMUM 1/4" PER FOOT NET SLOPE REQUIRED.
- 2 FABRICATE PRE-FINISHED SHEET METAL WALL COPING CORNERS WITH JOINTS 18" INCHES MINIMUM TO 36" INCHES MAXIMUM FROM CORNERS. PROVIDE FULLY SOLDERED GALVANIZED COPING CORNER UNDER PRE-FINISHED COVER PIECE.
- 3 FILL ALL DRAIN SUMP WITH WOOD SHEATHING TO MATCH EXISTING.
- 4 VERIFY ALL EXISTING VENT LOCATIONS TO REMAIN. REPLACE ALL REMAINING VENTS FABRICATED WITH 24 GAUGE GALVANIZED SHEET METAL SOLDER ALL JOINTS WATERTIGHT.
- 5 COORDINATE WITH STRUCTURAL AND MEP TO RELOCATE UNIT AWAY FROM CRICKET 24" MINIMUM FROM VALLEY LINE. PROVIDE RAILING SYSTEM IF UNIT IS LESS THAN TEN FEET AWAY FROM PERIMETER OF ROOF.



1 ROOF PLAN
Scale: 1/16" = 1' - 0"



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7900 Hume Dr. Dallas, TX 75227

ROOF PLAN

DRAWING RECORD	
DATE	DESCRIPTION
11/01/24	Addendum 03

R1

**ORG 207 DISD SAN JACINTO
 ELEMENTARY**

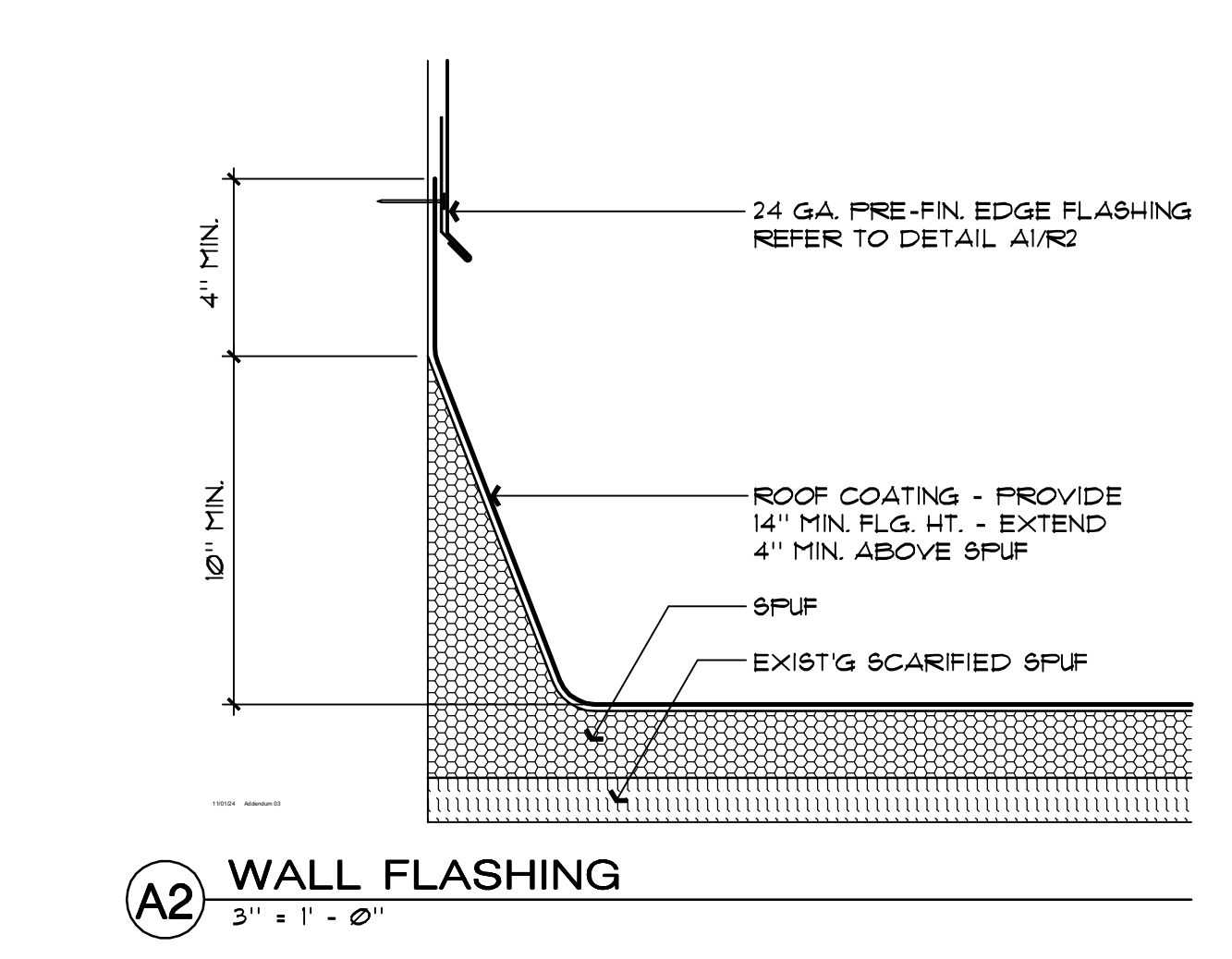
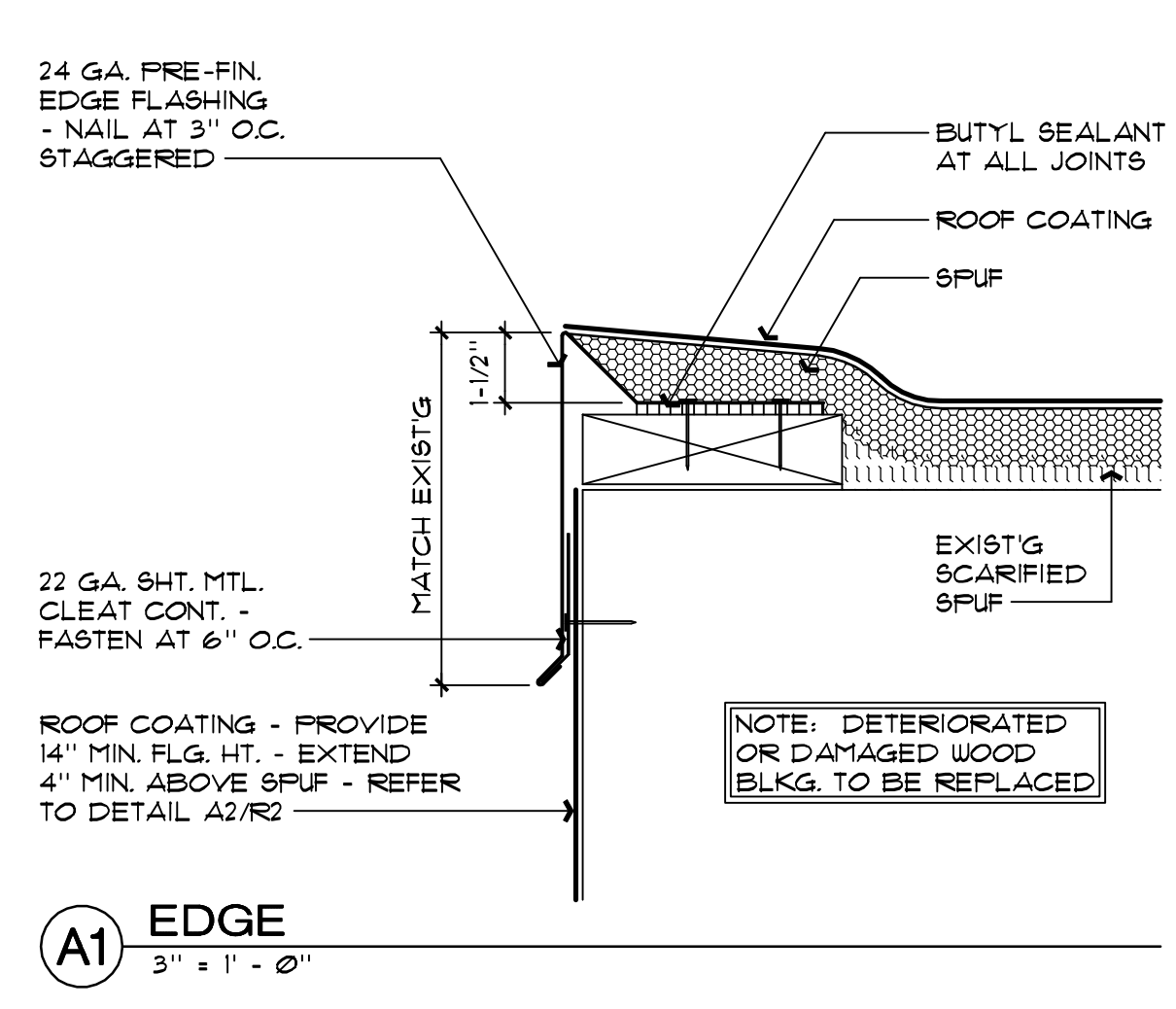
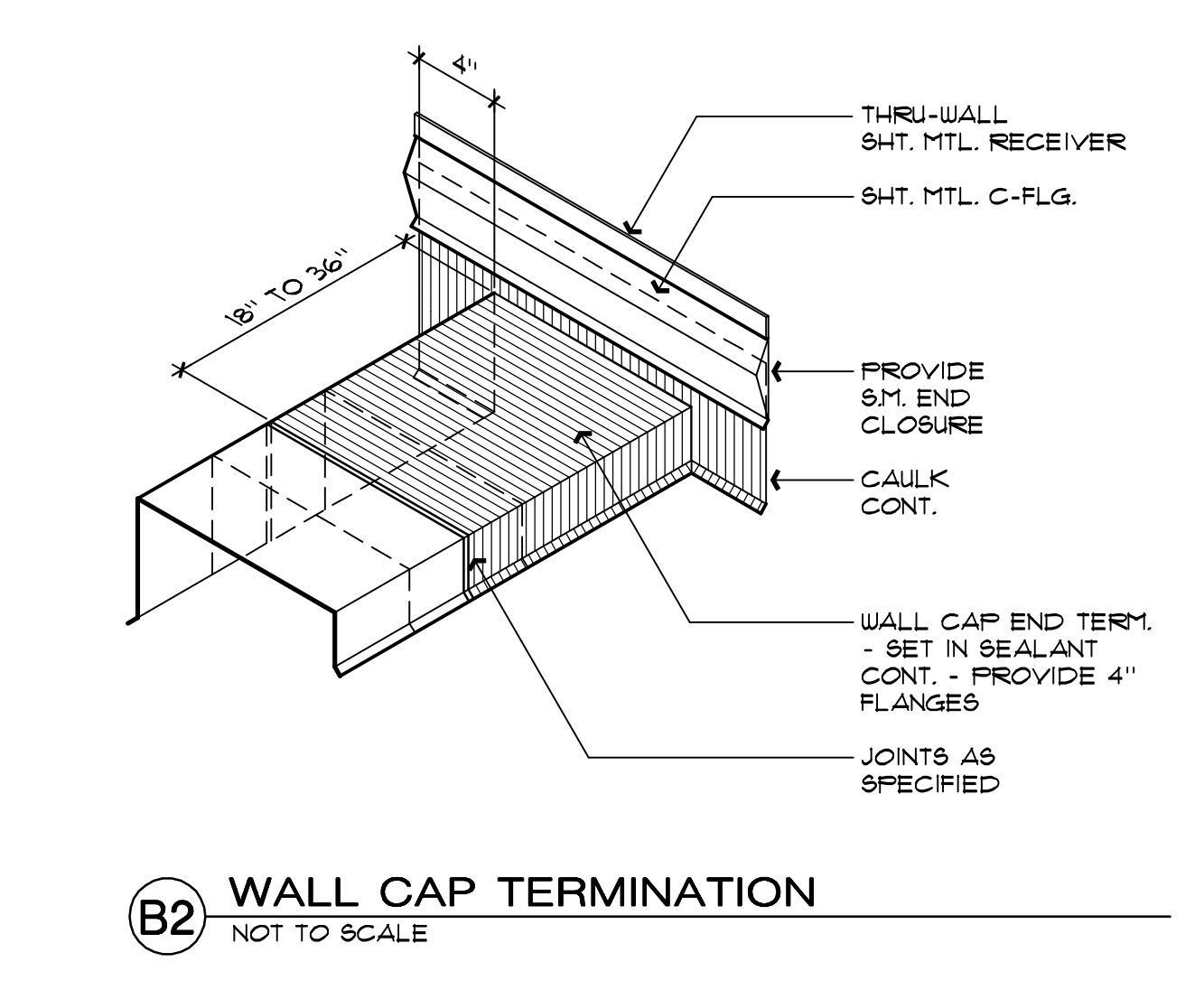
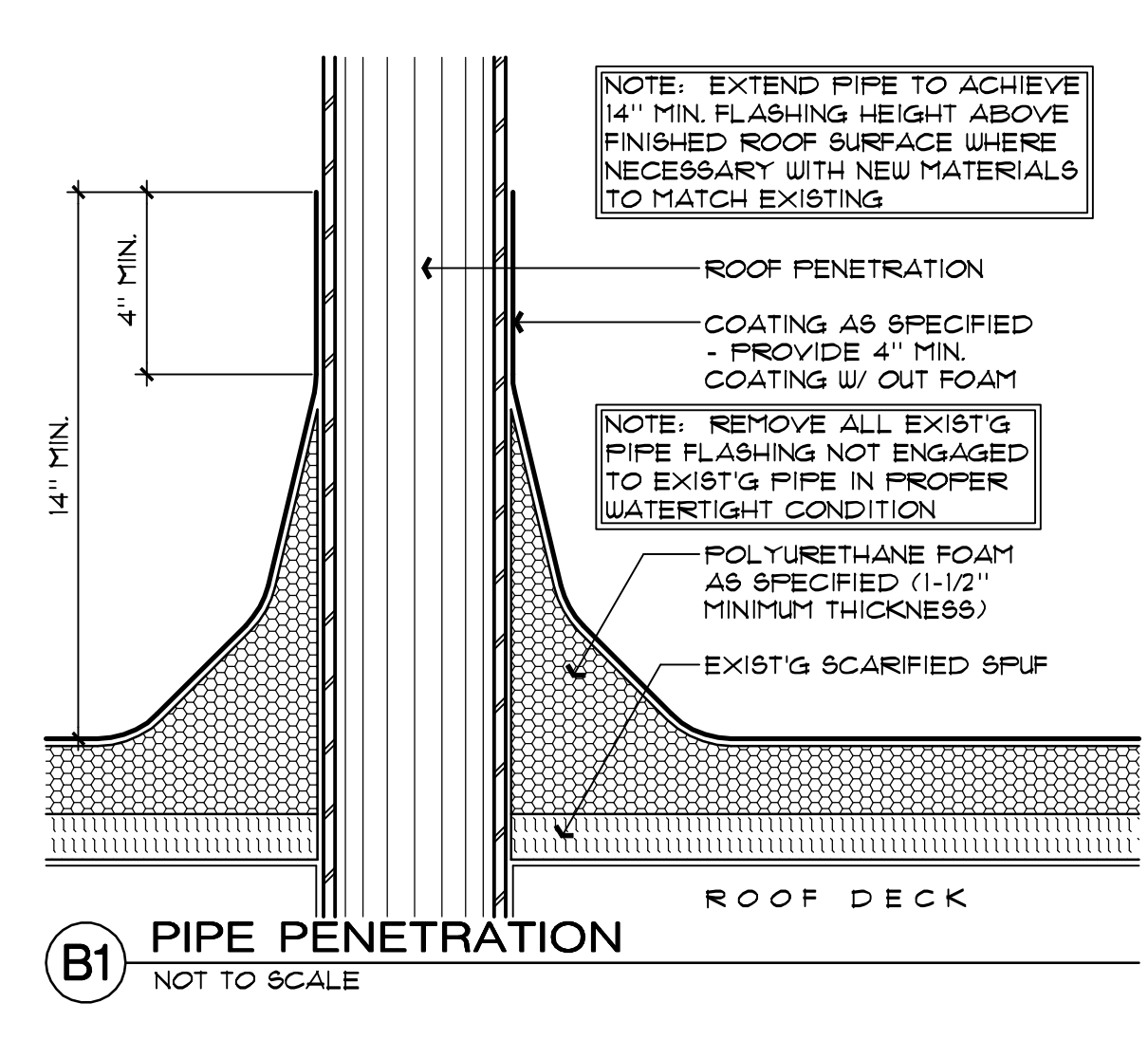
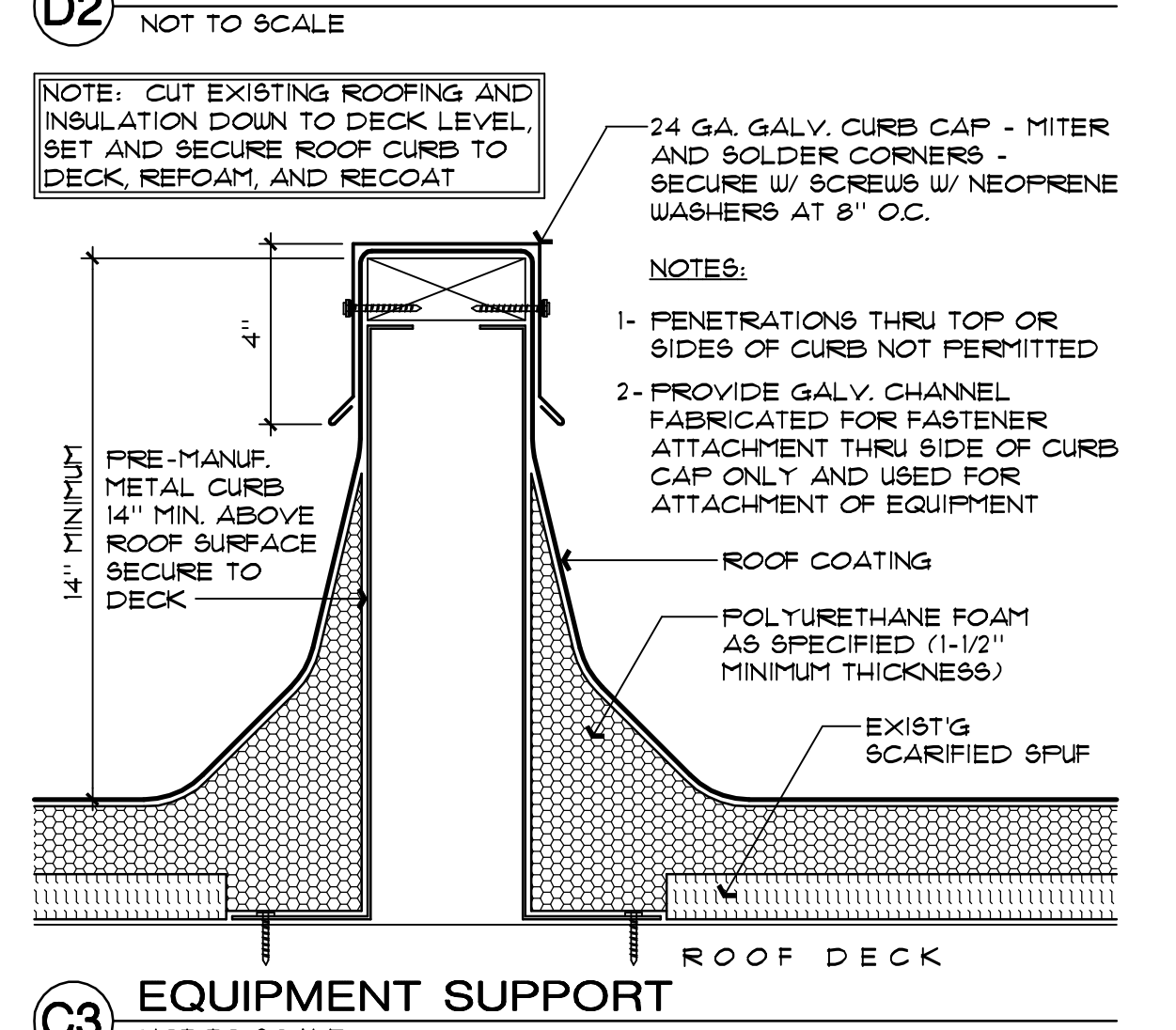
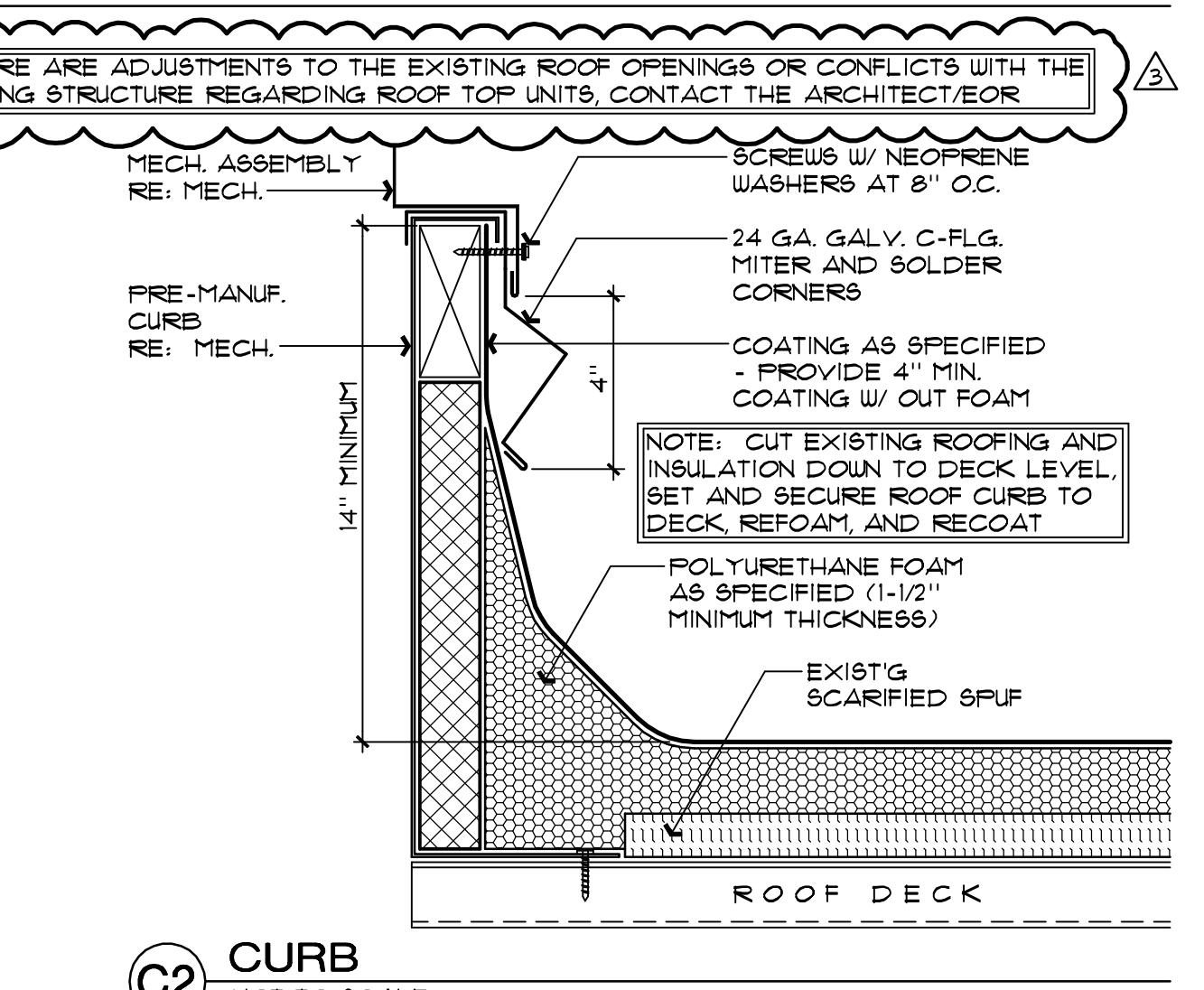
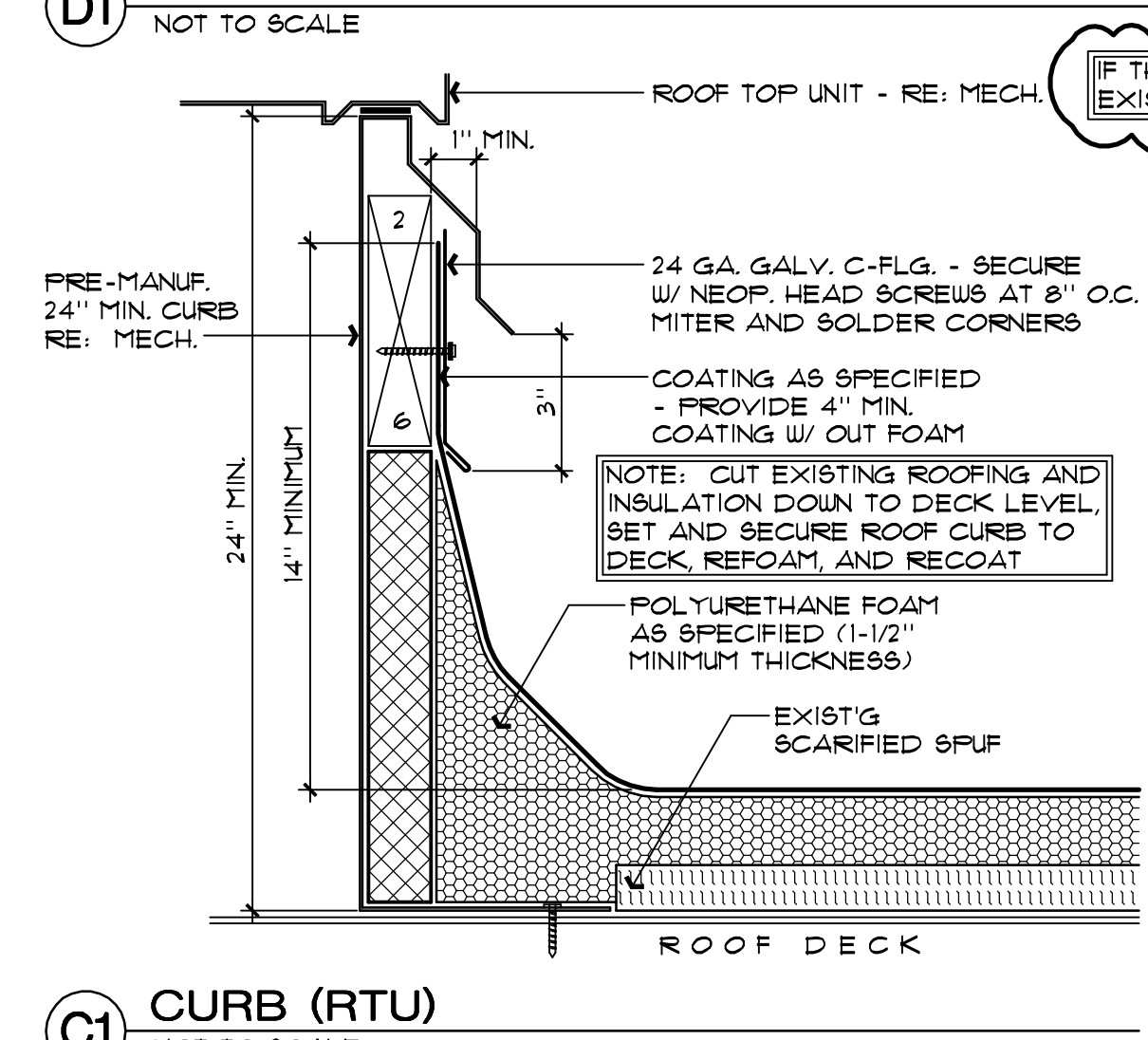
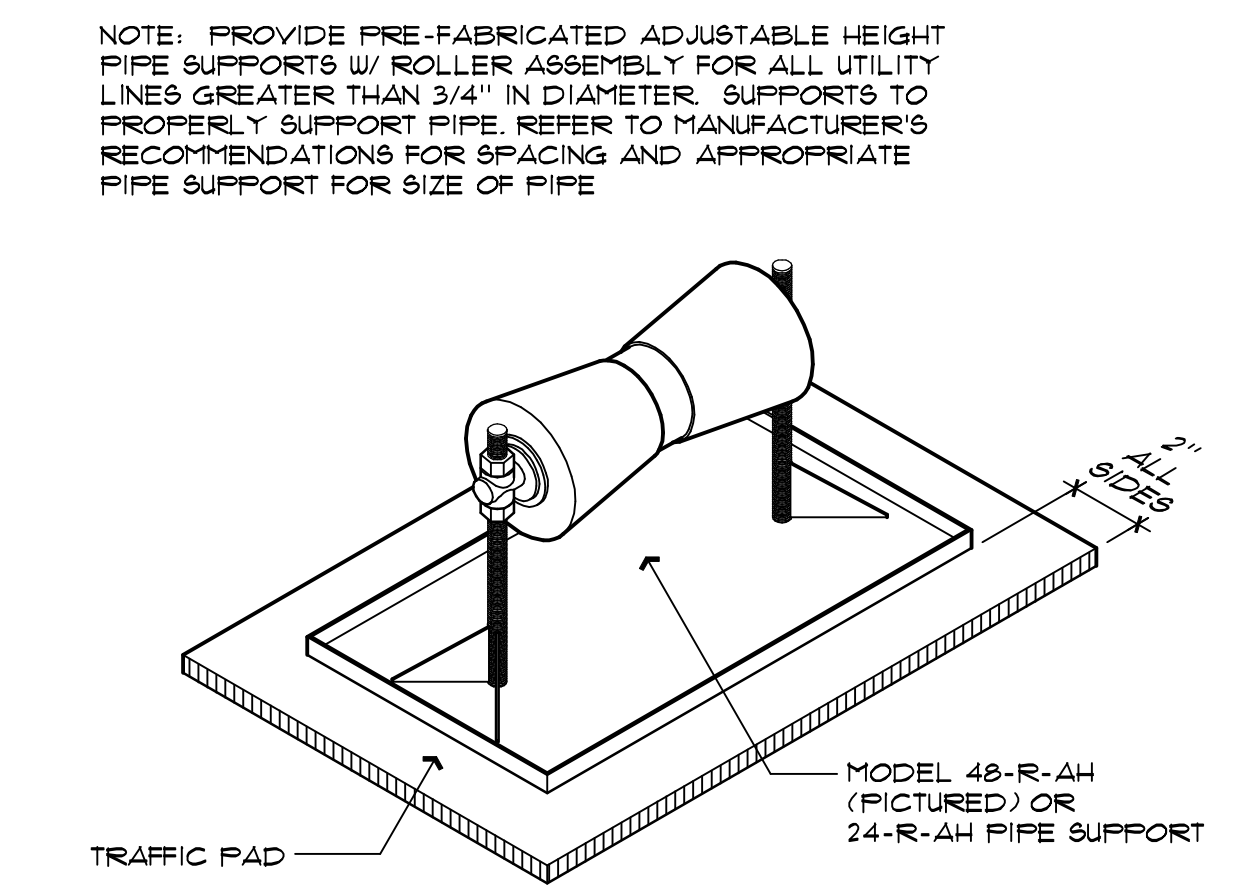
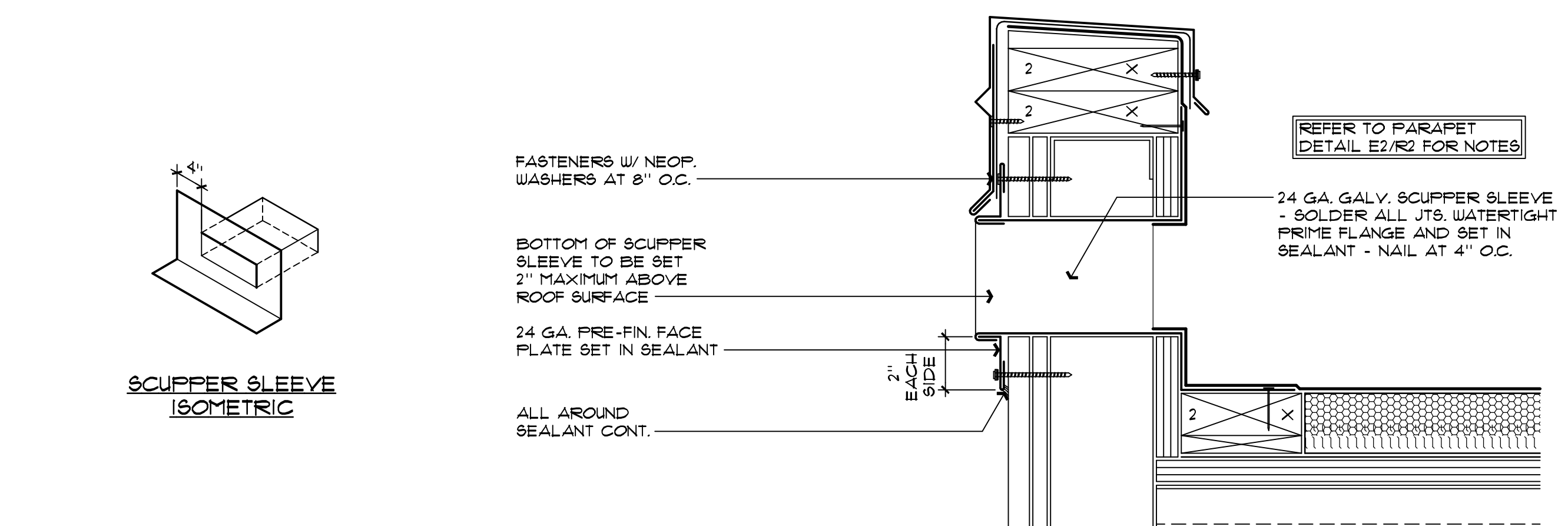
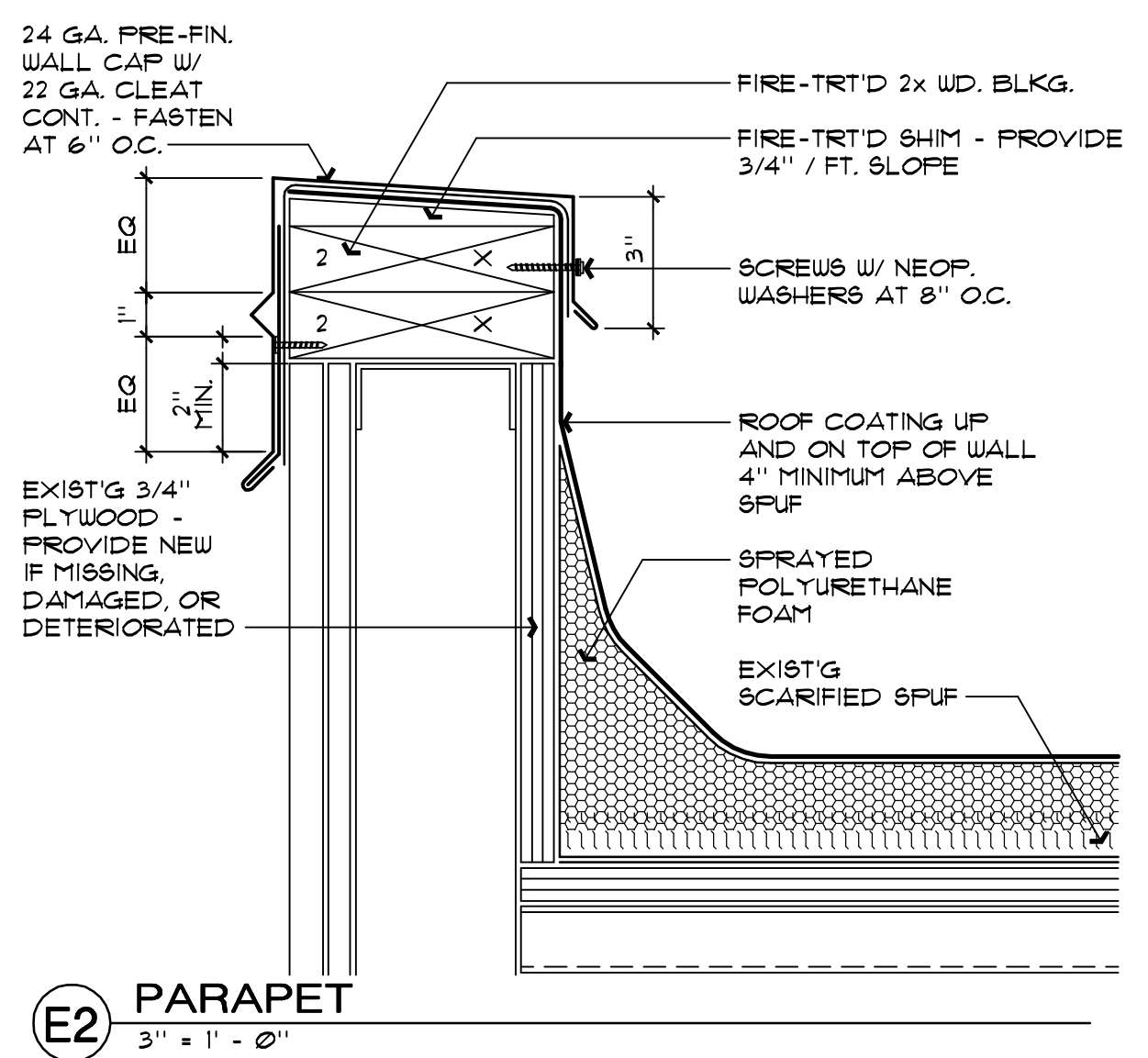
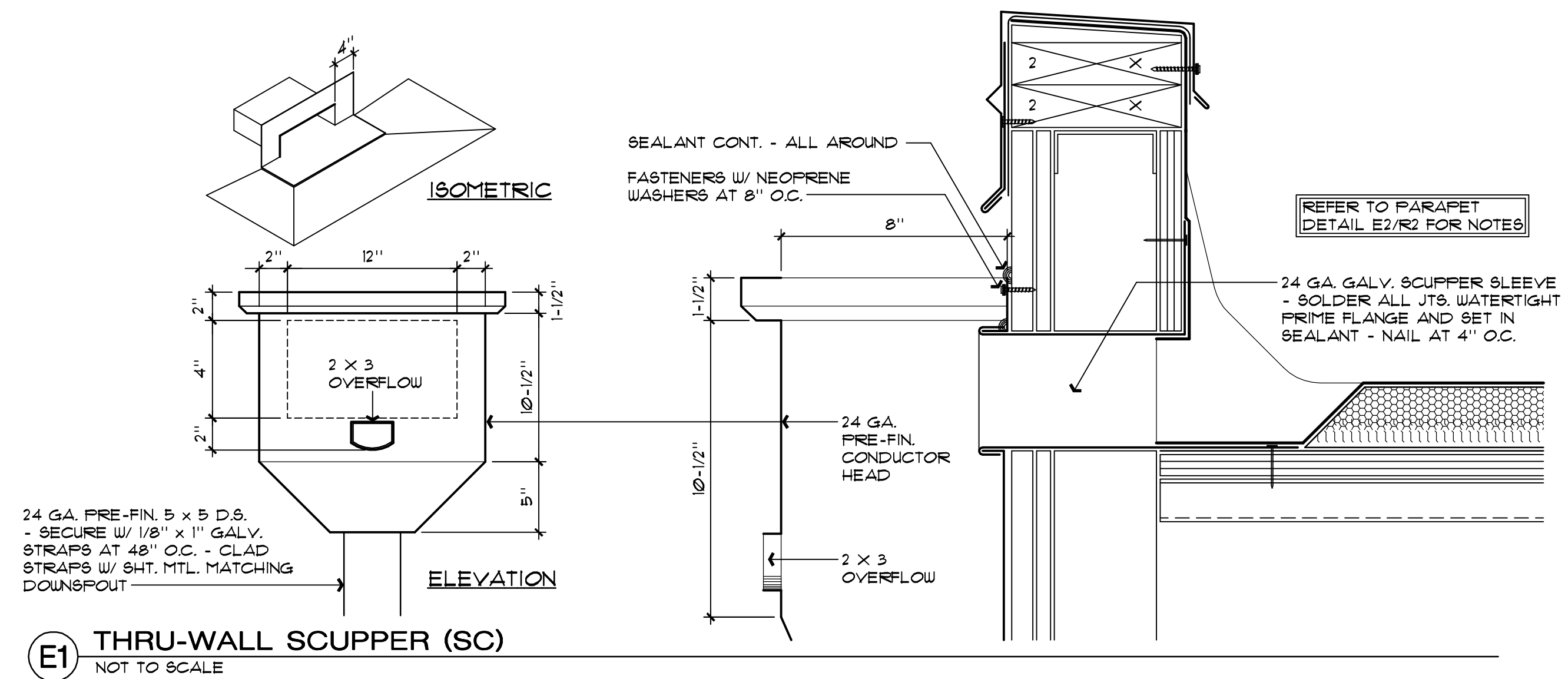
7900 Hume Dr., Dallas, TX 75227

ROOF DETAILS

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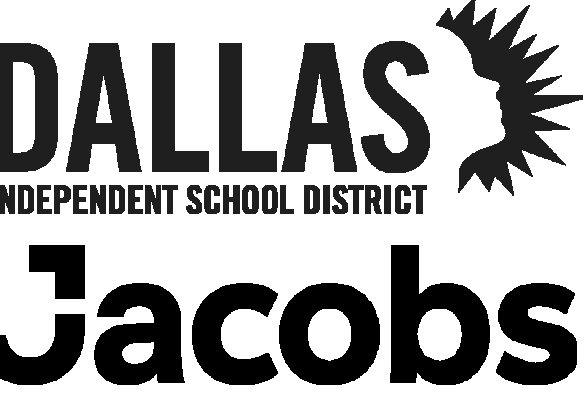
DATE	DESCRIPTION
11/01/24	Addendum 03

R2





10/31/24



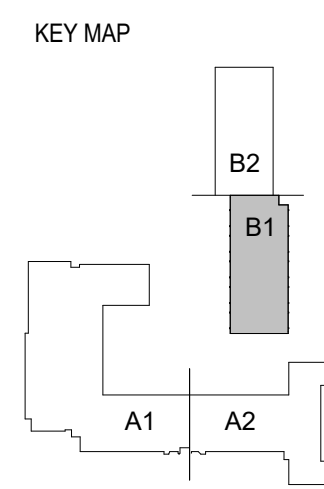
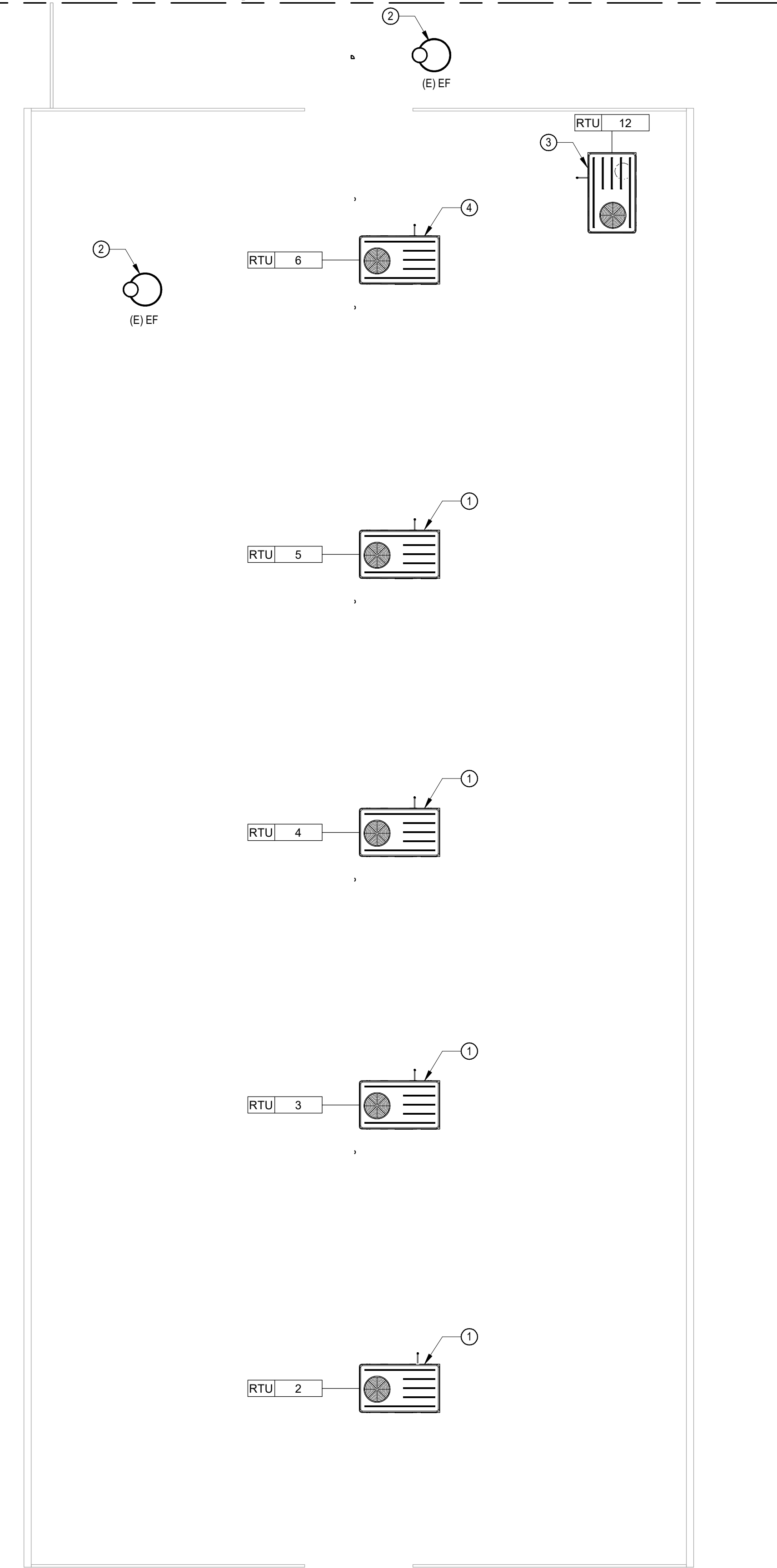
LEGEND

	EXISTING
	NEW
	NOT IN SCOPE

- MECHANICAL GENERAL NOTES:**
1. FINAL LOCATIONS OF ALL AIR DEVICES SHALL BE COORDINATED WITH ARCHITECTURAL CEILING FINISHES.
 2. ALL DUCT SIZE NOTES REFER TO CLEAR INSIDE DIMENSION OF DUCT.
 3. PROVIDE VOLUME DAMPERS FOR ALL SUPPLY, RETURN, AND EXHAUST BRANCH DUCTS TO BALANCE SYSTEM.

- NOTES BY SYMBOL:**
1. PROVIDE NEW PACKAGED DX RTU WITH GAS HEAT SERVING CLASSROOMS. CONNECT TO EXISTING DUCTWORK. PROVIDE WITH NEW ROOF CURB. PROVIDE WITH NEW CONDENSATE DRAIN PIPING ROUTED DOWN THROUGH ROOF. PROVIDE WITH NEW THERMOSTAT IN CLASSROOM.
 2. NEW ROOF REPLACEMENT. REINSTALL EXISTING FAN. CONNECT TO EXISTING DUCTWORK. PROVIDE WITH NEW ROOF CURBS.
 3. PROVIDE NEW PACKAGED DX RTU SERVING MDF ROOM. CONNECT TO EXISTING DUCTWORK. PROVIDE WITH NEW ROOF CURB. PROVIDE WITH NEW CONDENSATE DRAIN PIPING ROUTED DOWN THROUGH ROOF. PROVIDE WITH NEW THERMOSTAT IN CLASSROOM. PROVIDE UNIT WITH FALL PROTECTION RAILING.
 4. PROVIDE 15000 TON PACKAGED DX RTU WITH GAS HEAT SERVING CLASSROOMS. CONNECT TO EXISTING DUCTWORK. PROVIDE WITH NEW ROOF CURB. PROVIDE WITH NEW CONDENSATE DRAIN PIPING ROUTED DOWN THROUGH ROOF. PROVIDE WITH NEW THERMOSTAT IN CLASSROOM.

1 / M1.34



1 PARTIAL MECHANICAL ROOF PLAN 'B1'
 SCALE: 1/8" = 1'-0"

PARTIAL MECHANICAL ROOF PLAN 'B1'

DRAWING RECORD

DATE	DESCRIPTION
09/18/24	BID SET
11/01/24	ADDENDUM 03

M1.33

PROJECT NO.: 2023209

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 7900 Hume Dr, Dallas, TX 75227

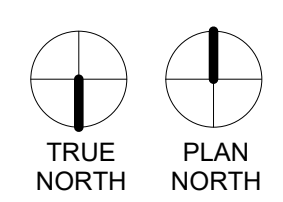
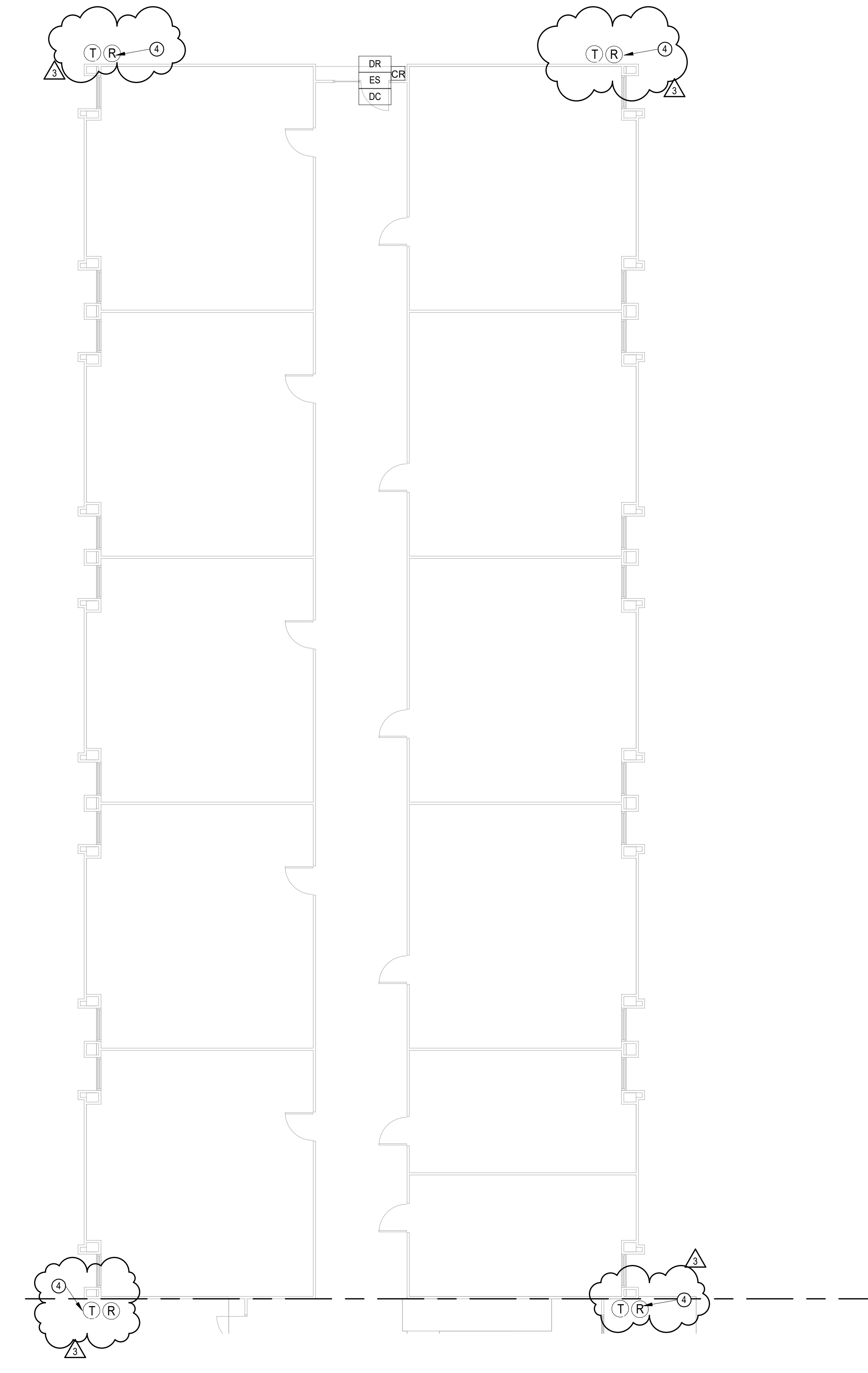
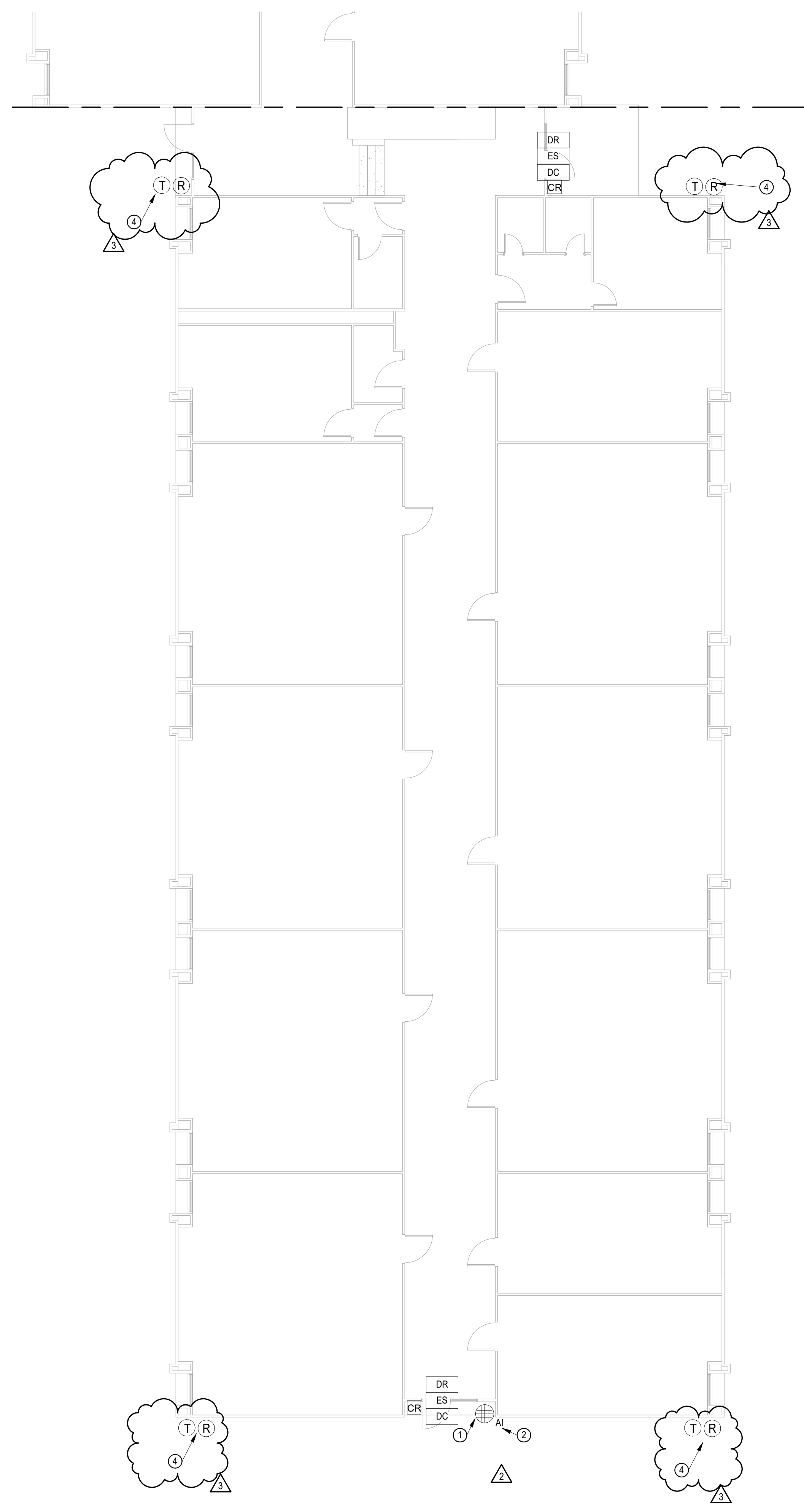
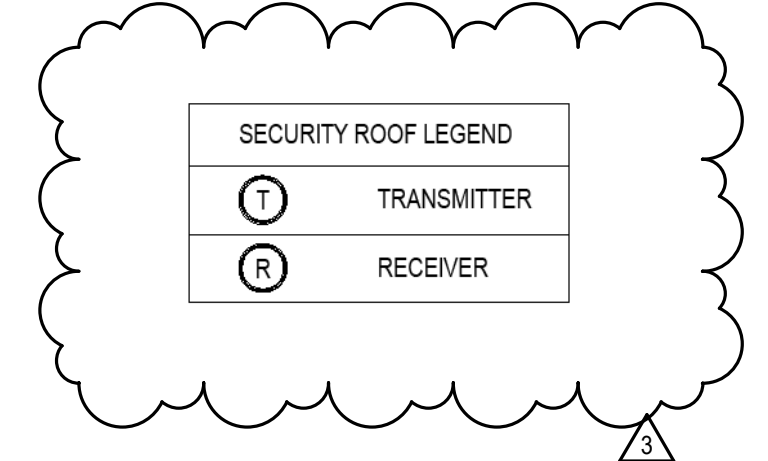
SECURITY GENERAL NOTES:

1. ALL WIRING SHALL BE PLENUM RATED OR IN 3/4" CONDUIT AND SHALL BE AS PER MANUFACTURER'S RECOMMENDATIONS.
2. COORDINATE WITH OTHER MECHANICAL, PLUMBING AND ELECTRICAL DEVICES TO AVOID ANY CONSTRUCTION CONFLICTS.
3. ALL CONDUIT AND WIRING TO BE CONCEALED.
4. WHERE PLANS CALL FOR A MOTION SENSOR, RUN A DATA CABLE FROM THE CLOSEST SECURITY PATCH PANEL TO A JUNCTION BOX WITH A FACE PLATE MOUNTED FLUSH IN THE CEILING IN THE AREA WHERE THE PLAN INDICATES THE SENSOR.
5. PROVIDE MOTION DETECTORS IN SECURED VESTIBULE.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ELECTRICAL OUTLETS WHERE POWER EXPANSION MODULES ARE LOCATED.
7. COORDINATE WITH ELECTRICAL CONTRACTOR FOR ALL CONDUITS AND JUNCTION BOX.
8. ALL CONDUIT, BACKBOXES FOR DOOR CONTROL SYSTEM AND LOW VOLTAGE DEVICES SHALL BE PROVIDED WITH PULL STRINGS BACK TO NEAREST IDF OR MDF ROOM.
9. ELECTRIFIED DOOR HARDWARE SHALL BE PROVIDED AND INSTALLED BY CONTRACTOR.
10. ALL CAMERAS AND DOOR ACCESS SYSTEMS WILL BE DESIGNED AND INSTALLED BY CONVERGENT TECHNOLOGIES IN CONJUNCTION WITH DALLAS ISD SECURITY.
11. PROVIDE BOX AND CONDUIT TO NEAREST ACCESSIBLE CEILING. VERIFY MOUNTING HEIGHT.
12. VERIFY AND DETERMINE WHETHER NEW WINDOWS WILL AFFECT CELLULAR IN MODULAR BUILDING. IF SO, PLEASE MAKE CORRECTIONS/COMMENTS AS NEEDED.
13. REMOVAL/REINSTALLATION OF EXISTING WAPS MUST BE COORDINATED WITH DISD IT AT LEAST 2 WEEKS IN ADVANCE.

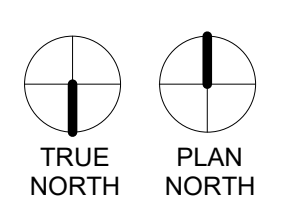
NOTES BY SYMBOL:

1. VIDEO INTERCOM WITH REMOTE RELEASE.
2. PROVIDE 2" C FROM RECEPTION 104 TO B BUILDING VIDEO INTERCOM. RUN CONDUIT BELOW EXISTING WALKWAY ROOF. COORDINATE EXACT CONDUIT SIZE WITH DISD SECURITY CONSULTANT.
3. PROVIDE 2" C FROM ADMINISTRATION OFFICE TO AI PHONE LOCATION. COORDINATE EXACT CONDUIT SIZE WITH DISD SECURITY CONSULTANT.
4. REPLACE EXISTING EXTERIOR LONG RANGE BEAM DETECTORS WITH A NEW OPTED MODEL AA-20080 PLUS LONG RANGE DETECTORS MOUNTED ON NEW FABRICATED POWDER COATED BRACKETS EXTENDED FROM EXTERIOR WALL. DO NOT PENETRATE ROOF. PAINT ALL EXPOSED PARTS. CONNECT TO NEW NAPCO GEMINI P-9800 PANEL. REFER TO SHEET 71E3.01 FOR BRACKET DETAILS.

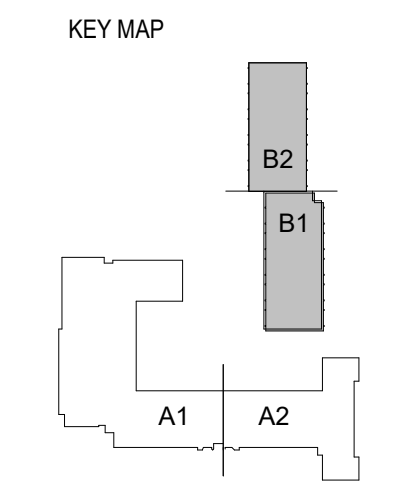
PROVIDE NEW NAPCO GEMINI GEM-P9800 FOR BUILDING B. CONNECT ALL EXISTING MOTION DETECTION DEVICES TO THIS NEW PANEL. EXTEND EXISTING CABLES AND RACEWAYS AS NEEDED. SITE VERIFY ALL EXISTING MOTION DETECTION DEVICES ARE COMPATIBLE WITH THE NEW P9800 PANEL.



2 SECURITY AND SYSTEM PLAN - FIRST FLOOR - AREA 'B2'
SCALE: 1/8" = 1'-0"

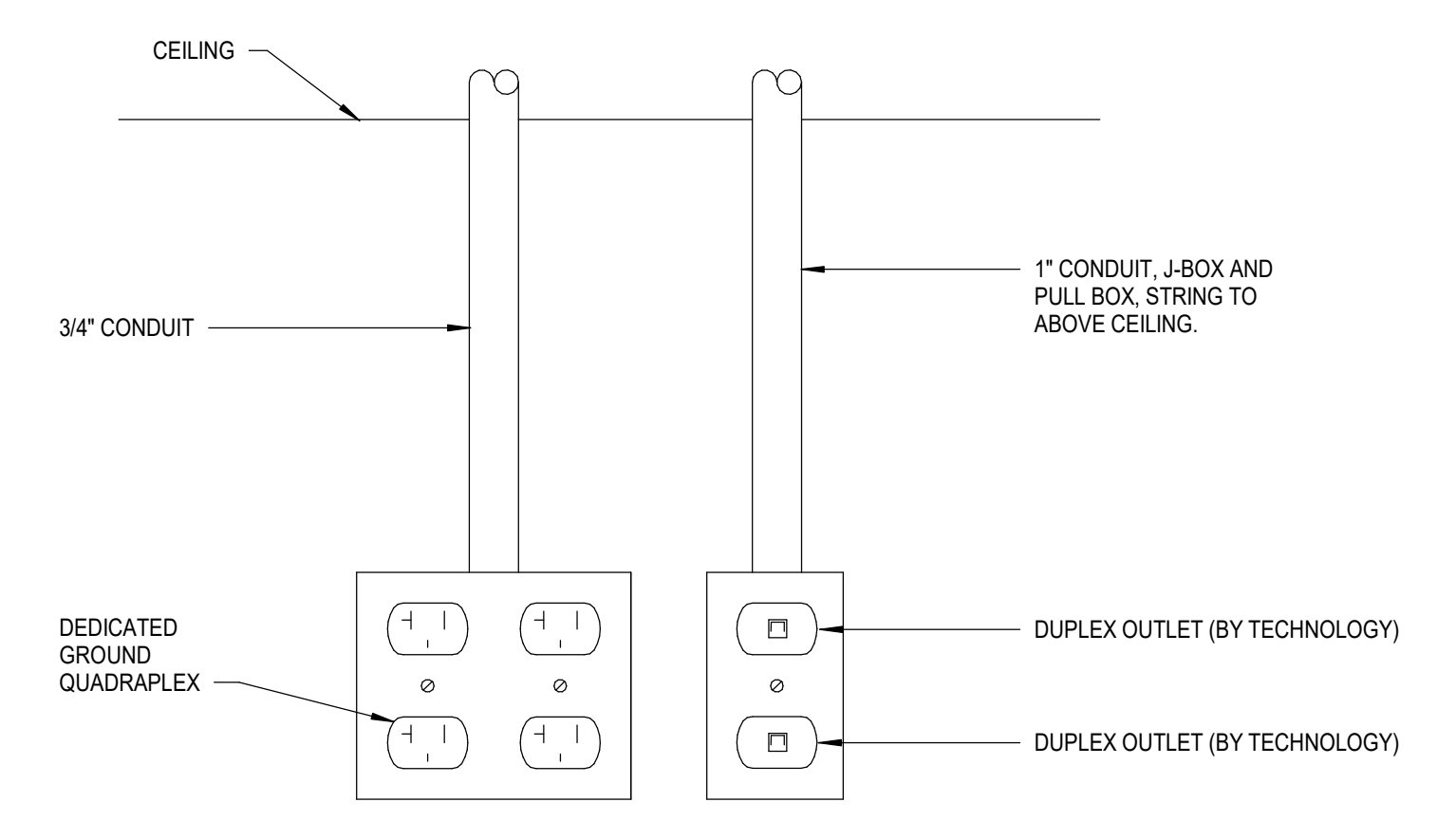


1 SECURITY AND SYSTEM PLAN - FIRST FLOOR - AREA 'B1'
SCALE: 1/8" = 1'-0"

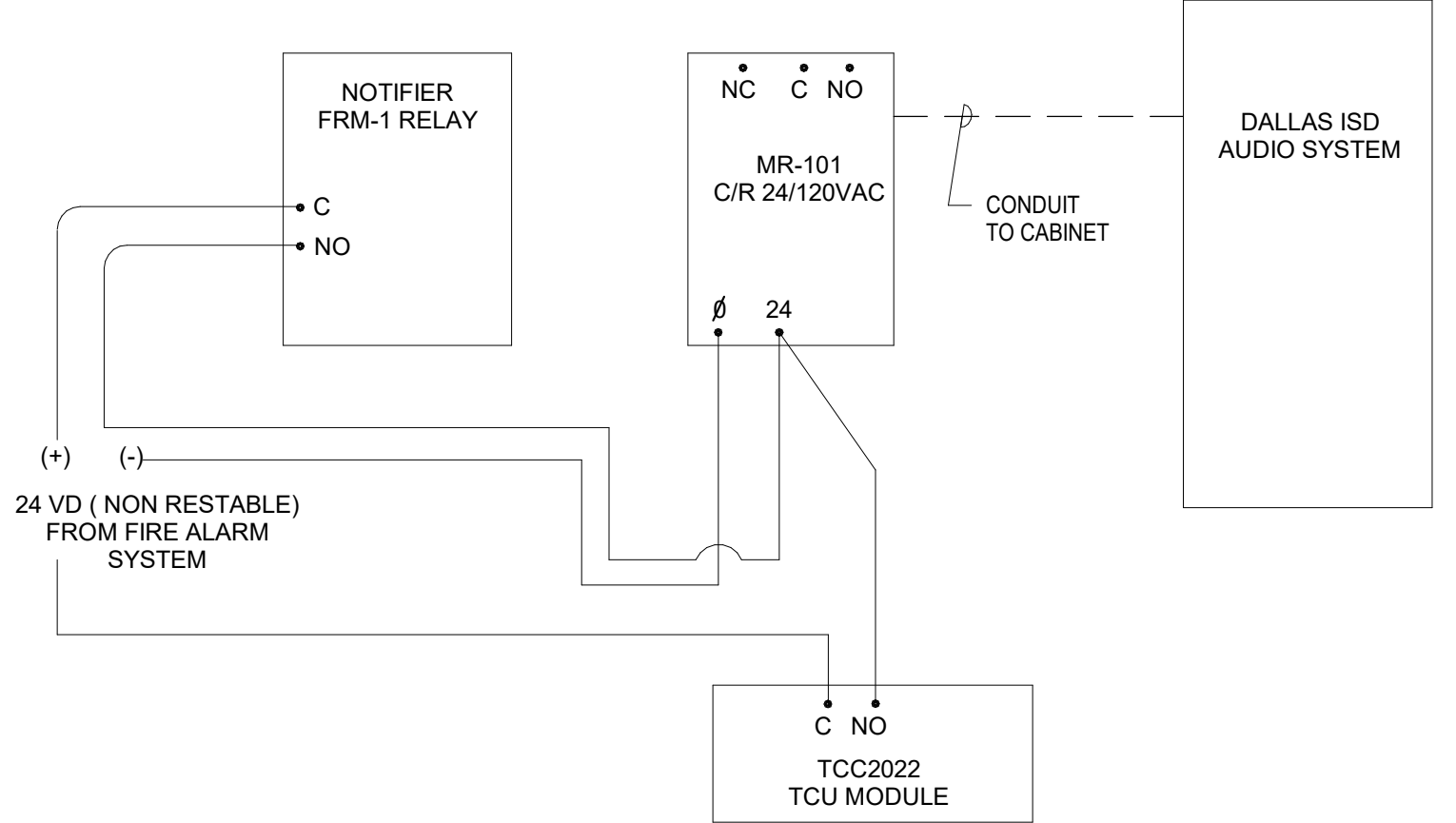


PARTIAL SECURITY AND SYSTEMS PLAN FIRST FLOOR AREA 'B1' AND 'B2'

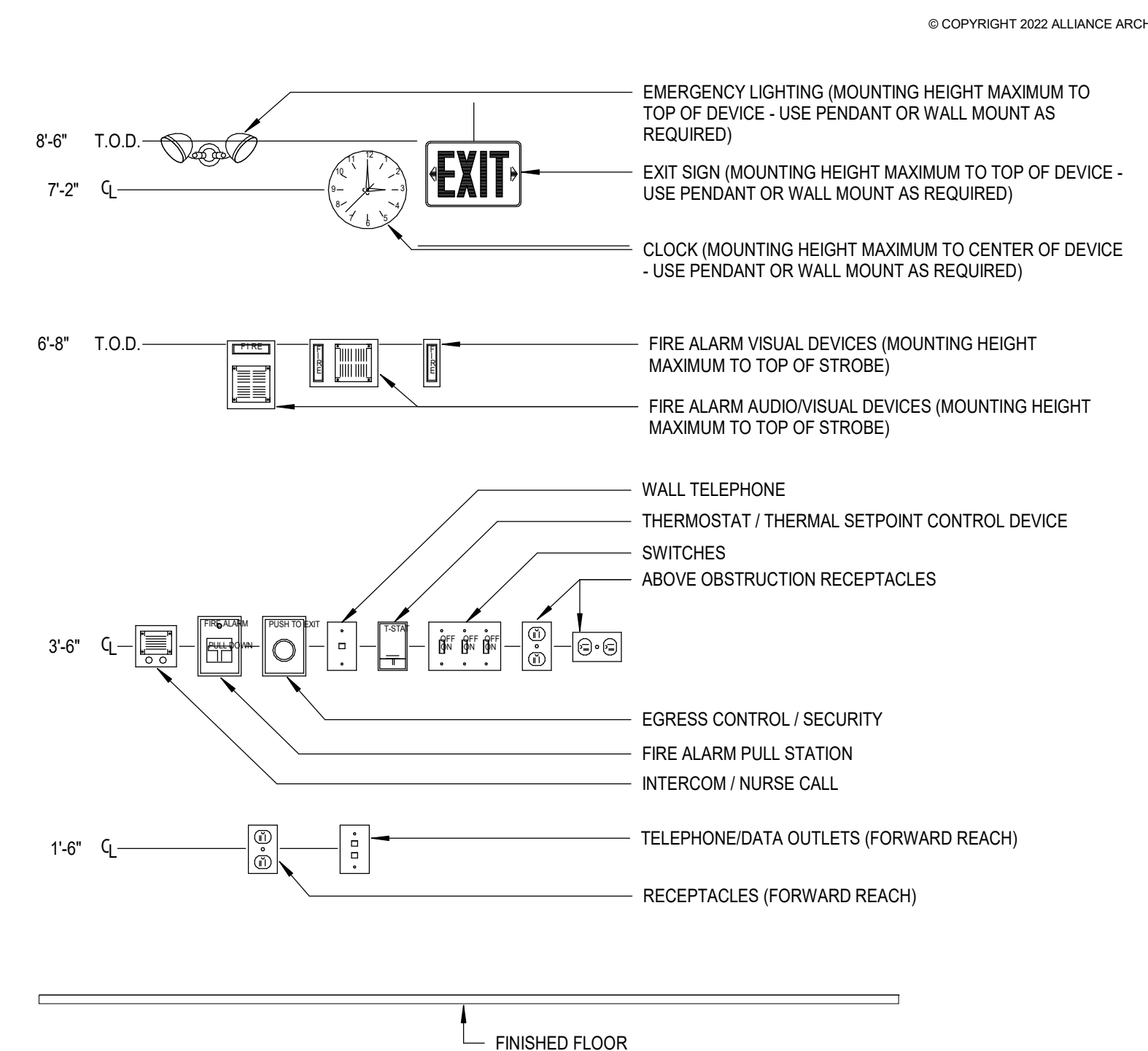
DRAWING RECORD	
DATE	DESCRIPTION
09/18/24	BID SET
10/31/24	ADDENDUM 01
11/01/24	ADDENDUM 03



5 DUPLEX DATA OUTLETS QUAD ELECTRICAL OUTLETS
SCALE: NOT TO SCALE

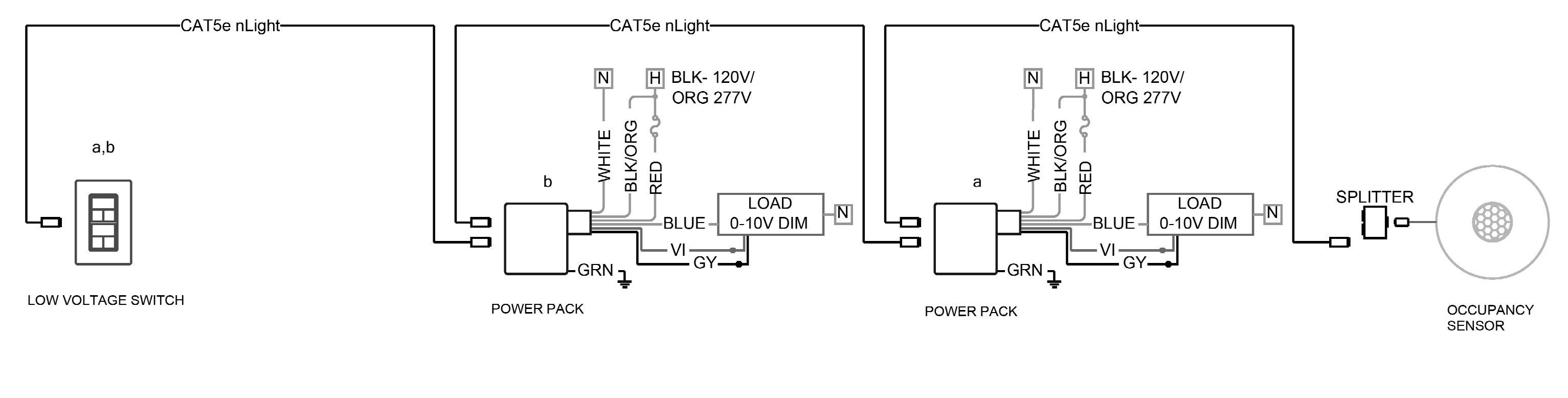


4 FIRE ALARM SYSTEM AUDIO OVERRIDE DETAIL
SCALE: NOT TO SCALE

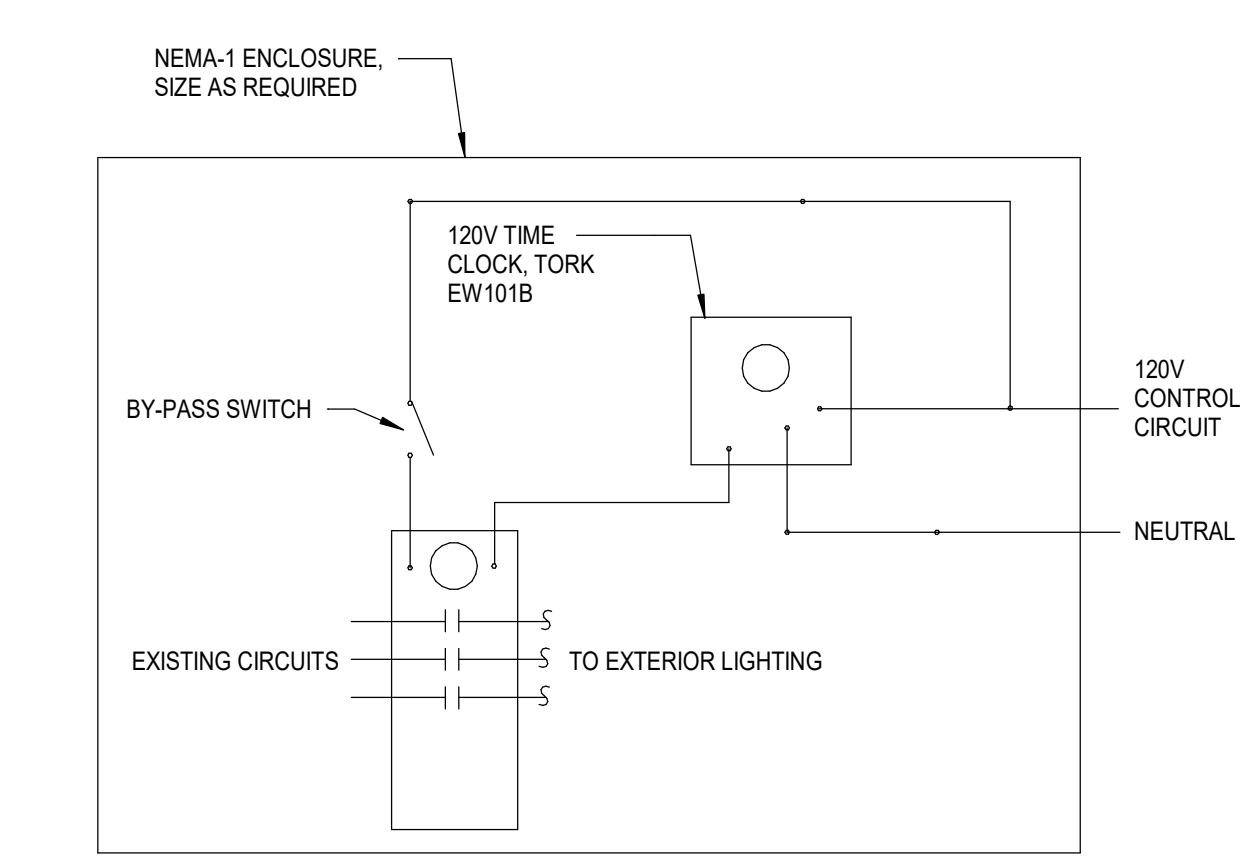


- NOTES:**
1. ALL MOUNTING HEIGHTS SHALL BE MEASURED FROM FINISHED FLOOR TO CENTERLINE OF DEVICE EXCEPT EXIT SIGNS, EMERGENCY LIGHTING AND FIRE ALARM AV DEVICES.
 2. DEVICES SHALL BE INSTALLED ON A COMMON VERTICAL CENTERLINE WHEREVER POSSIBLE.
 3. ALL RECEPTACLES ARE FRONT-REACH AT 1'-8" U.N.O. ON PLANS.
 4. ALL DEVICES SHALL BE INSTALLED AT MOUNTING HEIGHTS AS INDICATED ON THIS DETAIL UNLESS OTHERWISE NOTED ON ARCHITECTURAL ELEVATION. CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS AND SPECIFICATIONS. CONTRACTOR SHALL NOT MOUNT ITEMS IN VIOLATION OF ADA OR LOCAL ACCESSIBILITY REQUIREMENTS. ANY CONFLICTS BETWEEN ARCHITECTURAL ELEVATIONS AND CODE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER PRIOR TO ELECTRICAL ROUGH-IN.

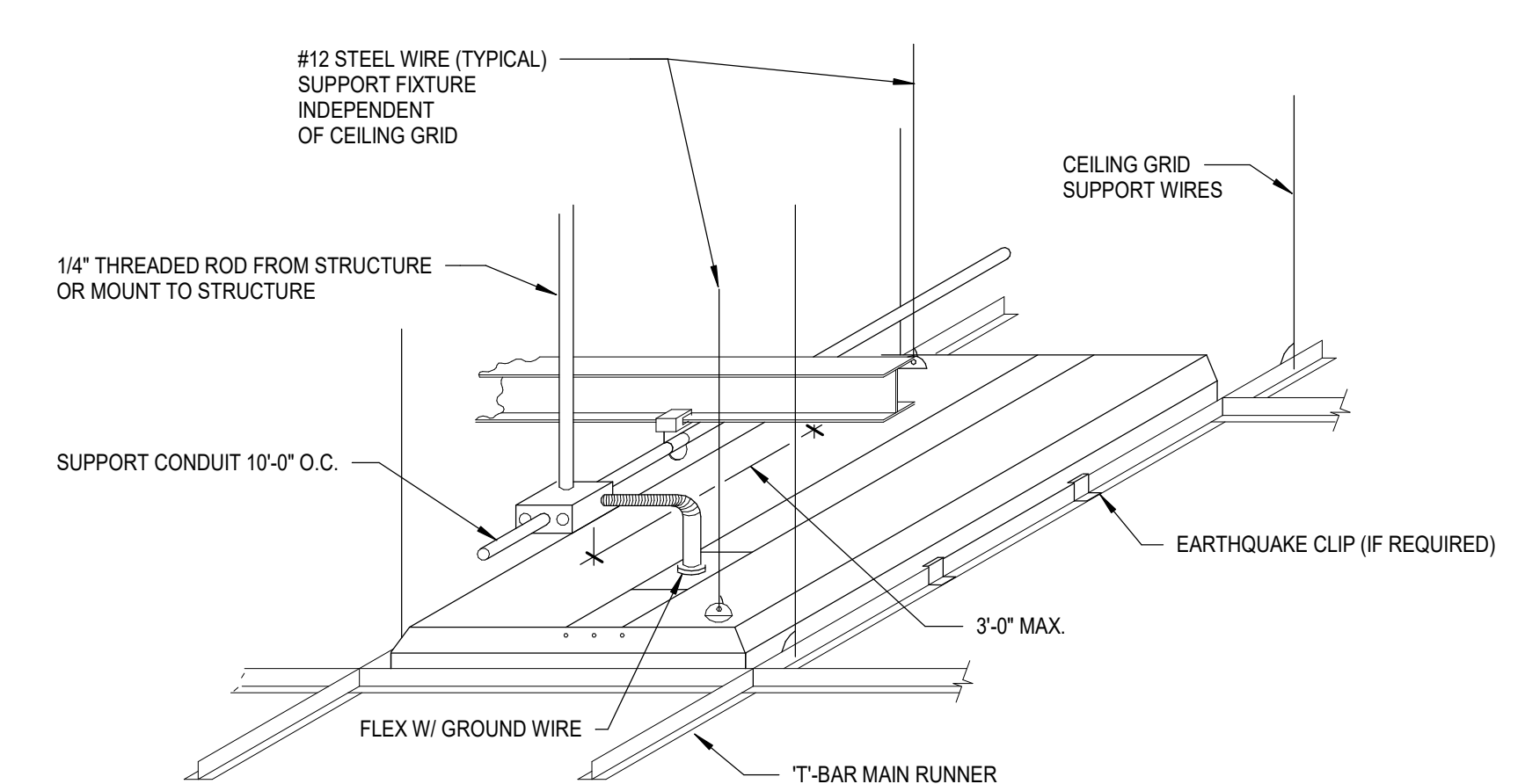
2 TYPICAL DEVICE MOUNTING HEIGHTS DETAIL
SCALE: NOT TO SCALE



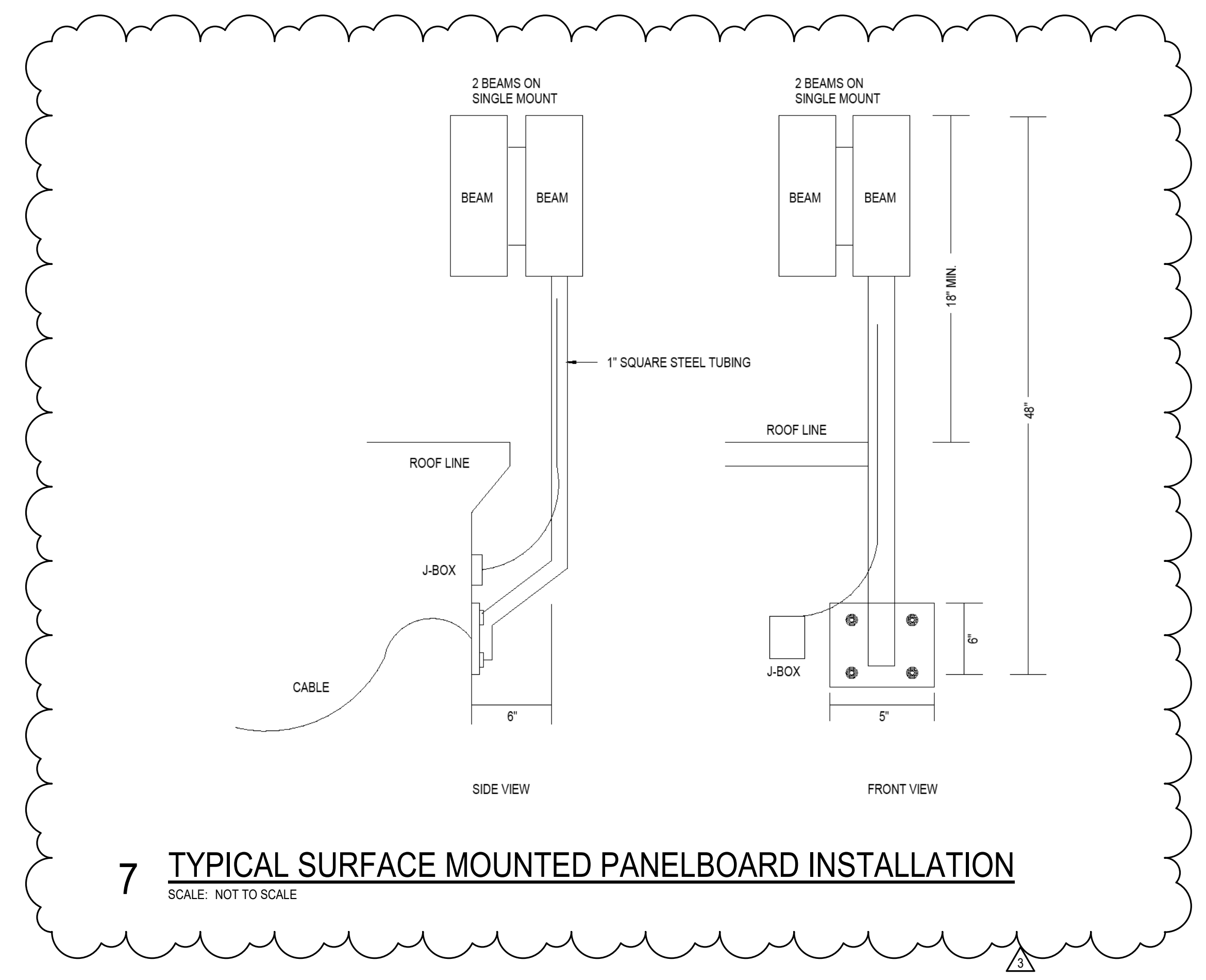
6 CLASSROOM LIGHTING CONTROL DIAGRAM
SCALE: 1/2" = 1'-0"



3 EXTERIOR LIGHT CONTROL SCHEMATIC
SCALE: NOT TO SCALE



1 LAY-IN LED 2x4 FIXTURE DETAIL
SCALE: NOT TO SCALE



7 TYPICAL SURFACE MOUNTED PANELBOARD INSTALLATION
SCALE: NOT TO SCALE

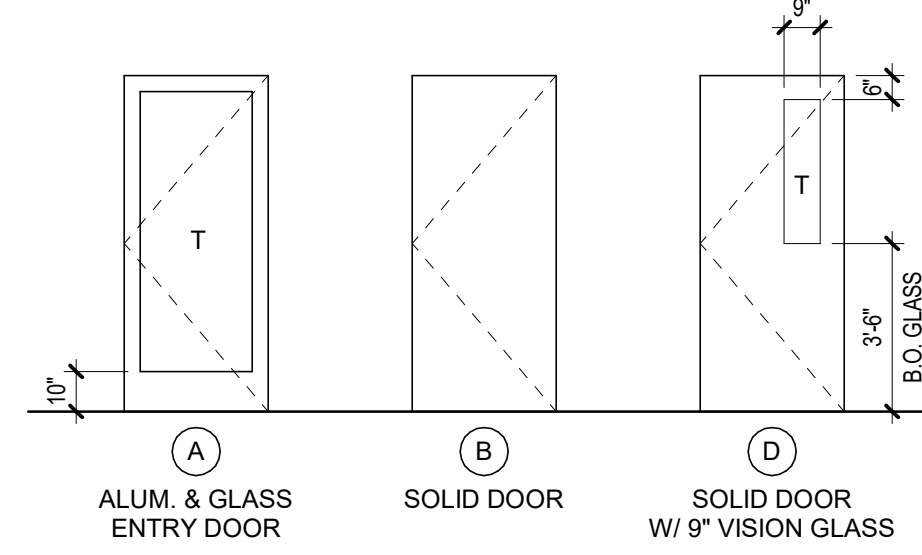
DRAWING RECORD	
DATE	DESCRIPTION
09/18/24	BID SET
11/01/24	ADDENDUM 03

INTERIOR MATERIAL SCHEDULE SCHEME 'A'							
MARK	ITEM	MANUFACTURER	DESCRIPTION	COLOR	SIZE	REMARKS	CONTACT
B1	RUBBER BASE	ROPPE	VINYL WALL BASE	100 BLACK	4"	THROUGHOUT	
CPT1	CARPET TILE	MOHAWK	BENDING EARTH, DATUM	BASALT	24X24	MULTI-DIRECTIONAL ORIENTATION	
DP	DRAWER PULL	RICHELIEU	CONTEMPORARY/EXPRESSION COLLECTION	BRUSHED NICKEL	6"		
P1	PAINT	SHERWIN WILLIAMS	FIELD PAINT	WHITE SESAME		THROUGHOUT	
PL1	PLASTIC LAMINATE	WILSONART	RECEPTION DESK	FAWN CYPRESS		FIELD	
PL2	PLASTIC LAMINATE	NEVAMAR	RECEPTION DESK	VIOLINE		ACCENT	
SS1	SOLID SURFACE	DURASEIN	RECEPTION DESK COUNTERTOP	BIANCA SABIA			
WD	WOOD DOOR	VT INDUSTRIES	WOOD DOOR	WHITE MAPLE VENEER, OASIS FINISH OA07		TO MATCH EXISTING	

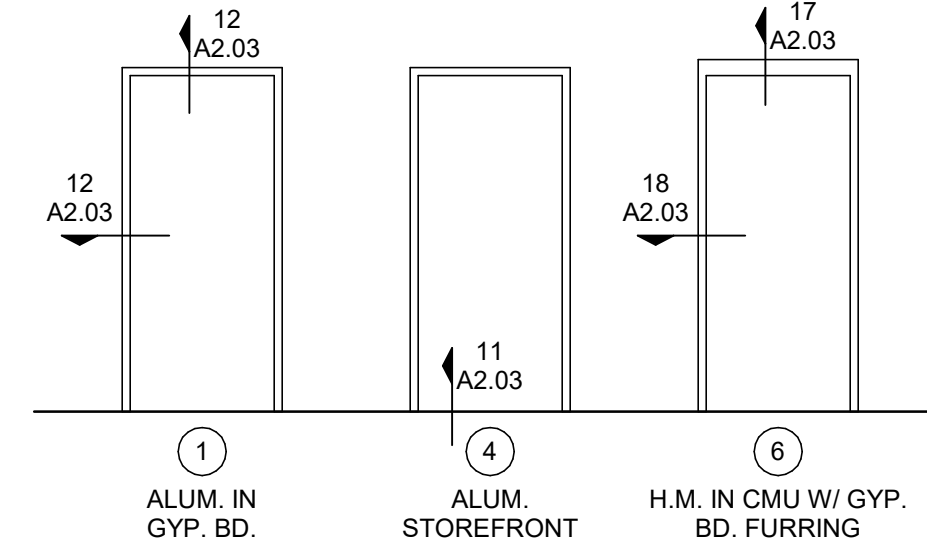
DOOR SCHEDULE												
DOOR NUMBER	TYPE	THICKNESS	DOOR			MATERIAL	FINISH	FRAME		FIRE RATING	HARDWARE SET	NOTES
			WIDTH	HEIGHT	TYPE			FINISH				
104A	A	1-3/4"	3'-0"	7'-10"	AL/CL	CA	1	AL/CA		ER201AC		
104B	C	1-3/4"	3'-0"	7'-10"	AL/CL	WD	6	HM		CR201AC		
105A	B	1-3/4"	3'-0"	V.I.F.	HM	PT	4	AL/CA, V.I.F.		C715A	DOOR AND FRAME TO BE REPLACED	
105B	B	1-3/4"	3'-0"	V.I.F.	HM	PT	4	AL/CA, V.I.F.		D715A	DOOR TO BE REPLACED, FRAME TO REMAIN	
105C	B	1-3/4"	3'-0"	V.I.F.	HM	PT	4	AL/CA, V.I.F.		D715A	DOOR TO BE REPLACED, FRAME TO REMAIN	

NOTE: ALL NEW DOORS TO RECEIVE CARD READER, MEP TO COORDINATE FOR POWER & INSTRUMENTS.

DOOR TYPES



FRAME TYPES



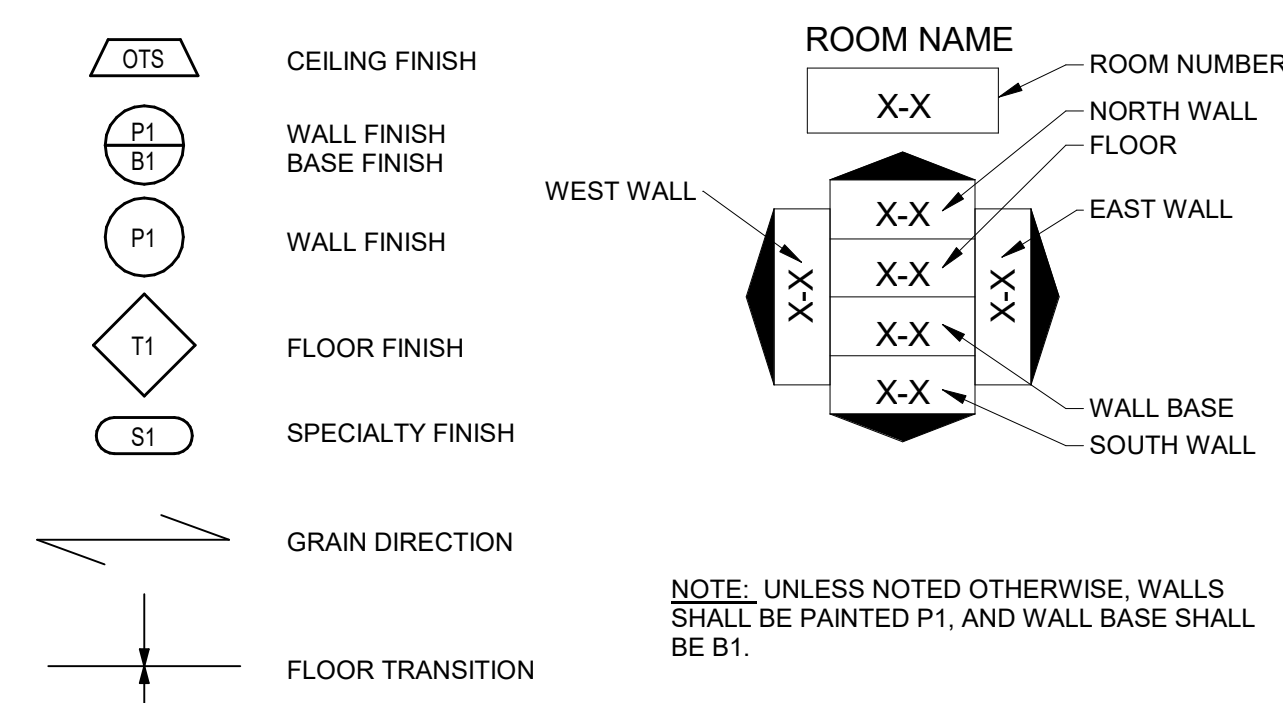
DOOR & FRAME LEGEND

- AL - ALUMINUM
- BL - BLACK ANODIZED
- CA - CLEAR ANODIZED
- DB - DARK BRONZE ANODIZED
- GL - GLASS
- HM - HOLLOW METAL
- MTL - METAL
- PL - PLASTIC LAMINATE
- PT - PAINT
- WD - WOOD

DOOR HARDWARE SETS

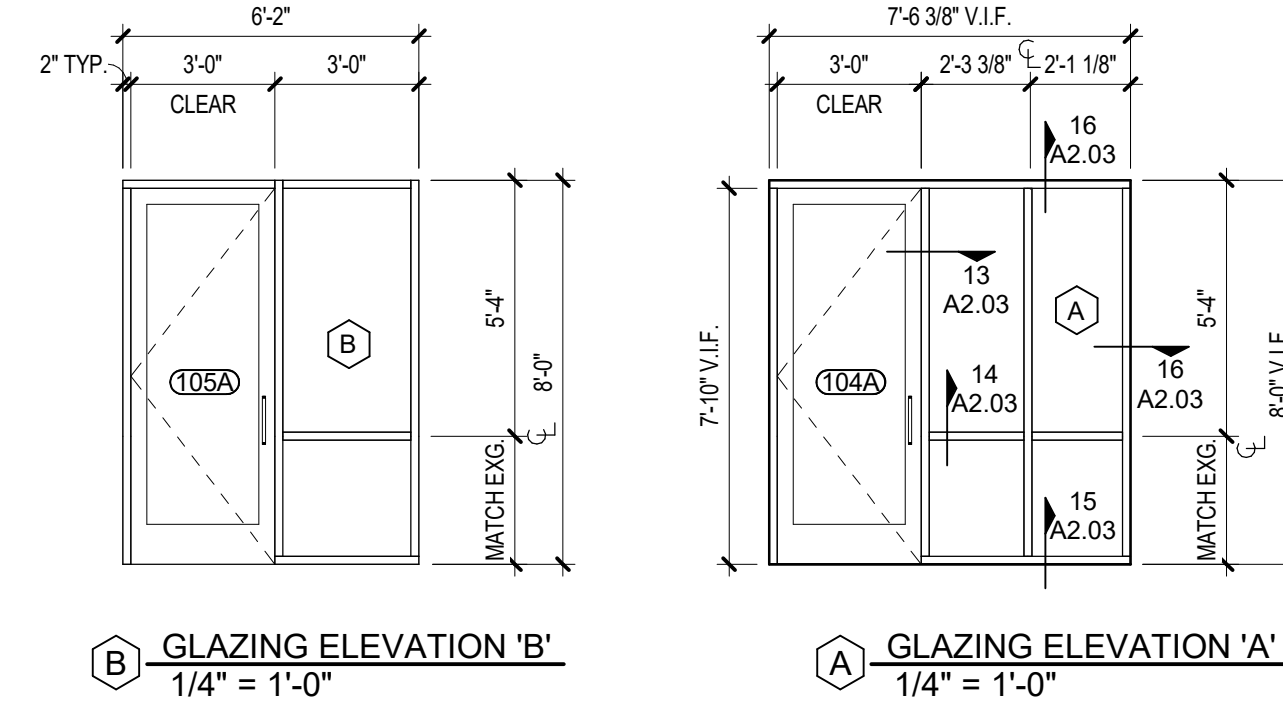
REFER TO HARDWARE SPECS

FINISH LEGEND



WINDOW SCHEDULE

TYPE	FRAME MATERIAL	WINDOW SIZE	FRAME DEPTH	FRAME FINISH
A	ALUM.	REF. TO ELEVATION	4 1/2"	CLEAR ANODIZED
B	ALUM.	REF. TO ELEVATION	4 1/2"	CLEAR ANODIZED



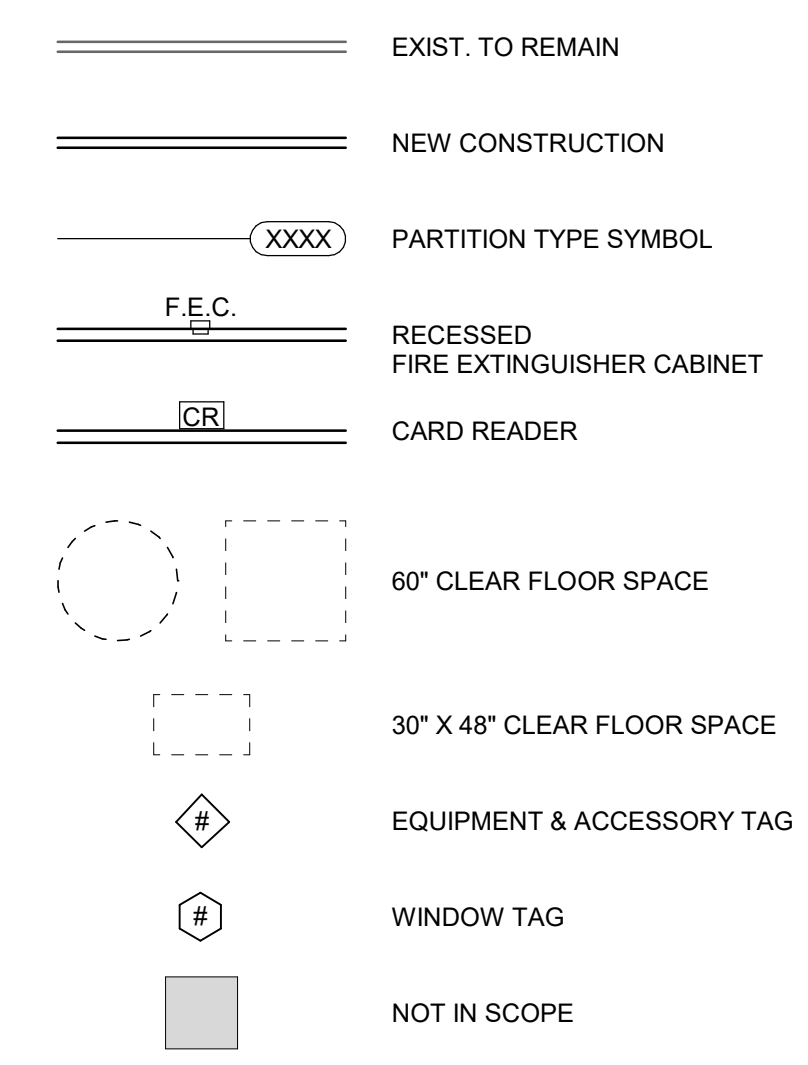
GENERAL PROJECT NOTES

- GENERAL CONTRACTOR IS TO AUDIT ALL EXISTING SYSTEMS BEFORE THE WORK IS STARTED TO VERIFY WORKING AND/OR NON-WORKING COMPONENTS. THE SYSTEMS INCLUDED ARE FIRE ALARM, PA SECURITY, SECURITY SENSORS, HVAC CONTROLS, ETC. CONTRACTOR IS TO AUDIT THESE SYSTEMS AND PROVIDE A WRITTEN REPORT TO THE PM/PM OF WHAT WAS FOUND FOR EACH SYSTEM AND PRECONSTRUCTION PHOTOS OF THESE SYSTEMS PER THE PROJECT SPECIFICATION SECTION 01 32 33 - PHOTOGRAPHIC DOCUMENTATION REQUIREMENTS. IF A WRITTEN REPORT IS NOT FURNISHED BEFORE THE CONTRACTOR MOBILIZES ON SITE AND/OR 10 BUSINESS DAYS FROM RECEIVING A NOTICE TO PROCEED, THE SYSTEMS WILL BE CONSIDERED TO BE FULLY FUNCTIONAL AND THE CONTRACTOR WILL BE REQUIRED TO MAINTAIN THEM AS SUCH THROUGH THE DURATION OF THE PROJECT, AND RETURN THEM IN FULLY OPERATIONAL CONDITION AT THE END OF THE PROJECT (FINAL COMPLETION) AT NO ADDITIONAL COST TO THE OWNER.
- THE GENERAL CONTRACTOR RESPONSIBLE FOR HIRING THE ABATEMENT CONTRACTOR AND COORDINATE DURING CONSTRUCTION AND SCHEDULE THE OWNER TO PROVIDE MONITORING SERVICES DURING ABATEMENT. REFER TO SPECS FOR HAZMAT REPORT.
- THE GENERAL CONTRACTOR TO EMPTY EXISTING GREASE INTERCEPTOR, SAMPLE WELL, ASSOCIATED GREASE WASTE PIPING AND SIMILAR EQUIPMENT BEFORE DEMO. GENERAL CONTRACTOR TO PROVIDE A TURN KEY PROPOSAL FOR GREASE EXTRACTION SERVICES.
- ALL WORK SHALL CONFORM TO ALL APPLICABLE BUILDING CODES.
- CEILING TILE LIGHT FIXTURES AND OTHER ITEMS SCHEDULED ON DRAWINGS SHALL BE LOCATED PER REFLECTED CEILING PLANS. THE CONTRACTOR SHALL USE EXTREME CARE IN COORDINATING THEIR WORK TO FIT THE PATTERN SHOWN ON THE REFLECTED CEILING PLANS. IF A CONFLICT OCCURS BETWEEN THE MECHANICAL SYSTEMS AND THE COORDINATION OF LIGHT FIXTURES ABOVE THE CEILING, CONTACT THE ARCHITECTS FOR INTERPRETATION. GENERAL CONTRACTOR TO SUBMIT ANY REVISED LAYOUT TO THE ARCHITECT PRIOR TO INSTALLATION.
- LIGHT SWITCHES, CONTROLS, DIMMERS, RHEOSTATS AND THERMOSTATS MOUNTING HEIGHTS SHALL BE 48" AFF. UNLESS NOTED OTHERWISE.
- SWITCHING SHALL BE GROUPED A MINIMUM DISTANCE APART.
- ALL DOWNLIGHTS ARE TO BE CENTERED WITHIN A CEILING TILE U.N.O.
- GENERAL CONTRACTOR TO BE RESPONSIBLE FOR INSTALLATION OF SMOKE DETECTORS, EXIT LIGHTS, AND FIRE ALARM SPEAKERS AS REQUIRED TO COMPLY WITH THE LOCAL BUILDING CODES.
- ALL EXISTING CIRCUITING AND SWITCHING FOR LIGHTS TO REMAIN EXCEPT AS NOTED.
- REFER TO MEP DRAWINGS FOR FIXTURE TYPES.
- PROPERLY EXTEND FIRE SPRINKLER SYSTEM SO AS TO PROVIDE COMPLETE COVERAGE. THE DESIGN, INSTALLATION AND MAINTENANCE SHALL COMPLY WITH NFPA-13, LOCAL ORDINANCES AND CODES.

REFLECTED CEILING NOTES

- ALL WORK SHALL CONFORM TO ALL APPLICABLE BUILDING CODES.
- CEILING TILE LIGHT FIXTURES AND OTHER ITEMS SCHEDULED ON DRAWINGS SHALL BE LOCATED PER REFLECTED CEILING PLANS. THE CONTRACTOR SHALL USE EXTREME CARE IN COORDINATING THEIR WORK TO FIT THE PATTERN SHOWN ON THE REFLECTED CEILING PLANS. IF A CONFLICT OCCURS BETWEEN THE MECHANICAL SYSTEMS AND THE COORDINATION OF LIGHT FIXTURES ABOVE THE CEILING, CONTACT THE ARCHITECTS FOR INTERPRETATION. GENERAL CONTRACTOR TO SUBMIT ANY REVISED LAYOUT TO THE ARCHITECT PRIOR TO INSTALLATION.
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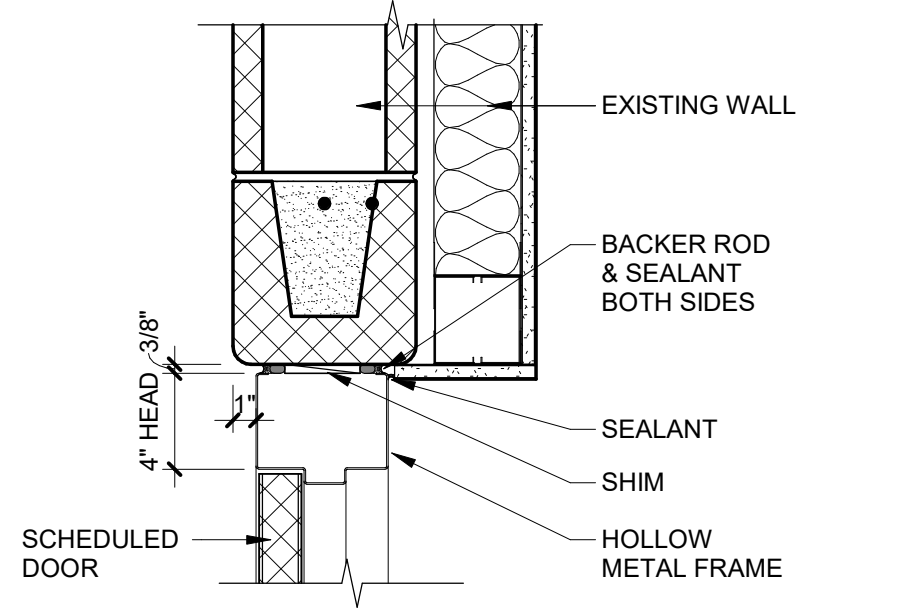
FLOOR PLAN LEGEND



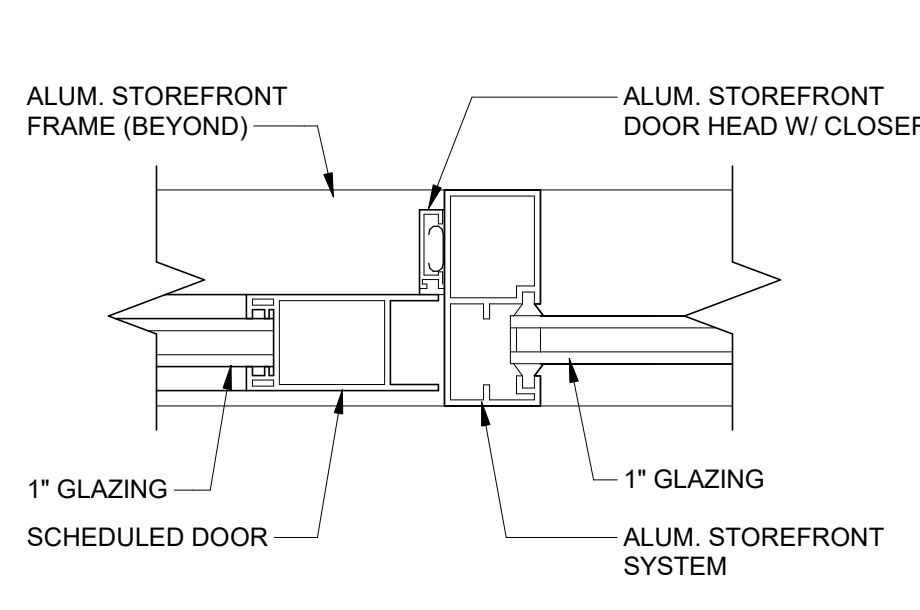
NOTES BY SYMBOL

- 01 MATCH EXISTING WALL BASE IN NEW WALL
- 02 PROVIDE SECURE VESTIBULE (INCLUDES AI PHONE INFRASTRUCTURE FOR 2-UNITS)
- 03 REPLACE FIRE ALARM SYSTEM. REFER TO MEP
- 04 PROVIDE EMERGENCY LIGHTING IN COMMON AREAS. REF. MEP
- 05 RELOCATED THERMOSTAT AND ASSOCIATED EQUIPMENT. REF. MEP
- 06 RELOCATED DIGITAL CLOCK-IN AND ASSOCIATED EQUIPMENT. REF. MEP
- 07 RELOCATED SIGN-IN COMPUTER AND ASSOCIATED EQUIPMENT
- 08 RELOCATED MAILBOX / NEW MILLWORK BELOW
- 09 FURNITURE BY OWNER

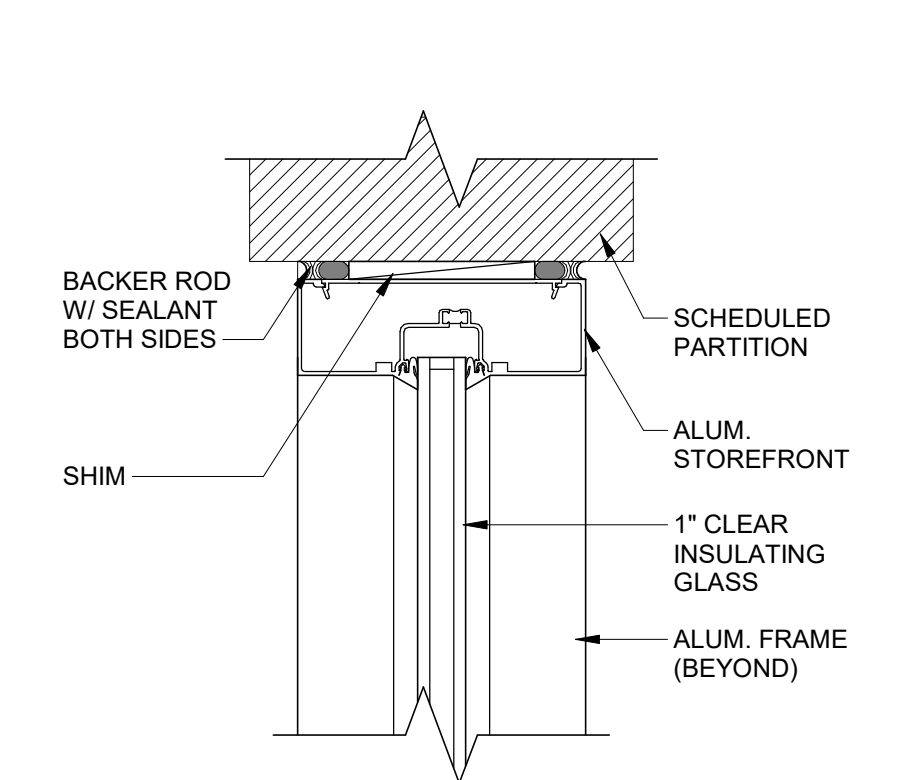
18 JAMB DETAIL @ H.M. CMU W/ GYP.
Scale: 1 1/2" = 1'-0"



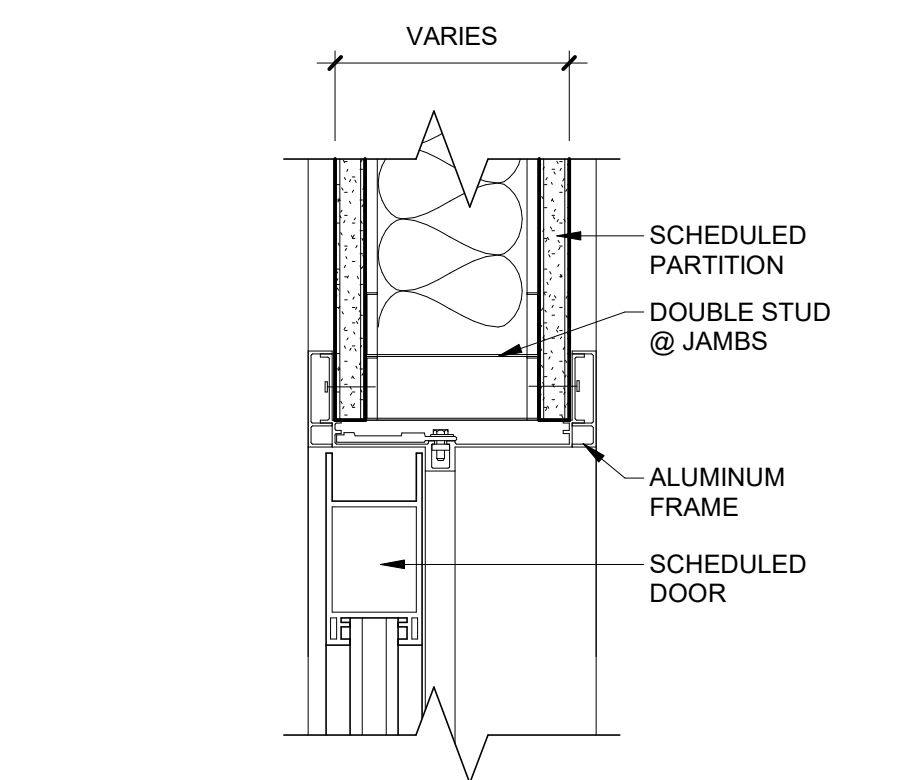
14 GLAZING MULLION DETAIL @ ALUM.
Scale: 3" = 1'-0"



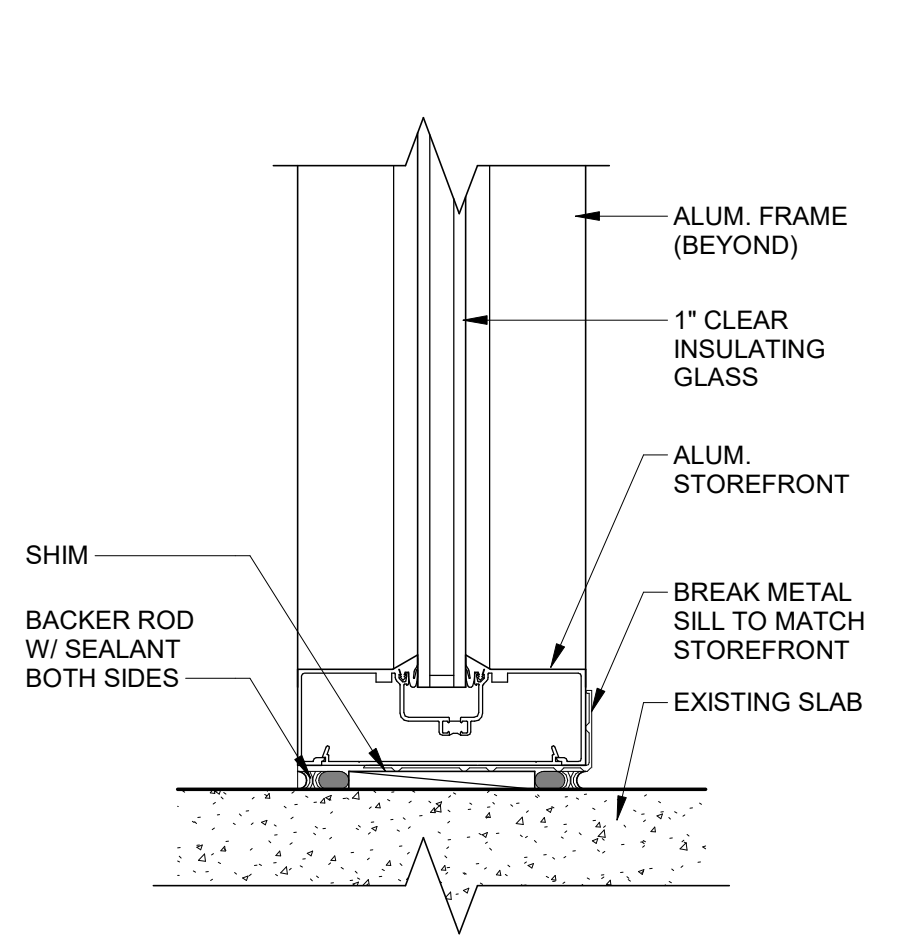
17 HEAD DETAIL @ H.M. CMU W/ GYP.
Scale: 1 1/2" = 1'-0"



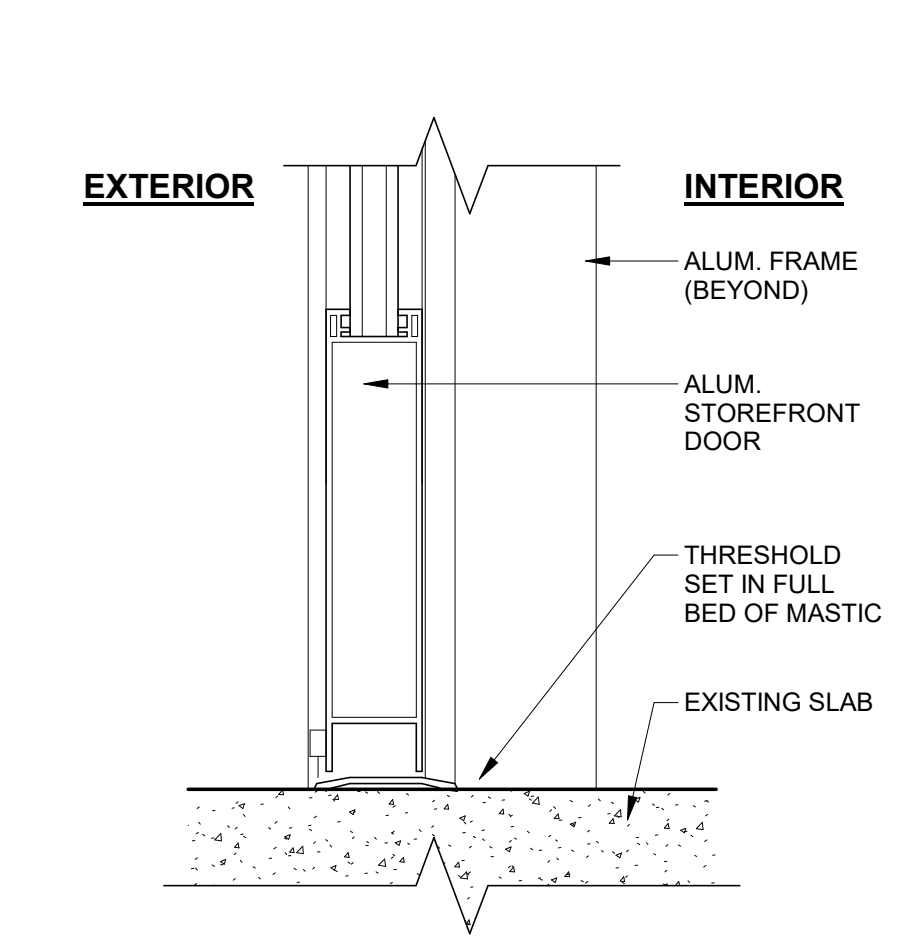
13 JAMB TRANSITION @ ALUM. DOOR
Scale: 3" = 1'-0"



16 HEAD / JAMB DETAIL @ INT WALL
Scale: 3" = 1'-0"



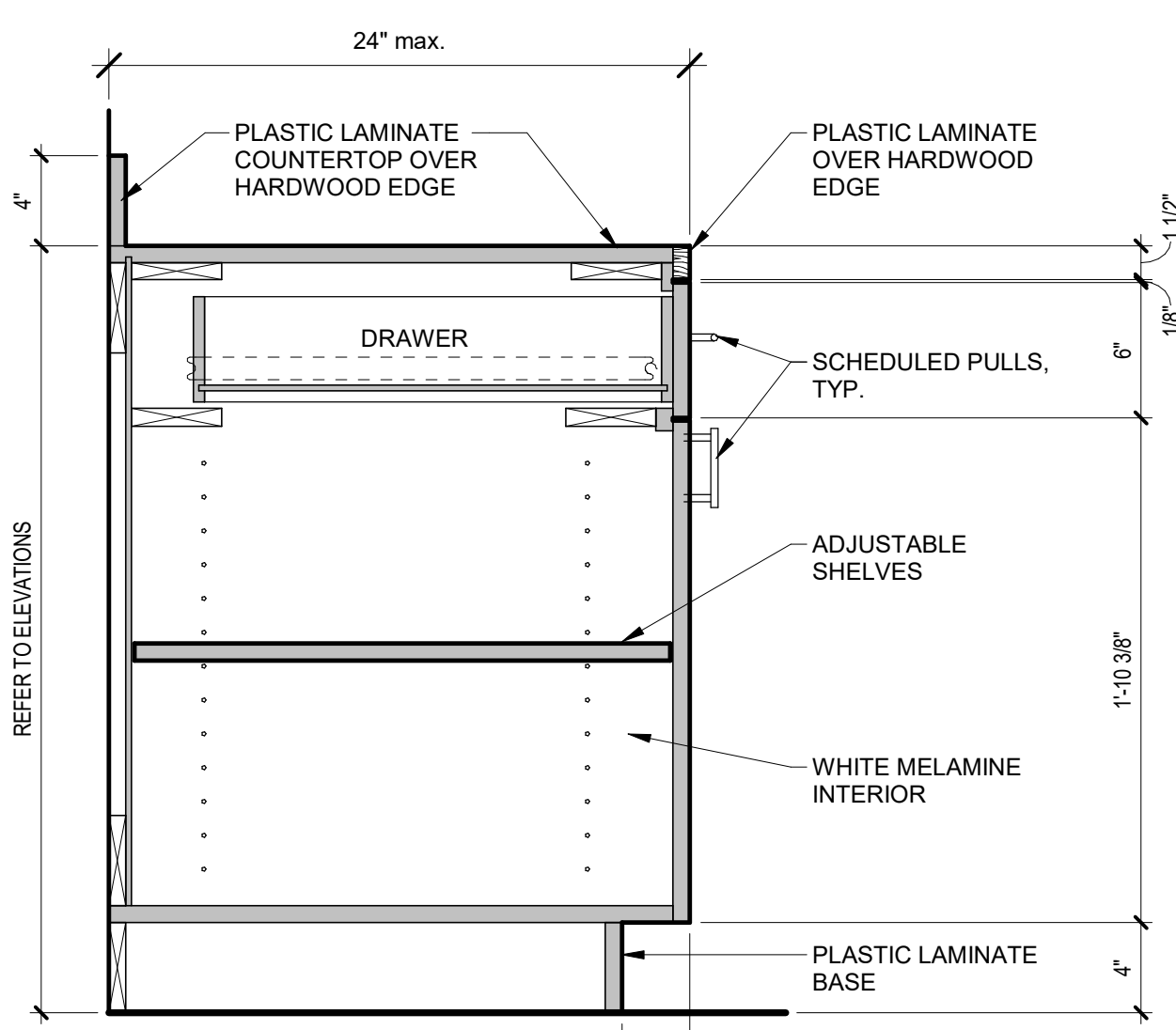
12 HEAD/JAMB DETAIL @ ALUM. DOOR
Scale: 3" = 1'-0"



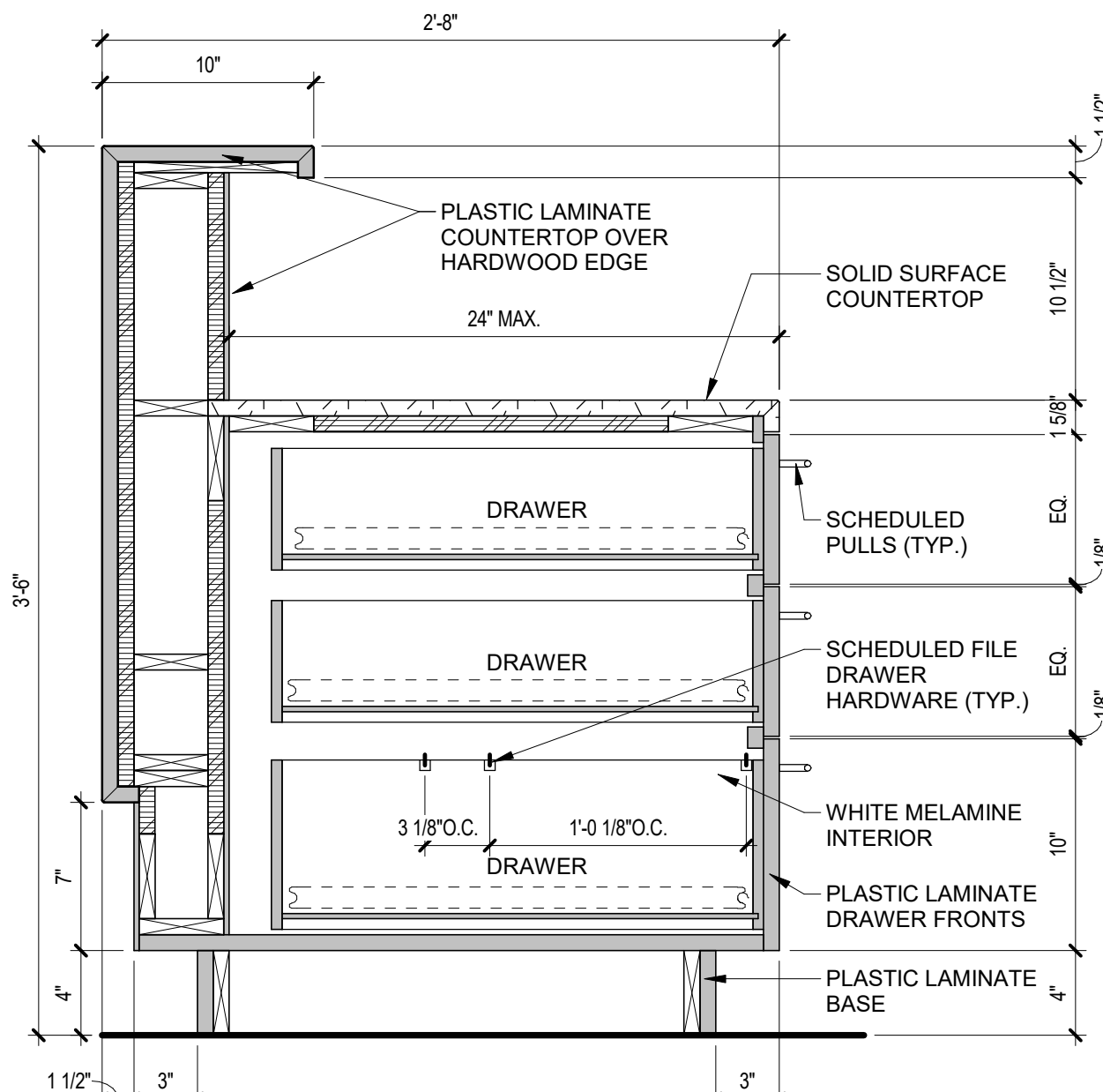
15 A23 GLAZING - HEAD SILL @ INT WALL
Scale: 3" = 1'-0"



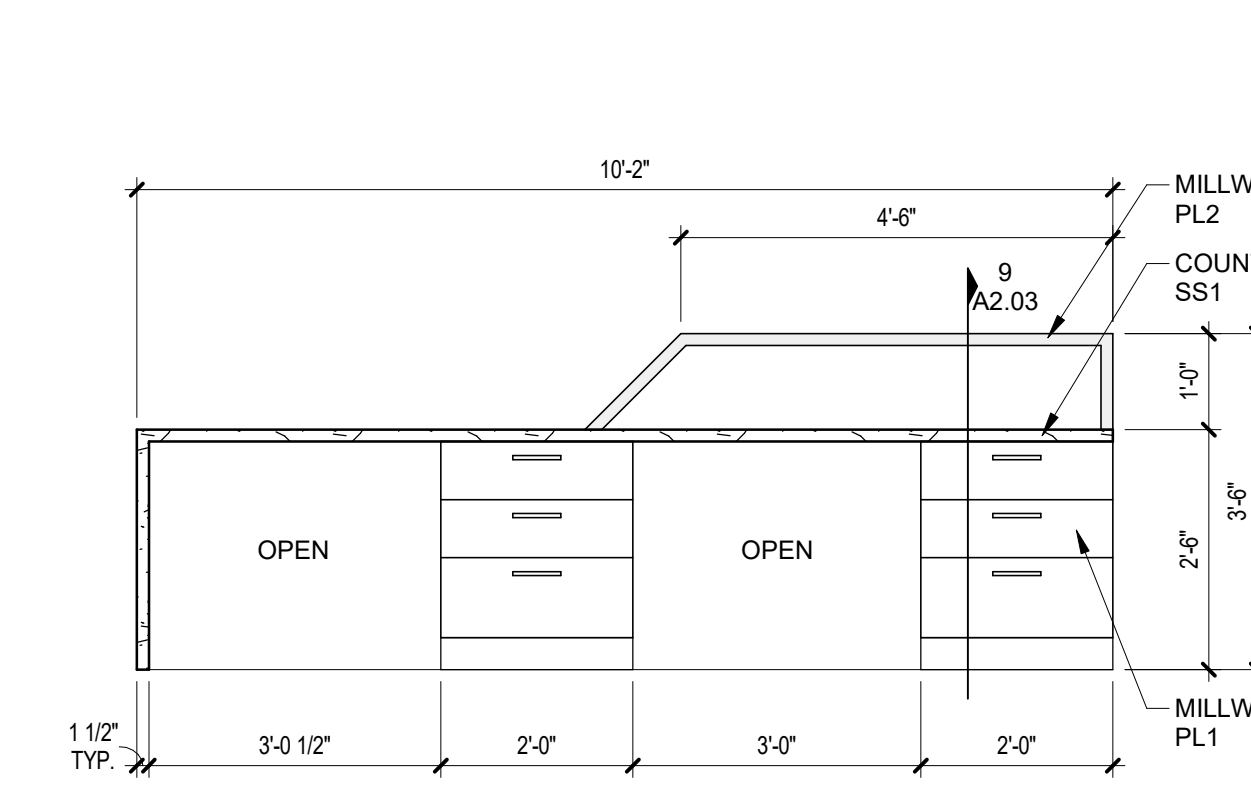
11 SILL DETAIL @ ALUM. DOOR
Scale: 3" = 1'-0"



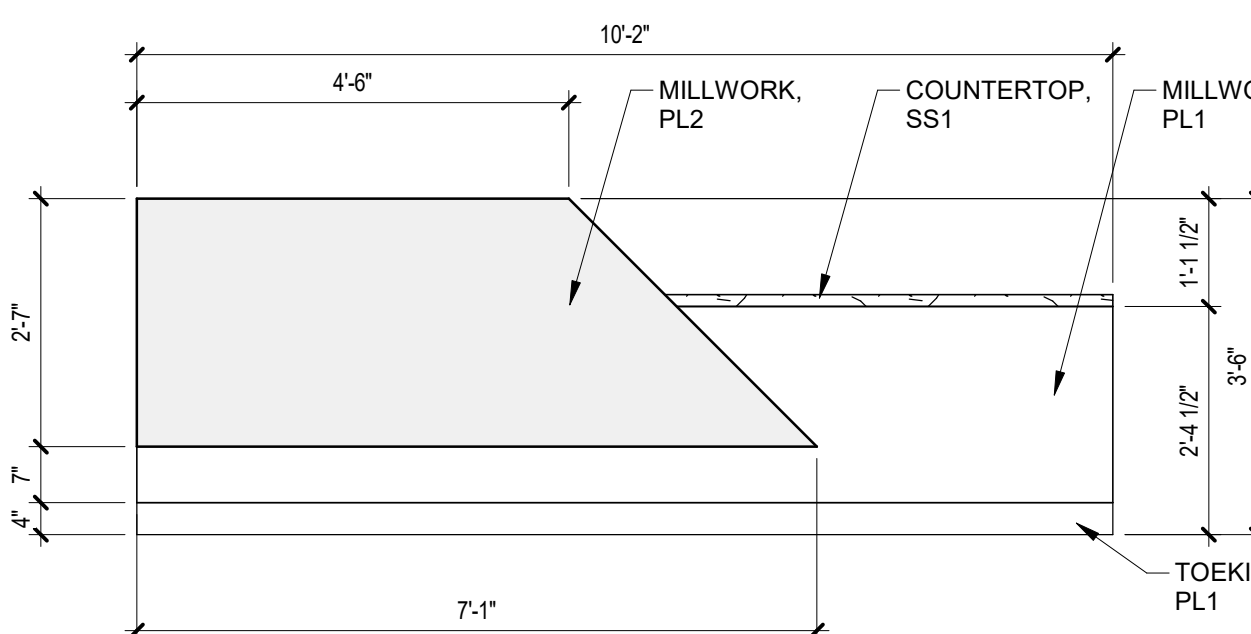
10 MILLWORK DETAIL
Scale: 1 1/2" = 1'-0"



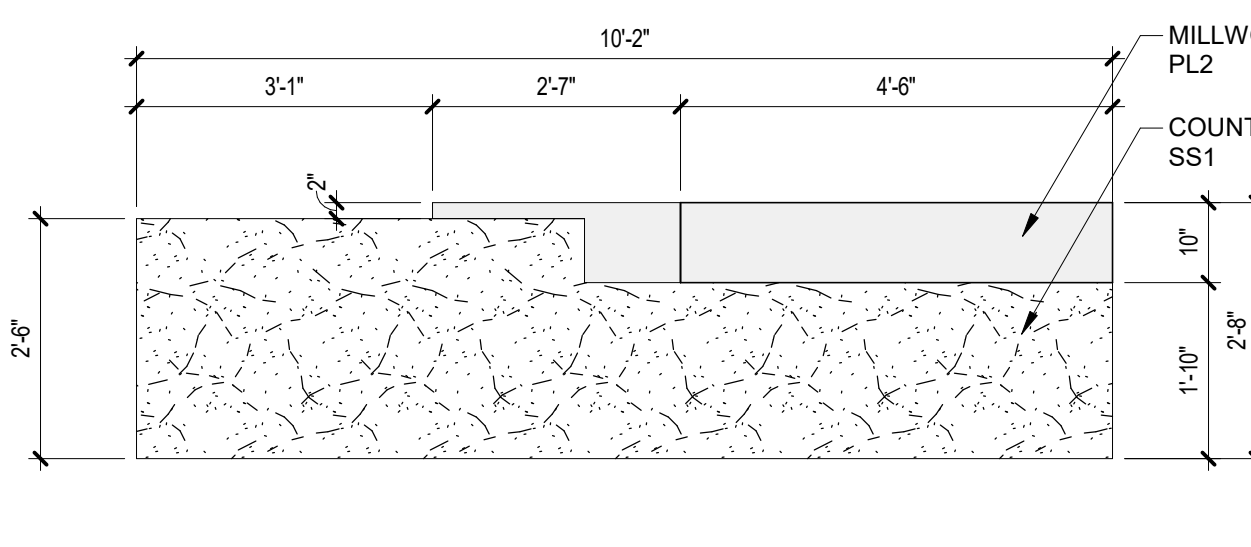
9 MILLWORK DETAIL
Scale: 1 1/2" = 1'-0"



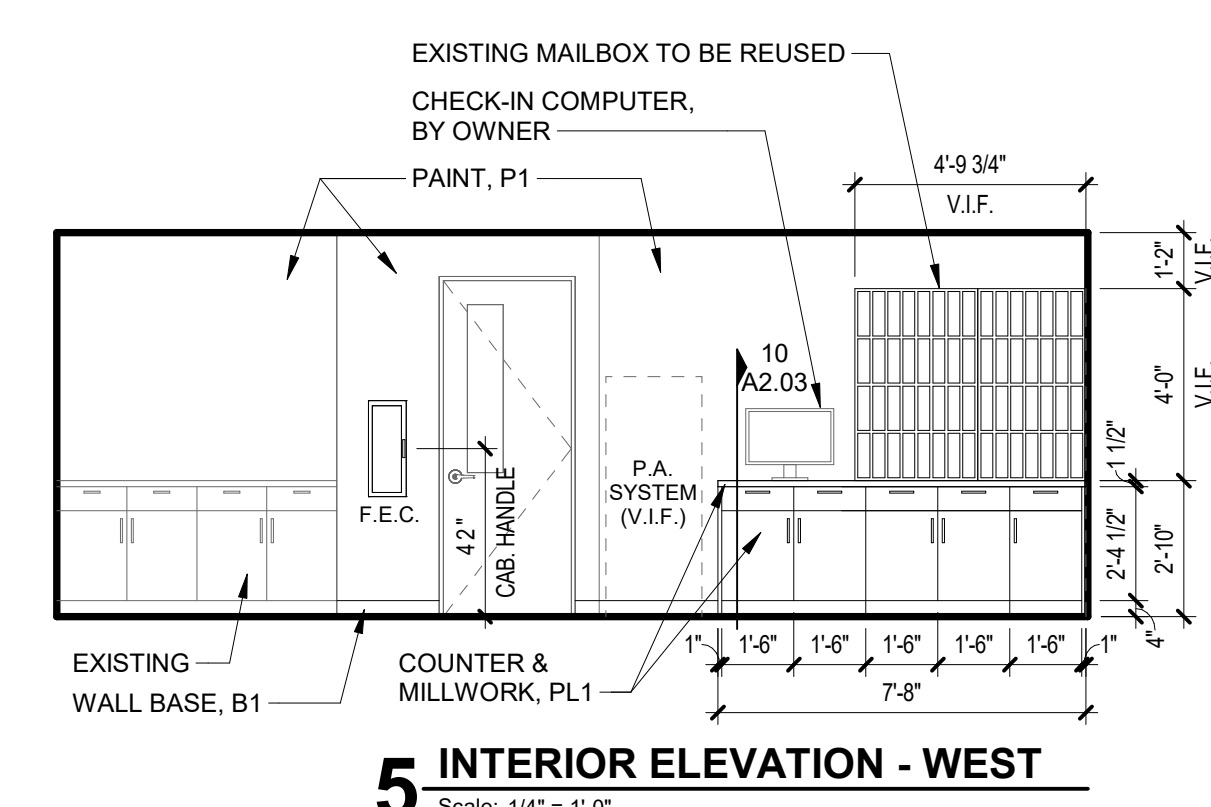
8 RECEPTION DESK BACK
Scale: 1/2" = 1'-0"



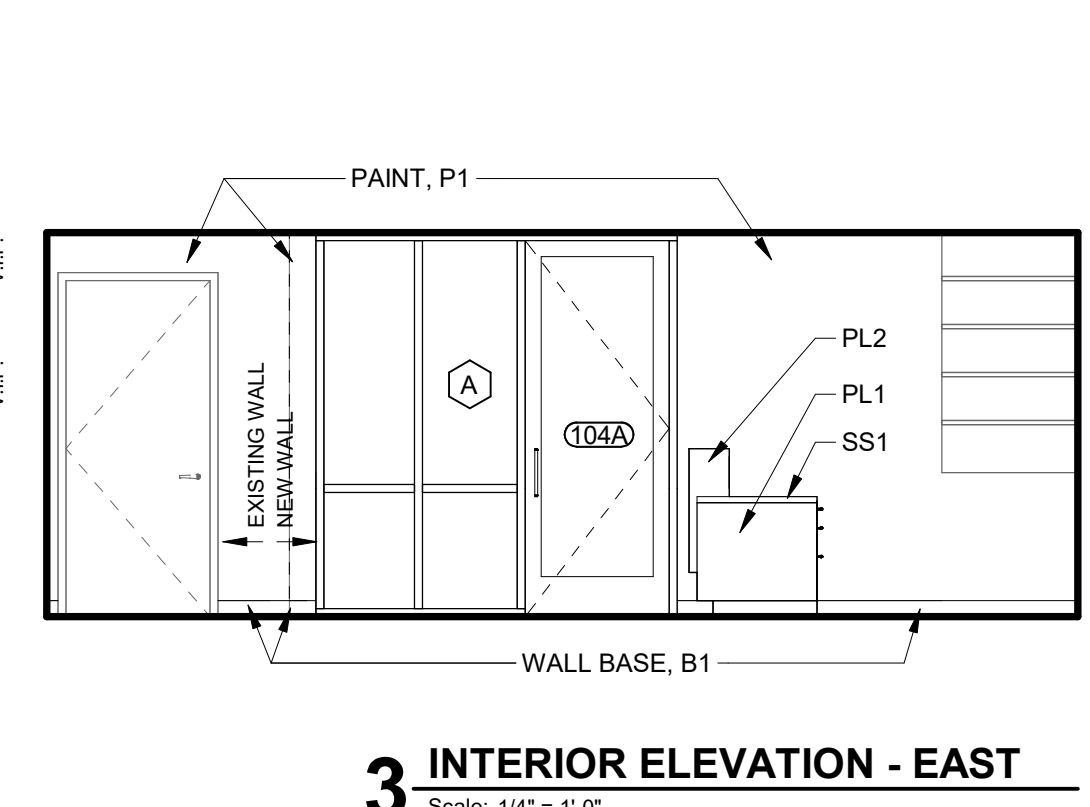
7 RECEPTION DESK FRONT
Scale: 1/2" = 1'-0"



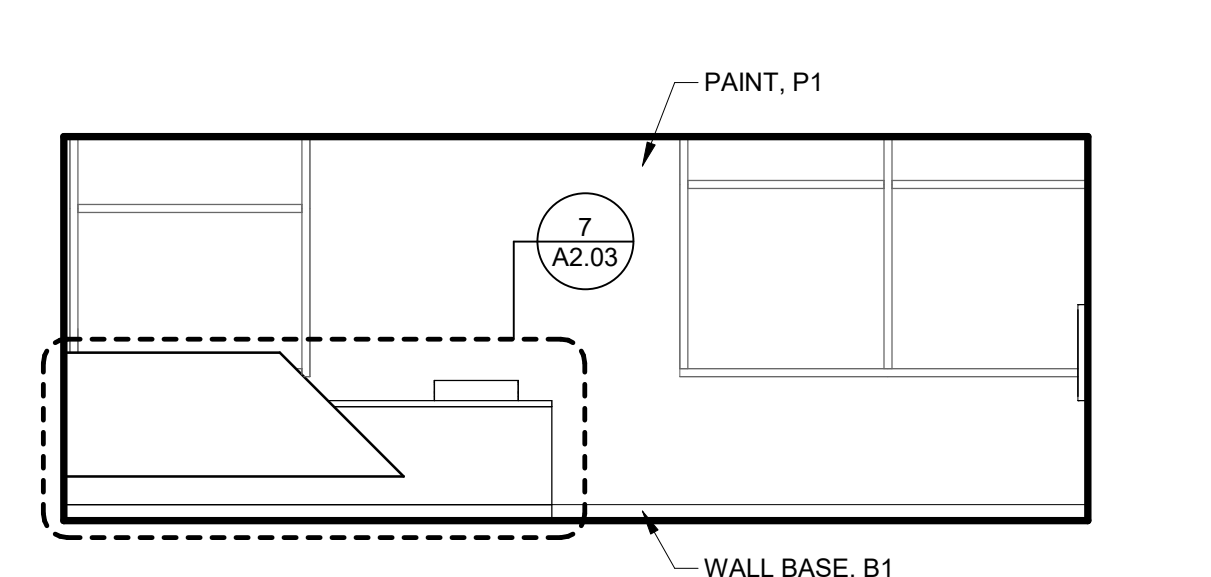
6 RECEPTION DESK BACK
Scale: 1/2" = 1'-0"



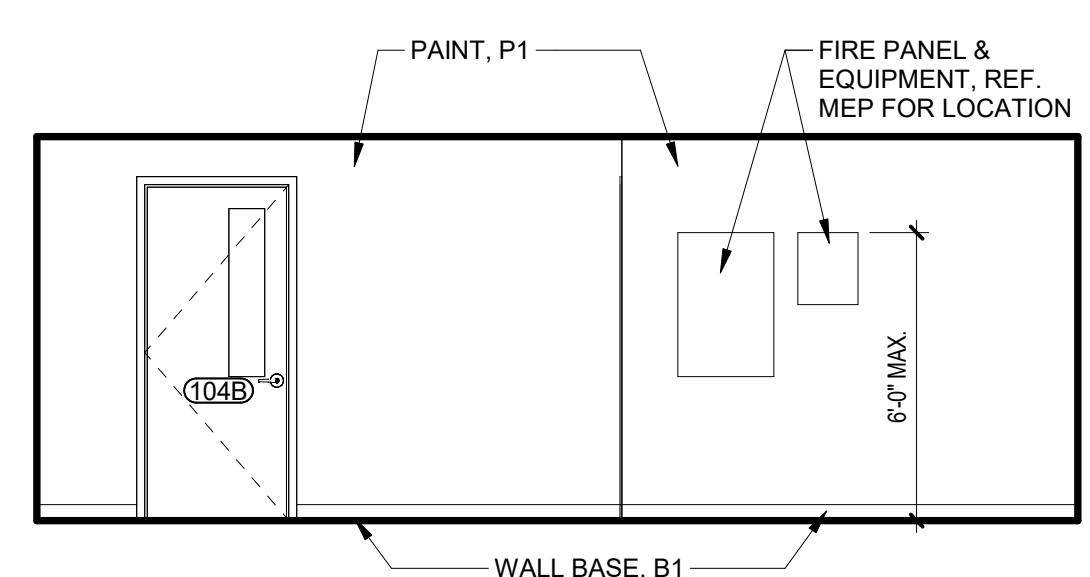
5 INTERIOR ELEVATION - WEST
Scale: 1/4" = 1'-0"



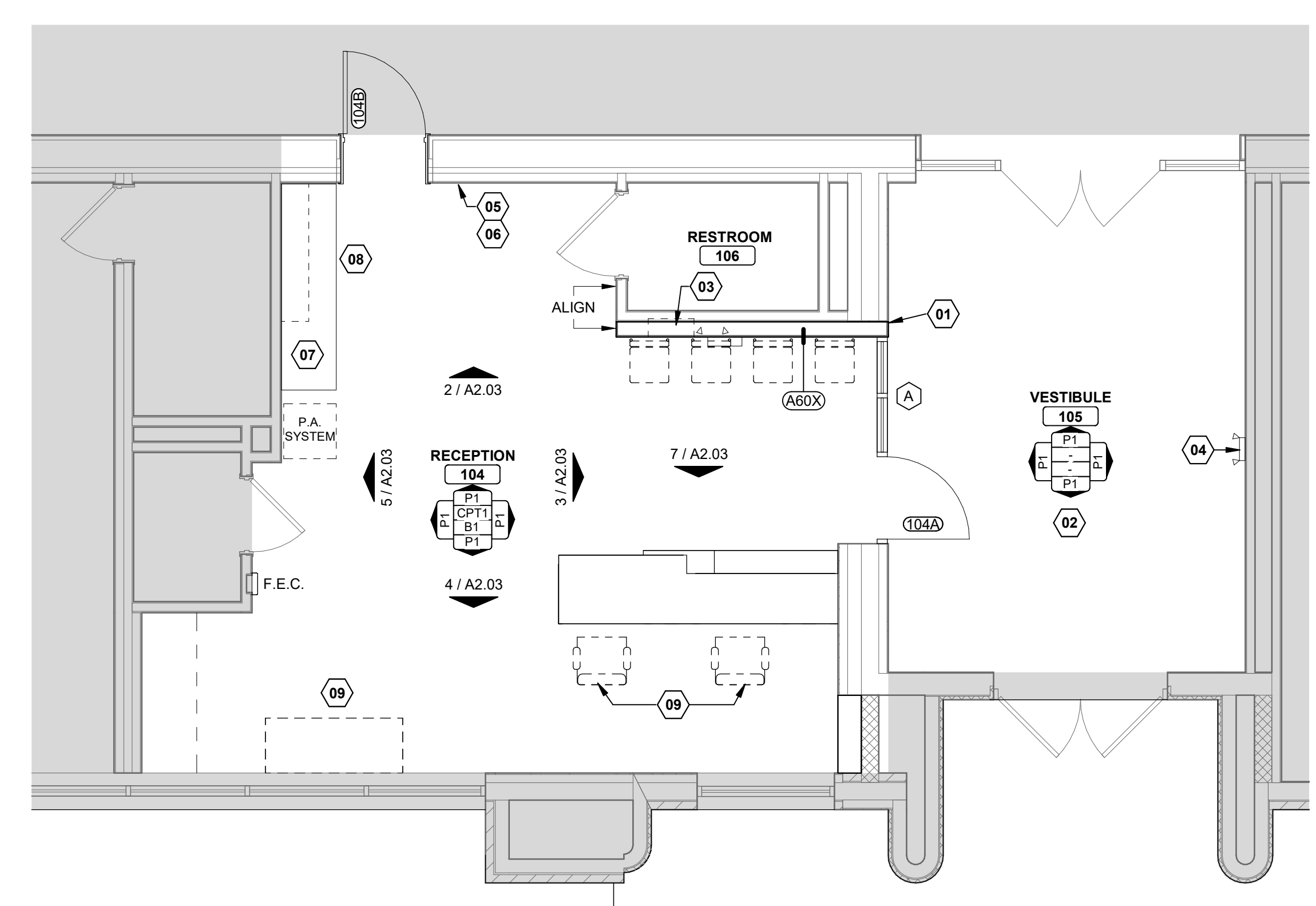
3 INTERIOR ELEVATION - EAST
Scale: 1/4" = 1'-0"



4 INTERIOR ELEVATION - SOUTH
Scale: 1/4" = 1'-0"



2 INTERIOR ELEVATION - NORTH
Scale: 1/4" = 1'-0"



1 ENLARGE PLAN
Scale: 1/4" = 1'-0"



ENLARGED PLANS, DOOR SCHEDULES, DETAILS, & FINISHES

DRAWING RECORD	
DATE	DESCRIPTION
04/29/24	SD PHASE
05/20/24	DD PHASE
06/21/24	50% CD
08/19/24	85% CD
09/09/24	100% CD
09/18/24	BID SET
11/01/24	ADDENDUM 03

DEMOLITION NOTES

- THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, TOOLS, EQUIPMENT AND RELATED ITEMS REQUIRED TO COMPLETE THE DEMOLITION WORK.
- REMOVE ALL BUILDING PARTS AND/OR OTHER ITEMS AS REQUIRED TO ALLOW FOR THE INSTALLATION AND CONNECTION OF THE NEW WORK, INCLUDING REMOVAL OF SUCH EXISTING MECHANICAL AND/OR ELECTRICAL EQUIPMENT, FIXTURES, PIPING, CONDUIT, WIRE, ETC., NOT REQUIRED IN CONNECTION WITH THE WORK.
- THE DEMOLITION DRAWINGS INDICATE BUILDING CONDITIONS PER EXISTING RECORDS AND PROJECT INVESTIGATION. THE CONTRACTOR SHALL ANTICIPATE POSSIBLE SLIGHT DEVIATION FROM THESE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS AND DETAILS FOR EXTENT OF DEMOLITION.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL DEMOLITION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATION OF ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- SALVAGE ALL EXISTING DOORS, FRAMES AND HARDWARE AND SHELVING NOT SCHEDULED FOR RE-USE AND STORE AS DIRECTED BY OWNER.
- ANY QUESTIONS CONCERNING OWNERSHIP OF SALVAGEABLE MATERIAL SHALL BE ANSWERED BY THE OWNER.
- THE CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES, AND INSPECTIONS REQUIRED FOR THE EXECUTION OF THE WORK.
- PROTECT ALL EXISTING FINISHES, DOOR FRAMES, EQUIPMENT AND MATERIALS THAT ARE NOTED TO REMAIN IN PLACE.
- PROTECT EXISTING ITEMS AND MATERIALS THAT ARE TO BE REUSED DURING THEIR REMOVAL, HANDLING, AND STORAGE.
- REPLACE ALL ITEMS TO BE REUSED IF THEY ARE DAMAGED AND CANNOT BE REPAIRED TO THE SATISFACTION OF THE ARCHITECT.
- PROTECT ACCESS TO ALL OCCUPIED SPACES FOR CONTINUOUS OPERATION.
- COORDINATE ALL WORK WITH THE OWNER & TENANT IN ORDER TO AVOID INTERFERING WITH THE OWNER'S OPERATIONS.

- REMOVAL OF THE BUILDING PARTS SHALL BE PERFORMED IN A SAFE, ORDERLY AND CAREFUL MANNER, WITH CONSIDERATION AT ALL TIMES FOR THE SAFETY AND WELFARE OF THE PUBLIC, TENANTS, AND PERSONNEL OF THE CONTRACTOR AND/OR SUBCONTRACTORS.
- MAINTAIN THE UTILITIES TO OCCUPIED SPACES AT ALL TIMES DURING BUSINESS HOURS.
- AREAS INVOLVED SHALL BE KEPT CLEAN DURING WORKING HOURS AND SHALL BE SWEEPED BROOM CLEAN AT THE END OF EACH WORK DAY.
- WHEN EXISTING MECHANICAL, PLUMBING AND/OR EQUIPMENT ARE TO BE REMOVED FROM THE BUILDING, THEY SHALL BE DISCONNECTED AT THE SOURCE.
- SERVICE CONNECTIONS SHALL BE SAFELY REMOVED, CAPPED OR PLUGGED IN CONFORMITY WITH LOCAL LAWS AND ORDINANCES, REQUIREMENTS OF PUBLIC UTILITY COMPANIES, AND OF THE NATIONAL BOARD OF FIRE UNDERWRITERS, AND IN SUCH MANNER AS NOT TO INTERFERE WITH THE USE OF THE OCCUPIED SPACES IN THE BUILDING.
- LINES SUCH AS WATER, SEWER, OR SIMILAR UTILITIES THAT ARE TO BE ABANDONED SHALL BE CAPPED OR PLUGGED AS NECESSARY IN AN APPROVED MANNER.
- ALL UNSALVAGEABLE MATERIALS DEVELOPED DUE TO THIS DEMOLITION SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE.
- METHODS OF HANDLING MATERIALS, RUBBISH, AND/OR DEBRIS SHALL BE SUCH THAT THE SCATTERING OF DUST SHALL BE HELD TO A MINIMUM.
- TRUCKS AND/OR OTHER FORMS OF TRANSPORTATION USED FOR HAULING MATERIALS, TRASH AND/OR DEBRIS FROM THE SITE SHALL BE SUCH THAT NO MATERIALS, TRASH, OR DEBRIS IS DROPPED OR SCATTERED ALONG THE ROUTE OF TRAVEL EITHER ON SITE OR AFTER LEAVING THE SITE.
- TELEPHONE AND ELECTRICAL OUTLETS SHALL BE REMOVED AND CAPPED OFF AT THE NEAREST JUNCTION BOX WHEN EXISTING WALLS ARE DEMOLISHED AND SHALL BE REMOVED AND THE HOLE PATCHED WHEN EXISTING WALLS ARE TO REMAIN UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL REMOVE EXISTING FINISHES AS REQUIRED FOR INSTALLATION OF NEW FINISHES AND SHALL PREPARE THESE SURFACES TO RECEIVE THE NEW FINISHES.
- THE CONTRACTOR SHALL REMOVE EXISTING CARPET OR OTHER FLOOR COVERING IN THE AREA OF CONSTRUCTION AND SHALL PREPARE FLOOR FOR NEW FLOOR COVERING AS SPECIFIED.

DEMOLITION FLOOR PLAN LEGEND

- EXIST. TO BE REMOVED OR RELOCATED
- EXIST. TO REMAIN
- NOT IN SCOPE

DEMO NOTES BY SYMBOL

- 01 REMOVE AND DISCARD PORTION OF EXISTING WALL AND PASS THRU WINDOW, PREP OPENING TO RECEIVE NEW STOREFRONT, PATCH AS NEEDED.
- 02 REMOVE MILLWORK AND SAVE FOR RELOCATION
- 03 DOOR, HARDWARE AND FRAME TO BE REMOVED PREP. FOR A NEW DOOR WITH ELECTRIFIED HARDWARE
- 04 REMOVE MILLWORK AND SAVE FOR POSSIBLE RELOCATION COORDINATE WITH OWNER
- 05 REMOVE THERMOSTAT AND CHECK-IN DEVICE SAVE FOR RELOCATION, REF. MEP
- 06 EXISTING MILLWORK TO REMAIN, PROTECT DURING CONSTRUCTION.
- 07 DOOR TO BE REMOVED PREP. FOR A NEW DOOR WITH ELECTRIFIED HARDWARE FRAME AND STOREFRONT TO REMAIN.
- 08 REMOVAL / REINSTALLATION OF EXISTING WAPS MUST BE COORDINATED WITH DISD IT AT LEAST 2 WEEKS IN ADVANCE.



ENLARGED DEMOLITION PLANS

DRAWING RECORD	
DATE	DESCRIPTION
04/29/24	SD PHASE
05/20/24	DD PHASE
06/21/24	50% CD
08/16/24	85% CD
09/09/24	100% CD
09/18/24	BID SET
11/01/24	ADDENDUM 03



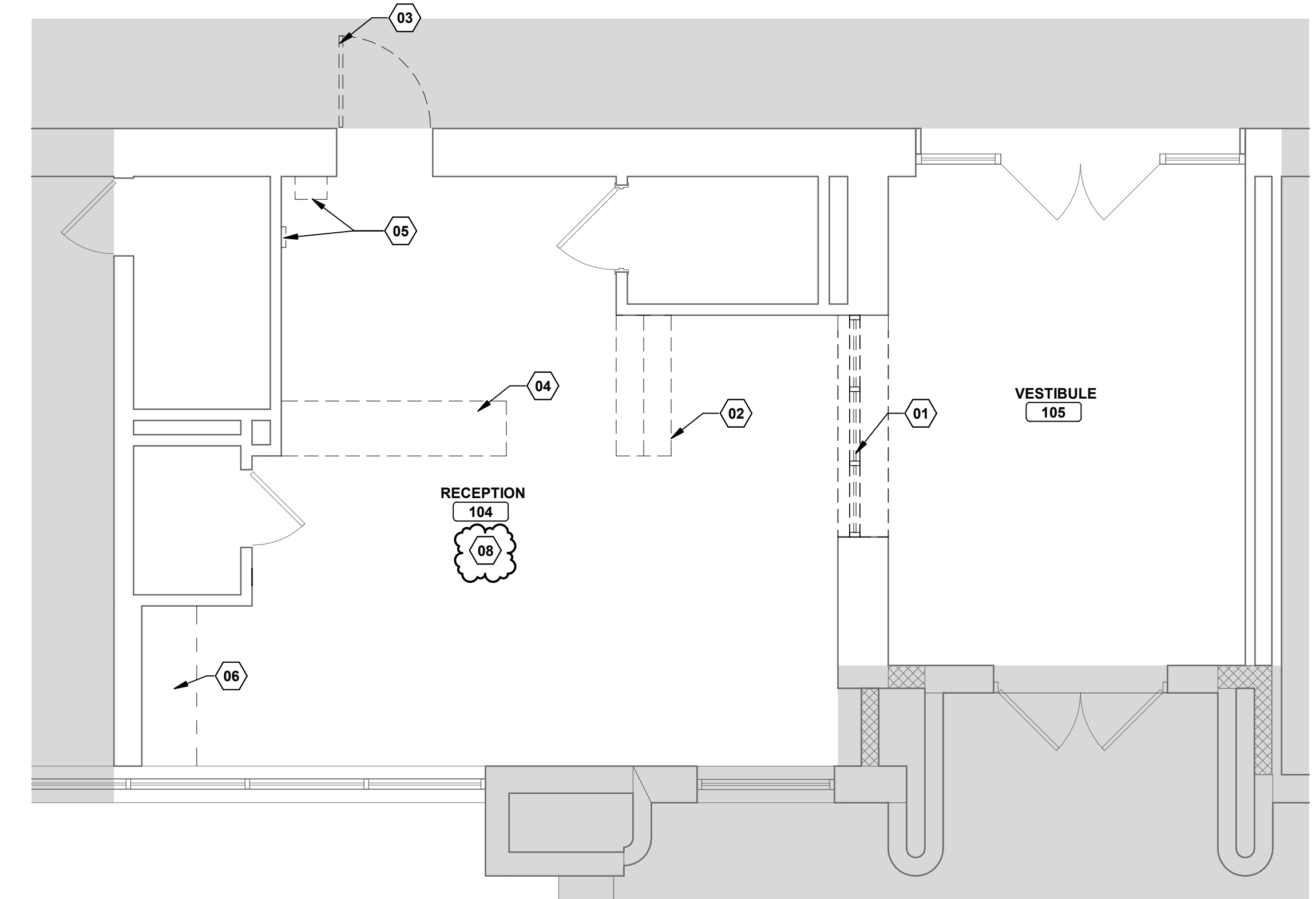
3 PHOTO DETAIL
Scale: N.T.S.



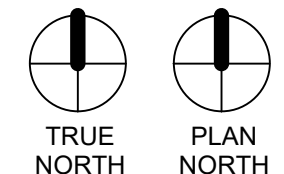
4 PHOTO DETAIL
Scale: N.T.S.



5 PHOTO DETAIL
Scale: 1" = 160'-0"



1 ENLARGED DEMO PLAN
Scale: 1/4" = 1'-0"



GENERAL PROJECT NOTES

- GENERAL CONTRACTOR IS TO AUDIT ALL EXISTING SYSTEMS BEFORE THE WORK IS STARTED TO VERIFY WORKING AND/OR NON-WORKING COMPONENTS. THE SYSTEMS INCLUDED ARE FIRE ALARM, PA SECURITY, SECURITY SENSORS, HVAC CONTROLS, ETC. CONTRACTOR IS TO AUDIT THESE SYSTEMS AND PROVIDE A WRITTEN REPORT TO THE PM/PM OF WHAT WAS FOUND FOR EACH SYSTEM AND PRECONSTRUCTION PHOTOS OF THESE SYSTEMS PER THE PROJECT SPECIFICATION SECTION 01 33 33 - PHOTOGRAPHIC DOCUMENTATION REQUIREMENTS. IF A WRITTEN REPORT IS NOT FURNISHED BEFORE THE CONTRACTOR MOBILIZES ON SITE AND/OR 10 BUSINESS DAYS FROM RECEIVING A NOTICE TO PROCEED, THE SYSTEMS WILL BE CONSIDERED TO BE FULLY FUNCTIONAL AND THE CONTRACTOR WILL BE REQUIRED TO MAINTAIN THEM AS SUCH THROUGH THE DURATION OF THE PROJECT, AND RETURN THEM IN FULLY OPERATIONAL CONDITION AT THE END OF THE PROJECT (FINAL COMPLETION) AT NO ADDITIONAL COST TO THE OWNER.
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- THE GENERAL CONTRACTOR TO EMPTY EXISTING GREASE INTERCEPTOR, SAMPLE WELL, ASSOCIATED GREASE WASTE PIPING AND SIMILAR EQUIPMENT BEFORE DEMO. GENERAL CONTRACTOR TO PROVIDE A TURN KEY PROPOSAL FOR GREASE EXTRACTION SERVICES.

DEMOLITION CEILING PLAN LEGEND

- EXIST. TO BE REMOVED OR RELOCATED
- EXIST. TO REMAIN
- 2"x4" RECESSED FLUORESCENT FIXTURE TO BE REMOVED & SALVAGED FOR REUSE. REFER TO OWNER FOR STORAGE LOCATION.
- EXISTING 2"x2" ACOUSTICAL LAY-IN CEILING TO REMAIN.
- NOT IN SCOPE

DEMOLITION NOTES

- THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, TOOLS, EQUIPMENT AND RELATED ITEMS REQUIRED TO COMPLETE THE DEMOLITION WORK.
- REMOVE ALL BUILDING PARTS AND/OR OTHER ITEMS AS REQUIRED TO ALLOW FOR THE INSTALLATION AND CONNECTION OF THE NEW WORK, INCLUDING REMOVAL OF SUCH EXISTING MECHANICAL AND/OR ELECTRICAL EQUIPMENT, FIXTURES, PIPING, CONDUIT, WIRE, ETC., NOT REQUIRED IN CONNECTION WITH THE WORK.
- THE DEMOLITION DRAWINGS INDICATE BUILDING CONDITIONS PER EXISTING RECORDS AND PROJECT INVESTIGATION. THE CONTRACTOR SHALL ANTICIPATE POSSIBLE SLIGHT DEVIATION FROM THESE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS AND DETAILS FOR EXTENT OF DEMOLITION.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL DEMOLITION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATION OF ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- SALVAGE ALL EXISTING DOORS, FRAMES AND HARDWARE AND SHELVING NOT SCHEDULED FOR RE-USE AND STORE AS DIRECTED BY OWNER.
- ANY QUESTIONS CONCERNING OWNERSHIP OF SALVAGEABLE MATERIAL SHALL BE ANSWERED BY THE OWNER.
- THE CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES, AND INSPECTIONS REQUIRED FOR THE EXECUTION OF THE WORK.
- PROTECT ALL EXISTING FINISHES, DOOR FRAMES, EQUIPMENT AND MATERIALS THAT ARE NOTED TO REMAIN IN PLACE.
- PROTECT EXISTING ITEMS AND MATERIALS THAT ARE TO BE REUSED DURING THEIR REMOVAL, HANDLING, AND STORAGE.
- REPLACE ALL ITEMS TO BE REUSED IF THEY ARE DAMAGED AND CANNOT BE REPAIRED TO THE SATISFACTION OF THE ARCHITECT.
- PROTECT ACCESS TO ALL OCCUPIED SPACES FOR CONTINUOUS OPERATION.
- COORDINATE ALL WORK WITH THE OWNER & TENANT IN ORDER TO AVOID INTERFERING WITH THE OWNER'S OPERATIONS.

DEMOLITION FLOOR PLAN LEGEND

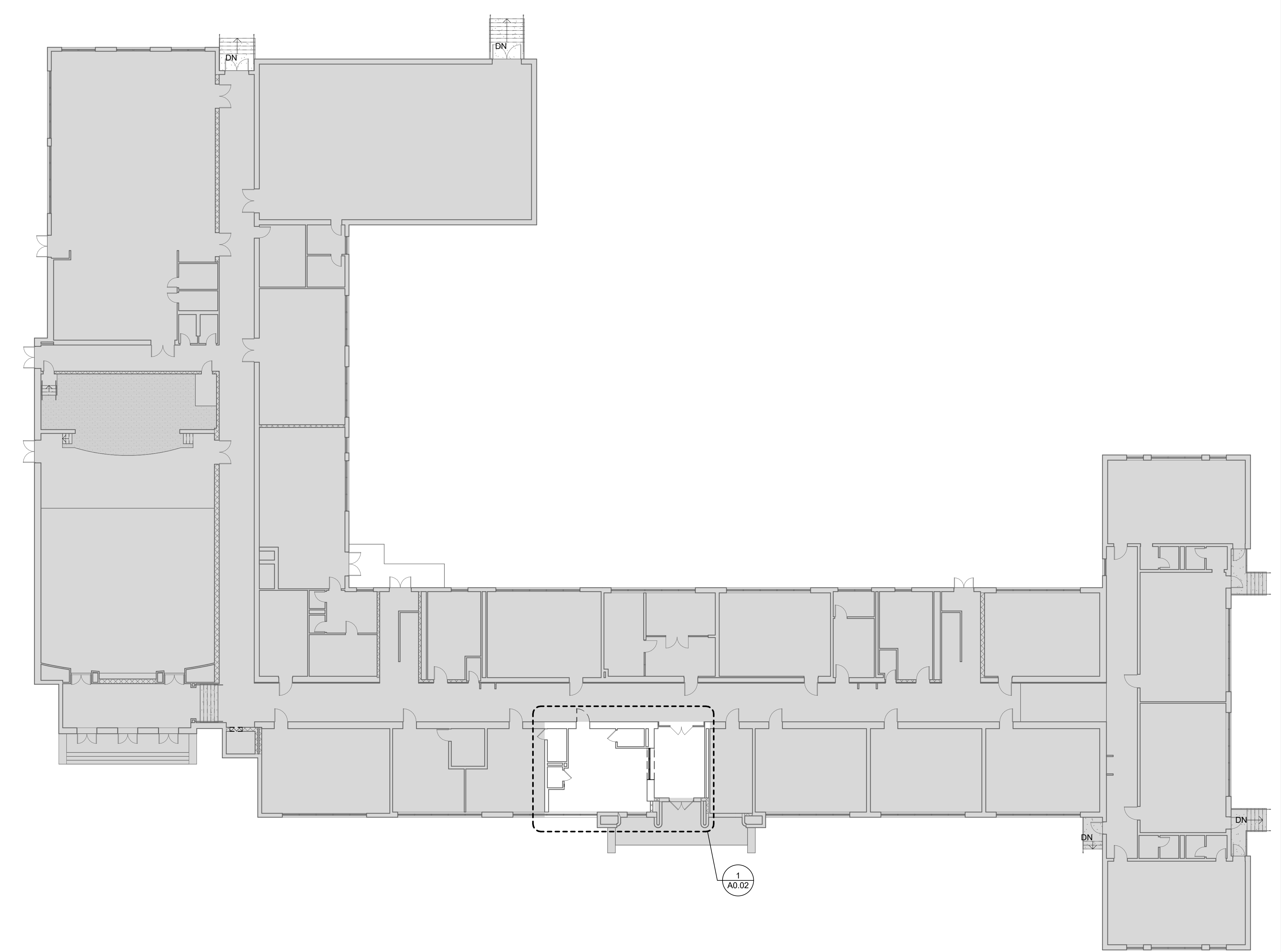
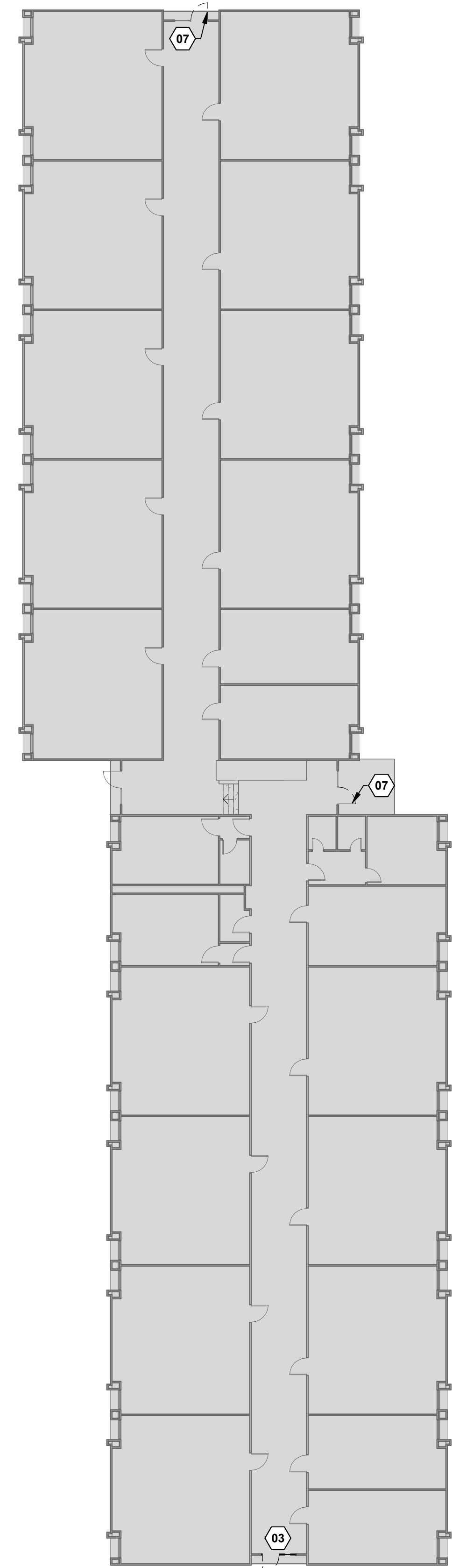
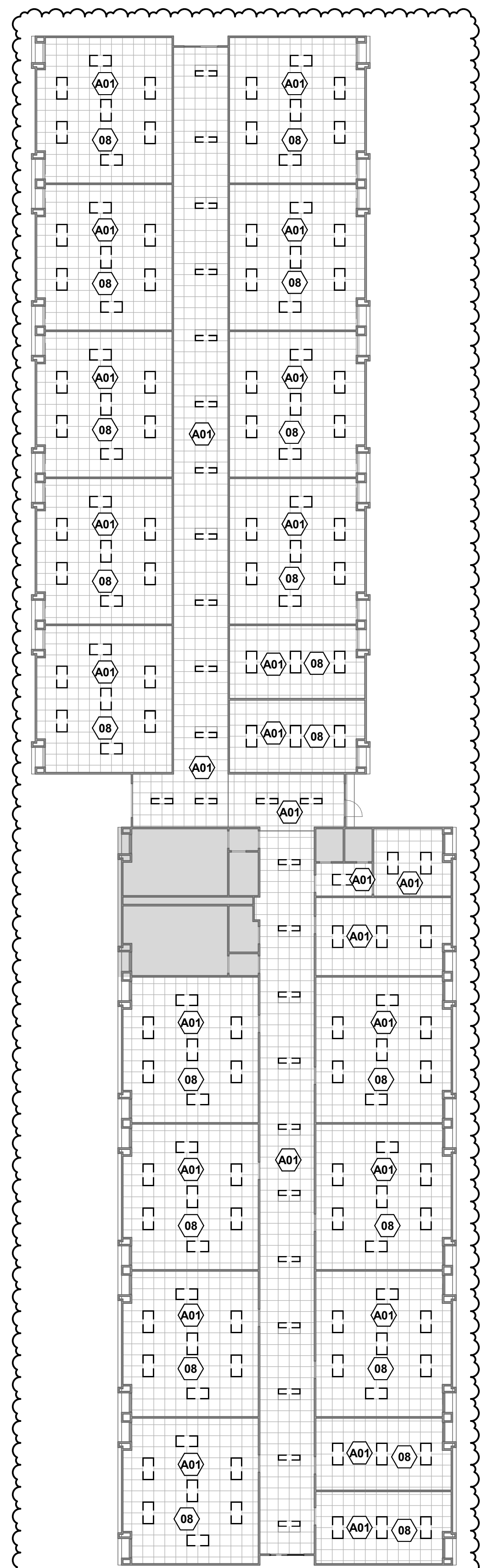
- EXIST. TO BE REMOVED OR RELOCATED
- EXIST. TO REMAIN
- NOT IN SCOPE

DEMO NOTES BY SYMBOL

- 01 REMOVE AND DISCARD PORTION OF EXISTING WALL AND PASS THRU WINDOW. PREP OPENING TO RECEIVE NEW STOREFRONT. PATCH AS NEEDED.
- 02 REMOVE MILLWORK AND SAVE FOR RELOCATION
- 03 DOOR, HARDWARE AND FRAME TO BE REMOVED PREP FOR A NEW DOOR WITH ELECTRIFIED HARDWARE
- 04 REMOVE MILLWORK AND SAVE FOR POSSIBLE RELOCATION COORDINATE WITH OWNER
- 05 REMOVE THERMOSTAT AND CHECK-IN DEVICE SAVE FOR RELOCATION, REF. MEP
- 06 EXISTING MILLWORK TO REMAIN. PROTECT DURING CONSTRUCTION.
- 07 DOOR TO BE REMOVED PREP FOR A NEW DOOR WITH ELECTRIFIED HARDWARE FRAME AND RELOCATION TO REMAIN.
- 08 REMOVAL / REINSTALLATION OF EXISTING WAPS MUST BE COORDINATED WITH DISD AT LEAST 2 WEEKS IN ADVANCE.

ALT. DEMO RCP NOTES BY SYMBOL

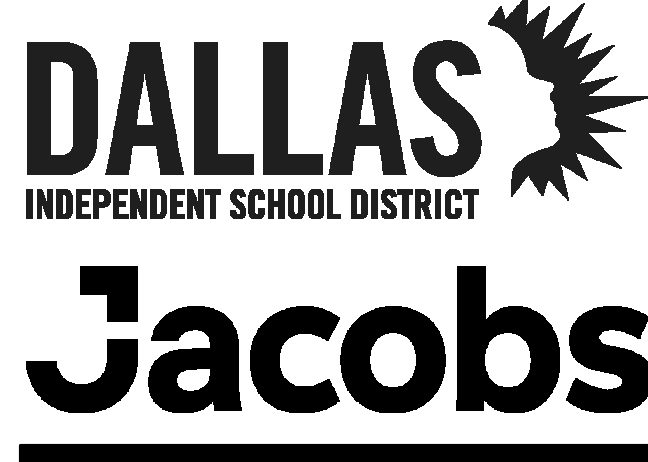
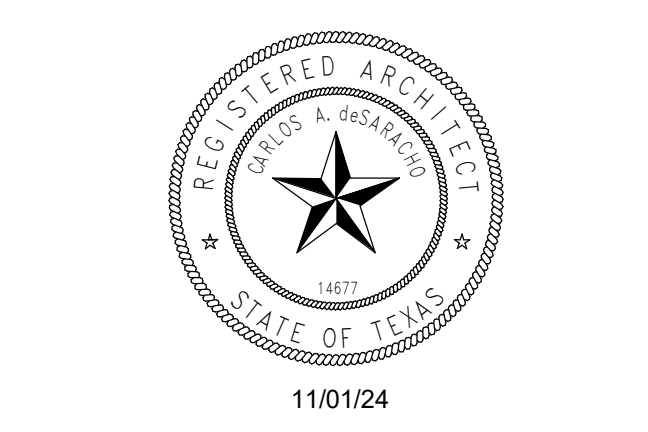
- 09 LIGHT FIXTURES SCHEDULED TO BE REMOVED AND REPLACED. REFER TO MEP FOR FURTHER INFORMATION. PROTECT EXISTING CEILING TILE & GRID DURING CONSTRUCTION. IF GC DAMAGES CEILING GRID & TILE SYSTEM DURING CONSTRUCTION, GC IS RESPONSIBLE TO REPLACE ENTIRE CEILING WITH NEW.



3 DEMOLITION CEILING PLAN 'B'
Scale: 1/16" = 1'-0"
TRUE NORTH PLAN NORTH

2 DEMOLITION FLOOR PLAN 'B'
Scale: 1/16" = 1'-0"
TRUE NORTH PLAN NORTH

1 DEMOLITION FLOOR PLAN 'A'
Scale: 1/16" = 1'-0"
TRUE NORTH PLAN NORTH



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OVERALL DEMOLITION PLAN

DRAWING RECORD	
DATE	DESCRIPTION
04/29/24	SD PHASE
05/20/24	DD PHASE
06/21/24	50% CD
08/16/24	95% CD
09/09/24	100% CD
09/18/24	BID SET
11/01/24	ADDENDUM 03

A0.01

PROJECT NO.: 2023209

SITE DATA SUMMARY

CURRENT USE:	PUBLIC SCHOOL
CURRENT TOTAL LOT AREA:	XXX.XX ACRES XXXX.XXXX SQUARE FEET
CURRENT FLOOR AREA:	XX.XX SQUARE FEET
MAXIMUM ALLOWABLE LOT COVERAGE:	25%
ACTUAL LOT COVERAGE:	17% (WITH ADDITION)
TOTAL NUMBER OF EXISTING CLASSROOMS:	35
PARKING REQUIRED:	80 VEHICLES, INCLUDING (4) ACCESSIBLE SPACES
CURRENT PARKING PROVIDED:	80 VEHICLES, INCLUDING (4) ACCESSIBLE SPACES
CURRENT FOOTPRINT AREA:	82,297 SQUARE FEET
PROPOSED FOOTPRINT AREA:	XXXXX SQUARE FEET
TOTAL FOOTPRINT AREA:	XXXXX SQUARE FEET
CURRENT FLOOR AREA:	XXXXX SQUARE FEET
PROPOSED FLOOR AREA:	XXXXX SQUARE FEET
TOTAL FLOOR AREA:	XXXXX SQUARE FEET

FOR PD REFERENCE, REFER TO PD641

GENERAL PROJECT NOTES

- GENERAL CONTRACTOR IS TO AUDIT ALL EXISTING SYSTEMS BEFORE THE WORK IS STARTED TO VERIFY WORKING AND/OR NON-WORKING COMPONENTS. THE SYSTEMS INCLUDED ARE FIRE ALARM, PA, SECURITY, SECURITY SENSORS, HVAC, CONTROLS, ETC. CONTRACTOR IS TO AUDIT THESE SYSTEMS AND PROVIDE A WRITTEN REPORT TO THE PM/PM OF WHAT WAS FOUND FOR EACH SYSTEM AND PRECONSTRUCTION PHOTOS OF THESE SYSTEMS PER THE PROJECT SPECIFICATION SECTION 01 32 33 - PHOTOGRAPHIC DOCUMENTATION REQUIREMENTS. IF A WRITTEN REPORT IS NOT FURNISHED BEFORE THE CONTRACTOR MOBILIZES ON SITE AND/OR 10 BUSINESS DAYS FROM RECEIVING A NOTICE TO PROCEED, THE SYSTEMS WILL BE CONSIDERED TO BE FULLY FUNCTIONAL AND THE CONTRACTOR WILL BE REQUIRED TO MAINTAIN THEM AS SUCH THROUGH THE DURATION OF THE PROJECT, AND RETURN THEM IN FULLY OPERATIONAL CONDITION AT THE END OF THE PROJECT (FINAL COMPLETION) AT NO ADDITIONAL COST TO THE OWNER.
- THE GENERAL CONTRACTOR RESPONSIBLE FOR HIRING THE ABATEMENT CONTRACTOR AND COORDINATE DURING CONSTRUCTION AND SCHEDULE. THE OWNER TO PROVIDE MONITORING SERVICES DURING ABATEMENT. REFER TO SPECS FOR HAZMAT REPORT.
- THE GENERAL CONTRACTOR TO EMPTY EXISTING GREASE INTERCEPTOR, SAMPLE WELL, ASSOCIATED GREASE WASTE PIPING AND SIMILAR EQUIPMENT BEFORE DEMO. GENERAL CONTRACTOR TO PROVIDE A TURN KEY PROPOSAL FOR GREASE EXTRACTION SERVICES.

SITE PLAN LEGEND

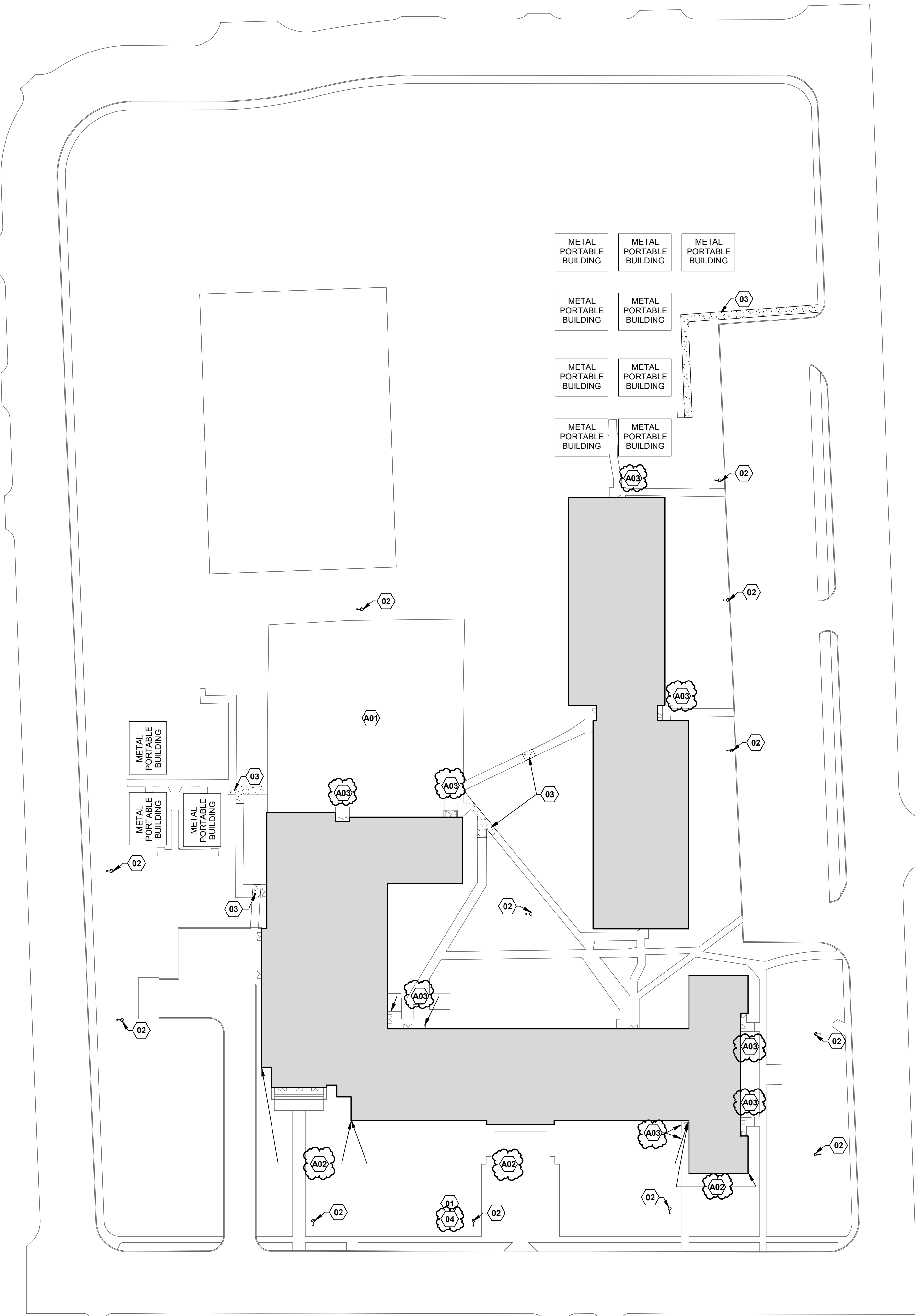
EXISTING BUILDING

SITE PLAN NOTES BY SYMBOL

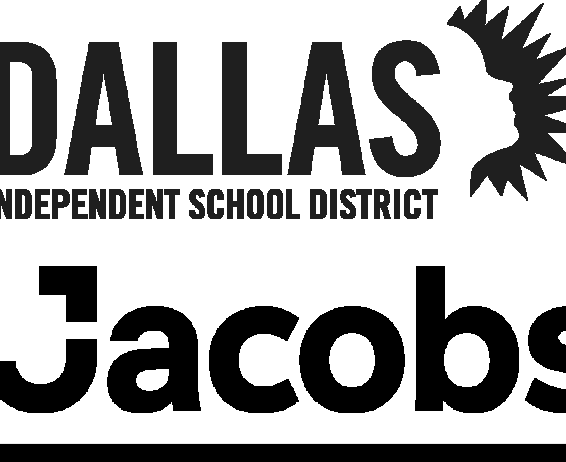
- 01 REMOVE AND REPLACE WITH NEW DIGITAL MARQUEE SIGN.
- 02 REPLACE EXTERIOR LIGHTS WITH LED LIGHTING AND PROVIDE EXTERIOR LIGHTING CONTROLS. REFER TO MEP.
- 03 REMOVE AND REPLACE DAMAGED CONCRETE SIDEWALKS. REFER TO CIVIL.
- 04 IF UPN FIBER NEEDS TO BE RELOCATED, NOTIFY DISD IMMEDIATELY.

ALTERNATE NOTES BY SYMBOL

- A01 REPAIR AND RESURFACE BLACKTOP PLAYGROUND.
- A02 PERFORM MILD DETERGENT MEDIUM PRESSURE WASH ON STAINED OR MILDEWED FACADE (BRICK AND CAST STONE). PROTECT SEALANT AT JOINTS, EQUIPMENT ON INTERIOR SIDE OF LOUVERS SURFACE MOUNTED DEVICES AND/OR EQUIPMENT ON EXTERIOR OF BUILDING. INCLUDE CLEANING WALLBEHIND DOWNSPOUTS. PERFORM TEST WASH ON AN AREA APPROX. 4'X4' AND REVIEW/APPROVE BY ARCHITECT AND DISD REPRESENTATIVE PRIOR TO PERFORMING FULL WASH.
- A03 SANDBLAST, PRIME & REPAINT ALL HANDRAILS, GUARDRAILS & EXPOSED METAL AT RAMPS.



1 SITE PLAN
Scale: 1" = 40'-0"



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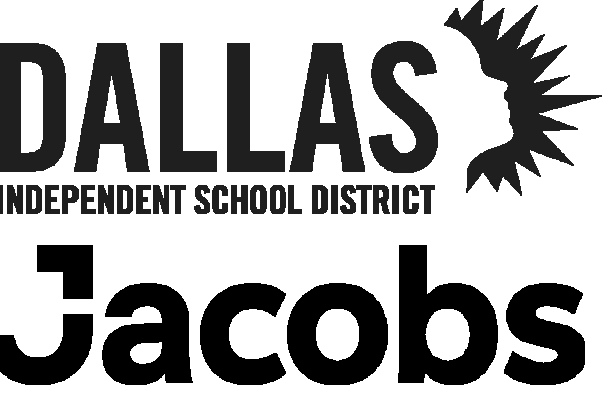
SITE PLAN

DRAWING RECORD	
DATE	DESCRIPTION
04/29/24	SD PHASE
05/20/24	DD PHASE
08/21/24	50% CD
08/19/24	85% CD
09/09/24	100% CD
09/18/24	BID SET
11/01/24	ADDENDUM 03

A1.01
PROJECT NO.: 2023209



10/31/24

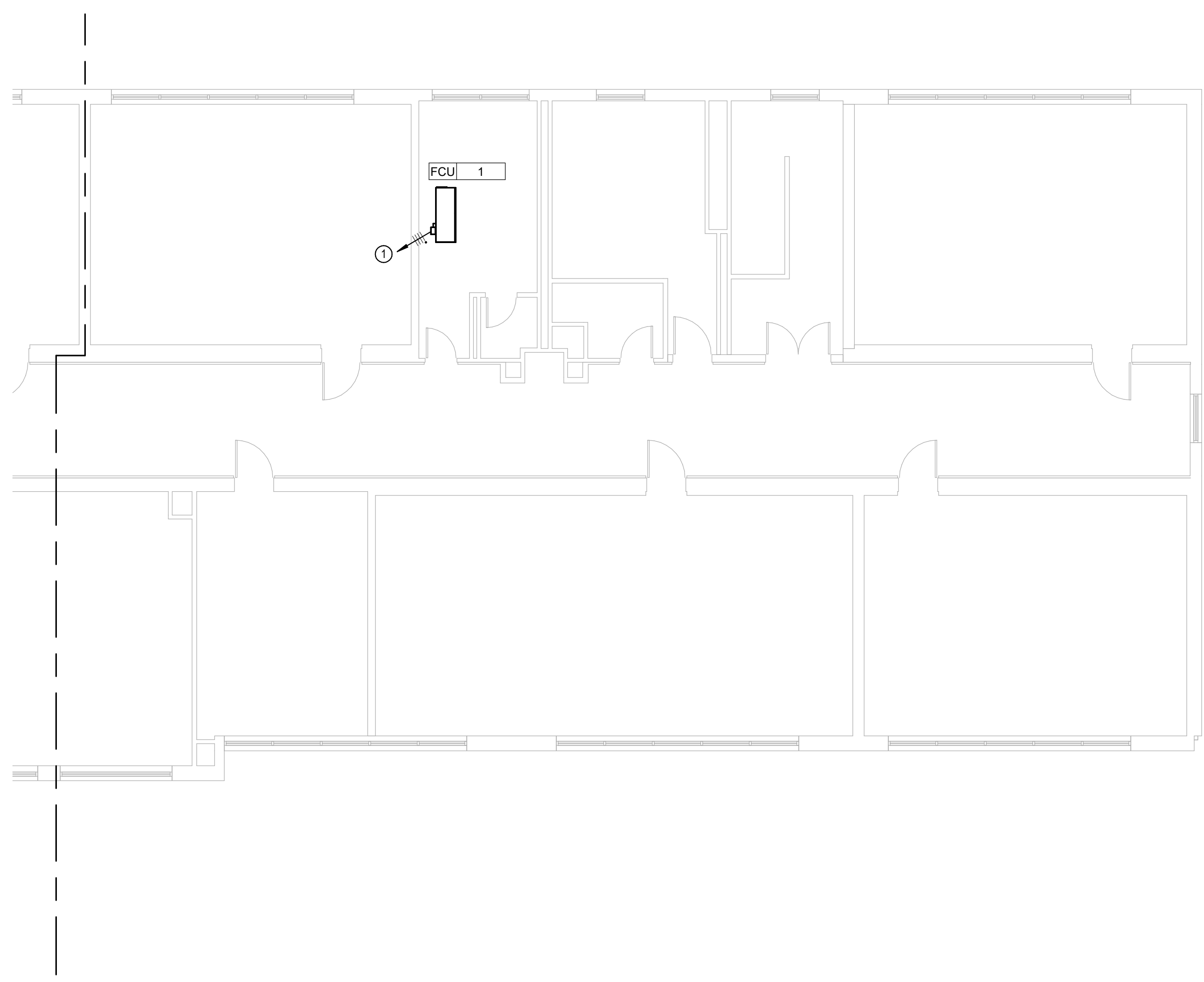


POWER GENERAL NOTES:

1. COORDINATE WITH ARCHITECTURAL PLANS, ELEVATIONS, AND DETAILS FOR EXACT LOCATIONS OF ALL WIRING DEVICES PRIOR TO ROUGH-IN.
2. COORDINATE WITH MECHANICAL DRAWINGS FOR LOCATIONS OF EQUIPMENT INCLUDING VAVS, DAMPERS, FCUS, ETC PRIOR TO ROUGH-IN.
3. PROVIDE FACELESS GFCI BUTTON FOR ALL INACCESSIBLE DEVICES.
4. ALL DUPLEXES TO BE TAMPER PROOF.

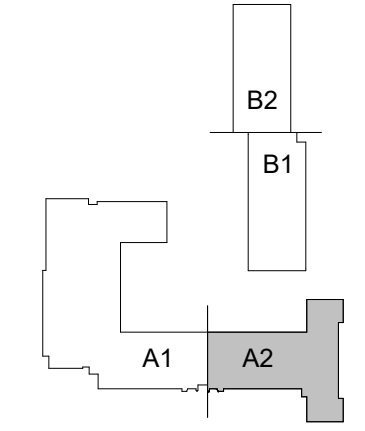
NOTES BY SYMBOL:

- 1 PROVIDE 600V 60A 3P NEMA 1 DISCONNECT SWITCH FOR FCU-1. CONNECT TO PANEL AC2. PROVIDE NEW 20A 3P CIRCUIT BREAKER AND 3 #10, #10 G IN 3/4" C.



1 PARTIAL POWER SECOND FLOOR PLAN 'A2'
SCALE: 1/8" = 1'-0"

KEY MAP



PARTIAL POWER SECOND FLOOR PLAN 'A2'

DRAWING RECORD	
DATE	DESCRIPTION
09/18/24	BID SET
11/01/24	ADDENDUM 03

E2.22

PROJECT NO.: 2023209

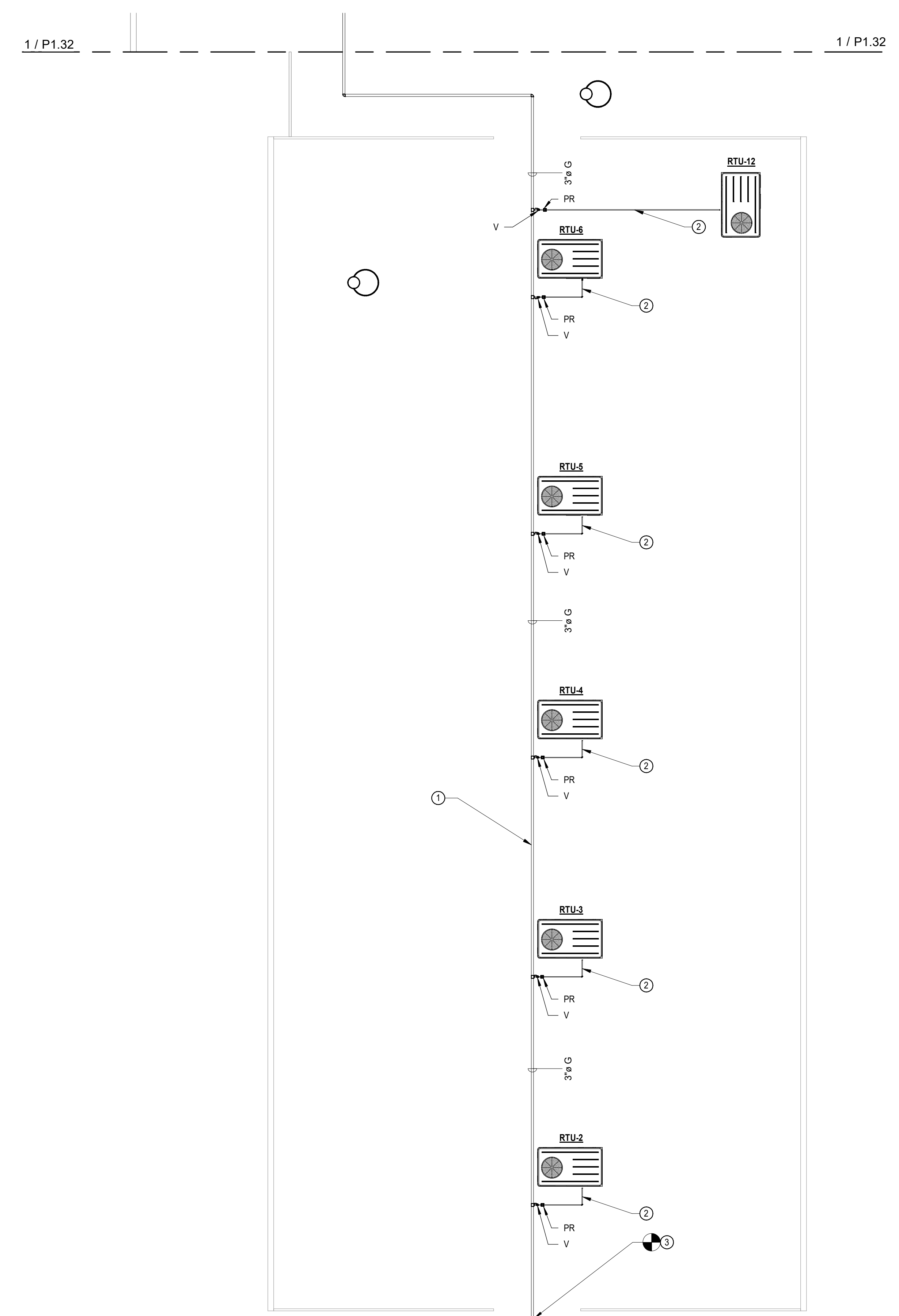
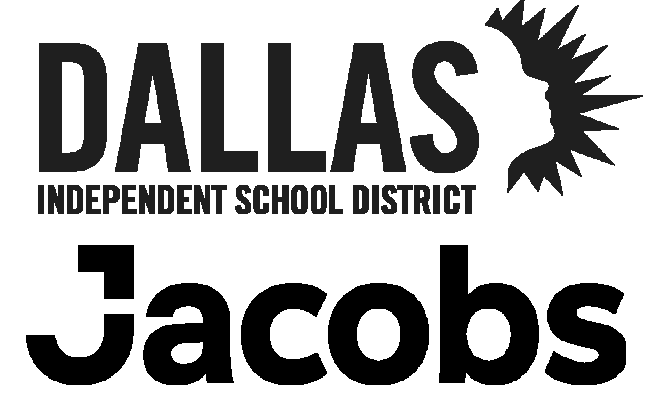
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LEGEND	
—	EXISTING
—	NEW
■	NOT IN SCOPE

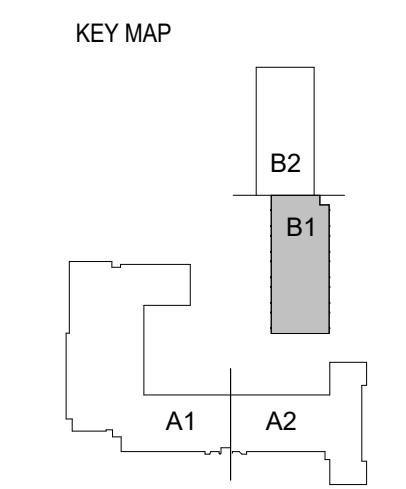
- NOTES BY SYMBOL:**
- 1 PROVIDE NEW GAS PIPING AND ROOF SUPPORTS. PROVIDE NEW GAS PIPING AT SAME SIZE AS EXISTING. FIELD VERIFY EXACT SIZE OF GAS PIPING PRIOR TO INSTALLATION. GAS PIPING TO BE PAINTED. COLOR TO BE APPROVED BY ARCHITECT.
 - 2 PROVIDE RTU WITH NEW 3/4" GAS PIPING CONNECTION (SEE DETAIL). PROVIDE WITH PRESSURE REGULATOR AND ISOLATION VALVE.
 - 3 CONNECT NEW GAS PIPING TO EXISTING RISER ALONG EDGE OF BUILDING. PROVIDE NEW GAS PIPING AT SAME SIZE AS EXISTING. FIELD VERIFY EXACT SIZE OF GAS PIPING PRIOR TO INSTALLATION.



10/31/24



1 PARTIAL PLUMBING ROOF PLAN 'B1'
SCALE: 1/8" = 1'-0"



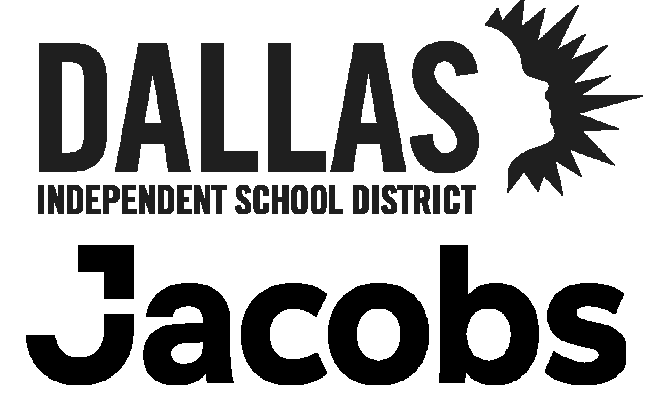
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PARTIAL PLUMBING ROOF PLAN 'B1'

DRAWING RECORD	
DATE	DESCRIPTION
09/18/24	BID SET
11/01/24	ADDENDUM 03



10/31/24



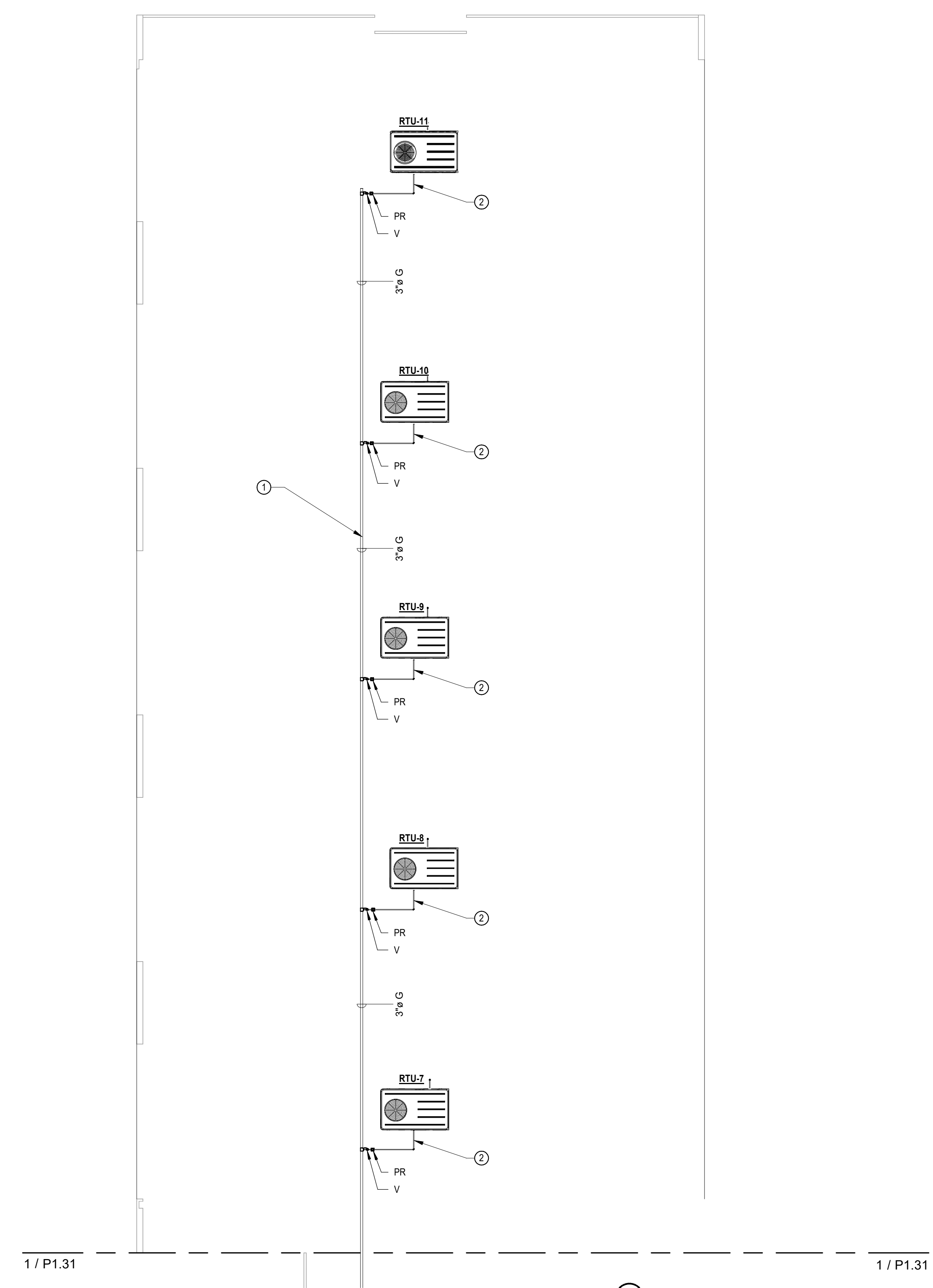
LEGEND

	EXISTING
	NEW
	NOT IN SCOPE

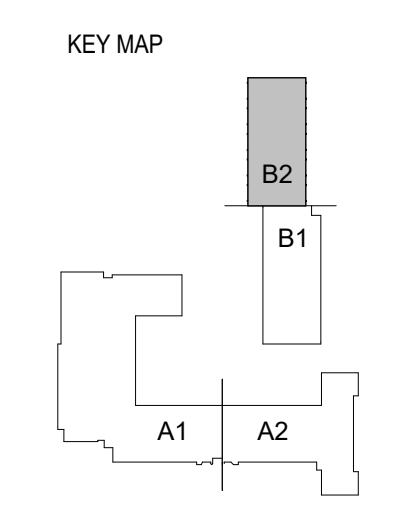
NOTES BY SYMBOL:

1 PROVIDE NEW GAS PIPING AND ROOF SUPPORTS. PROVIDE NEW GAS PIPING AT SAME SIZE AS EXISTING. FIELD VERIFY EXACT SIZE OF GAS PIPING PRIOR TO INSTALLATION. GAS PIPING TO BE PAINTED. COLOR TO BE APPROVED BY ARCHITECT.

2 PROVIDE EX. WITH NEW 1/2" GAS DRIVING CONNECTION (SEE DETAILS) PROVIDE WITH PRESSURE REGULATOR AND ISOLATION VALVE.



1 PARTIAL PLUMBING ROOF PLAN 'B2'
SCALE: 1/8" = 1'-0"



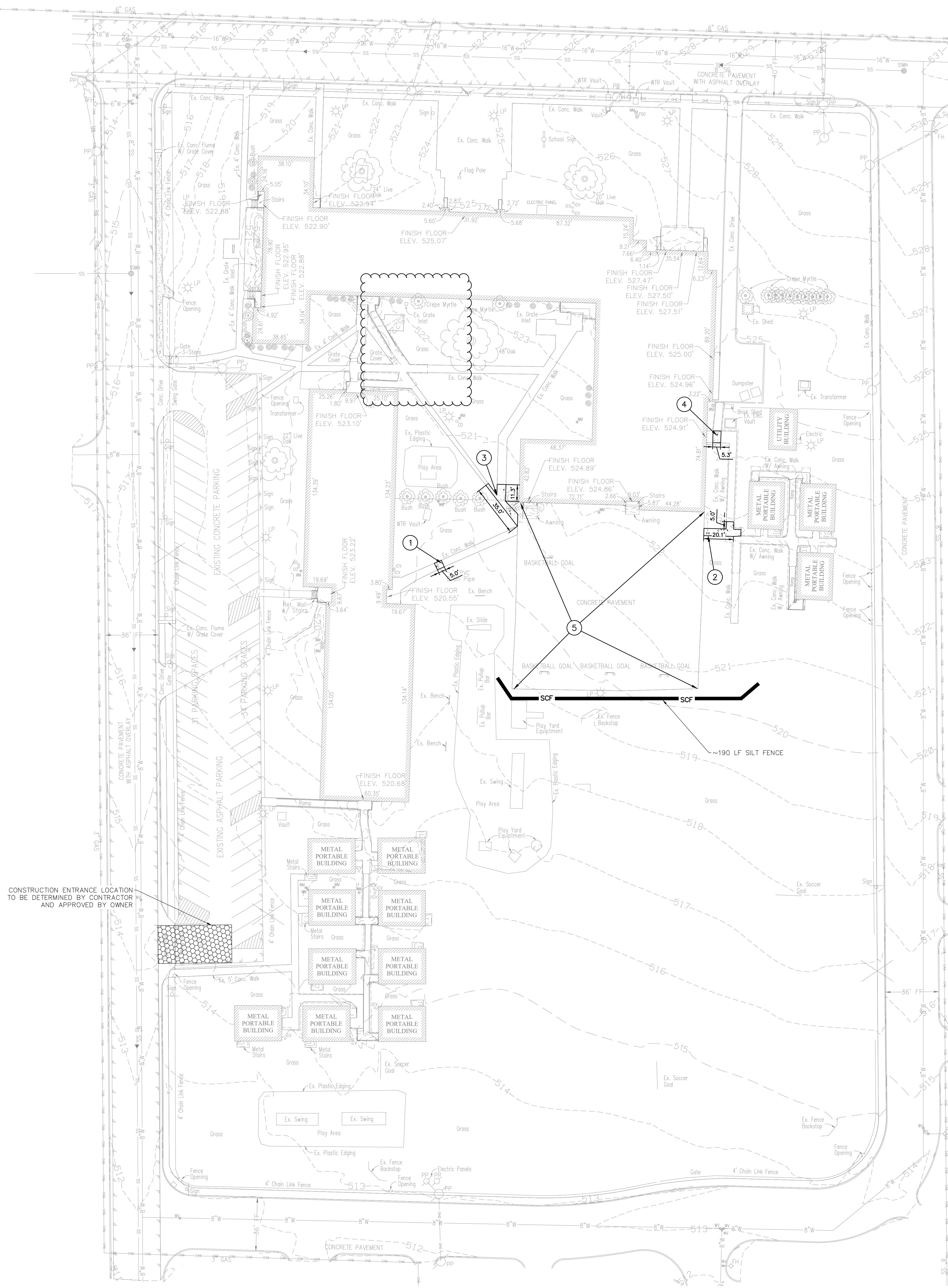
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PARTIAL PLUMBING ROOF PLAN 'B2'

DRAWING RECORD

DATE	DESCRIPTION
09/18/24	BID SET
11/01/24	ADDENDUM 03

P1.32



- ### Legend
- EXISTING BUILDING
 - 4" CONCRETE SIDEWALK
 - PROPERTY BOUNDARY
 - NEW FENCE
 - SCF
 - SILT FENCE (SEE DETAIL 03/C4.00)
 - CONSTRUCTION ENTRANCE (SEE DETAIL 04/C4.00)

- ### Keynotes
- 1 REMOVE AND REPLACE DAMAGED SIDEWALK**

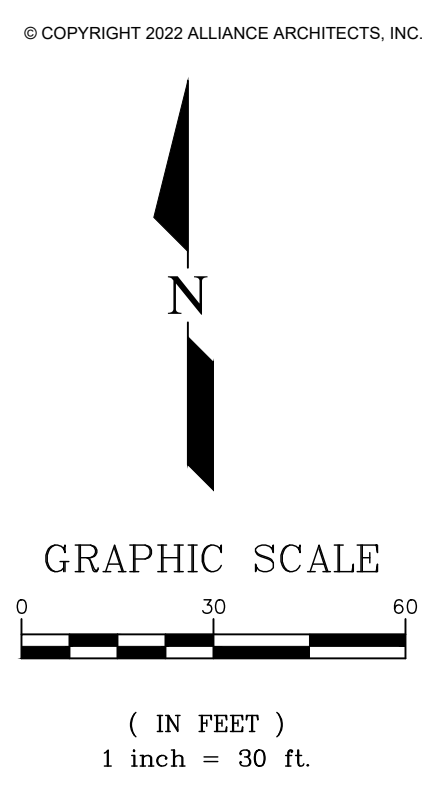
 - 2 REMOVE AND REPLACE DAMAGED SIDEWALK**

 - 3 REMOVE AND REPLACE DAMAGED SIDEWALK**

 - 4 REMOVE AND REPLACE DAMAGED SIDEWALK**

 - 5 ALTERNATE: MILL TOP LAYER OF PAVEMENT, SEAL CRACKS, AND OVERLAY EXISTING PAVED AREA**

- ### Notes
1. DIMENSIONS SHOWN FOR REFERENCE. REPLACE SIDEWALK TO NEAREST JOINT.
 2. SIDEWALKS TO BE REPLACED AT EXISTING ELEVATION.



10.31.2024



DALLAS
INDEPENDENT SCHOOL DISTRICT

Jacobs

ORG 207 DISD SAN JACINTO ELEMENTARY

7900 Hume Dr, Dallas, TX 75227

SITE PLAN

DRAWING RECORD	
DATE	DESCRIPTION
09.19.2024	IFB
11/01/2024	Addendum 03

shaping the built environment

JQ INFRASTRUCTURE, LLC
100 GASS STREEET, SUITE 201
972.392.7340
PROJECT NO. 4240087

DALLAS, TEXAS 75207
TYPE FORM 7383

C3.00
PROJECT NO.: 2023209

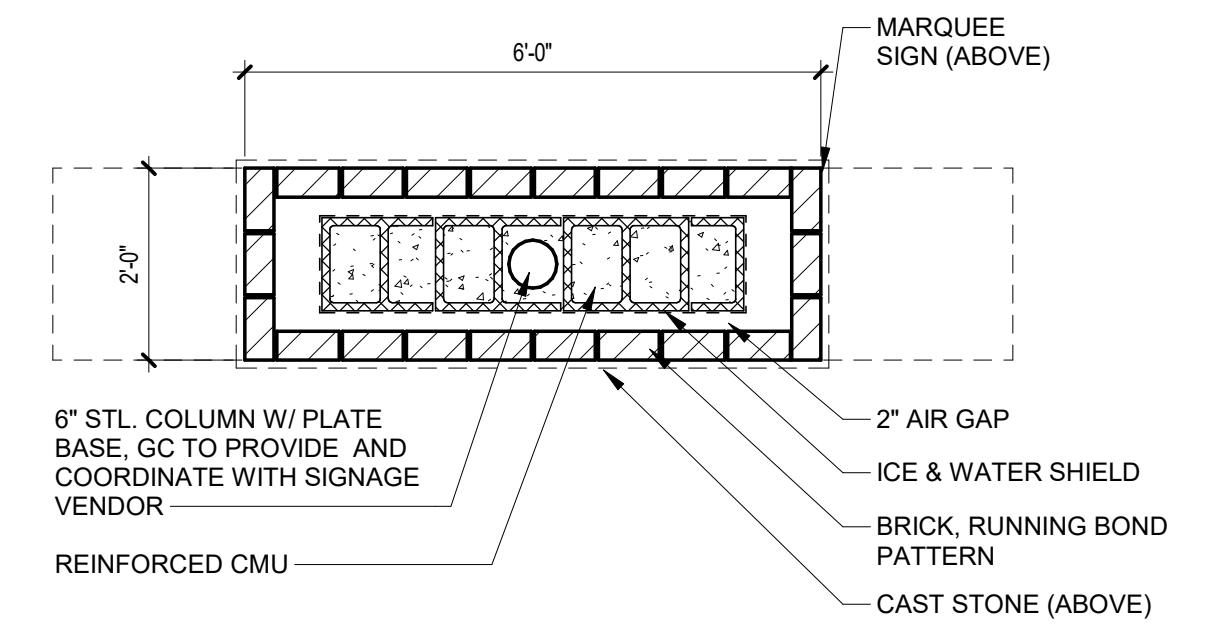
MARQUEE SIGNAGE NOTES

1. REFER TO MEP FOR ALL ELECTRICAL AND DATE REQUIREMENTS.
2. ENSURE UPN FIBER RUNNING INTO BUILDING WILL NOT BE AFFECTED BY MARQUEE EXCAVATION. IF UPN FIBER NEEDS TO BE RELOCATED, NOTIFY DISD.

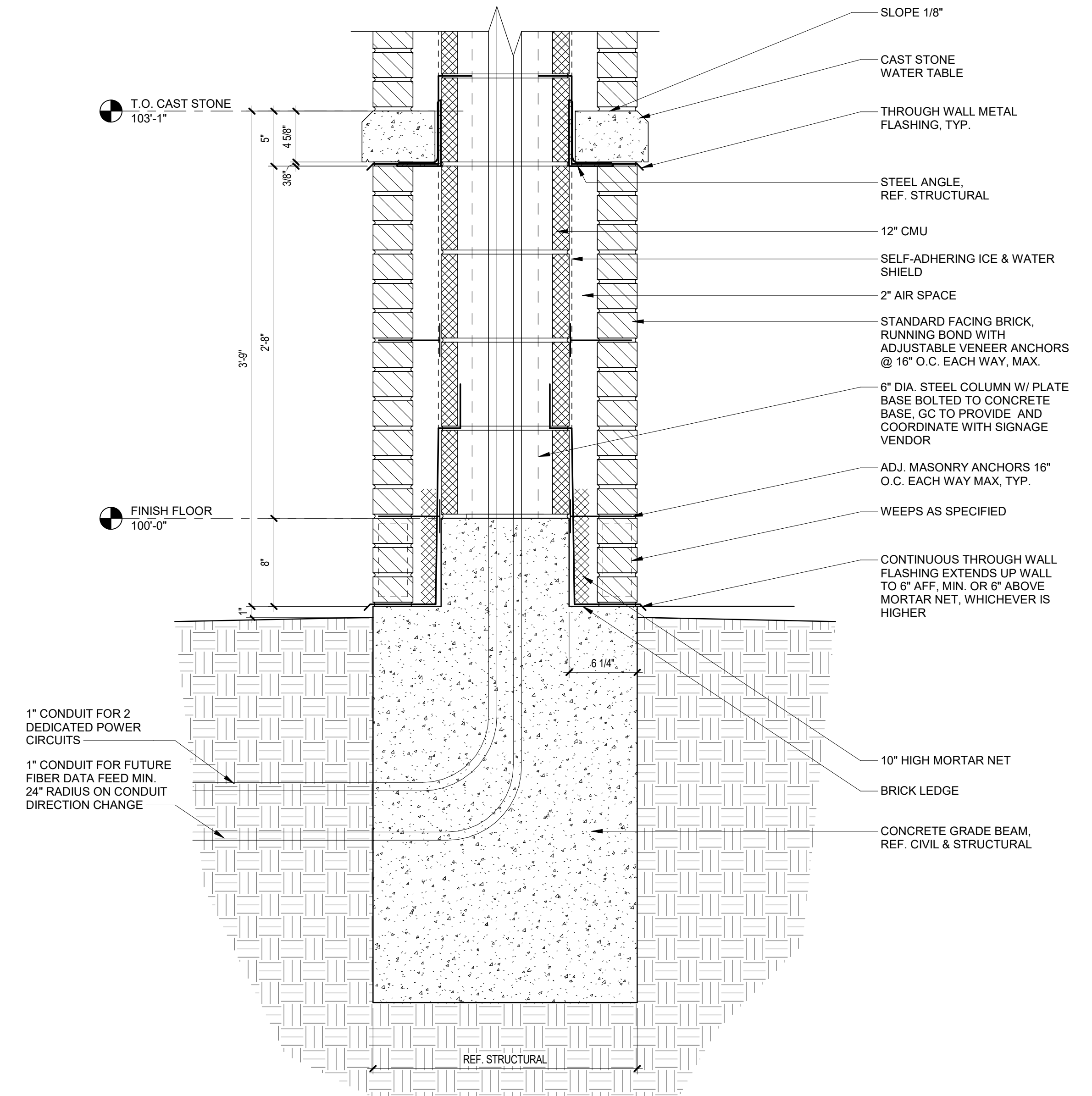
© COPYRIGHT 2024 ALLIANCE ARCHITECTS, INC.



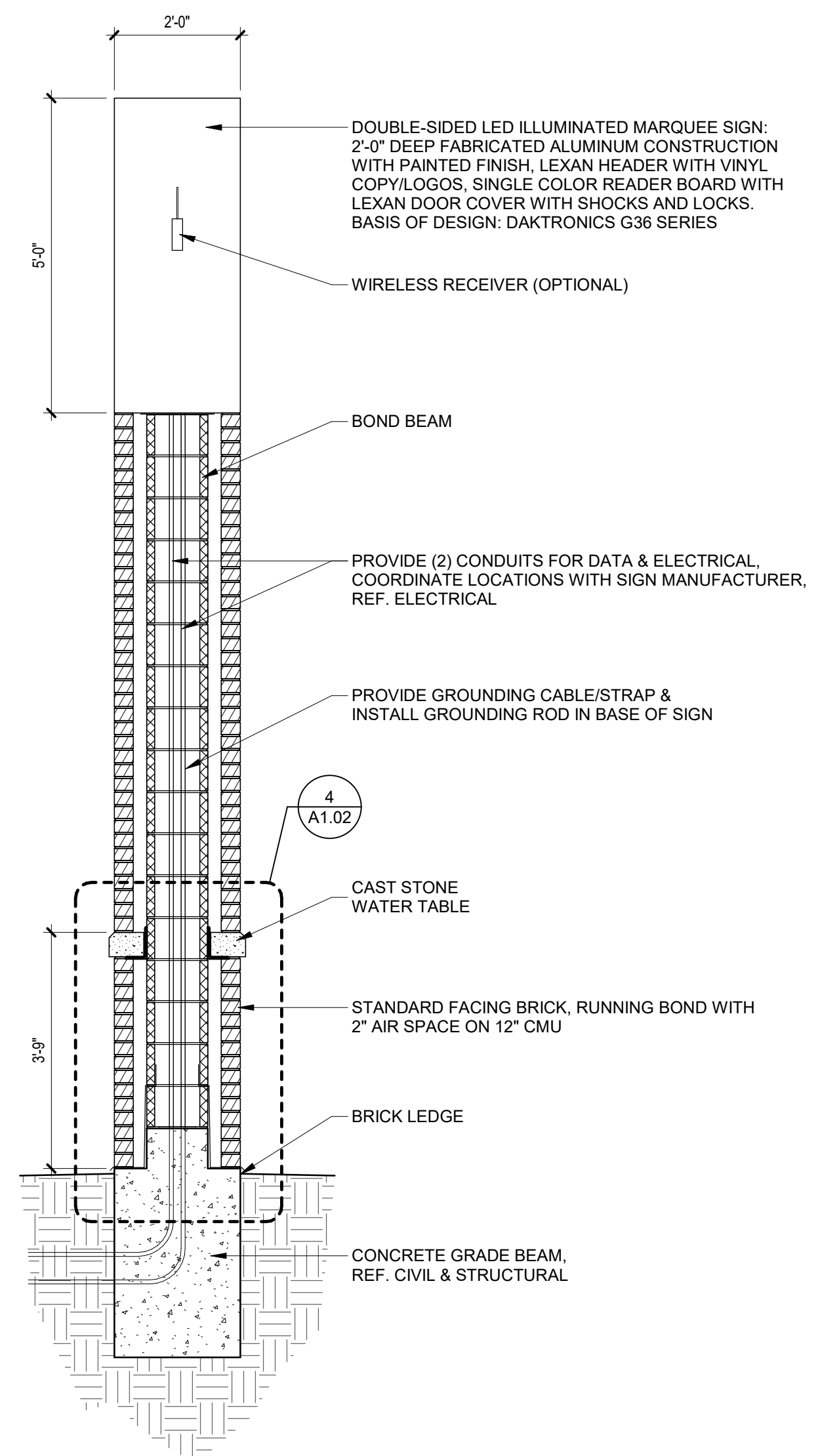
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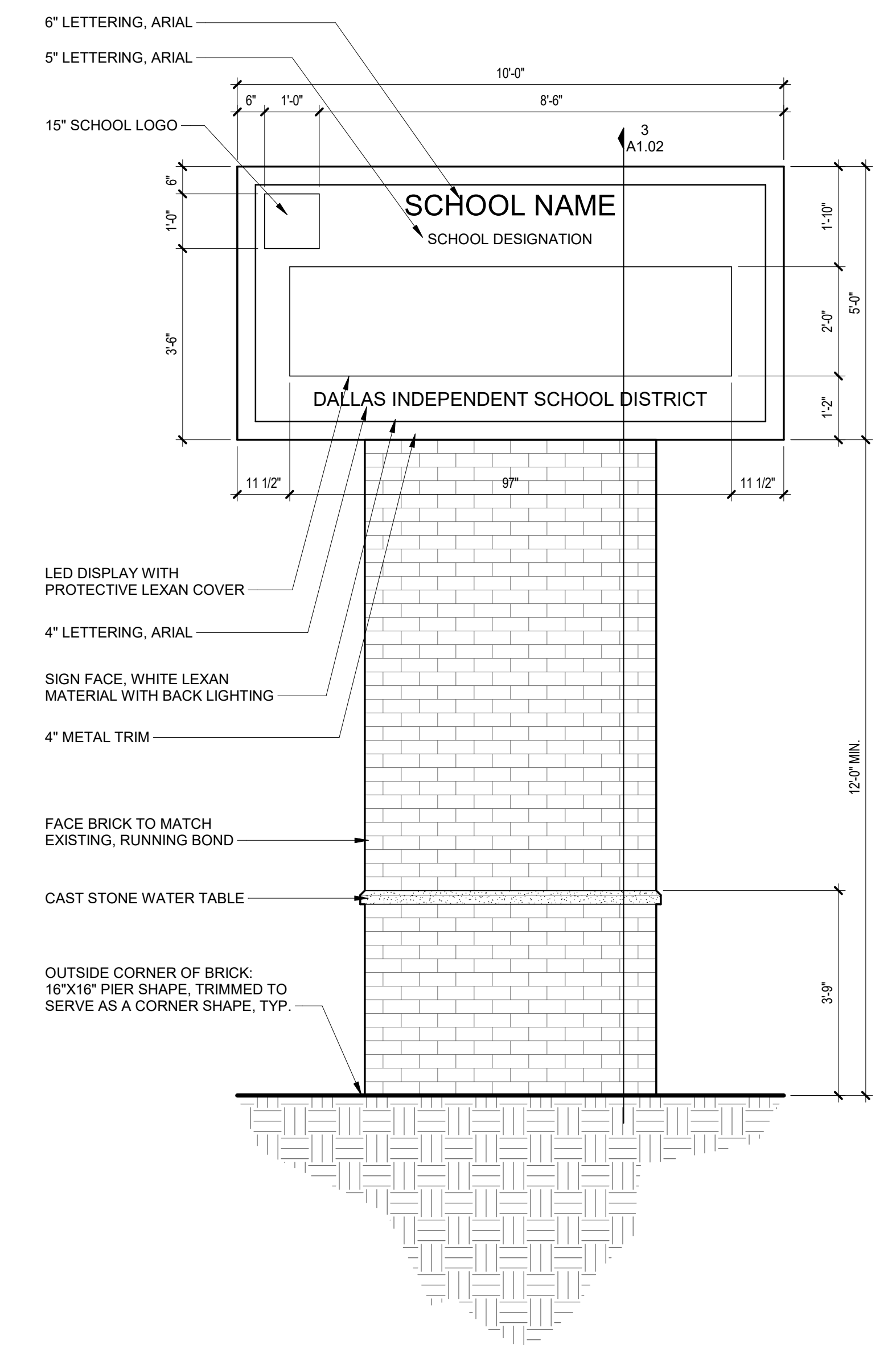
2 MARQUEE SIGNAGE PLAN
 Scale: 1/2" = 1'-0"



4 MARQUEE SIGNAGE DETAIL
 Scale: 1 1/2" = 1'-0"



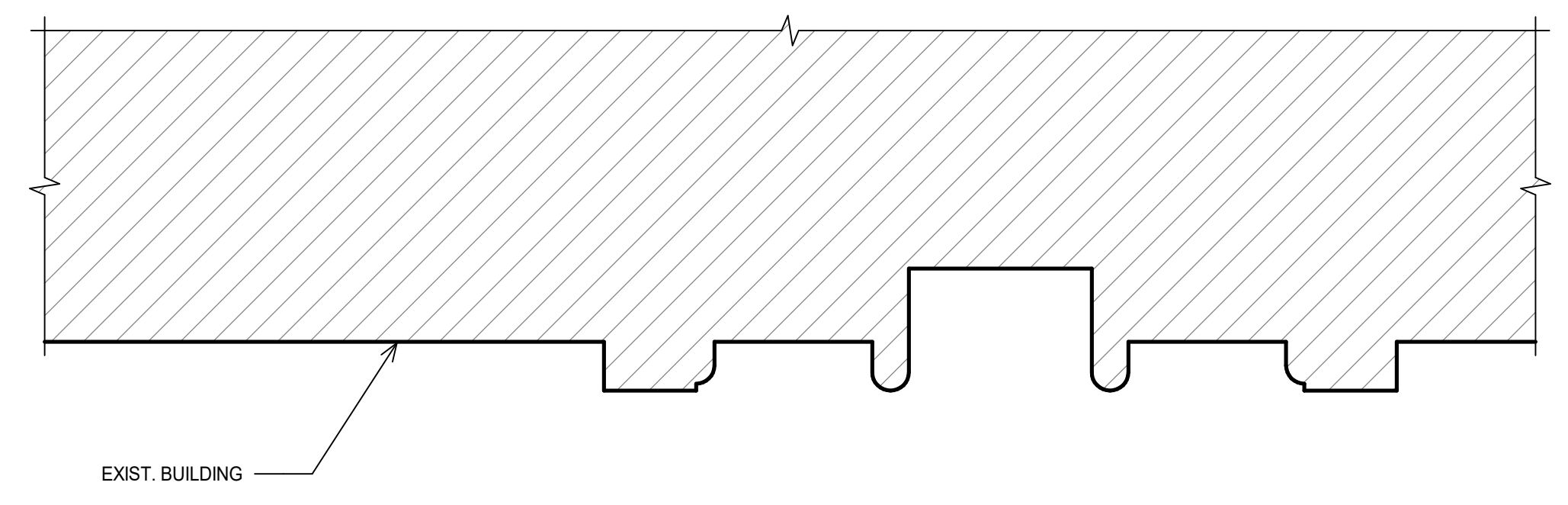
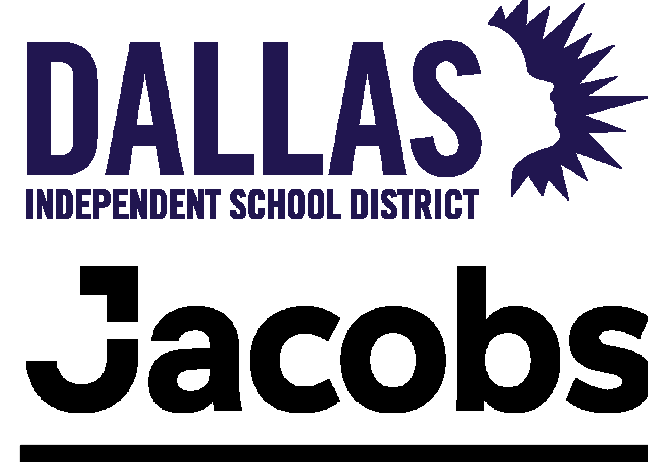
3 MARQUEE SIGNAGE SECTION
 Scale: 1/2" = 1'-0"



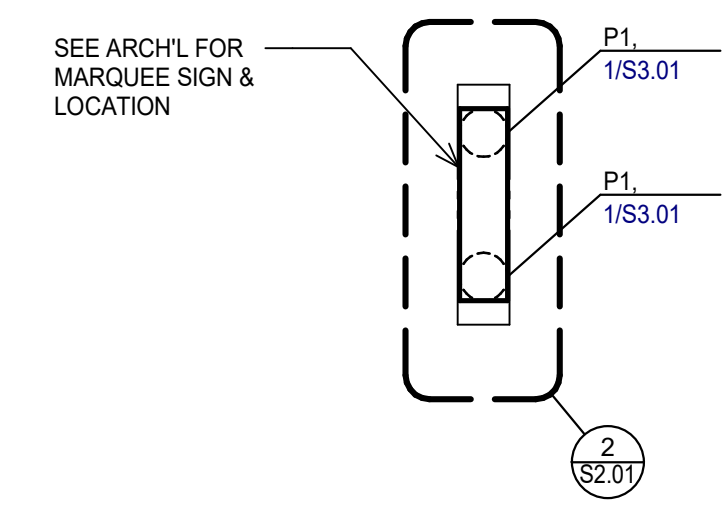
1 MARQUEE SIGNAGE ELEVATION
 Scale: 1/2" = 1'-0"

MARQUEE SIGNAGE & DETAILS

DRAWING RECORD	
DATE	DESCRIPTION
04/29/24	SD PHASE
08/16/24	95% CD
09/09/24	100% CD
09/19/24	BID SET
11/01/24	ADDENDUM 03



EXIST. BUILDING



SEE ARCHL FOR MARQUEE SIGN & LOCATION



north

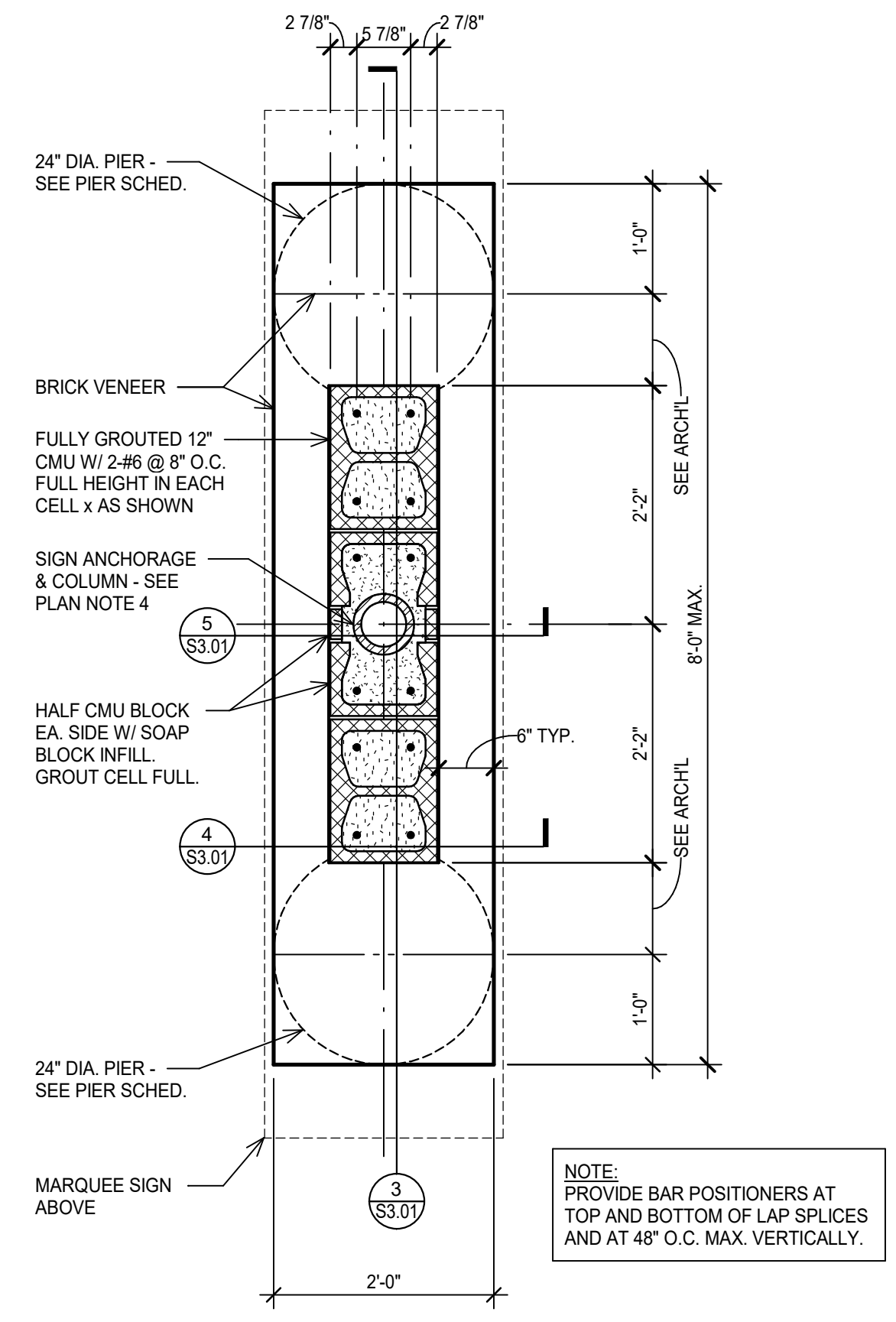
1 ENLARGED SITE PLAN - FRONT ENTRANCE

SCALE: 1/8" = 1'-0"

PLAN NOTES:

- FOR ACTUAL GRADE ELEVATION SEE CIVIL DRAWINGS.
- COORDINATE TOP OF PIER ELEVATION WITH ARCHL.
- CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO DRILLING PIERS.
- IF THERE ARE ADJUSTMENTS TO THE EXISTING ROOF OPENINGS OR CONFLICTS WITH THE EXISTING STRUCTURE REGARDING ROOF TOP UNITS, CONTACT THE ARCHITECT/EO.

SHEET INDEX:
 STRUCTURAL NOTES - S1.01, S1.02
 TYPICAL CONCRETE DETAILS - S3.01



24" DIA. PIER - SEE PIER SCHED.

BRICK VENEER

FULLY GROUTED 12" CMU W/ 2#6 @ 8" O.C. FULL HEIGHT IN EACH CELL X AS SHOWN

SIGN ANCHORAGE & COLUMN - SEE PLAN NOTE 4

HALF CMU BLOCK EA. SIDE W/ SOAP BLOCK INFILL GROUT CELL FULL

24" DIA. PIER - SEE PIER SCHED.

MARQUEE SIGN ABOVE

NOTE:
 PROVIDE BAR POSITIONERS AT TOP AND BOTTOM OF LAP SPLICES AND AT 48" O.C. MAX. VERTICALLY.



north

2 SIGNAGE FOUNDATION PLAN

SCALE: 3/4" = 1'-0"

PLAN NOTES:

- COORDINATE TOP OF PIER ELEVATIONS WITH FINAL GRADING PLAN. SEE ARCHITECTURAL DRAWINGS FOR FINAL LOCATIONS, ORIENTATIONS AND DIMENSIONS.
- CENTERLINES OF PIERS NOT SPECIFICALLY LOCATED ON PLAN BY NOTE OR DIMENSION SHALL BE LOCATED AS FOLLOWS:
 - A. SUPPORTING GRADEBEAMS AND WALLS. CENTERLINE OF GRADEBEAM OR WALL IN ONE DIRECTION. GRID OR AS NOTED IN OTHER DIRECTION. AT CORNER CONDITIONS: CENTERLINES OF GRADEBEAMS OR WALLS.
- CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO DRILLING PIERS.
- "CAST-IN-PLACE" SIGN ANCHORAGE IS DELEGATED DESIGN BY OTHERS.

SHEET INDEX:
 STRUCTURAL NOTES - S1.01, S1.02
 DETAILS AND SECTIONS - S3.01
 PIER SCHEDULE - S3.01

ORG 207 DISD SAN JACINTO ELEMENTARY

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MARQUEE SIGN FRAMING PLAN AND DETAILS

DRAWING RECORD	
DATE	DESCRIPTION
04/29/24	SD PHASE
05/20/24	DD PHASE
06/21/24	50% CD PHASE
08/15/24	80% CD PHASE
09/09/24	100% CD PHASE
09/18/24	BID SET
10/31/24	Addendum #3

S2.01
 PROJECT NO.: 2023209

shaping the built environment

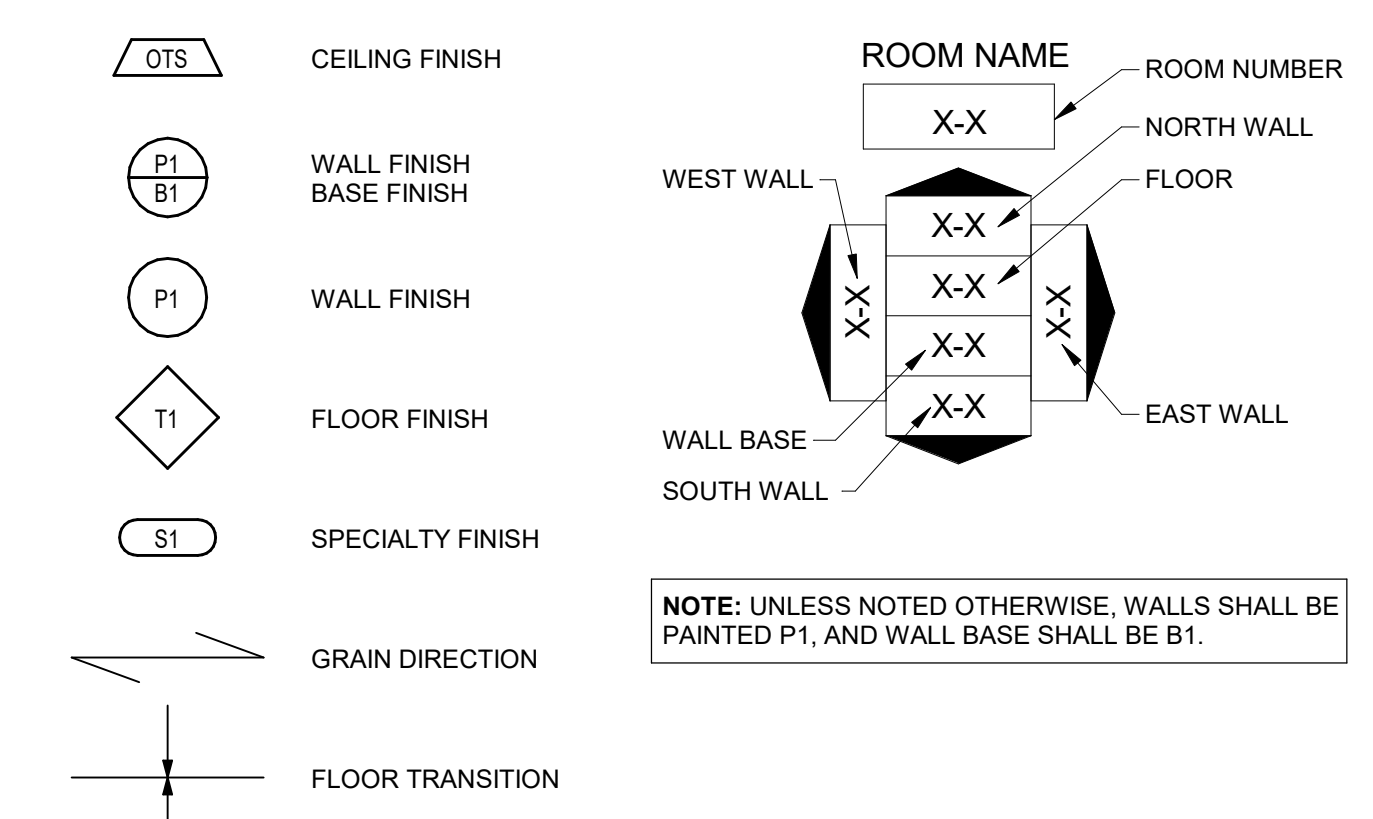
JQ INFRASTRUCTURE, LLC
 3017 WEST 79th STREET, SUITE 400
 FORT WORTH, TEXAS 76107
 817.546.7200
 PROJECT NO: 42-240087

STATE OF TEXAS
 DAVID A. WALKER
 LICENSE NO. 132006
 REGISTERED PROFESSIONAL ENGINEER

10/31/2024

INTERIOR MATERIAL SCHEDULE SCHEME 'A'						
MARK	ITEM	MANUFACTURER	DESCRIPTION	COLOR	SIZE	REMARKS
B1	RUBBER BASE	ROPPE	VINYL WALL BASE	100 BLACK	4"	
CPT1	CARPET TILE	MOHAWK	BENDING EARTH, DATUM	BASALT	24X24	MULTI-DIRECTIONAL ORIENTATION @ RECEPTION, TRANQUILITY RM
DP1	DRAWER PULL	RICHELIEU	CONTEMPORARY/EXPRESSION COLLECTION			
FRP1	FIBERGLASS REINFORCED PLASTIC	CRANE COMPOSITES	GLASBOARD PEBBLED EMBOSSED	PEARL GRAY (48)	0.09" (2.3mm)	MATCH HEIGHT OF EXISTING TILE WAINSCOTING
P1	PAINT	KELLY MOORE	FIELD PAINT	WHITE SESAME		THROUGHOUT
P2	PAINT	SHERWIN WILLIAMS	ACCENT PAINT	SW6814 BREATHTAKING		TRANQUILITY RM
P3	PAINT	SHERWIN WILLIAMS	ACCENT PAINT	SW6559 CONCORD GRAPE		RECEPTION CEILING, CONFERENCE RM
P4	PAINT	SHERWIN WILLIAMS	PAINT FOR EXISTING WINDOW MULLIONS	SW7015 REPOSE GRAY		ADMINISTRATION RM
PL1	PLASTIC LAMINATE	WILSONART	RECEPTION DESK, FIELD	FAWN CYPRESS		FACE
PL2	PLASTIC LAMINATE	NEVAMAR	RECEPTION DESK, ACCENT	VIOLINE		ACCENT FACE & COUNTER
SS1	SOLID SURFACE	DURASEIN	RECEPTION DESK	BIANCA SABIA		COUNTERTOP
T1	TILE, PORCELAIN		FLOOR, JANITOR STORAGE			MATCH EXISTING FLOOR TILE
T2	TILE, PORCELAIN	AMERICAN OLEAN	ACCENT WALL	0068 GRACE, GLOSS	6x6	DRINKING FOUNTAIN WALL
T3	TILE, PORCELAIN	AMERICAN OLEAN	ACCENT WALL	0075 LEMON ZEST, GLOSS	6x6	DRINKING FOUNTAIN WALL
T4	TILE, PORCELAIN	AMERICAN OLEAN	ACCENT WALL	0025 ICE WHITE, GLOSS	6x6	DRINKING FOUNTAIN WALL
T5	TILE, PORCELAIN	AMERICAN OLEAN	ACCENT WALL	0014 BALANCE, GLOSS	6x6	DRINKING FOUNTAIN WALL
TS1	TRANSITION STRIP	SCHLUTER		ALUMINUM		VCT TO CARPET TRANSITION
VCT1	VINYL COMPOSITION TILE	ARMSTRONG	FIELD	CLASSIC WHITE		THROUGHOUT
VCT2	VINYL COMPOSITION TILE	ARMSTRONG	ACCENT	FALCON GRAY		THROUGHOUT
VCT3	VINYL COMPOSITION TILE	ARMSTRONG	ACCENT	CAMEL BEIGE		RECEPTION RM
WC1	WINDOW COVERING		LOWER STOREFRONT WINDOWS			RECEPTION RM
WD1	WOOD DOOR	VT INDUSTRIES	WOOD DOOR			MATCH EXISTING DOORS

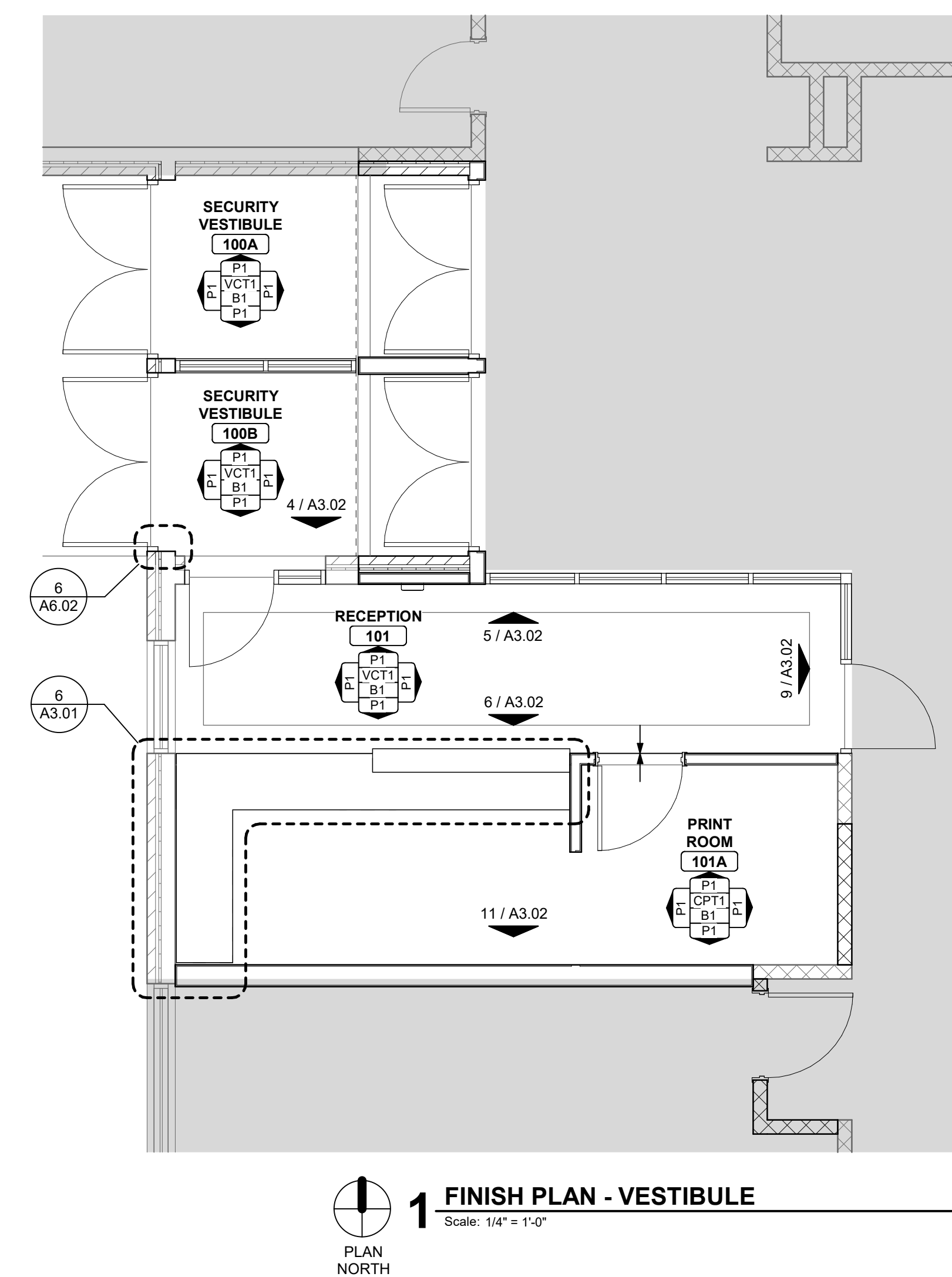
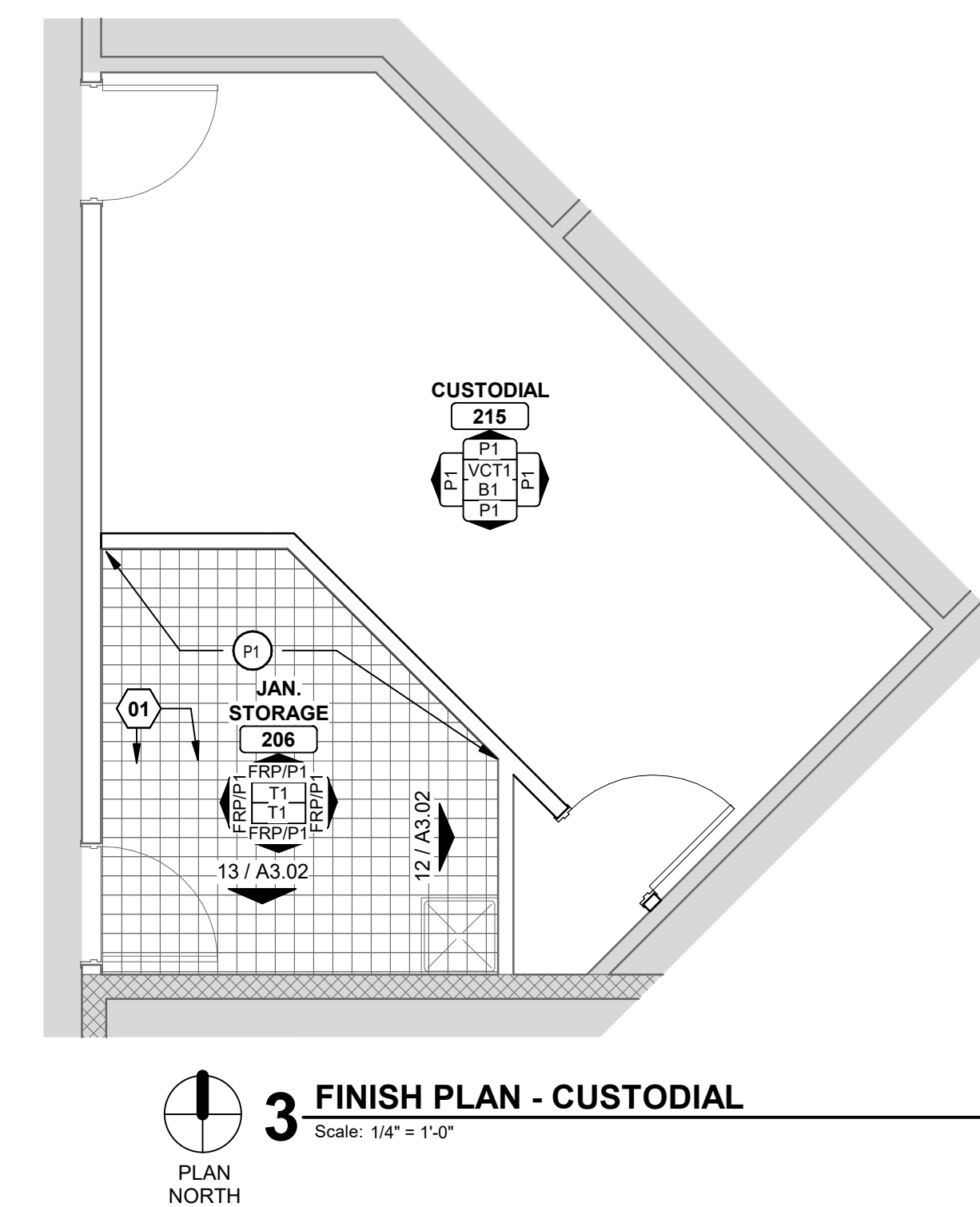
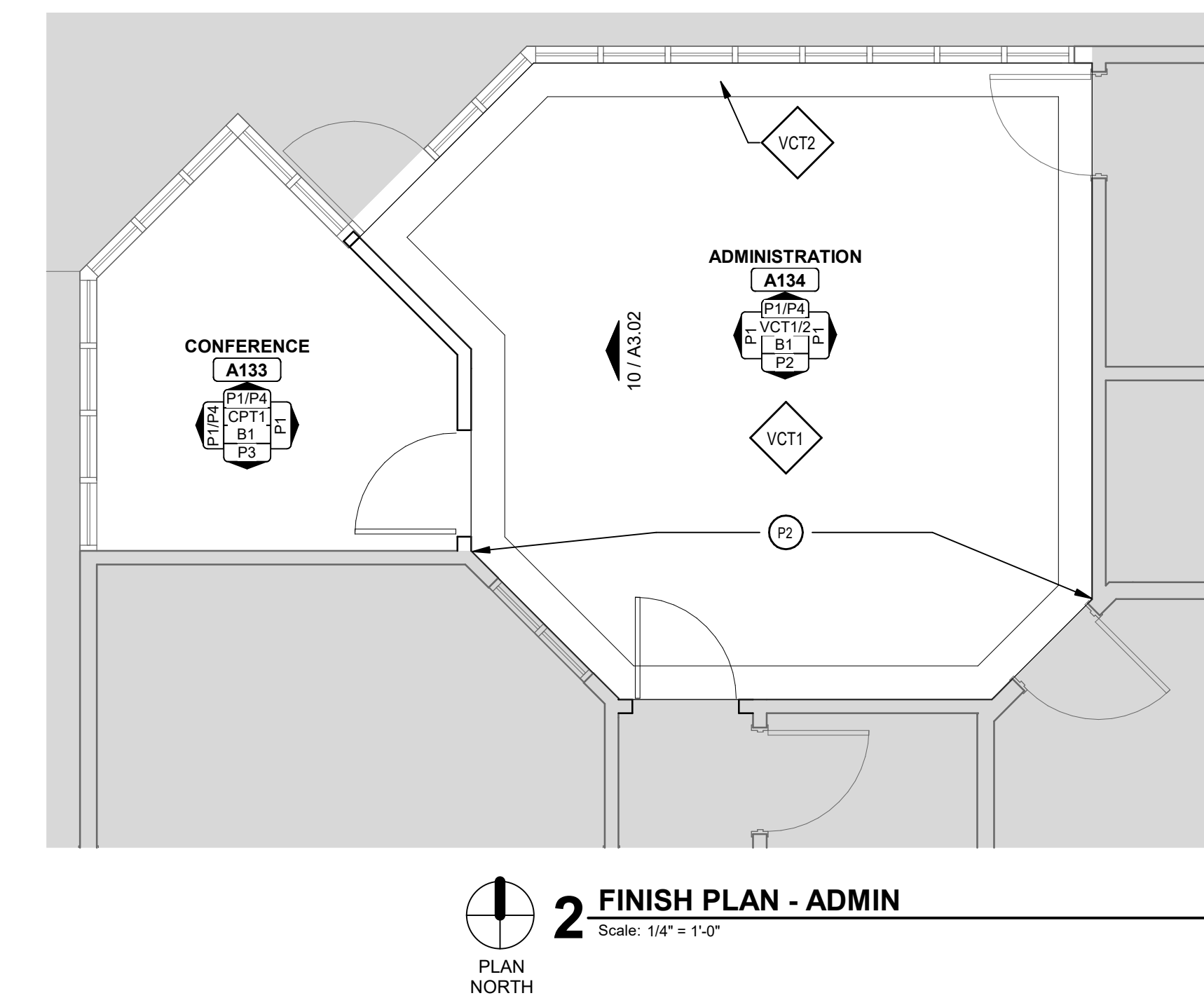
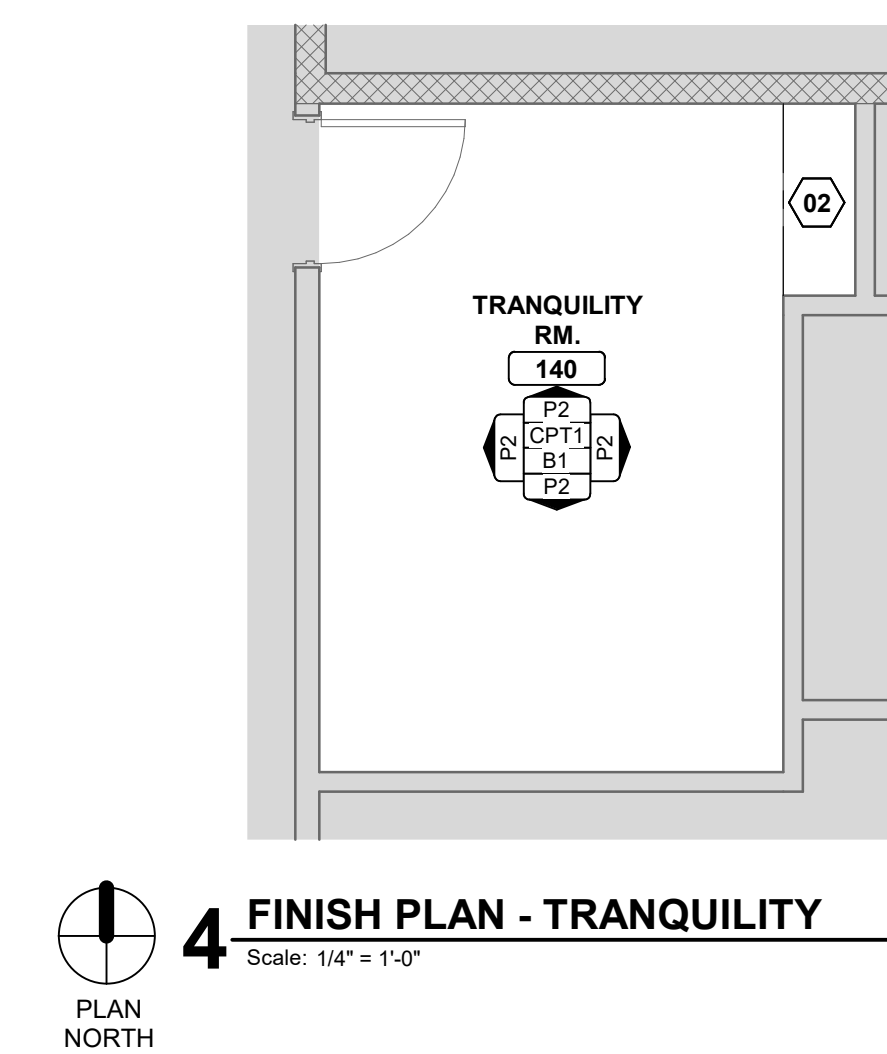
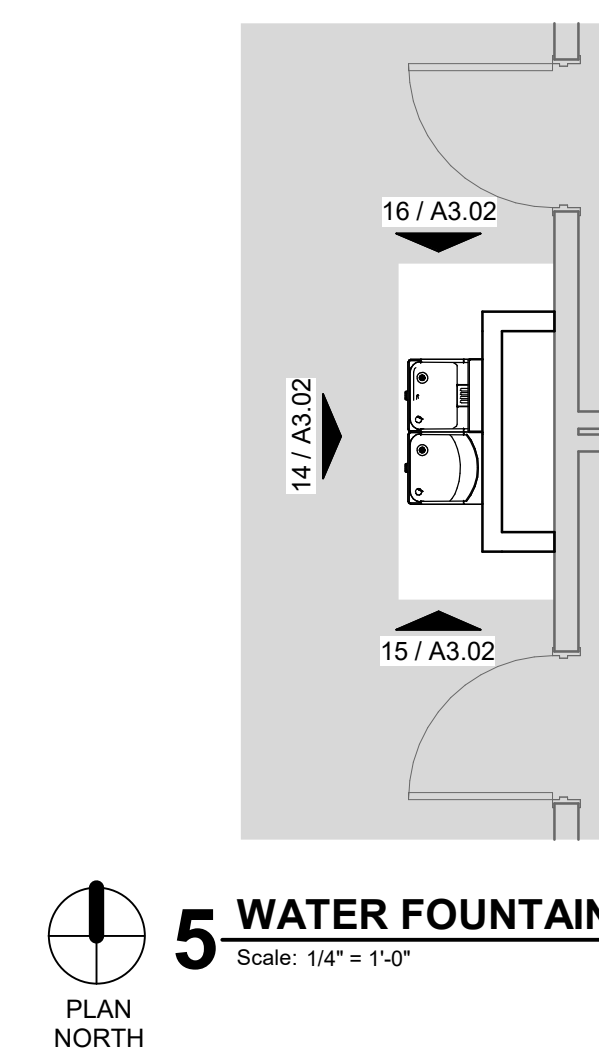
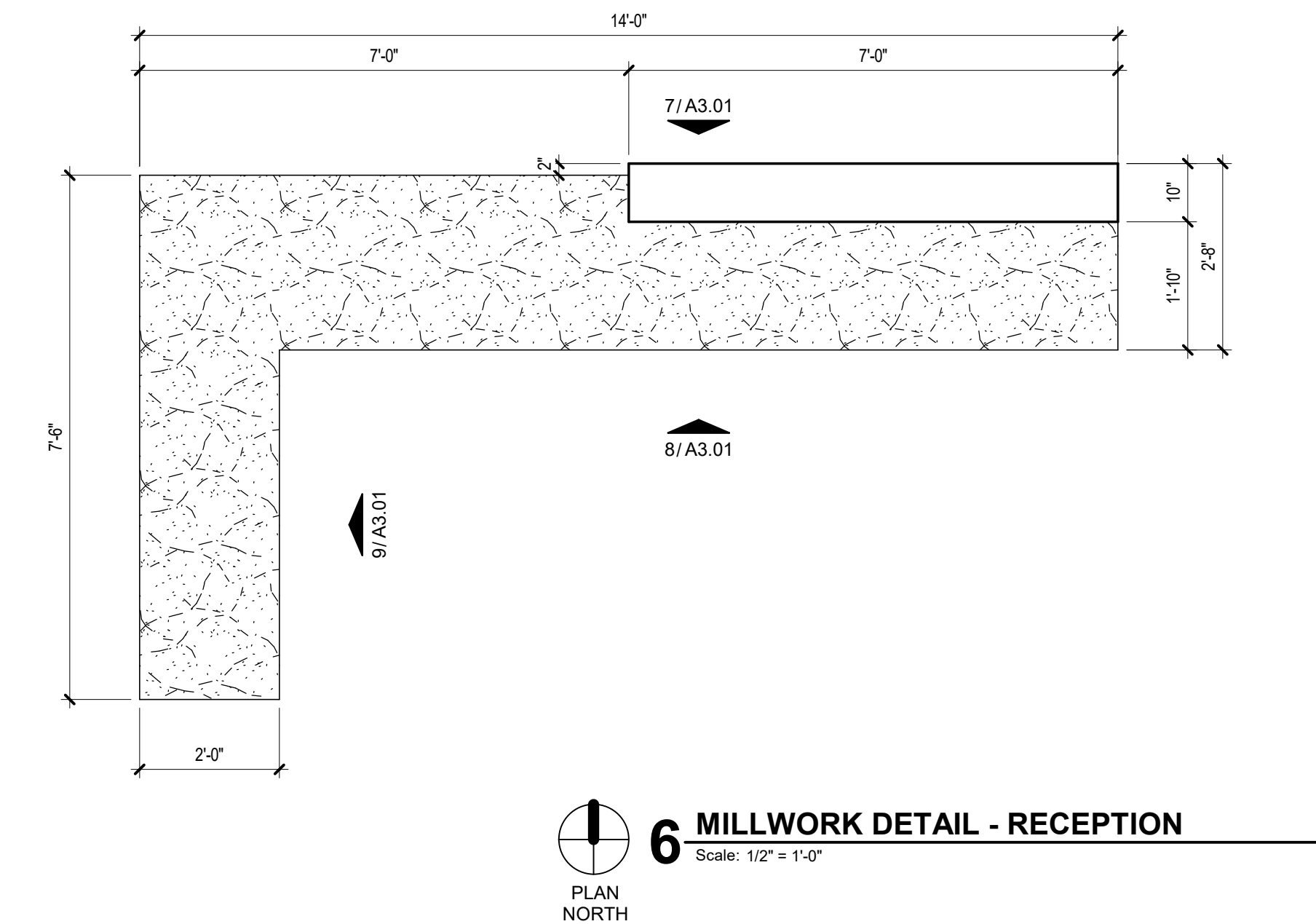
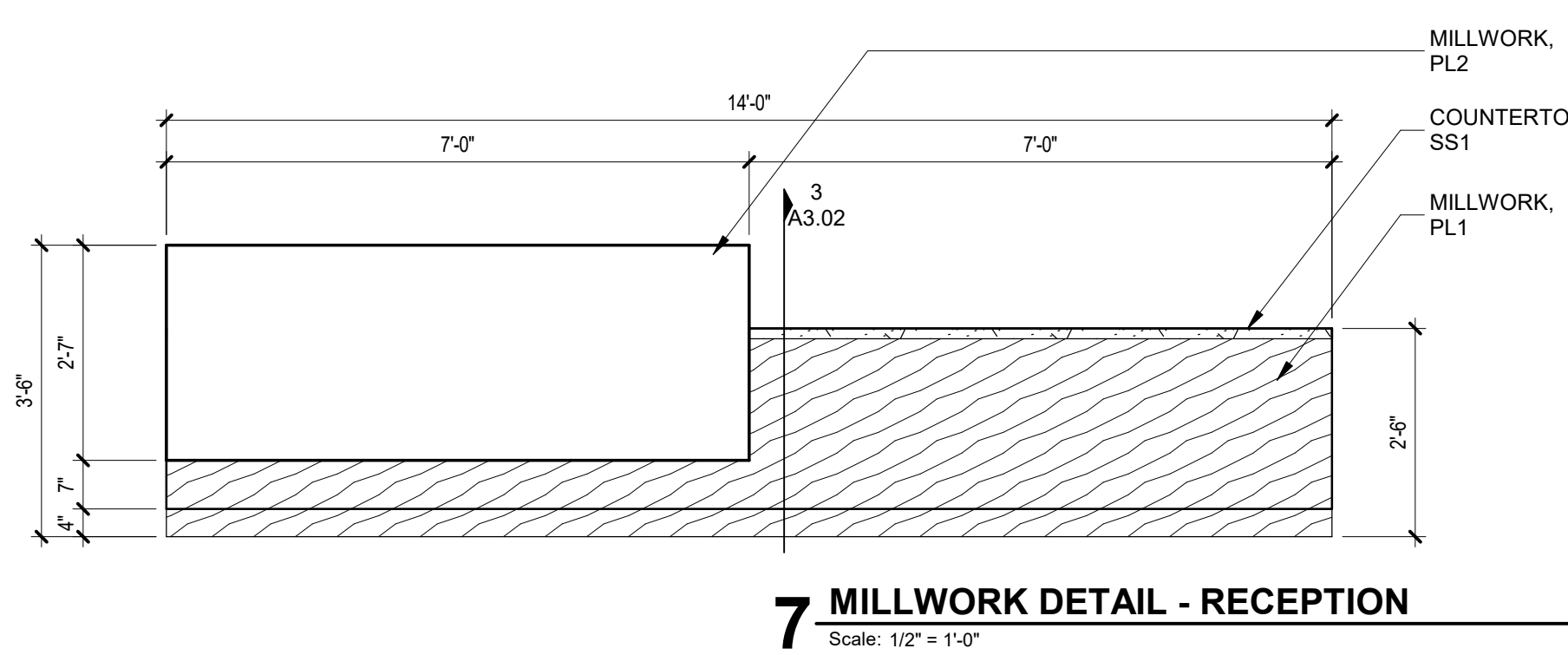
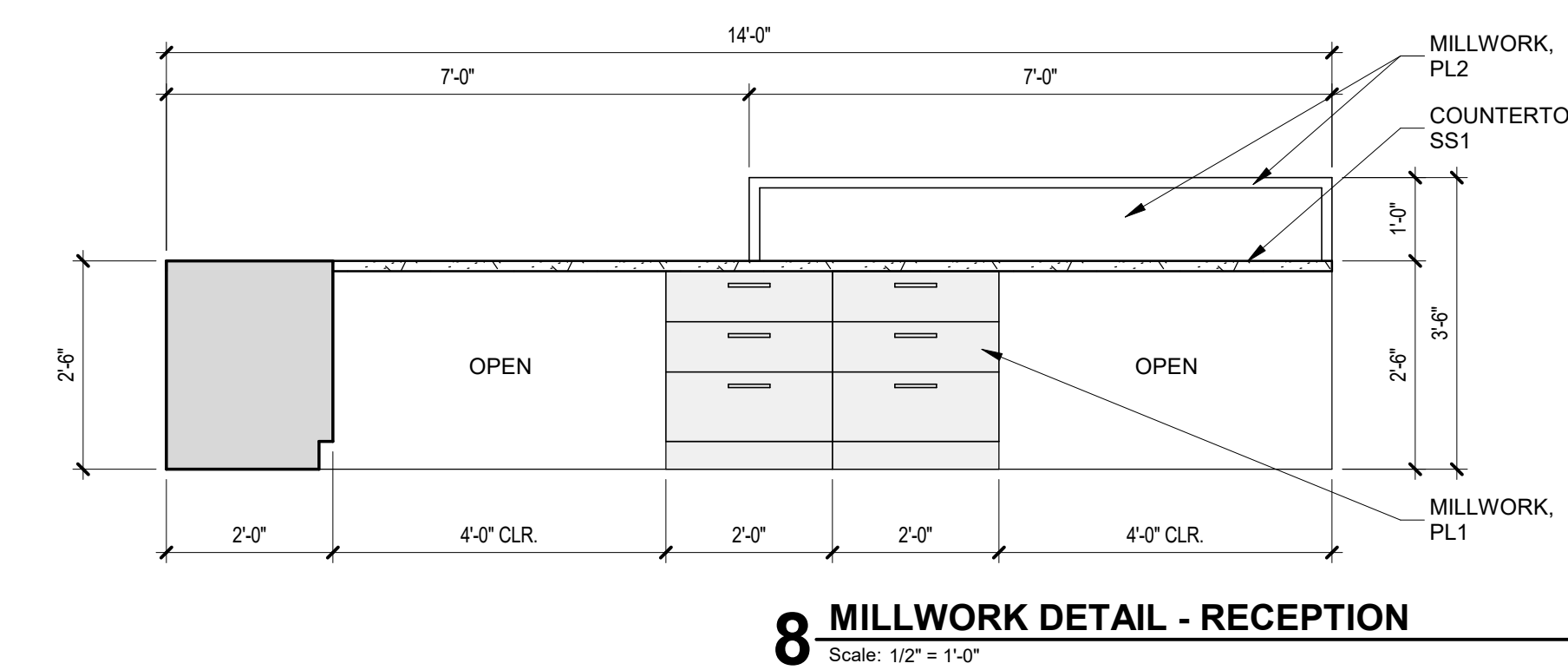
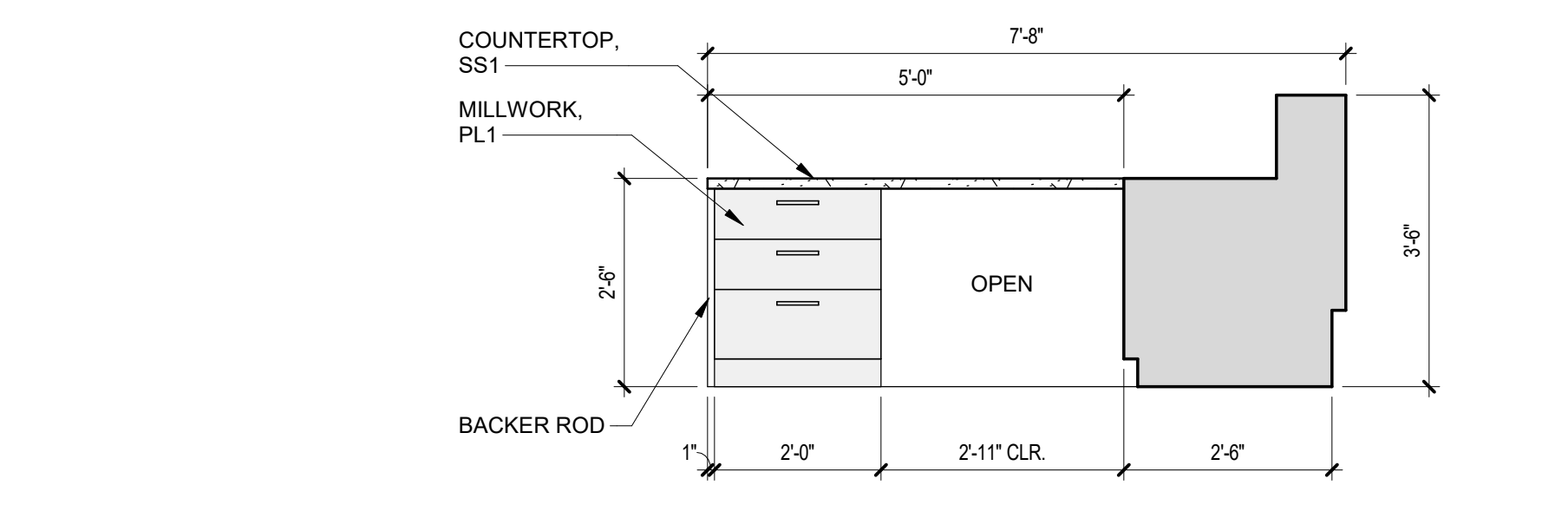
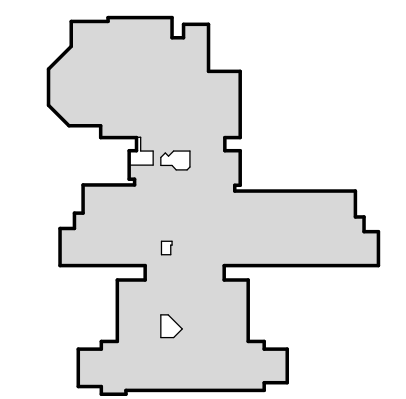
FINISH LEGEND



PLAN NOTES BY SYMBOL

- (01) NEW GROUT LINES TO ALIGN AND MATCH EXISTING
- (02) EXISTING SHELVING TO BE PAINTED

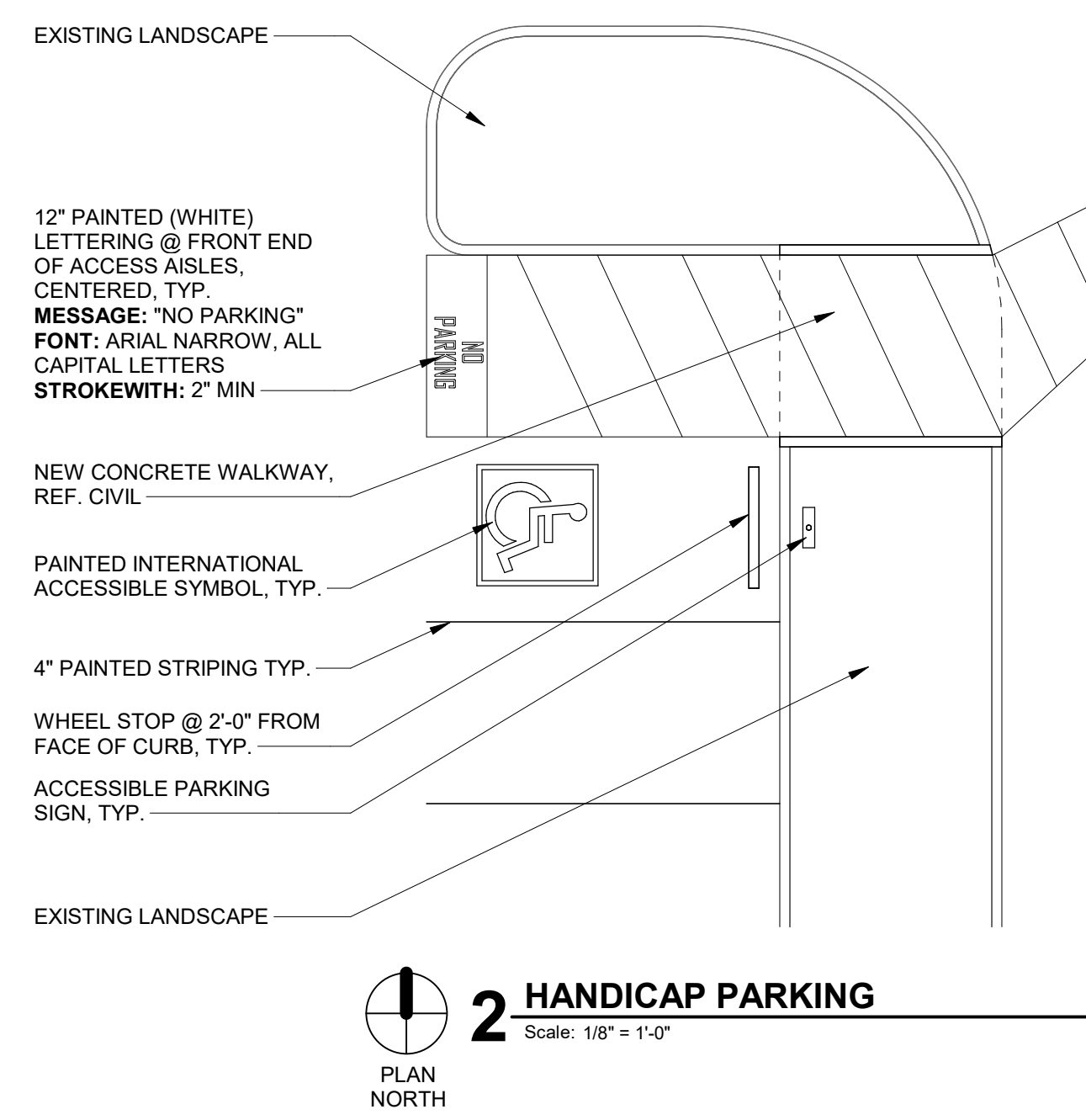
KEY PLAN



ENLARGED FINISH PLANS & MILLWORK DETAILS

DRAWING RECORD

DATE	DESCRIPTION
05/20/24	DD PHASE
06/21/24	50% SET
08/08/24	95% SET
09/03/24	100% SET
09/18/24	BID SET
11/01/24	ADDENDUM 03



2 HANDICAP PARKING
Scale: 1/8" = 1'-0"

SITE DATA SUMMARY

CURRENT USE:	PUBLIC SCHOOL
CURRENT TOTAL LOT AREA:	9.88 ACRES (432,613 SQUARE FEET)
CURRENT FLOOR AREA:	83,663 SQUARE FEET
MAXIMUM ALLOWABLE LOT COVERAGE:	25%
ACTUAL LOT COVERAGE:	17% (WITH ADDITION)
TOTAL NUMBER OF EXISTING CLASSROOMS:	35
PARKING REQUIRED:	80 VEHICLES, INCLUDING (4) ACCESSIBLE SPACES
CURRENT PARKING PROVIDED:	80 VEHICLES, INCLUDING (4) ACCESSIBLE SPACES
CURRENT FOOTPRINT AREA:	71,149 SQUARE FEET
PROPOSED FOOTPRINT AREA:	1,827 SQUARE FEET
TOTAL FOOTPRINT AREA:	XXXXX SQUARE FEET
CURRENT FLOOR AREA:	81,836 SQUARE FEET
PROPOSED FLOOR AREA:	1,827 SQUARE FEET
TOTAL FLOOR AREA:	XXXXX SQUARE FEET

FOR PD REFERENCE, REFER TO PD641

GENERAL PROJECT NOTES

• GENERAL CONTRACTOR IS TO AUDIT ALL EXISTING SYSTEMS BEFORE THE WORK IS STARTED TO VERIFY WORKING AND/OR NON-WORKING COMPONENTS. THE SYSTEMS INCLUDED ARE FIRE SPRINKLER, FIRE ALARM, PA, SECURITY, SECURITY SENSORS, HVAC, CONTROLS, ETC. CONTRACTOR IS TO AUDIT THESE SYSTEMS AND PROVIDE A WRITTEN REPORT TO THE PMF PM OF WHAT WAS FOUND FOR EACH SYSTEM AND PRECONSTRUCTION PHOTOS OF THESE SYSTEMS PER THE PROJECT SPECIFICATION SECTION 01 32 33 - PHOTOGRAPHIC DOCUMENTATION REQUIREMENTS. IF A WRITTEN REPORT IS NOT FURNISHED BEFORE THE CONTRACTOR MOBILIZES ON SITE AND/OR 10 BUSINESS DAYS FROM RECEIVING A NOTICE TO PROCEED, THE SYSTEM(S) WILL BE CONSIDERED TO BE FULLY FUNCTIONAL AND THE CONTRACTOR WILL BE REQUIRED TO MAINTAIN THEM AS SUCH THROUGH THE DURATION OF THE PROJECT, AND RETURN THEM IN FULLY OPERATIONAL CONDITION AT THE END OF THE PROJECT (FINAL COMPLETION) AT NO ADDITIONAL COST TO THE OWNER.

• THE GENERAL CONTRACTOR RESPONSIBLE FOR HIRING THE ABATEMENT CONTRACTOR AND COORDINATE DURING CONSTRUCTION AND SCHEDULE. THE OWNER TO PROVIDE MONITORING SERVICES DURING ABATEMENT. REFER TO SPECS FOR HAZMAT REPORT.

ALTERNATE GENERAL PROJECT NOTES

• GENERAL CONTRACTOR TO REMOVE EXISTING PA SYSTEM AND ASSOCIATED EQUIPMENT. THIS INCLUDES CLOCKS, SPEAKERS, AND ANY ASSOCIATED CONDUIT CONNECTED TO EXISTING MAIN PA SYSTEM. PATCH AND REPAIR EXISTING WALLS TO LIKE NEW CONDITION. REFER MEP FOR ADDITIONAL DEMOLITION NOTES.

SITE PLAN LEGEND

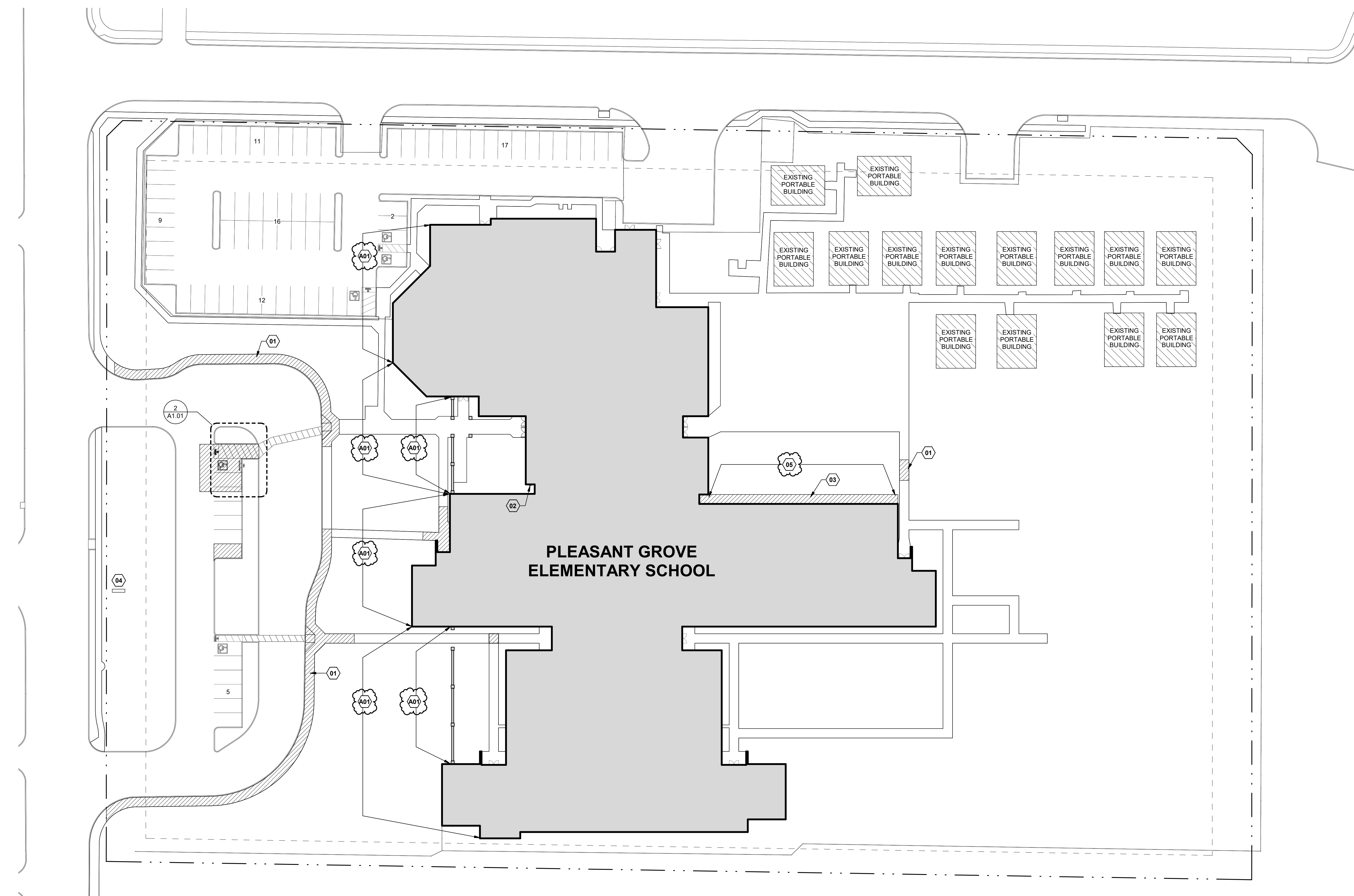
- EXISTING BUILDING
- BUILDING ADDITION
- NEW SIDEWALK

SITE PLAN NOTES BY SYMBOL

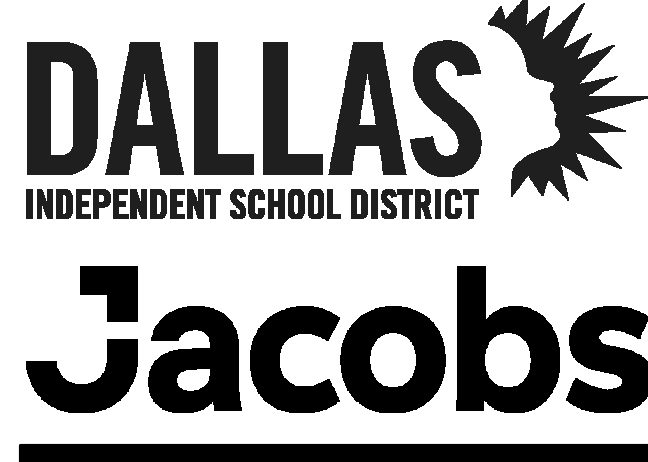
- 01 REMOVE AND REPLACE SIDEWALK. REFER TO CIVIL.
- 02 PROVIDE NEW IRRIGATION PANEL.
- 03 REGRADING FOR PONDING. REFER TO CIVIL.
- 04 REMOVE & REPLACE WITH NEW MARQUEE SIGN.
- 05 EXISTING BENCHES AT REGRADING AREA TO BE REUSED.

ALTERNATE NOTES BY SYMBOL

- A01 PERFORM MILD DETERGENT MEDIUM PRESSURE WASH ON STAINED OR MILDWEDED FACADE. PROTECT SEALANT AT JOINTS. EQUIPMENT ON INTERIOR SIDE OF LOUVERS SURFACE MOUNTED DEVICES AND/OR EQUIPMENT ON EXTERIOR OF BUILDING. INCLUDE CLEANING WALL BEHIND DOWNSPOUTS. PERFORM TEST WASH ON AN AREA APPROX. 4'x4' AND REVIEW/APPROVE BY ARCHITECT AND DISD REPRESENTATIVE PRIOR TO PERFORMING FULL WASH.



1 OVERALL SITE PLAN
Scale: 1" = 30'-0"



ORG 273 DISD PLEASANT GROVE ELEMENTARY

1614 N St Augustine Rd, Dallas, TX 75217

SITE PLAN

DRAWING RECORD	
DATE	DESCRIPTION
04/29/24	SD PHASE
05/20/24	DD PHASE
06/21/24	50% SET
08/09/24	85% SET
09/03/24	100% SET
09/18/24	BID SET
11/01/24	ADDENDUM 03

A1.01
PROJECT NO.: 2023208