DOCUMENT 00 91 02 ADDENDUM NO. 2

PROJECT: 2024 Anthony, Hopper and Kahla MS Renovations

BID DATE: Tuesday, January 21, 2025 (no Change)

FROM: Carolina Weitzman, A.I.A.

Natex Corporation Architects

447 Heights Blvd, Houston, TX 77007

TO: Prospective Bidders

This Addendum forms a part of the Bidding Documents and will be incorporated into Contract Documents. Insofar as the Project Manual or Drawings or both are inconsistent, this Addendum governs. Acknowledge receipt of the Addendum by inserting its number into the Proposal Form. **FAILURE TO DO SO WILL SUBJECT BID TO DISQUALIFICATION**.

PART 1 CHANGES TO PROJECT MANUAL

- 1. SECTION 00 01 05 Table of Content
 - a. Replace section in its entirety.
- 2. DIVISION 00 A101-2017 Standard Form of Agreement Between Owner & Contractor
 - Replace document in its entirety.
- 3. SECTION 01 21 00 Allowances
 - Add section to project manual.
- 4. SECTION 02 30 00 USER-SUBSURFACE INVESTIGATION
 - a. Add section to project manual
- SECTION 03 54 16 HYDRAULIC CEMENT UNDERLAYMENT
 - a. Add section to project manual.
- 6. SECTION 11 61 33 Rigging System and Controls
 - a. 2.6, A, 1 Changed from 4' x 4' pipe spacing to 5' x 5' pipe spacing.
 - b. 2.10, A, 1 Changed from 4' x 4' pipe spacing to 5' x 5' pipe spacing.
- 7. SECTION 22 13 16 Soil, Waste and Sanitary Drain Piping
 - a. Add this section in its entirety
- 8. SECTION 26 32 16 Dual Purpose Manual Transfer Switches with integrated Load Bank and Generator Quick Connectors
 - a. Delete the load bank circuit breaker and quick connects and accessories and control wiring related to the load bank circuit breaker shut trip. The manual transfer switch will consist of the transfer switch and generator quick connects only.
 - b. Delete the requirement for power meter
- 9. SECTION 28 10 00.05 DOOR INTERCOM SYSTEM
 - a. Replace section in its entirety.
 - b. Updated spec section name to "Door Intercom System"
 - c. Part 2, Add the following
 - 2.4 Network Strobe Siren

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A. Axis D4100-E Network Siren Strobe

1. Connect to associated 2N door station as indicated on drawings. Provide and install (1) 18/4C wire from door station to strobe siren.

2. Strobe shall light (green) and sound when door station is activated.

Coordinate sound type and level with owner.

PART 2 CHANGES TO DRAWINGS

ANTHONY MS

- 1. S1.01A FOUNDATION PLAN AREA F
 - a. Add Detail reference 14/S5.02
 - b. Refer to revised sheet
- 2. S2.01A ROOF FRAMING PLAN AREA F
 - a. Add Detail 14/S5.02
 - b. Refer to revised sheet
- 3. A1.10 ENLARGED SITE PLANS & STORAGE BLDG
 - Details 4, 5, 6, and 7 Storage Building Elevations Height of textured split faced CMU should be 2'-8".
- 4. A2.04 ROOF PLAN & ENLG ROOF PLAN
 - a. Detail 1 Overall Roof Plan Show Roof @ new Stor. Addition.
 - b. Detail 2 Enlg. Roof Plan Show Roof @ new Stor. Addition.
 - c. Refer to revised sheet
- 5. A2.31 SIPLAST MEMBRANE FLASH DETAILS + LWIC
 - Detail 5 Equip. Support @ Membrane Flash + LWIC Add note "fill inside pipe support with insulation"
- A2.32 TYPICAL ROOF ACCESSORIES & DETAILS
 - a. Detail 6 Typ. Axon of Thru-Wall Roof Support Revise wall bracket to a DiversiTech Stainless Steel Wall Bracket with Rail, hurricane rated.
- 7. A6.01 BUILDING ELEVATIONS
 - a. Details 1, 3, 4, 5, + 6 Add roof to elevations.
 - b. Refer to revised sheet.
- 8. A7.01 BUILDING SECTIONS
 - a. Detail 3 and 4 Show roof in section.
 - b. Refer to revised sheet
- 9. A8.02 WALL SECTION DETAILS
 - a. Details 4, 7, 8, 10, 11, 12 Revise details.
 - b. Refer to revised sheet.
- 10. E2.02 ELECTRICAL LIGHTING 1ST FLOOR AREA 'F'
 - b. Refer to revised sheet for new egress fixture.
- 11. E6.01 ELECTRICAL SCHEDULES AND DETAILS

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- a. Refer to sheet for addition of fixture 'W4'.
- 12. T0.00 TECHNOLOGY NOTES AND LEGENDS
 - a. Add Network Siren Strobe to Access Control Legend.
- 13. T1.01 TECHNOLOGY COMPOSITE 1ST FLOOR PLAN
 - a. Remove sleeves from plan.
- 14. T1.02 TECHNOLOGY COMPOSITE 2ND FLOOR PLAN
 - a. Remove sleeves from plan.
- 15. T1.03 TECHNOLOGY COMPOSITE 3RD FLOOR PLAN
 - a. Remove sleeves from plan.
- 16. T2.05 TECHNOLOGY 1ST FLOOR PLAN AREA E
 - a. Add 'SS' to kitchen 1404.
 - b. Add note coordinating power for ACP.
- 17. T2.06 TECHNOLOGY 1ST FLOOR PLAN AREA F
 - a. Add Camera types and heights.
 - b. Add intercom speaker height.
- 18. T2.08 TECHNOLOGY 1ST FLOOR PLAN AREA H
 - a. Add 'SS' to Production Shop 1708.
 - b. Add note coordinating power for ACP.

HOPPER MS

- 1. D2.10D DEMOLITION PLAN AREA "D"
 - a. Orchestra 1407 Revise Keynote tag DE-10 shown in floor plan to match Orchestra Demo Pictures. Revise to DE-11 "Carefully remove sound system including mounting brackets. Re-install in new orchestra room in similar layout above marker boards. Contractor to ensure speakers are functioning before and after renovation. Re: Elec."
 - b. Kiln 1400C Add Keynote DM-18 "Contractor shall not move kiln. GC to coordinate with owner's approved vendor for relocation of kiln. Ceramic Store of Houston. 1002 W. 11th St., Houston, TX 77008. 713-854-6442"
- 2. D2.10G DEMOLITION PLAN AREA "G"
 - a. Girls Locker 1501 Add note "Per as-builts, 2 ½" recessed slab below shower, sink and restroom area. Remove tile and substrate down to slab as required.
- D2.10H DEMOLITION PLAN AREA "H"
 - a. Boys Locker 1511 Add note "Per as-builts, 2 ½" recessed slab below shower, sink and restroom area. Remove tile and substrate down to slab as required.
- 4. A2.10D FLOOR PLAN AREA "D"
 - a. Detail 5 Wall Section New Louver Revise dimensions as follow: Bottom of louver to Finish Floor +/-10'-0" VIF Louver Height +/- 1'-4" R. O.
- 5. A2.10G FLOOR PLAN AREA "G"
 - a. Girls Athletics 1501C Revise ADA bench location
 - b. Girls Locker Room Shaded area indicate existing recessed slab.
 - c. Refer to revised sheet.

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- 6. A2.10H FLOOR PLAN AREA "H"
 - a. Locker Room Shaded area indicates existing recessed slab.
 - b. Refer to revised sheet.
- 7. A2.32 SIPLAST ROOF MEMBRANE & LWIC DETAILS
 - a. Detail 8 Equipment Support @Membrane Flash + LWIC Add note "Infill inside pipe support with insulation.
- 8. A2.33 TYPICAL ROOF ACCESSORY DETAILS
 - a. Detail 6 Roof Detail @ Mini-Split Support Revise wall bracket type to a DiversiTach SS wall bracket with rail or equal. Wall bracket changes from powder coat galv. Steel to stainless steel, hurricane rated type.
- 9. A3.13 GIRLS LOCKER ROOM PLANS & ELEVATIONS
 - a. Detail 20 1501 Girls Athletics E Update elevation to match floor plan revision.
 Relocate ADA bench
 - b. Detail 21 1501 Girls Athletics S Update elevation to match floor plan. Relocate ADA bench.
- 10. A4.10 OPENING TYPES & DETAILS
 - a. Details 11, 12 and 14 Revise louver details.
 - b. Refer to revised sheet.
- 11. A4.20 PARTITION TYPES AND WALL DETAILS
 - a. Partition general notes 8 & 9: Change all abbreviations, "PTN" to "Partition"
- 12. A7.01 BUILDING SECTIONS FINE ARTS
 - a. Detail 2 Remove Detail mark 12/4.10 shown next to canopy.
- 13. A9.01 KILN ROOM HM DOOR HEAD
 - a. Detail 8 & 9 Revise details.
 - b. Refer to revised sheet.
- 14. A10.01 FINE ARTS ELEVATIONS
 - a. Add Material Keynote Legend. Keynote AE-00 should schedule as "Interactive monitor (N.I.C) install power & data behind monitor. Re: mech/tech".
 - b. Keynote AE-02 should schedule as "Carefully remove and relocate existing sound system and brackets to new location. Contractor to ensure speakers are functioning before and after renovation. Re: Elec.
- 15. A11.10D CEILING PLAN AREA "D"
 - a. Add Material Keynote Legend. Keynote 107313-A0 should schedule as "Prefinished aluminum walkway cover".
- 16. A11.10E CEILING PLAN AREA "E"
 - a. Add Material Keynote Legend. Keynote AC-13 should schedule as "Patch, repair and finish existing gypsum board furr-down where existing projection screen is removed".
- 17. E2.03 ELECTRICAL LIGHTING 1ST FLOOR AREA 'C'
 - a. Refer to revised sheet for new egress fixture.

- 18. E2.04 ELECTRICAL LIGHTING 1ST FLOOR AREA 'D'
 - Refer to revised sheet for new egress fixture.
- 19. E2.08 ELECTRICAL LIGHTING 1ST FLOOR AREA 'G'
 - a. Refer to revised sheet for new egress fixture.
- 20. E4.02 ELECTRICAL ONE LINE DIAGRAM
 - a. Delete the load bank circuit breaker and quick connects, accessories and control wiring related to the load bank circuit breaker shut trip. Refer to revised sheet.
- 20. T0.00 TECHNOLOGY NOTES AND LEGENDS
 - a. Add Network Siren Strobe to Access Control Legend.
- 21. T0.03 TECHNOLOGY DEMOLITION FIRST FLOOR PLAN AREA C
 - a. Card reader now to be demolished.
- 22. T0.07 TECHNOLOGY DEMOLITION FIRST FLOOR PLAN AREA G
 - a. Add Demo subscript 'D' to AV rack in Elec-2, 1505A-2.
- 23. T0.08 TECHNOLOGY DEMOLITION FIRST FLOOR PLAN AREA H
 - a. Update location of AV rack to be demolished.
 - b. Update card reader to be demolished.
- 24. T1.02 TECHNOLOGY SITE PLAN NEW
 - a. Add Camera and Intercom speaker height.
- 25. T1.03 TECHNOLOGY COMPOSITE FIRST FLOOR PLAN
 - a. Remove sleeves from the plan.
- 26. T1.04 TECHNOLOGY COMPOSITE SECOND FLOOR PLAN
 - a. Remove sleeves from the plan.
- 27. T2.03 TECHNOLOGY FIRST FLOOR PLAN AREA C
 - a. Add door contacts to new doors, ST1-2 and ST3-2
 - b. Show new card reader on Door ST3-2
- 28. T2.05 TECHNOLOGY 1ST FLOOR PLAN AREA E
 - a. Add data installation instruction to FSD-1's in Commons 1250.
 - b. Add data and key notes for AV consultant's AV rack.
 - c. Add Technology keyed notes.
 - d. Revise above ceiling data locations for freezer/cooler monitoring and apply keynote $_{\it \Delta}$
 - e. Add Network siren strobe 'SS' to kitchen 1411.
 - f. Add door contact to door 1411.
- 29. T2.07 TECHNOLOGY 1ST FLOOR PLAN AREA G
 - a. Add technology keyed notes.
 - b. Add technology keyed notes to new local sound rack in Elec-1 1505A-1.
 - c. Add door contacts to new doors on gym exterior in locations shown.
- 30. T2.08 TECHNOLOGY 1ST FLOOR PLAN AREA H
 - a. Add technology keyed notes.
 - b. Remove existing local sound rack from new floor plans.

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- c. Add technology keyed notes to new local sound rack in MECH-1 1510-1.
- d. Add door contacts and new card reader to Door 1520-1.
- e. Add network siren strobe 'SS' to Production Shop-1 1412-1.
- 31. TE11.12 TE 1st FLOOR CEILING PLAN DRAMA 1223
 - a. Revised pipe spacing from 4' x 4' to 5' x 5'
- 32. TL11.12 TE 1st FLOOR CEILING PLAN DRAMA 1223
 - a. Moved existing pipe mount boxes HD.LPB.01 thru 04 based on pipe spacing change to 5' x 5'.

KAHLA MS

- 1. D2.10D DEMOLITION PLAN AREA "D"
 - Detail 1 Corridor 1009 Add and note demo required for new louver on north wall.
 - b. Add Detail 6 Demo ENLG Elevation
 - c. Kiln 1402C Add Keynote DM-18
 - d. Orchestra 1407 Revise Keynote tag DM-15 shown in floor plan to match Orchestra Demo Pictures. Revise tag to DE-11
 - e. Refer to revised sheet
- 2. D2.10E DEMOLITION PLAN AREA "E"
 - a. Revise Keynote list title "Demolition Keynotes"
- 3. D2.10F DEMOLITION PLAN AREA "F"
 - a. Revise Keynote list title "Demolition Keynotes"
- 4. D2.10G DEMOLITION PLAN AREA "G"
 - a. Demolition Keynotes Revise Keynote list title "Demolition Keynotes"
 - b. Detail 1 Girls Locker 1503 Add note "Per as-builts, 2 ½" recessed slab below shower, sink and restroom area. Remove tile and substrate down to slab as required.
- 5. D2.10H DEMOLITION PLAN AREA "H"
 - a. Demolition Keynotes Revise Keynote list title "Demolition Keynotes"
 - b. Detail 1 Boys Locker 1517 Add note "Per as-builts, 2 ½" recessed slab below shower, sink and restroom area. Remove tile and substrate down to slab as required.
- 6. D2.20A 2ND FLOOR DEMOLITION PLAN AREA "A"
 - a. Revise Keynote list title "Demolition Keynotes"
- 7. D2.20B 2ND FLOOR DEMOLITION PLAN AREA "B"
 - a. Revise Keynote list title "Demolition Keynotes"
- 8. D2.20C 2ND FLOOR DEMOLITION PLAN AREA "C"
 - a. Revise Keynote list title "Demolition Keynotes"
- 9. A2.10B FLOOR PLAN AREA "B"
 - Science 1112 and Science 1116 Revise science tables required to 14 per classroom.
- 10. A2.10C FLOOR PLAN AREA "C"
 - a. Science 1312 and Science 1314 Revise science tables required to 14 per

classroom.

- 11. A2.10D FLOOR PLAN AREA "D"
 - a. Detail 1 Corridor 1009 Add louver on north wall.
 - b. Add Detail 5 Enlg Elevation New Louver
 - c. Add Detail 6 Wall Section New Louver
 - d. Refer to revised sheet
- 12. A2.10G FLOOR PLAN AREA "G"
 - a. Girls Athletics 1503 Revise ADA bench location
 - b. Girls Locker Room Shaded area indicate existing recessed slab.
 - c. Refer to revised sheet.
- 13. A2.10H FLOOR PLAN AREA "H"
 - a. Boys Locker Room Shaded area indicate existing recessed slab.
 - b. Refer to revised sheet.
- 14. A2.20B 2ND FLOOR PLAN AREA "B"
 - Science 2306, 2314 and 2316 Revise science tables required to 14 per classroom.
- 15. A2.20C 2ND FLOOR PLAN AREA "C"
 - Science 2104, 2112 and 2116 Revise science tables required to 14 per classroom.
- A2.32 SIPLAST LWIC + MEMBRANE NEW ROOF DETAILS
 - Detail 8 Equipment Support @Membrane Flash + LWIC Add note "Infill inside pipe support with insulation.
- 17. A2.33 TYPICAL ROOF ACCESSORY DETAILS
 - a. Detail 6 Roof Detail @ Mini-Split Support Revise wall bracket type to a DiversiTach SS wall bracket with rail or equal. Wall bracket changes from powder coat galv. Steel to stainless steel, hurricane rated type.
- 18. A3.13 GIRLS LOCKER ROOM PLANS & ELEVATIONS
 - a. Detail 21 1503 Girls Athletics S Update elevation to match floor plan revision. Relocate ADA bench
 - Detail 22 1503 Girls Athletics E Update elevation to match floor plan. Relocate ADA bench.
- 19. A4.01 DOOR SCHEDULE
 - a. Door 1419B-1 Revise Frame type to A1 and Frame Finish to Re: Spec.
- 20. A4.10 INTERIOR OPENING TYPES & DETAILS
 - a. Detail 8, 9, 10 Add louver head, sill, jamb details.
 - b. Refer to revised sheet
- 21. A4.20 PARTITION TYPES & WALL DETAILS
 - a. Partition general notes 8 & 9: Change all abbreviations, "PTN" to "Partition"
- 22. A5.00 EXTERIOR OPENING TYPES
 - b. Details 2 & 3 Revise
 - c. Refer to revised sheet

- 23. A8.01 WALL SECTIONS
 - a. Detail 2 Add note to refer to 2A1.10 for canopy post layout. Refer to Wall Section 1A8.01 for similar notes.
 - b. Detail 3 Add note to refer to 2A1.10 for canopy post detail. Gray hatch represents existing construction to remain.
- 24. A9.01 PLAN DETAILS
 - a. Add Detail 9
 - Refer to Revised sheet
- 25. A11.10D CEILING PLAN AREA "D"
 - a. Add Material Keynote Legend. Keynote 107313-A0 should schedule as "Prefinished aluminum walkway cover".
- 26. A11.10E CEILING PLAN AREA "E"
 - Add Material Keynote Legend. Keynote AC-13 should schedule as "Patch, repair and finish existing gypsum board furr-down where existing projection screen is removed".
- 27. M0.01 MECHANICAL DEMOLITION FIRST FLOOR PLAN AREA A a. Added air device replacement scope in restrooms.
- 28. M0.02 MECHANICAL DEMOLITION FIRST FLOOR PLAN AREA B a. Added air device replacement scope in restrooms.
- 29. M0.03 MECHANICAL DEMOLITION FIRST FLOOR PLAN AREA C a. Added air device replacement scope in restrooms.
- 30. M0.04 MECHANICAL DEMOLITION FIRST FLOOR PLAN AREA D a. Added air device replacement scope in restrooms.
- 31. M0.08 MECHANICAL DEMOLITION FIRST FLOOR PLAN AREA H a. Added demolished duct from DC-1.
- M0.10 MECHANICAL DEMOLITION SECOND FLOOR PLAN AREA B
 a. Added air device replacement scope in restrooms.
- M0.11 MECHANICAL DEMOLITION SECOND FLOOR PLAN AREA C
 a. Added air device replacement scope in restrooms.
- 34. M2.01 MECHANICAL FIRST FLOOR PLAN AREA Aa. Added air device replacement scope in restrooms.
- 35. M2.02 MECHANICAL FIRST FLOOR PLAN AREA Ba. Added air device replacement scope in restrooms.
- 36. M2.03 MECHANICAL FIRST FLOOR PLAN AREA Ca. Added air device replacement scope in restrooms.
- 37. M2.04 MECHANICAL FIRST FLOOR PLAN AREA D a. Added air device replacement scope in restrooms.
- 38. M2.08 MECHANICAL FIRST FLOOR PLAN AREA H a. Added new duct connection to DC-1.

- M2.10 MECHANICAL SECOND FLOOR PLAN AREA B
 a. Added air device replacement scope in restrooms.
- M2.11 MECHANICAL SECOND FLOOR PLAN AREA C
 a. Added air device replacement scope in restrooms.
- 41. M5.01 MECHANICAL SCHEDULES a. Updated DC-1 schedule.
- 42. SHEET E2.03 ELECTRICAL LIGHTING 1ST FLOOR AREA 'C' a. Refer to revised sheet for new egress fixture.
- 43. SHEET E2.04 ELECTRICAL LIGHTING 1ST FLOOR AREA 'D'
 - a. Refer to revised sheet for new egress fixture.
 - b. Refer to expanded plan for new storage room.
- 44. SHEET E2.06 ELECTRICAL LIGHTING 1ST FLOOR AREA 'F' a. Refer to revised sheet for new egress fixture.
- 45. SHEET E2.08 ELECTRICAL LIGHTING 1ST FLOOR AREA 'G' a. Refer to revised sheet for new egress fixture.
- 46. SHEET E3.04 ELECTRICAL POWER 1ST FLOOR AREA 'D'a. Refer to revised sheet for corrected plan showing additional storage room.
- 47. SHEET E4.02 ELECTRICAL ONE LINE DIAGRAM
 - a. Delete the load bank circuit breaker and quick connects, accessories and control wiring related to the load bank circuit breaker shut trip.
- 48. SHEET E6.01 ELECTRICAL SCHEDULES AND DETAILS
 - a. Refer to revised sheet for addition of fixture 'W4'.
- T0.00 TECHNOLOGY NOTES AND LEGENDS
 a. Add Network Siren Strobe to Access Control Legend.
- 57. T0.07 TECHNOLOGY DEMOLITION FIRST FLOOR PLAN AREA G a. Add existing cameras in corridor 1011.
- 58. T0.09 TECHNOLOGY DEMOLITION SECOND FLOOR PLAN AREA A
 - a. Add and revise the quantity of data outlets and location of it in some spaces.
 - b. Add Demo speakers in corridors.
 - c. Add Demo FSD-1 in the wall of classroom 2329 and 2129.
 - d. Add existing motion sensors in corridor 2000.
 - e. Add existing cameras in corridor 2000.
 - f. Add existing access points in Resource Center 2200.
 - g. Add existing AV-1 in classroom 2128.
- 59. T0.10 TECHNOLOGY DEMOLITION SECOND FLOOR PLAN AREA 'B'
 - a. Add Demo data drops in classroom 2319, 2324 and 2305.
 - b. Add existing cameras in rooms 1411DD, room 1411EE and corridor 2000E.
 - c. Revise the location of wall mount devices in classroom 2309.
- 60. T0.11 TECHNOLOGY DEMOLITION SECOND FLOOR PLAN AREA C
 - Add existing cameras in room 1411FF and corridor 2000A.

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- b. Add Demo data drops in WORKRM 2119, classroom 2126 and 2121, PREP 2122 and science 2116.
- 61. T1.00 TECHNOLOGY COMPOSITE FIRST FLOOR PLAN
 - a. Remove sleeves from plan.
 - b. Add camera outside of storage 1411C.
- 62. T1.01 TECHNOLOGY COMPOSITE SECOND FLOOR PLAN
 - a. Remove sleeves from plan.
- 63. T1.04 TECHNOLOGY SITE PLAN NEW
 - a. Add Camera types and heights.
- 64. T2.01 TECHNOLOGY FIRST FLOOR PLAN AREA A
 - a. Remove card reader from 1000B-1 door in reception 1000B.
 - b. Add existing card reader for 1000-1 door in lobby 1000.
- 65. T2.04 TECHNOLOGY FIRST FLOOR PLAN AREA D
 - a. Add door contact for 1410B-2 door in music rehearsal-1.
 - b. Add existing camera in outside of the cooking lab 1403.
 - c. Remove Demo camera from new plan.
 - d. Change scope box to see missing part of technology design the Addition.
- 66. T2.05 TECHNOLOGY 1ST FLOOR PLAN AREA E
 - a. Add door contacts for 1418-1 door.
 - b. Add 'SS' to kitchen 1418.
 - Revise above ceiling data locations for freezer/cooler monitoring and apply keynote
 4.
 - d. Add installation guidance for FSD-1 in commons 1250.
 - e. Add technology plan keyed notes.
 - f. Add tag for network drop in storage 1257 which refers to key notes.
- 67. T2.06 TECHNOLOGY 1ST FLOOR PLAN AREA F
 - a. Add door contact for 1418-1 door in kitchen 1418.
- 68. T2.07 TECHNOLOGY FIRST FLOOR PLAN AREA G
 - a. Add technology plan keyed notes.
 - b. Add existing cameras in corridor 1011.
- 69. T2.08 TECHNOLOGY 1ST FLOOR PLAN AREA H
 - a. Add technology plan key notes.
 - b. Add tag for rack in mech 1515 which refers to key notes.
 - c. Add door contacts for 1425-2, 1425-4, 1517G-1, 1517F-1.
 - d. Add 'SS' to Industrial Technology-1.
- 70. T2.09 TECHNOLOGY SECOND FLOOR PLAN AREA A
 - a. Add speakers to corridor 2000.
 - b. Add and revise the quantity of data outlets in some spaces.
- 71. T2.10 TECHNOLOGY SECOND FLOOR PLAN AREA B
 - Add and revise the quantity of data outlets in classroom 2319, 2324 and 2305.
- 72. T2.11 TECHNOLOGY SECOND FLOOR PLAN AREA C
 - Add and revise the quantity of data outlets in classroom 2105 and 2121, WORKM 2119 and LA 2124.

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- 73. TE11.12 TE 1st FLOOR CEILING PLAN DRAMA 1221
 - a. Revised pipe spacing from 4' x 4' to 5' x 5'
- 74. TL11.12 TE 1st FLOOR CEILING PLAN DRAMA 1221
 - a. Moved existing pipe mount boxes HD.LPB.01 thru 04 based on pipe spacing change to 5' x 5'.

PART 3 CLARIFICATIONS

• Question: The section (133419-9) calls the roof panel is PBR, but as per section (133419-8) calls the roof is standing seam, please clarify. Please specify the gauge for the roof and walls panels.

Answer: Provide roof panels equal to basis of design as specified on Page 8. Roof and wall panel: 24 gauge

PART 4 PRIOR APPROVALS

- Section 05 40 00 Cold Formed Metal Framing CSM Metal Deck is an approved manufacturer.
- 2. Section 09 67 23 Resinous Flooring Dex-O-Tex Epoxy is an approved product.
- 3. Section 10 73 13 Awnings Canopy Solutions is an approved manufacturer.
- Section 12 66 15 Telescopic Bleachers Interkal is an approved manufacturer. Provide seat option: Excel Seat Modules. Refer to specification and basis of design for all other requirement.
- 5. Section 133419 Pre-Engineered Building Alliance is an approved manufacturer.

END OF ADDENDUM NO. 2

APPROVED FOR ISSUE:

By M. Carolina Weitzman, principal, NATEX Architects

END OF DOCUMENT

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33 31 00

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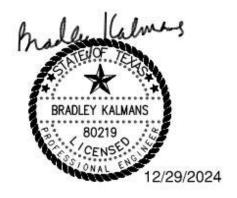
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DRAFT AIA Document A101™ - 2017

Standard Form of Agreement Between Owner and Contractor

where the basis of payment is a Stipulated Sum

AGREEMENT made as of the [DAY]TH day of [MONTH] in the year 2025 (In words, indicate day, month and year.)

BETWEEN the Owner:

(Name, legal status, address and other information)

Cypress-Fairbanks Independent School District

11430-B Perry Road Houston, Texas 77064 Telephone: 281-897-4057 Fax: 281-897-3806

and the Contractor:

(Name, legal status, address and other information)

« (TBD) » **«** » « Telephone: »

for the following Project:

(Name, location and detailed description)

PROJECT NAME

CFISD Project Number: XX-XX-XXXXR-RFP Architect Project No. XXXX

ADDRESS

The Architect:

(Name, legal status, address and other information)

ARCHITECT INFO

The Owner and Contractor agree as follows.

ADDITIONS AND DELETIONS:

The author of this document has added information needed for its completion. The author may also have revised the text of the original AIA standard form. An Additions and Deletions Report that notes added information as well as revisions to the standard form text is available from the author and should be reviewed.

This document has important legal consequences. Consultation with an attorney is encouraged with respect to its completion or modification.

The parties should complete A101™-2017, Exhibit A, Insurance and Bonds, contemporaneously with this Agreement. AIA Document A201™-2017, General Conditions of the Contract for Construction, is adopted in this document by reference. Do not use with other general conditions unless this document is modified.



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ARTICLE 1 THE CONTRACT DOCUMENTS

The Contract Documents consist of this Agreement, Conditions of the Contract (General, Supplementary, and other Conditions), all sections of the Project Manual and Construction Documents, Drawings, Specifications, Addenda issued prior to execution of this Agreement, the Contractor's proposal and written amendments or addenda to the proposal, the Contractor's bonds and proof of insurance, other documents listed in this Agreement, Modifications issued after execution of this Agreement, and attached exhibits; these form the Contract, and are as fully a part of the Contract as if attached to this Agreement or repeated herein. The Contract represents the entire and integrated agreement between the parties hereto and supersedes prior negotiations, representations, or agreements, either written or oral. An enumeration of the Contract Documents, other than a Modification, appears in Article 9.

"Construction Documents" means: all drawings, specifications, submittals, transmittals, deliverables, instructions to Contractors, and other documents, including those in electronic form, prepared by the Architect and the Architect's consultants and which set forth in detail the requirements for construction of the Project.

ARTICLE 2 THE WORK OF THIS CONTRACT

The Contractor shall fully execute the Work described in the Contract Documents, except as specifically indicated in the Contract Documents to be the responsibility of others.

ARTICLE 3 DATE OF COMMENCEMENT AND SUBSTANTIAL COMPLETION § 3.1

The date of commencement of the Work shall be: (Check one of the following boxes.)

[$\langle \langle \rangle \rangle$] The date of this Agreement.

[« X »] A date set forth in a notice to proceed issued by the Owner. The Contractor may not commence construction, however, until all bonds and insurance required by the Contract Documents have been received by the Owner. All bonds and insurance will be reviewed and approved by the Owner for compliance with the Contract Documents prior to the Contractor mobilizing onsite. Upon Owner approval, the Contractor will be allowed to mobilize onsite.

[« »] Established as follows:

(Insert a date or a means to determine the date of commencement of the Work.)

If a date of commencement of the Work is not selected, then the date of commencement shall be the date of this Agreement.

- § 3.2 The Contract Time shall be measured from the date of commencement.
- § 3.3 The Contractor shall achieve Substantial Completion of the entire Work not later than the date(s) listed below:

(Insert number of calendar days. Alternatively, a calendar date may be used when coordinated with the date of commencement. If appropriate, insert requirements for earlier Substantial Completion of certain portions of the Work.)

Portion of Work Substantial Completion Date
Entire Scope of Work [REFER TO SUMMARY OF WORK]

subject to adjustments of the Contract Time as provided in the Contract Documents.

(Insert provisions, if any, for liquidated damages relating to failure to achieve Substantial Completion on time or for bonus payments for early completion of the Work.)

Contractor shall achieve buy out of all subcontracts and trades within thirty (30) days following Notice to Proceed.

Contractor shall provide complete Schedule of Values within thirty (30) days following Notice to Proceed.

Liquidated Damages: Refer to AIA Document A201TM–2017, General Conditions of the Contract for Construction as amended, Article 8.4.

ARTICLE 4 CONTRACT SUM

- § 4.1 The Owner shall pay the Contractor the Contract Sum in current funds for the Contractor's performance of the Contract. The Contract Sum shall be XXXX Dollars (\$00.00), subject to additions and deductions as provided in the Contract Documents.
- § 4.1.1 The Contract Sum contains an Owner's Betterment Allowance in the amount of XXXX Dollars (\$0.00). This allowance is for the sole use of the Owner to be used for changes in the scope of the Work and for the betterment of the Project. Owner's authorized representative may approve any expenditure from Owner's Betterment Allowance without further Board of Trustees approval. If the Owner's Betterment Allowance is not expended or not fully expended, then any unused portion shall belong to the Owner and shall be credited to the Owner in calculating final payment.
- § 4.2 The Contract Sum is based upon the following alternates, if any, which are described in the Contract Documents and are hereby accepted by the Owner:

(State the numbers or other identification of accepted alternates. If the bidding or proposal documents permit the Owner to accept other alternates subsequent to the execution of this Agreement, attach a schedule of such other alternates showing the amount for each and the date when that amount expires.)

Base Proposal in the amount of \$0.00

Total Contract Sum. \$0.00

Refer to Exhibit A (includes Base Proposal, Alternate Proposal(s) and Unit Price(s).)

§ 4.3 Unit prices, if any:

(Identify the item and state the unit price and quantity limitations, if any, to which the unit price will be applicable.)

Item Units and Limitations Price per Unit (\$0.00)

Refer to Exhibit A, Form AC – Competitive Sealed Proposal Form, Base Proposal and Alternate Proposal § 4.4 Allowances included in the Contract Sum, if any:

Item

Allowance Amount

Owner's Betterment Allowance

[REFER TO ALLOWANCE]

ARTICLE 5 PAYMENTS

§ 5.1 Progress Payments

- § 5.1.1 Based upon Applications for Payment submitted to the Architect by the Contractor and Certificates for Payment issued by the Architect, the Owner shall make progress payments on account of the Contract Sum to the Contractor as provided below and elsewhere in the Contract Documents.
- § 5.1.2 The period covered by each Application for Payment shall be at equal one-month intervals. No more than one (1) Application for Payment may be submitted within a given calendar month and shall be submitted to the Owner as required in AIA Document A201TM—2017, as amended Article 9.3.6.
- § 5.1.3 The Owner shall make payment of the undisputed, certified amount to the Contractor not later than thirty (30) days after Owner received the Application for Payment, that has been certified by the Architect. If errors are discovered by the Owner in the certified Application for Payment, the Owner shall reject the Application for Payment and return it to the Contractor for correction. The specified time period for payment of such Application for Payment will start over on the date the Owner receives the corrected Application for Payment that has been recertified by the Architect.
- § 5.1.4 Each Application for Payment shall be based on the most recent schedule of values submitted by the Contractor in accordance with the Contract Documents. The schedule of values shall allocate the entire Contract Sum among the various portions of the Work. The schedule of values shall be prepared in such form, and supported by such data to substantiate its accuracy, as the Architect may require. This schedule, unless objected to by the Architect and Owner, shall be used as a basis for reviewing the Contractor's Applications for Payment.
- § 5.1.5 Applications for Payment shall show the percentage of completion of each portion of the Work as of the end of the period covered by the Application for Payment.
- § 5.1.6 Subject to other provisions of the Contract Documents, the amount of each progress payment shall be computed as follows:
 - .1 Take that portion of the Contract Sum properly allocable to completed Work as determined by multiplying the percentage completion of each portion of the Work by the share of the Contract Sum allocated to that portion of the Work in the schedule of values, less retainage of five percent (5.0%). Pending final determination of cost to the Owner of changes in the Work, amounts not in dispute shall be included as provided in Section 7.3.8 of AIA Document A201TM_2017, General Conditions of the Contract for Construction; as amended;
 - Add that portion of the Contract Sum properly allocable to materials and equipment delivered and suitably stored at the site for subsequent incorporation in the completed construction (or, if approved in advance by the Owner, suitably stored off the site at a location agreed upon in writing), less retainage of five percent (5.0%);
 - .3 Subtract the aggregate of previous payments made by the Owner; and
 - .4 Subtract amounts, if any, for which the Architect has withheld or nullified a Certificate for Payment as provided in Section 9.5 of AIA Document A201TM—2017, as amended.
- § 5.1.7 The progress payment amount determined in accordance with Section 5.1.6 shall be further modified under the following circumstances:
 - Add, upon Substantial Completion of the Work, a sum sufficient to increase the total payments to the full amount of the Contract Sum, less such amounts as the Architect shall determine for incomplete Work, retainage applicable to such work and unsettled claims; and
 - Add, if final completion of the Work is thereafter materially delayed through no fault of the Contractor, any additional amounts payable in accordance with Section 9.10.3 of AIA Document A201TM—2017, as amended.
- § 5.1.8 Reduction or limitation of retainage, if any, shall be as follows:

(If it is intended, prior to Substantial Completion of the entire Work, to reduce or limit the retainage resulting from the percentages inserted in Sections 5.1.6.1 and 5.1.6.2 above, and this is not explained elsewhere in the Contract Documents, insert here provisions for such reduction or limitation.)

«The full applicable five percent (5.0%) retainage will be held until Final Completion of the Work associated with the Contract has been achieved. »

§ 5.1.9 Except with the Owner's prior approval, the Contractor shall not make advance payments to suppliers for materials or equipment which have not been delivered and stored at the site.

§ 5.2 Final Payment

- § 5.2.1 Final payment, constituting the entire unpaid balance of the Contract Sum, shall be made by the Owner to the Contractor when:
 - .1 the Contractor has fully performed the Contract except for the Contractor's responsibility to correct Work as provided in Section 12.2 of AIA Document A201–2017, as amended, and to satisfy other requirements, if any, which extend beyond final payment; and
 - .2 a final Certificate for Payment has been issued by the Architect.
 - .3 all project close-out documents in their entirety have been completed, submitted to and approved by the Owner.
- § 5.2.2 Upon verification and approval by the Architect and Owner that all Contract requirements have been completed in their entirety, the Contractor shall submit the final Application for Payment to the Architect for approval and certification. Upon receipt of such final Certificate for Payment, the Owner's final payment to the Contractor shall be made no later than thirty (30) days after the issuance of the Architect's final Certificate for Payment, or as follows:

If the Contractor submits the Final Application for Payment to the Architect prior to the verification and approval by the Architect and Owner that the Contractor has completed all Contract requirements, the Architect will return the Application for Final Payment to the Contractor as NOT APPROVED. If errors are discovered by the Owner in the certified Final Application for Payment, the Owner shall reject the Final Application for Payment and return it to the Contractor for correction. The specified time period for payment of such final Application for Payment will start over on the date the Owner receives the corrected final Application for Payment that has been certified by the Architect. Refer to AIA Document A201TM—2017, Article 9 as amended.

§ 5.2.3 At the end of the project, after all work is completed according to the Contract Documents, including all closeout documents, the Owner shall release all retainage to the subcontractors, sub-subcontractors and vendors. The retainage for the General Contractor, including, but not limited to, all work self-performed by the General Contractor; and all general condition line items, shall be held until all lien releases have been provided to and accepted by the Owner.

The Owner's final payment to the Contractor shall be made no later than 30 days after the issuance of the Architect's final Certificate for Payment.

§ 5.3 Interest

Payments due and unpaid under the Contract for undisputed amounts shall bear interest pursuant to Texas Prompt Payment Act.

ARTICLE 6 DISPUTE RESOLUTION

§ 6.1 Refer to AIA Document A201–2017, Article 4 as amended. For any Claim or dispute not resolved by the process in Article 4 of AIA Document A201-2017, as amended, the method of binding dispute resolution shall be litigation in a court of competent jurisdiction.

ARTICLE 7 TERMINATION OR SUSPENSION

§ 7.1 The Contract may be terminated by the Owner or the Contractor as provided in Article 14 of AIA Document A201–2017, as amended.

§ 7.2 The Work may be suspended by the Owner as provided in Article 14 of AIA Document A201–2017, as amended.

ARTICLE 8 MISCELLANEOUS PROVISIONS

- § 8.1 Where reference is made in this Agreement to a provision of AIA Document A201–2017, as amended or another Contract Document, the reference refers to that provision as amended or supplemented by other provisions of the Contract Documents.
- § 8.2 The Agreement shall be governed by the laws of the State of Texas, and any litigation shall be conducted in state district court. Mandatory and exclusive venue shall be in Harris County, Texas.
- § 8.3 As a material consideration of the making of this Agreement, the modifications to this Agreement shall not be construed against the maker of said modifications.
- § 8.4 Notwithstanding anything to the contrary in this Agreement, or in any document forming a part hereof, there shall be no mandatory arbitration for any dispute arising hereunder.
- § 8.5 The Contractor may not assign its responsibilities, duties, obligations, and rights under this Agreement, without the express written consent of the Owner. This does not prevent Contractor from engaging subcontractors to perform various phases of the Project, but Contractor shall be fully responsible to Owner for the Work, actions, and omissions of all such subcontractors.
- § 8.6 This Agreement, in its entirety, shall be binding upon all the parties hereto, their respective successor, heirs, executors, administrators, or assigns.
- § 8.7 Execution of this Agreement shall constitute approval and acceptance of all terms, covenants, and conditions as modified and contained in the Contract Documents.
- § 8.8 This Agreement is subject to all applicable federal and state laws, rules, and regulations. Invalidity of any portion of this Agreement under the law of the State of Texas or of the United States shall not affect the validity of the remainder of this Agreement.
- § 8.9 Contractor stipulates that Owner is a political subdivision of the State of Texas, and, as such, enjoys immunities from suit and liability as provided by the constitution and laws of the State of Texas. By entering into this Agreement, Owner does not waive any of its immunities from suit and/or liability, except as otherwise specifically provided herein, and as specifically authorized by law.
- § 8.10 The Owner's representative:

(Name, address, email address, and other information)

Matthew Morgan

Chief Operations Officer/Associate Superintendent Facilities, Construction & Support Services

Cypress-Fairbanks Independent School District

11440 Matzke Road

Cypress, Texas 77429

Telephone: 281-517-2809

Fax: 281-517-2114

Jesse Clayburn

Assistant Superintendent of Facilities and Construction

Cypress-Fairbanks Independent School District

11440 Matzke Road Cypress, Texas 77429

Telephone: 281-897-4057

Fax: 281-897-3806

6

PROJECT MANAGER Project Manager Cypress-Fairbanks Independed 11430 Perry Road Houston, Texas 77064 Telephone: 281-XXX-XXXX Fax: 281-897-3806			
§ 8.11 The Contractor's representation (Name, address, email address).			
<pre> « » « » « » « » « » </pre>			
§ 8.12 Neither the Owner's n to the other party.	or the Contractor's representative shall be ch	anged without ten	(10) days written notice
§ 8.13 Other Provisions			
§ 8.13.2 Contractor and each	and "Bids" are modified to "Proposers" and "I subcontractor and sub-subcontractor assignin d with this Contract which arises under the A 973).	g hereby assigns to	
	I OF CONTRACT DOCUMENTS ts, except for Modifications issued after exec	ution of this Agree	ement, are enumerated
§ 9.1.1 The Agreement is this and Contractor, as amended.	s executed AIA Document A101–2017, Stand	lard Form of Agre	ement Between Owner
§ 9.1.2 The General Conditio Construction as amended.	ns are AIA Document A201–2017, General C	Conditions of the C	Contract for
Document	Title	Date	// Pages
Section CA Section CB	Application for Payment Checklist Supplementary Conditions to the General Conditions of the Contract for Construction as Amended		
Section CC	Right to Audit		
§ 9.1.3 The Supplementary as Document Exhibit A	nd other Conditions of the Contract: Title Forms AC, AE, AF, AG, AH, AN and	Date	Pages
Document	Title	Date	Pages

§ 9.1.4 The Specifications:

Exhibit B

(Either list the Specifications here or refer to an exhibit attached to this Agreement.)

Front End Documents Table of Contents

Section	Title	Date	Pages
Exhibit C	Specifications Table of	f Contents	
§ 9.1.5 The Drawin (Either list the Dra « »	ngs: wings here or refer to an exhibit a	uttached to this Agreement.)	
Section	Title	Date	Pages
Exhibit D	Index of Drawings		
§ 9.1.6 The Addend	la, if any:		
Number		Date	Pages
Addendum No.			
Othe (List Doc invit Con inter	ument A201–2017, as amended pr tation to bid, Instructions to Bidde tract Documents unless enumerate anded to be part of the Contract Do	hat are intended to form part of the Controvides that bidding requirements such a trs, sample forms and the Contractor's bied in this Agreement. They should be list ocuments.)	s advertisement or d are not part of the ed here only if
Section	Title	Date	Pages
Exhibit E Exhibit F	Contract O1 25 22 Consess	I Owner Requirements	
LAHIUIT I	Section 01 35 23 Special Post Proposal Addendur	•	
ARTICLE 10 INS § 10.1 The Contrac Document A201–2	Post Proposal Addendur URANCE AND BONDS	n No. X (If Applicable) surance and provide bonds as set forth in of the project specifications.	Article 11 of AIA
ARTICLE 10 INS § 10.1 The Contrac Document A201–2	Post Proposal Addendur URANCE AND BONDS tor shall purchase and maintain in 017, as amended and Section BD of the day and year file.	n No. X (If Applicable) surance and provide bonds as set forth in of the project specifications.	Article 11 of AIA

SECTION 01 21 00

ALLOWANCES

CONDITIONS OF THE CONTRACT AND DIVISION 1, as applicable, apply to the Section.

PART 1 – GENERAL

Refer to Document AB for Substitutions of Materials and Equipment

1.1 CONDITIONS

- A. ALLOWANCES shall be included in the Contract sum as specified within this Specification Section in paragraph 3.1 below. These sums shall be reconciled as per AIA Document A201TM_2017, as amended.
- B. Where allowances are for materials only, the cost of delivery to the job site may be funded from such allowance.
- C. Allowances are hereby established for the items in the amounts listed below. If any items exceed the amount listed, such excess cost shall be paid by the Owner. If any items cost less than the amount listed, the Owner shall be given a credit in the amount of the difference. Costs of items listed below are to be net costs to the General Contractor or Subcontractor, whichever makes the direct purchase.
- D. The Contractor shall include in the Contract Sum all allowances stated in the Contract Documents. These allowances shall cover the net cost of the materials and equipment delivered and unloaded at the site, and all applicable taxes.
 - The Contractor's handling costs on site, labor, installation cost, estimating, labor burden, overhead, profit and other expenses contemplated for the original allowances shall be included in the Contractor's Sum and not in the allowance. Subcontractor and subsubcontractor markups are allowable as provided in AIA Document A201TM—2017, as amended.
 - 2. The Contractor shall cause the work covered by these allowances to be performed for such amounts and by such persons as the Architect may direct, but he will not be required to employ persons against whom he makes reasonable objection.
 - 3. The cost, when determined, is more than or less than the allowance, the Contract Sum shall be adjusted accordingly by Change Order which may include additional handling costs on the site, labor, installation costs, overhead, profit, cleaning, as-builts, standard warranty, cost to update electronic record documents and other expenses resulting to the Contractor from any increase over the original allowance if approved.
- E. Contractor shall proceed with the work in question only after receiving written directions executed by the Owner and the Architect. Owner will not be obligated to pay the cost of any work without prior authorization. This written directive shall consist of Owner's representative and Architect's signature on Change Proposal Request document submitted by General Contractor with any applicable amendments if required indicating such approval. The Architect and Owner shall respond in a timely manner to document approved Change Proposal Request (CPR) expenditures and credits from such allowances within the contract. The Contractor may request payment for such approved expenditures only upon completion of the work and the completion of a fully executed CPR formally documenting allowance expenditure credits. The Contractor's overhead and profit relative to these allowance sums and work performed in accordance herewith, shall be included in the total Proposal prices, thus not included in the allowance sum. Unexpended balance of allowance sums shall revert to the Owner by Change Order in the final settlement of the contract.

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PART 2 - PRODUCTS

Not Used

PART 3 - EXECUTION

3.1 ALLOWANCES

A. Owner's Betterment Allowance:

\$3,852,000.00

1. Contractor shall include the amount indicated above in his Base Proposal as a contingency to cover the cost of additional scope of work. Contractor shall proceed with the work in question only after receiving written directions executed by the Owner and the Architect. Owner will not be obligated to pay the cost of any work performed without prior written authorization. The Contractor's overhead and profit relative to this contingency sum and work performed in accordance herewith, shall be included in the total Base Proposal price, but not included in the contingency sum. Unexpended balance of contingency sums shall revert to the Owner via Change Order during project closeout. Other scopes to be funded from this allowance may include, but are not limited to:

MUD Utility Charges
Building Controls
TDLR
Relocation Services Furniture and Dumpsters
Emergency Radio Amplification (Anthony Only)
Video Surveillance License Upgrade
Fire Marshall Items
Promethean Board Move

END OF SECTION

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SECTION 02 30 00

SUBSURFACE INVESTIGATION

CONDITIONS OF THE CONTRACT AND DIVISION 1, AS APPLICABLE, APPLY TO THIS SECTION.

PART 1 - GENERAL

2.01 THE FOUNDATION INVESTIGATION REPORT

- A. There are two Geotechnical Investigations, "Geotechnical Engineering Reports as follows:
 - 1. Entitled: CFISD Anthony Middle School Building Additions Geotechnical Engineering Report

Prepared for: Cy-Fair Independent School District c/o Natex Architects

Prepared by: Terracon Consultants, Inc.

Dated: September 6, 2024

2. Entitled: CFISD Hopper Middle School Building Additions Geotechnical Engineering Report

Prepared for: Cy-Fair Independent School District c/o Natex Architects

Prepared by: Terracon Consultants, Inc.

Dated: September 9, 2024

3. Entitled: CFISD Kahla Middle School Building Additions Geotechnical Engineering Report

Prepared for: Cy-Fair Independent School District c/o Natex Architects

Prepared by: Terracon Consultants, Inc.

Dated: September 10, 2024

- B. The boring plans, results of laboratory tests, and description of stratum for each test hole are enclosed in this Section. A complete copy of the Geotechnical reports are included herein.
- C. The Contractor is advised to review the Geotechnical Reports and visit the site to ascertain the conditions affecting the Work. In the event of discrepancies between the Drawings, Specifications, Geotechnical Reports, the Geotechnical reports shall take precedence. In the absence of a Geotechnical Report, discrepancies between the Drawings and Specifications shall be brought to the attention of the Architect for resolution. Failure to review the Geotechnical Reports and report all discrepancies, between the Geotechnical Reports and Drawings and Specifications, to the Architect will not relieve the Contractor from the responsibility to perform the work required by such documents, at no additional expense to the Owner.

2.02 SOIL CONDITIONS

A. The conditions indicated in the reports were known to exist at the location shown on the date the tests were performed; however, these boring logs are for the Construction Manager's/Contractor's consideration only, and he shall visit the site and fully acquaint himself with the existing conditions and be prepared to complete all work required by the documents.

PART 2 - PRODUCTS
3.01 NOT USED
PART 3 - EXECUTION
4.01 NOT USED

END OF SECTION 02 30 00

HYDRAULIC CEMENT UNDERLAYMENT

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Liquid-applied self-leveling floor underlayment for resilient tile installation.
 - 1. Use hydraulic cement underlayment for application below interior floor coverings.

1.02 REFERENCE STANDARDS

- A. ASTM F710 "Standard Practice for Preparing Concrete Floors To Receive Resilient Flooring".
- B. ASTM C1708 "Standard Test Method for Self-Leveling Mortars Containing Hydraulic Cements".
- C. ASTM F2170 "Standard Test Method for Determining Relative Humidity in Concrete Slabs Using in-situ Probes".
- D. ASTM F1869 "Standard Test Method for Measuring Moisture Vapor Emission Rate of Concrete Subfloor Using Anhydrous Calcium Chloride".
- E. ASTM C150 "Standard Specification for Portland Cement".

1.03 SUBMITTALS

- A. See Section 01 30 00 Administrative Requirements, for submittal procedures.
- B. Product Data: Provide manufacturer's data sheets documenting physical characteristics and product limitations of underlayment materials. Include information on surface preparation, environmental limitations, and installation instructions.
- C. Environmental Product Declaration (EPD).
- D. Independent Laboratory Test Report: ASTM C1708 / C1708M-16.

1.04 QUALITY ASSURANCE

A. Applicator Qualifications: Company specializing in performing the work of this section, and approved by manufacturer.

1.05 DELIVERY, STORAGE, AND HANDLING

A. Store all products indoors in original unopened packaging. Keep all materials dry and away from direct sun exposure in moderate conditions between temperatures of 50 °F to 90 °F (10 °C to 32 °C).

1.06 MOCK-UP

- Provide a mock-up for evaluation of surface preparation techniques and application workmanship.
 - 1. Prepare mock-up in location designated by Architect.
 - 2. Area: 6 ft by 6 ft (2 m by 2 m).
- B. Mock-up may remain as part of the Work.

1.07 FIELD CONDITIONS

- A. Do not install underlayment until floor penetrations and peripheral work are complete.
- B. Maintain minimum ambient temperatures of 50 degrees F (10 degrees C) 24 hours before, during and 72 hours after installation of underlayment.

1.08 WARRANTY

A. Provide minimum 10 year manufacturer system warranty for LVT installation utilizing all products required per the manufacturer to achieve. Basis of design warranty to be Uzin Utz Classic + 10 warranty.

PART 2 PRODUCTS

2.01 MANUFACTURER

- A. Basis of Design: Uzin Utz North America, Inc.
- B. Mapei

HYDRAULIC CEMENT UNDERLAYMENT

- C. Sika USA
- D. Or approved equal (submitted for review during bid process)

MATERIALS

- Basis of Design Cementitious Underlayment: Blended cement mix, that when mixed with water in accordance with manufacturer's directions will produce a self-leveling underlayment.
 - - Compressive Strength: Minimum 4500 psi (31.03 MPa) after 28 days, tested per ASTM C1708.
 - Flexural Strength: Minimum 900 psi (6.21 MPa) after 28 days, tested per ASTM
 - Thickness: Capable of thicknesses from 1/16" (1.5 mm) to maximum 1" (25mm).
 - 2. UZIN NC 157
 - Compressive Strength: Minimum 6000 psi (41.37 MPa) after 28 days, tested per ASTM C1708.
 - Flexural Strength: Minimum 1100 psi (7.58 MPa) after 28 days, tested per ASTM C1708.
 - Thickness: Capable of thicknesses from 1/4" (6 mm) to maximum 2" (50 mm).
 - 3. UZIN NC 170
 - Compressive Strength: Minimum 6000 psi (41.37 MPa) after 28 days, tested per ASTM C1708.
 - Flexural Strength: Minimum 1000 psi (6.89 MPa) after 28 days, tested per ASTM C1708.
 - Thickness: Capable of thicknesses from 1/16" (1.5 mm) to maximum NO DEPTH LIMITATION (___mm).
 - 4. UZIN NC 172
 - Compressive Strength: Minimum 8000 psi (55.16 MPa) after 28 days, tested per ASTM C1708. (24-hour compressive strength of 4500 psi (31.03 MPa.)
 - Flexural Strength: Minimum 1800 psi (12.41 MPa) after 28 days, tested per ASTM C1708.
 - Thickness: Capable of thicknesses from 1/16" (1.5 mm) to maximum NO DEPTH LIMITATION (mm).
 - 5. UZIN NC 144 LW
 - Compressive Strength: Minimum 3000 psi (20.68 MPa) after 28 days, tested per ASTM C1708.
 - Flexural Strength: Minimum 600 psi (4.14 MPa) after 28 days, tested per ASTM C1708.
 - Thickness: Capable of thicknesses from 1/4" (6 mm) to maximum 2" (50 mm).
 - Lightweight: Dry Density of 67.0 ± 2 lbs./ft³ (1.40 lbs./ft² at 1/4").
- В. Low Emitting
 - VOC content: 0g/L. Compliant with SCAQMD rule 1113. 1.
 - Certified: SCS Indoor Advantage Gold
- C. Water: Potable and not detrimental to underlayment mix materials.

2.02 MIXING

- Site mix materials in accordance with manufacturer's instructions.
- Mix to self-leveling consistency without over-watering.

2.03 ACCESSORIES

- Primer: Α.
 - Gypsum Concrete: Two coat application of UZIN PE 260 Primer (diluted to absorbency requirement

HYDRAULIC CEMENT UNDERLAYMENT

- to seal substrate).
- 2. Standard Absorbent Concrete: UZIN PE 260 Primer (diluted to absorbency requirement to seal substrate).
- 3. Extremely Absorbent Concrete: Two coat application of UZIN PE 260 Primer (diluted to absorbency requirement to seal substrate).
- 4. Wood: UZIN PE 260 Primer (undiluted).
- 5. Metal: UZIN PE 414 or PE 460 (seek technical guidance before proceeding).
- 6. Other Non-Porous Substrates: UZIN PE 280 Primer.
- B. Joint Filler:
 - 1. Low-odor, 2-component, semi-rigid, polyurea joint filler: UZIN KR 518.
- C. Reinforcing Fibers: Can be used to improve impact resistance and control shrinkage of any UZIN self-leveling compound when used on demanding surfaces. Reduces cracking of the leveling compound when used on unsound substrates.
 - 1. Substrate Reinforcing Fibers UZIN Bagged Fiber.
 - 2. Substrate Reinforcing Mesh (Sheets) UZIN RR 201.
- D. Adhesive:
 - 1. Provide UZIN adhesive as required to achieve system warranty based on final system products needed to achieve the noted installation warranty type.

PART 3 EXECUTION

3.01 EXAMINATION

- A. Verify that substrate surfaces are clean, dry, unfrozen, do not contain petroleum byproducts, or other compounds detrimental to underlayment material bond to substrate.
- B. Moisture Testing: Perform testing according to ASTM F2170. Provide 3 tests for the first 1,000 sq.ft. of floor area plus 1 additional test for each 1,000 sq.ft. thereafter.
 - 1. Relative Humidity Test: Using in situ probes, follow ASTM F2170. Proceed with installation only if the substrate is within spec of the underlayment, adhesive, and finished floor covering manufacturers' limitations.
 - 2. For concrete substrates with high residual moisture, notify owner, owner's rep and manufacturer for recommended preparation to achieve system installation warranty

3.02 PREPARATION

- A. Remove substrate surface irregularities. Fill voids and deck joints with filler. Finish smooth.
- B. Vacuum clean surfaces.
- C. Prime substrate in accordance with manufacturer's instructions. Allow to dry.
- D. Close floor openings.

3.03 APPLICATION

- A. Install underlayment in accordance with manufacturer's instructions. Always refer to the most current product information at us.uzin.com.
- B. Pump or pour material onto substrate. Do not retemper or add water.
 - 1. Pump, move, and screed while the material is still highly flowable.
 - 2. Be careful not to create cold joints.
 - 3. Wear spiked shoes while working in the wet material to avoid leaving marks.
- C. Place to indicated thickness, with top surface level to 1/8 inch in 10 ft (1:1000).
- D. If a fine, feathered edge is desired, steel trowel the edge after initial set, but before it is completely hard.

3.04 CURING

A. Once underlayment starts to set, prohibit foot traffic until final set has been reached.

3.05 PROTECTION

HYDRAULIC CEMENT UNDERLAYMENT

- A. Protect against direct sunlight, heat, and wind; prevent rapid drying to avoid shrinkage and cracking.
- B. Do not permit traffic over unprotected floor underlayment surfaces.

END OF SECTION

SECTION 22 13 16 SOIL, WASTE AND SANITARY DRAIN PIPING, VENT PIPING AND APPURTENANCES

PART 1 - GENERAL

1.1 WORK INCLUDED

A. Furnish and install piping in buildings and underground laterals to 5 foot outside of building.

1.2 RELATED WORK

- A. Site Work:
 - 1. Sanitary Sewers
 - 2. Excavation, Trenching and Backfilling for Utilities
- B. Division 22 Plumbing:
 - 1. Pipe and Pipe Fittings
 - 2. Plumbing Fixtures and Fixture Carriers
 - 3. Drains, Cleanouts and Hydrants
 - 4. Earthwork

1.3 REFERENCES

- A. CISPI Cast Iron Soil Pipe Institute
- B. ASTM American Society for Testing and Materials

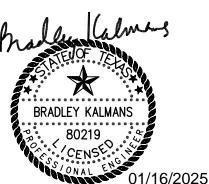
PART 2 - PRODUCTS

2.1 ACCEPTABLE MANUFACTURERS

- A. All No-Hub clamps must have 4 bands minimum. Sizes 5" through 10" shall have six bands minimum.
 - 1. No-Hub Clamps Sanitary Waste:
 - a. Husky SD 4000
 - 2. No-Hub Clamps Vents
 - a. Husky SD 2000
 - b. Mission Rubber Co., LLC Heavy Weight Couplings
- B. Provide Husky shielded couplings Series 4200 with one piece neoprene gasket for all cast iron pipe transitions to Schedule 40 DWV pipe penetrations through slabs. Sizes 1-1/2" through 8" Series 4200.
- C. Cast Iron Soil Pipe and Fittings:
 - 1. AB&I
 - 2. Charlotte Pipe and Foundry Co.
 - 3. Tyler Pipe / Soil Division

2.2 DRAIN PIPE AND FITTINGS

- A. Above Slab Pipe:
 - 1. No-hub cast iron soil pipe and fittings shall conform to CISPI 301 and ASTM A888.
 - 2. Pipe shall conform to ASTM A74.
 - 3. No-hub couplings shall meet or exceed the latest specification standard CISPI 310 or ASTM C-1540 and conform to FM 1640. CISPI 310 Couplings shall be listed by NSF International.
 - 4. Rubber Gaskets for cast iron soil pipe and fittings shall conform to ASTM C564
 - 5. All Cast Iron Soil Pipe and Fittings shall be marked with the collective trademark of the Cast Iron Soil Pipe Institute
- B. Below Slab on Grade Piping:



- 1. Schedule 40 PVC plastic pipe and DWV fittings. 4" SDR pipe is not allowed.
- 2. Solvent welded DWV joints shall conform to IAPMO Installation Standard IS-9.
- 3. Pipe and fittings shall conform to ASTM D 1784, ASTM D 1785, ASTM D 2665, ASTM D 3311 and NPS Standard 14 & 61.
- C. Below Slab on Grade Piping for Grease Waste as indicated on Drawings for Hot Grease Waste Discharge:
 - 1. Schedule 40 CPVC pipe and fittings
 - 2. Solvent welded DWV joints shall conform to ASTM D3311 and be produced to dimensions specified in ASTM F 2618, NSF International, UPC, IAPMO IGS 210 and International Plumbing Code.
 - 3. Solvent Cement, Heavy Body; mustard yellow color, as tested by ASTM F 2618 / ASTM F493
 - 4. Manufacturer: Spears (only)

2.3 VENT PIPE AND FITTINGS

- A. Above Slab Pipe:
 - 1. No-hub cast iron soil pipe and fittings shall conform to CISPI 301 and ASTM A888.
 - 2. Pipe shall conform to ASTM A74.
 - 3. No-hub couplings shall conform to CISPI 310 and shall be listed by NSF International
 - 4. Rubber gaskets for cast iron soil pipe and fittings shall conform to ASTM C564
- B. Below Slab on Grade Piping:
 - Provide Schedule 40 PVC with DWV fittings with solvent welded joints. Pipe and fittings shall conform to ASTM D1784-82.
- C. Above Slab Pipe.
 - Drainage-waste-vent copper pipe and fittings for waste stub-outs for all fixture locations and equipment discharge.

PART 3 - EXECUTION

3.1 INSTALLATION

- A. All above and below slab soil, waste, sanitary drain and vent piping installation methods shall be in accordance with Cast Iron Soil Pipe Institute Standards.
- B. Above ground installation in the horizontal position shall be supported at every hub (hub & spigot or hubless type). Hangers are to be placed within 18" of hub or coupling. For large diameter fittings, 5 inches and larger shall be braced to prevent horizontal movement. Every branch opening or change of direction, braces, blocks, rodding or other suitable method shall be used to prevent movement. Riser clamps to be used for each floor, not to exceed 15'-0".
- C. All above and below slab PVC sanitary waste and vent piping installation methods shall be in accordance with IAPMO Installation Standard 18-9 for Schedule 40 PVC-DWV, per manufacturer's recommendations and applicable standards.
- D. Tracer wires shall be installed on all underground PVC sanitary sewer lines installed outside the building slab.
- E. All PVC underground shall be installed in accordance with ASTM D2321.

3.2 GRADE

A. Give horizontal pipe grade of \(^1\)4-inch per foot where possible, but not less than \(^1/8\) inch per foot unless otherwise shown.

3.3 DRAIN PIPE AND FITTINGS

- A. Offsets and Fittings.
 - 1. Use reduction fittings to connect two pipes of different diameter.
 - 2. Change directions by appropriate use of 45-degree wyes, long-sweep quarterbends, and sixth-, eights-, and sixteenth-bends. Sanitary tees can be used on vertical stacks. Use long sweeps at the base of risers.
 - 3. Provide a separate trap at each fixture, unless a trap is built into the fixture. Provide a deep seal trap at each floor drain and hub drain. Place traps so that the discharge from any fixture will pass through only one trap before reaching a building drain.
 - 4. Do not use double combinations or cross fittings below slab.
 - 5. Refer to Sanitary Drainage Code section for acceptable fittings to be used for changes in direction of drainage flow. Double combo sanitary fittings or double wye and 1/8th bend fittings are not allowed for horizontal to horizontal piping systems per Code.
- B. Hub Drains. Install hub drains where indicated, with the top of the hub 1/2 above the finished floor, unless otherwise indicated on the drawings.
- C. Cleanouts. Install cleanouts the same size as the soil waste lines in which the cleanouts are placed; however, no cleanout should be larger than 4 inches in diameter.
 - 1. Where cleanouts occur in pipe chases, bring the cleanouts through the walls and install covers. Where cleanouts occur in floor slabs, set flush. Reference drawing schedule.
 - 2. Provide cleanouts where soil lines change direction, every 75 foot on long runs, or as shown on the drawings, at the end of each horizontal waste line, and at the base of each riser (and at each increase in pipe size).
 - 3. Cleanouts shall occur at the end of each battery of water closets, urinals, lavatories, sinks, and single water closets. Cleanouts shall be installed so as to access the main sanitary or soil line. Extend and offset above flood rim of water closet.
 - 4. Double sanitary tees and double quarter bends do not allow for easy access to main lines, therefore these types of fittings are not allowed.
 - 5. Provide cleanout above all sanitary cross fittings and Figure 5 fittings in chase walls, etc.
 - 6. Do not provide gasket markers in carpeted areas. Do provide full cleanouts with top fully exposed.
 - 7. For large garbage disposers in kitchens, install a cleanout between the disposer and the P-trap and at the wall.
 - 8. Notify civil to have manholes at connections to main at each exit point.
- D. Floor Drains. Locate floor drains 1/2-inch below finish floor elevation unless otherwise shown.

3.4 VENT PIPING

- A. Make vent connections to vent stacks with inverted wye fittings. Extend full-size vents through the roof to at least 6 inches above the roof.
- B. Flash the roof penetration with 6 lb. lead flashing approximately 24 inches square. Flange the flashing to the lead sleeve. Extend the flashing up and around the vent pipe. Turn the flashing down inside the pipe at least 2 inches to make a watertight joint. Flashing shall comply with the roofing manufacturer's requirements. Reference the Architectural Drawings for exact requirements.
- C. Locate vent piping through roof a minimum horizontal distance of not less than 20 feet from any air intake opening or supply fan.

D. During demolition, abandoned plumbing vents are to be removed in their entirety. Do not cap the vent pipes below the roof deck and abandon in place. The hole in the roof is to be patched and made water tight.

3.5 TESTING

- A. Below Slab on Grade and All Floors in Multi-Story Buildings:
 - 1. Test pipe below slab on grade before backfilling and connecting to city sewers.
 - 2. Maintain not less than 10 foot of hydrostatic head for 1 hour without a leak.
 - 3. Before acceptance of the work the contractor must ensure the piping is in working order before and after the slab is poured. To ensure this the contractor must test completed systems in the presence of the Architect, Engineer and authorities having jurisdiction after installation is complete.
 - 4. Maintain the test on the system till after the slab is poured. Provide an accessible connection that may be reviewed by Architect, Engineer and authorities having jurisdiction prior to and after the slab is poured.
 - 5. Test drainage piping systems in accordance with governing codes and the requirements specified. Provide equipment and materials and make test connections required to execute tests.
 - 6. Test drainage and waste piping hydraulically by filling system to its highest point or, whichever is greater, at a static head of 10 feet. Leaks at any joint shall be sufficient cause for rejection.
 - 7. Air tests may be substituted for hydraulic tests by forcing air into the closed system at a uniform pressure sufficient to balance a column of 10 inch hg in height.
 - 8. Under any of the previously described tests, the water height shall remain constant, after stabilization, for not less than 15 minutes without any further addition of water.
- B. System Test. After the various sections of soil, waste and vent piping are installed, but before fixtures are connected, test the system by:
 - 1. Plugging outlets.
 - 2. Filling vertical sections of multiple story buildings of not less than three floors at a time with water. Provide wyes as required to facilitate plugging.
 - 3. Test for 6 hours without any drop in the water level.

3.6 RODDING SEWERS

- A. All sanitary soil and waste lines, both in the building and out, shall be rodded out and flushed out after completion of construction and prior to finish floor being installed. All work must be completed prior to substantial completion. All floor drains and cleanout locations must be included in this work.
- B. All sanitary soil and waste lines below building 3" and larger shall be internally videotaped at time of substantial completion and on existing piping prior to construction. All videotaping shall include on-screen date and time and include audio narration. All videotaping shall be provided by experienced individual in videotaping piping systems. CFISD must be notified 24 hours prior to start time of video inspection. An Owner's Representative, CFISD plumbing foreman, or his designee shall be present during videotaping. Three copies of the videotape shall be delivered to the Owner for future records.
- C. This work shall be done in the presence of the Owner's Representative, CFISD plumbing foreman, or his designee as part of the Contract, to ensure all lines are clear, and any obstruction that may be discovered shall be removed immediately. Rodding shall be accomplished by utilizing the proper rotary head to clear sewer. Pipe sizes 8 inches and larger shall be hydro-flushed.

3.7 SMOKE TESTING – LIQUID SMOKE SYSTEM

- A. Interior Plumbing Piping:
 - 1. Contractor shall perform smoke testing for finding leaks in all interior of building sanitary sewer piping, acid waste and vent piping, and sanitary vent piping above and below building slab prior to cover up.
 - 2. Contractor must use a laboratory tested safe liquid smoke with a patented liquid smoke generating system. The liquid smoke must be contained in a pressure tank with inline filter and quick disconnect.
 - 3. Contractor shall provide a continuous smoke flow for testing the entire piping system in lieu of partial testing done by sections at a time. Partial testing will not be acceptable.
 - 4. Smoke generating system must generate up to 3 hours or more of continuous and constant smoke. Generating system must have a metering valve to precisely control smoke flow and density. Smoke generating system must have a 4" x 6" industrial flexible mining duct for connection to vent stack or cleanout or sit atop a manhole outside.
 - 5. Smoke generating system must be power full enough to push smoke through the smallest leaks.
 - 6. The liquid smoke must not leave any stains or odors.
 - 7. The liquid smoke shall not contain Zinc Chloride, a listed toxic compound in OSHA 1915,1000 Air contaminants.
 - 8. Smoke generating system must have a means to atomize the liquid smoke and have an enclosed fan system capable of up to 700 cfm with adjustable inlet damper control to adjust cfm as necessary for the size of system.
 - 9. Provide Hurco "Power smoker "with Hurco "LiquiSmoke" system or approved equal. No smoke bombs allowed.
 - 10. All plumbing fixtures must be installed including floor drains with wetted trap seals.
 - 11. Smoke testing shall be performed after completion of any videotaping, rodding or flushing of the sanitary system. Test must be performed prior to ceiling installation in new construction projects. Smoke is usually injected into the building through the two-way cleanout in the main sewer line leaving the building or a plumbing roof vent or fixture. Plug piping as necessary as to force all smoke into building. Smoke can also be admitted through a manhole. Smoke will travel through the sanitary sewer and vent system and through the air spaces in the sewer lines and emanate from any leaks in the system. The smoke must reach the last roof vent in the system to indicate the entire system has been completely filled with smoke. The smoke must travel the full length of the piping system. Contractor must provide manpower as necessary to visually trace the flow of smoke through the wall cavities, annular floor/ceiling spaces, inject the smoke, observe the roof vents and to identify the integrity problems.
 - 12. Contractor shall provide a detailed list of findings and a drawing indicating the location, fixture type, type and size of pipe, and or description of type of problems found.
 - 13. Typical findings from indoor smoke testing may include:
 - a. Dry traps in floor drains
 - b. Improperly capped sewer lines or vents
 - c. Broken sewer lines or vents
 - d. Cross connected sewer vents and drains
 - e. The drawing of air emanating from sewer vents into intakes of air exchange systems

- Poorly glued pipe joints Loose no-hub couplings f.
- g.
- An Owner's Representative shall be present during smoke testing. 14.

END OF SECTION

SECTION 28 10 00.05 DOOR INTERCOM SYSTEM

PART 1 - GENERAL

1.1 RELATED WORK

- A. The following, in their entirety and as applicable, shall apply to this section. Including any associated drawings.
 - 1. Conditions of the Contract
 - 2. Division 1
 - 3. Division 26
 - 4. Division 27
 - 5. Division 28

1.2 SYSTEM DESCRIPTION

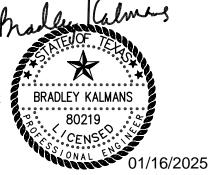
- A. General Requirements:
 - 1. The specified unit shall be of manufacturer's official product line, designed for commercial and/or industrial 24/7/365 use.
 - 2. The specified unit shall be based upon standard components and proven technology using open and published protocols.
- B. Sustainability
 - 1. The specified unit shall be manufactured in accordance with ISO 14001.
 - 2. The specified unit shall be compliant with the EU directives 2011/65/EU (RoHS) and 2012/19/EU (WEEE).
 - 3. The specified unit shall be compliant with the EU regulation 1907/2006 (REACH).
- C. Scope of Work replace existing AiPhone door and master stations with current district standard door and master station as described in Part 2 of this specification.

1.3 CERTIFICATIONS AND STANDARDS

- A. General abbreviations and acronyms
 - 1. AES: Advanced Encryption Standard
 - 2. API: Application Programming Interface
 - 3. Bit Rate: The number of bits/time unit sent over a network
 - 4. DHCP: Dynamic Host Configuration Protocol
 - 5. DNS: Domain Name System
 - 6. FPS: Frames per Second
 - 7. FTP: File Transfer Protocol
 - 8. H.264 (Video Compression Format)
 - 9. IEEE 802.1x: Authentication framework for network devices
 - 10. IP: Internet Protocol
 - 11. IR light: Infrared light
 - 12. ISO: International Standards Organization
 - 13. JPEG: Joint Photographic Experts Group (image format)
 - 14. LAN: Local Area Network
 - 15. LED: Light Emitting Diode
 - 16. MPEG: Moving Picture Experts Group
 - 17. Multicast: Communication between a single sender and multiple receivers on a network
 - 18. NTP: Network Time Protocol
 - 19. ONVIF: Global standard for the interface of IP-based physical security products

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20. PACS: Physical Access Control System



- 21. PoE: Power over Ethernet (IEEE 802.3af/at) standard for providing power over network cable
- 22. Progressive scan: An image scanning technology which scans the entire picture
- 23. QoS: Quality of Service
- 24. RPC: Remote Procedure Call
- 25. SIP: Session Initiation Protocol
- 26. SMTP: Simple Mail Transfer Protocol
- 27. SNMP: Simple Network Management Protocol
- 28. SSL: Secure Sockets Layer
- 29. TCP: Transmission Control Protocol
- 30. TLS: Transport Layer Security
- 31. Unicast: Communication between a single sender and single receiver on a network
- 32. UPS: Uninterruptible Power Supply
- 33. VBR: Variable Bit Rate
- 34. VMS: Video Management System
- 35. WDR: Wide dynamic range
- B. The specified unit shall carry the following EMC approvals:
 - 1. EN55032: 2012
 - 2. EN55024: 2010
 - 3. 2014/35/EU
 - 4. 2014/30/EU
 - 5. 2012/19/EU
 - 6. 2011/65/EU
 - 7. EN 55032 Class A
 - 8. EN 55032 Class B
 - 9. EN 55024
 - 10. FCC Part 15 Subpart B Class A
 - 11. FCC Part 15 Subpart B Class B
 - 12. FCC Part 15 Subpart B Class A + B
 - 13. ICES-003 Class A
 - 14. ICES-003 Class B
- C. The specified unit shall meet the following product safety standards:
 - 1. IEC/EN/UL 60950-1
- D. The specified unit shall meet the following standards
 - 1. Audio:
 - a. G.711
 - b. G.729
 - c. G.722 (wideband)
 - d. L16 / 16kHz (wideband)
 - 2. Video:
 - a. H.263+
 - b. H.263
 - c. H.264 (MPEG-4 AVC)
 - d. MPEG-4 Part 2
 - e. MJPEG
 - 3. Networking:
 - a. IEEE 802.3af/802.3at (Power over Ethernet) [applies to products with PoE]
 - b. IEEE 802.1X (Authentication)
 - c. IPv4 (RFC 791)

- d. QoS
- 4. Mechanical Environment:
 - a. IEC/EN 60529 IP54
 - b. IEC/EN 62262 IK08

1.4 QUALITY ASSURANCE

- A. Contractor Qualifications:
 - 1. The system installer shall be the authorized representative of the manufacturer to sell, install, and service the proposed manufacturer's equipment. The system installer shall have represented the security alarm manufacturer's product for a minimum of five (5) years' with experience installing and servicing systems of similar scope and complexity and evidence that is completed at least three (3) projects of similar design and is currently engaged in the installation and maintenance of systems herein described.
 - 2. The system installer shall be licensed as required, by the State in which the project is located in, as a security services contractor to design, sell, install, and service security alarm systems.
 - 3. The system installer shall provide 24-hour, 365 days per year emergency service with factory trained service technicians.
 - 4. The installing firm shall have personnel on their staff that has been actively engaged in the business of designing, selling, installing, and servicing security systems for at least ten (10) years.
 - 5. The proposing contractor for this system and the installing contractor of this system shall be of the same organization. Absolutely no subcontracting of any portion of this system by the proposing contractor will be allowed.
 - 6. The proposing/installing contractor of this system must be an authorized dealer / integrator for the project's specified Access Control, Video Surveillance and the Intrusion Detection systems as well as the system specified in this section.
 - 7. Contractor must be a current integrator of solution in the closest major metropolitan area marketplace, have a permanent office located within 75-miles of the project, and be able to include information on current support staff to be able to service this client.
 - 8. All installation, configuration, setup, program and related work shall be performed by electronic technicians thoroughly trained by the manufacturer in the installation and service of the equipment provided.
 - 9. The system installer shall submit credentials of completed manufacturer certification, verified by a third-party organization, as proof of the knowledge.
 - 10. The Contractor shall provide four (4) current references from clients with systems of similar scope and complexity that became operational in the past three (3) years. At least three (3) of the references shall be utilizing the same system components, in a similar configuration as the proposed system
 - 11. Contractor must be in good standing with the Owner and have no outstanding performance or warranty items at the time of bid. Any outstanding items or issues is grounds to disqualify the Contractor for performing any work on the project.
- B. System Qualifications:
 - 1. The specified unit shall be manufactured in accordance with ISO9001.

1.5 SUBMITTALS AND CLOSE-OUT

- A. Product Data:
 - 1. Within fourteen (14) days of Notice to Proceed, the system installer shall furnish

the following in a single consolidated submittal:

- a. Permits: The Contractor shall obtain all required permits and provide copies to the Owner / Architect / Engineer.
- b. Product Literature: Complete manufacturer's product literature for all system equipment, power supplies, cable, termination components, cable supports, cable labels, field devices, and other products to be used in the installation. In addition, whenever substitutions for recommended products are made, samples (when requested by the Owner/Designer) and the manufacturer's supporting documentation, demonstrating compatibility with other related products shall be included. The submittal shall have some type of distinguishing marker or pointer to indicated what specific product is to be submitted.
- c. Construction Schedule: A time-scaled Construction Schedule indicating general project deadlines and specific dates relating to the installation of the cable distribution system.
- d. Specification Compliance: A letter shall be provided stating, by section and subsection, that the system installer complies with the ENTIRE specification section. If the installer intends to deviate from any portion of the specifications, a detailed explanation of reason in which the installer would like to deviate shall be provided in addition to the specification compliance letter. No deviations shall be acceptable until they have been accepted by the project's technology consultant.
- e. Certifications: The contractor shall submit all of the following certifications and the certifications must contain dates which are valid from the date of proposal and not expirer any sooner than 12 months after substantial completion of the project.
 - 1) Manufacturer's Authorized Dealer/Installer Certification: This certification must be held by the proposing/installing contractor and state that the proposing/installing contractor is and authorized dealer/installer of the system specified within the project specifications. The certification must have been obtained by the office that is within a 75-mile radius of the project's location.
 - 2) Installer Certification: This certification must be held by at least 25% of the, on-site, staff and be made available at the site if requested by the owner, architect, and/or project's technology consultant.
 - 3) Licenses: This includes all licenses required by the state in which the work is being performed, the federal government, local authorities having jurisdiction, and any organization in that governs the specific system

B. Shop Drawings:

- Submit the following items, for Owner review and approval, within twenty-eight (28) days of notice to proceed:
 - a. Proposed circuit routing and circuit grouping plan prepared by a system registered designer. The designer's certification must be current.
 Identifiable, separate routing shall be shown for both the station cabling and any backbone trunk cabling.
 - b. In addition to the cable routing, the submitted drawings shall indicate the following, even if the following is expected to be provided by the project's electrical or general contractor:

- 1) Location of all control equipment and remote power sources
- 2) Locations of all field devices and outlets
- 3) Location of wall penetrations (all penetrations shall be sleeved and contain protective bushings at both ends)
- 4) Location of sleeved wall and/or floor pass-thru
- 5) Size of sleeve at each location installed
- 6) Quantity of cable passing through each sleeve
- 7) Conduit routing, size, quantity, and stub-up locations for any floor mounted outlets or outlets installed in casework.
- c. Drawing Compliance: A letter shall be provided stating that the system installer complies with the entire project drawing, including all general, keyed, and notes to contractor. If the installer intends to deviate from any portion of the specifications, a detailed explanation of reason in which the installer would like to deviate shall be provided in addition to the specification compliance letter. No deviations shall be acceptable until they have been approved by the project's technology consultant.
- C. Close-out Procedures: For review and acceptance, furnish an electronic copy of the following documents to the Architect / Engineer. Upon acceptance of the submitted close-out documents, provide four (4) copies on an electronic storage media (CD or USD Flash Drive) Labeled with the project name, date of submission, and the name of the submitting firm. Final copies shall be delivered directly to the project's Technology Consultant. The closeout submittals shall include the following and be packaged in a storable container with the physical storage media and any physical items listed:
 - 1. Inspection and Test Reports: During the course of the Project, the Contractor shall maintain an adequate inspection system to ensure that the materials supplied, and the work performed, conform to contract requirements. The Contractor shall provide written documentation that indicates that materials acceptance testing was conducted as specified. The Contractor shall also provide documentation, which indicates that all cable termination testing was completed and that all irregularities were corrected prior to job completion.
 - 2. Provide complete test reports for all cabling and devices that comprise system as outlined in this document.
 - 3. Include the Name, address and telephone of the authorized factory representative with a 24-hour emergency service number.
 - 4. The manual shall also include Manufacturer's data sheets and installation manuals/instructions for all equipment installed and a list of recommended spare parts.
 - 5. Generic or typical owner's instruction and operation manual shall not be acceptable to fulfil this requirement.
 - 6. An up-to-date record ("as-built") set of approved shop drawing prints that have been revised to show each and every change made to the system from the original approved shop drawings.
 - 7. As-built Drawings shall include cable pathways; device locations with correct labeling, control equipment locations, remote power supply locations, cross connect locations, and lightning protection locations. The as-built drawings shall be prepared using AutoCAD 2014 or later.
 - 8. All drawings must reflect point to point wiring, device address and programmed characteristics as verified in the presence of the engineer and/or the end user unless device addressing is electronically generated, and automatically graphically self-documented by the system.
 - 9. A copy of the manufacturer's warranty on the installed system.

- 10. Any keys to cabinets and/or equipment and special maintenance tools required to repair, maintain, or service the system.
- 11. Operating and Maintenance Instructions for all devices within the system. These instructions shall reflect any changes made during the course of construction, and shall be provided to the Owner, for their use, in a three-ring binder labelled with the project name and description. (4 copies)
- 12. Upon completion of the work and at a time designated by the Architect or owner, provide formal training sessions for the Owner's operating personnel to include location, operation, and maintenance of all included systems and equipment. Provide a video copy of the training session as well as all sign in and training sign off sheets
- 13. One (1) 30" x 42" laminated floor plan sheets illustrating device locations, system wiring configuration, and cable designation. Contractor shall provide one complete floor plan sheet at each panel location.

1.6 WARRANTY

- A. All security system components and labor furnished by the contractor including wiring, software, hardware and custom parts shall be fully warranted for parts, materials, labor and travel expenses for a minimum of three (3) years start from the date of substantial completion.
- B. The manufacturer shall provide warranty and optional extended warranty for the unit for a total period of maximum five years. If enacted as part of the contract, the contractor will repair or replace parts and/or labor per the warranty for the length of this warranty at no cost to the client.

PART 2 - PRODUCTS

2.1 GENERAL

- A. Intercoms shall be IP-based and comply with established network and video standards.
- B. Intercoms shall be powered by the switch utilizing the network cable.
- C. Intercoms shall be fully supported by an open and published API (Application Programmers Interface), which shall provide necessary information for integration of functionality into third party applications.

2.2 INTERCOM SCHEDULE

- A. Intercom types listed below describing various resolutions, form-factor and features shall be supplied by a single intercom manufacturer.
- B. The intercom manufacture and model numbers will be as follows:
 - 1. Modular IP intercom shall be 2N IP Verso with camera. Part # 02907-001
 - 2. IP intercom base station shall be 2N Indoor View. Part # 02088-001
 - a. 2N Base station stand required. Part # 02039-001
 - 3. 2N Combo Reader Module. Part # 016939-001
 - 4. 2N Secure Door Set Tamper. Part # 01975-001
 - 5. 2N Weigand Module. Part # 01259-001
 - 6. 2N Surface frame plate. Part # 01289-001
 - 7. 2N Surface back plate. Part # 01294-001

2.3 INTERCOM

- A. Modular IP intercom
 - 1. The intercom shall meet or exceed the following design specifications:
 - a. Intercom shall include a built-in web server.
 - b. Intercom shall be able to perform defined local access control

- functionality without being connected to the network.
- c. Intercom shall be of modular design, include a replaceable front-end frame, providing 1 or 2 additional slots for functional modules, and should support multiple frames stacked side by side. The intercom shall support at least 29 functional modules when fully expanded.
- d. Intercoms' main unit shall be available with and without camera, and shall support the following functional modules:
 - 1) ID card reader
 - 2) Fingerprint reader
 - 3) Keypad
 - 4) Button module
 - 5) Touch screen
 - 6) Bluetooth
 - 7) Wiegand interface
- e. The intercom shall be equipped with an IR-sensitive progressive scan megapixel sensor and be able to provide images also under dark conditions.
- f. The intercom shall be equipped with built-in power adaptive IR-illumination/LED.
- g. The camera shall provide an automatic IR-cut filter, providing day/night functionality.
- 2. The intercom shall meet or exceed the following performance specifications:
 - a. Video
 - 1) The intercom shall provide video streams in 640x480 at up to 30 frames per second using H.264, H.263, H.263+ or up to 15 frames per second using MJPEG.
 - 2) The intercom camera shall provide images in resolutions up to 1280x960.
 - 3) The intercom shall support the following video encoding algorithms:
 - a) H.263+
 - b) H.263
 - c) H.264
 - d) MPEG-4 Part 2
 - e) MJPEG
 - 4) The intercom shall provide independently configured simultaneous H.264 and MJPEG streams.
 - 5) The intercom shall in H.263, H.263, H.264 support Constant Bit Rate (CBR) to protect the network from unexpected bit rate peaks.
 - 6) The intercom shall provide configurable compression levels.
 - 7) Support standard baseline profile H.264 with motion estimation.
 - 8) Support motion estimation in H.264/MPEG-4 Part 10/AVC.
 - 9) The intercom shall allow for video to be transported over:
 - a) HTTP (Unicast)
 - b) HTTPS (Unicast)
 - c) RTP (Unicast & Multicast)
 - d) RTP over RTSP (Unicast)
 - e) RTP over RTSP over HTTP (Unicast)
 - 10) The intercom shall support Quality of Service (QoS) to be able to prioritize traffic.

- b. Image
 - 1) The camera shall incorporate automatic white balance.
 - 2) The camera shall support manually defined values for:
 - a) Color level
 - b) Brightness
- c. Audio
 - 1) The intercom shall support two-way full duplex audio:
 - i) Input sources
 - (1) Internal microphone
 - b) Output sources
 - (1) Built-in speaker, 2W
 - (2) Line out
 - 2) The intercom shall support separately adjustable volume levels for:
 - a) Call
 - b) Key
 - c) Ring tones
 - d) Preloaded audio clips
 - e) Warning tones
 - f) Paging
 - 3) The intercom shall support adaptive gain control.
 - 4) Encoding
 - a) The intercom shall support:
 - (1) G.711
 - (2) G.722 (wideband)
 - (3) G.729
 - (4) L16 / 16kHz (wideband)
 - 5) The intercom shall provide a sound pressure level of at least 78dB at 1kHz at 1m.
 - The intercom shall be equipped with active echo cancellation.
 - 7) The intercom shall allow for audio to be transported over:
 - a) RTP (Unicast & Multicast)
 - b) RTP over RTSP (Unicast)
 - c) RTP over RTSP over HTTP (Unicast)
 - 8) The intercom shall support Quality of Service (QoS) to be able to prioritize traffic.
- d. Call functionality
 - 1) The intercom shall support SIP for integration with VoIP, peer-to-peer or integrated into SIP/PBX.
 - 2. The intercom shall support the use of SIP Proxy, which can be the same as the SIP registrar for outgoing calls.
 - 3) The intercom shall support dialing up to twelve separate numbers in sequence or as ring group.
- e. Access control functionality
 - 1) The intercoms' reader outputs shall be wired through the Weigand module to the existing access control system.
- f. User Interface
 - 1) Web server
 - a) The intercom shall contain a built-in web server making functionality and configuration available to multiple clients in a standard operating system and browser

environment using HTTP, without the need for additional software.

- 2) IP addresses
 - a) The intercom shall be set with dynamically assigned IP addresses provided by a Dynamic Host Control Protocol (DHCP) server.
 - b) The intercom shall allow for automatic detection of the intercom based on WS Discovery when using a computer with an operating system supporting this feature.
 - c) The intercom shall provide support for IPv4.
- g. Event functionality
 - 1) The intercom shall be equipped with an integrated event functionality, which can be triggered by:
 - a) Tamper / case open
 - b) SIP Call state incl. incoming call
 - c) Change of SIP registration status
 - d) Video Motion Detection
 - e) Noise Detection
 - f) SIP DTMF sequences
 - g) External input
 - h) Access control events such as code, card, fingerprint entered
 - i. Predefined time
 - 2) Response to triggers shall include:
 - a) Send notification, using HTTP or email
 - b) Activate sound alarm
 - c) Make or end call
 - d) Send notification, using HTTP, HTTPS, Wiegand or email
 - e) Send images, using FTP or email
 - f) Activating external output
 - g) Play audio clip
- h. Protocol
 - 1) The intercom shall incorporate support for at least HTTP, HTTPS, SIP 2.0, TFTP, RTSP, RTP, SMTP, DHCP opt 66, NTP, Syslog.
 - 2) The SMTP implementation shall include support for SMTP authentication.
 - 3) The camera shall incorporate support for at least IPv4, HTTP, HTTPS, SIP, SSL/TLS, QoS Layer 3 DiffServ, TCP, ICMP, SNMPv2c, RTSP, RTP, UDP, IGMP, RTCP, SMTP, FTP, DHCP, ARP, DNS, NTP,
- i. Security
 - 1) The intercom shall support the use of HTTPS and SSL/TLS, providing the ability to upload signed certificates to encrypt and secure authentication and communication of both administration data and video streams.
 - 2) The intercom shall block its login page for 30 seconds after three faulty passwords have been submitted.
 - 3) The intercom shall force user to change admin password upon

first installation.

- 4) The intercom shall provide centralized certificate management, with the ability to upload CA certificates. The certificates shall be signed by an organization providing digital trust services.
- 5) The intercom shall support IEEE 802.1X authentication.
- 6) Selected services, such as RTSP or web config shall be configurable to only allow access from local devices.
- 7) The intercom shall restrict access to the built-in web server by username and password.
- 8) The intercom shall be equipped with tamper detection.

j. API support:

- 1) The intercom shall be fully supported by an open and published API (Application Programmers Interface), which shall provide necessary information for integration of functionality into third party applications.
- 2) The intercom shall conform to ONVIF profile S as defined by the ONVIF Organization.
 - a) For ONVIF profile specifications, see www.onvif.org/
- The intercom shall be interoperable/certified with major PBX and gateway manufacturers, including:
 - a) Cisco
 - b) Avaya
 - c) Broadsoft

k. Installation and maintenance

- 1) The intercom shall support secure configuration using HTTPS.
- 2) The intercom shall support the use of SNMP-based management tools according to SNMP v2c.
- The intercom shall allow updates of the software (firmware) over the network, using TFTP, HTTP or web interface.
- 4) The intercom shall be time synchronized to the district NTP (Network Time Protocol) server.
- 5) The intercom shall support back-up and restore of configuration.
- 6) The intercom shall store all customer-specific settings in a nonvolatile memory that shall not be lost during power cuts or soft reset.

1. Access log

- 1) The intercom shall be able to log events such as codes, phone calls, RFID cards etc., and provide them using HTTP interface for monitoring.
- 2) The administrator shall be able to set whether the particular messages are sent by the intercom immediately after any event occurs, or if the client registers for event logging and then asks for full report since last registration, all events at once.
- 3) The client shall be able to select which messages are reported from event log.

m. Intercom diagnostics

- 1) The intercom shall be equipped with LEDs, capable of providing visible status information. LEDs shall indicate the intercom's operational status and provide information about power, the network status and the intercom status.
- 2) The intercom shall be monitored by a Watchdog functionality,

which shall automatically re-initiate processes or restart the unit if a malfunction is detected.

- n. Hardware interfaces
 - 1) Network interface
 - The intercom shall be equipped with one 10BASE-T/100BASE-TX Fast Ethernet-port, using a standard RJ45 connector and shall support auto negotiation of network speed (100 MBit/s and 10 MBit/s) and transfer mode (full and half duplex).
 - 2) Doors
 - a) The intercom shall be equipped with programmable input supporting both short circuit activation or up to +30VDC for door monitor or Request to Exit (REX).
 - b) The intercom shall be equipped with two independent outputs for door control. One active providing at least 8VDC / 400mA and one NO/NC relay supporting up to 30V AC/DC 1A.
 - 3) Audio
 - a) The intercom shall be equipped with line output.
 - 4) Power
 - a) The intercom shall be equipped with a removable terminal block providing connectivity for external power.
 - 5) Multifunctional connector
 - a) The camera shall, by using a "multi wire ribbon cable", provide connectivity between main unit and modules.
- o. Enclosure
 - 1) The intercom shall:
 - a) Be manufactured with IP54 rated housing, and be IK08 (IK07 when using Touchscreen module).
 - b) Be fitted with a tamper switch.
 - c) Be of modular design, supporting main unit and up to 29 additional modules.
 - d) Be available in black and brushed nickel versions.
- p. Power
 - 1) Power over Ethernet IEEE 802.3af/802.3at Type 1 Class 0
 - 2) 12 V DC
 - a) Max: 2A
- q. Environmental
 - 1) The intercom shall:
 - a) Operate in a temperature range of -40 °C to +60 °C (-40 °F to 140 °F)
 - b) Operate in a humidity range of 10–95% RH (non-condensing).

PART 3 - EXECUTION

3.1 INSTALLATION

- A. The Contractor shall carefully follow instructions in documentation provided by the manufacturer to ensure all steps have been taken to provide a reliable, easy-to-operate complete system.
- B. All equipment shall be configured in accordance with instructions provided by the

- manufacturer and systems administrator prior to district inspection.
- C. All firmware found in products shall be the latest and most up-to-date provided by the manufacturer.
- D. The contractor shall provide a 2N Indoor Touch 2.0 master station at the primary operator's desk with its appropriate stand.
- E. Contractor is responsible for working with other trades to ensure proper installation of all devices per recommended codes.
- F. All equipment requiring users to log on using a password shall be configured with district specific password. No system/product default passwords shall be allowed.

END OF SECTION





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10930 W. SAM HOUSTON PKWY. N. HOUSTON, TX 77064

tel: 281.664.1900

ALL INTERIOR PLINTHS ARE TYPE "P1" UON

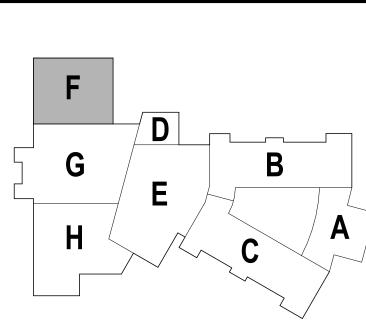
4. "GB1" (EXAMPLE) INDICATES GRADE BEAM TYPE

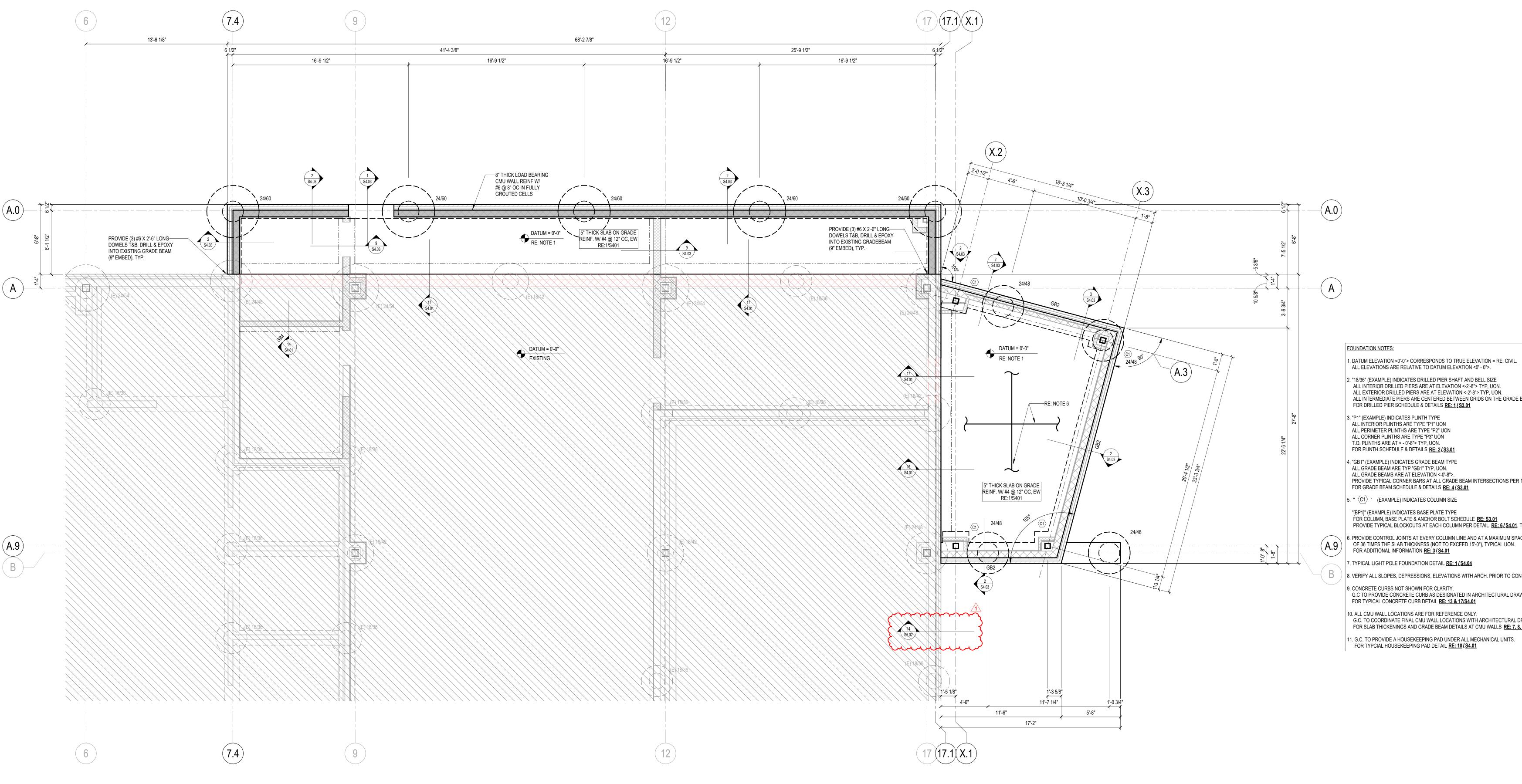
PROVIDE TYPICAL CORNER BARS AT ALL GRADE BEAM INTERSECTIONS PER 1/S4.02 FOR GRADE BEAM SCHEDULE & DETAILS RE: 4/S3.01

"[BP1]" (EXAMPLE) INDICATES BASE PLATE TYPE
FOR COLUMN, BASE PLATE & ANCHOR BOLT SCHEDULE RE: \$3.01
PROVIDE TYPICAL BLOCKOUTS AT EACH COLUMN PER DETAIL RE: 6/S4.01, TYP UON.

FOR TYPICAL CONCRETE CURB DETAIL RE: 13 & 17/S4.01

FOR SLAB THICKENINGS AND GRADE BEAM DETAILS AT CMU WALLS RE: 7, 8, 9 & 10/S4.03





1 FOUNDATION PLAN - ORCHESTRA ADDITION - AREA F

ALL ELEVATIONS ARE RELATIVE TO DATUM ELEVATION <0' - 0">. 2. "18/36" (EXAMPLE) INDICATES DRILLED PIER SHAFT AND BELL SIZE

ALL INTERIOR DRILLED PIERS ARE AT ELEVATION <-2'-8"> TYP, UON. ALL EXTERIOR DRILLED PIERS ARE AT ELEVATION <-2'-8"> TYP, UON. ALL INTERMEDIATE PIERS ARE CENTERED BETWEEN GRIDS ON THE GRADE BEAM, TYP UON. FOR DRILLED PIER SCHEDULE & DETAILS RE: 1/S3.01 3. "P1" (EXAMPLE) INDICATES PLINTH TYPE

ALL PERIMETER PLINTHS ARE TYPE "P2" UON ALL CORNER PLINTHS ARE TYPE "P3" UON T.O. PLINTHS ARE AT < - 0'-8"> TYP, UON. FOR PLINTH SCHEDULE & DETAILS RE: 2/S3.01

ALL GRADE BEAM ARE TYP "GB1" TYP, UON. ALL GRADE BEAMS ARE AT ELEVATION <-0'-8">.

5. " C1 " (EXAMPLE) INDICATES COLUMN SIZE

6. PROVIDE CONTROL JOINTS AT EVERY COLUMN LINE AND AT A MAXIMUM SPACING OF 36 TIMES THE SLAB THICKNESS (NOT TO EXCEED 15'-0"), TYPICAL UON. FOR ADDITIONAL INFORMATION RE: 3/54.01

7. TYPICAL LIGHT POLE FOUNDATION DETAIL RE: 1/S4.04 8. VERIFY ALL SLOPES, DEPRESSIONS, ELEVATIONS WITH ARCH. PRIOR TO CONSTRUCTION

9. CONCRETE CURBS NOT SHOWN FOR CLARITY. G.C TO PROVIDE CONCRETE CURB AS DESIGNATED IN ARCHITECTURAL DRAWINGS.

10. ALL CMU WALL LOCATIONS ARE FOR REFERENCE ONLY.
G.C. TO COORDINATE FINAL CMU WALL LOCATIONS WITH ARCHITECTURAL DRAWINGS

11. G.C. TO PROVIDE A HOUSEKEEPING PAD UNDER ALL MECHANICAL UNITS. FOR TYPCIAL HOUSEKEEPING PAD DETAIL RE: 10/S4.01





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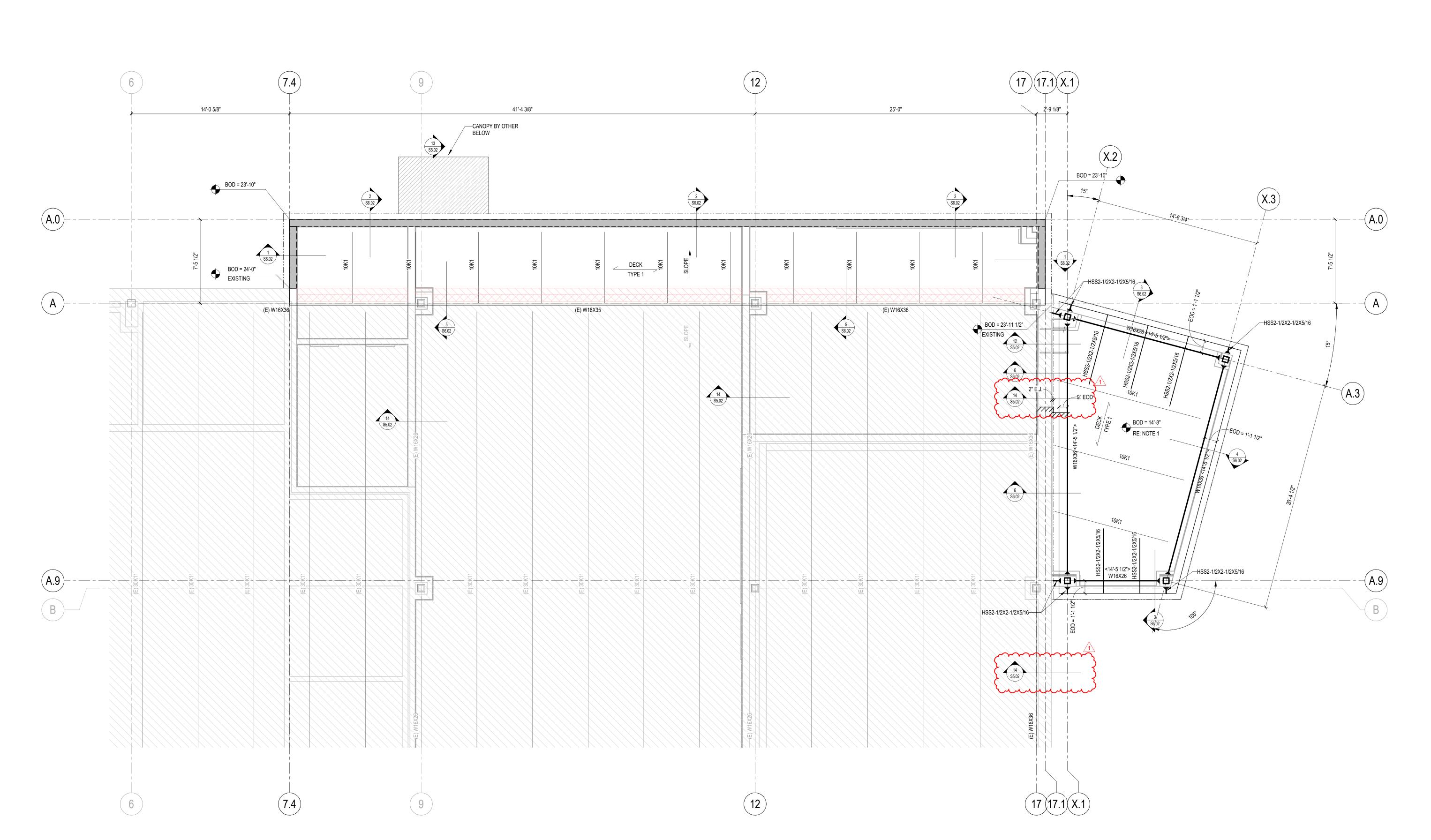
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| | | | | | | | |

ROOF FRAMING PLAN - AREA F



ROOF FRAMING PLAN - ORCHESTRA ADDITION - AREA F

STEEL ROOF FRAMING NOTES:

1. ALL ELEVATIONS ARE RELATIVE TO DATUM ELEVATION.

2. " DECK
TYPE 1 " (EXAMPLE) INDICATES ROOF DECK SPAN
DIRECTION AND DECK TYPE 1.
TOS ELEVATION AT ROOF DECKS ARE AT BOD, TYP, UON.
FOR DECK TYPE INFORMATION RE: S0.01

3. COORDINATE LOCATIONS AND SIZES OF ALL CHASES AND PENETRATIONS WITH MEP. COORDINATE EXACT LOCATION OF ALL MEP UNITS WITH MEP. FOR FRAMING AROUND ROOF OPENINGS RE: 8/56.01

4. PROVIDE MID-SPAN BEAM BRACING AT ALL BEAMS DENOTED WITH "(*) SIM. TO DETAILS <u>3/S6.02 & 4/S6.02</u>.

ROOF PLAN LEGEND 1/4" : 1'-0" SLOPE MIN. ROOF SLOPE ROOF DRAIN OVERFLOW DRAIN PATTERN DESCRIPTION NEW SBS ROOF OVER LWIC DECK

EXISTING SBS ROOF

NEW ROOF LADDER

@ EXISTING

REFER TO

STRUCTURAL

NEW CANOPY OR AWNING

NEW TO EXISTING ROOF MEMBRANE TIE-IN

NEW MINI-SPLIT CONDENSING UNIT OVER EACH IDF / MDF ROOM - RE: MECHANICAL

GENERAL NEW ROOF DESCRIPTION SBS ROOF MEMBRANE WITH MECHANICALLY FASTENED BASE SHEET OVER LWIC DECK SYSTEM

1/4" per ft (MINIMUM ALL ROOF SLOPES) Slotted Galvanized Metal Lightweight Insulating Concrete (LWIC) Parabase Plus, mechanically attached. Paradiene 20 TG, torch applied Paradiene 30 FR TG BW, torch applied

Flashing System: Veral Aluminum, metal foil surfaced flashing sheet Paradiene 20 SA, flashing reinforcing & cant backer Parapro 123 Flashing, liquid flashing system

Average of R-25 per specifications (8 1/2" maximum thickness LWIC Roof Deck to match existing roof deck @ adjacent roof) NOTE: See roofing specifications for complete description of roof type & materials used on Anthony Middle School Roof

GENERAL ROOF NOTES & DESCRIPTION NEW & EXISTING ROOF IS MODIFIED BITUMEN

- ROOFING SYSTEM ON LIGHTWEIGHT INSULATING CONCRETE ON GALV STEEL OR SLOTTED STEEL DECK UNLESS OTHERWISE NOTED. REFER TO SHEET A2.32 FOR TYPICAL ROOF
- LADDER & ROOF ACCESSORY DETAILS (CURBS, SPLASH PANS, HOUSINGS, ETC).
- 3. MEP ITEMS SHOWN ON EXISTING ROOF PLAN ARE FOR ARCHITECTURAL REFERENCE ONLY. 4. PROVIDE WALKWAY PROTECTION PADS UNDER

EQUIPMENT, AND ROOF HATCHES.

ALL NEW LADDERS (TOP & BOT), HVAC

- EQUIPMENT AND ROOF COMPONENTS IN DRAWING ARE FOR REFERENCE ONLY. CONTRACTOR SHALL FIELD VERIFY LOCATION OF ALL ROOF DRAIN, EXHAUST, SUPPLY FAN & ALL EQUIPMENT TO BE REPLACED.
- PROVIDE NEW CURBS, FLASHING, & ROOFING WHERE NEW ROOF EQUIPMENT WILL BE INSTALLED OVER EXISTING ROOF. PATCH & REPAIR ROOF PER MANUF'R INSTRUCTIONS & STANDARDS. COORDINATE STRUCTURAL COMPONENTS PRIOR TO REPAIR IF NECESSARY.
- INSTALL NEW ROOF LADDERS AS SHOWN ON ENLARGED NEW ROOF PLANS. GC TO COORDINATE WITH STRUCTURAL ENGINEER FOR ANY DEMO OF EXTERIOR BRICK ON EXISTING EXTERIOR WALL, TO INSTALL NEW STRUCTURAL STEEL HANGERS, MOUNTS & BRACKETS IN ORDER TO HANG NEW LADDER. NEW ROOF LADDERS ON NEW WALLS SHALL BE COORDINATED WITH STRUCTURAL ENGINEER FOR HANGERS, MOUNTS, AND BRACKETS TO SECURE NEW ROOF LADDER TO NEW WALL. GC TO COORDINATE PROPER DEPTH OF WALL MOUNT ANGLES, TO BYPASS ROOF LEVEL E XPANSION JOINTS, DOWNSPOUT NOZZLES, ETC.
- ALL ROOF SLOPES, INCLUDING CRICKETS & TAPERED LWIC, SHALL BE INSTALLED WITH A MINIMUM OF 1/4" PER FT. SLOPE TO ROOF DRAINS, TYPICAL. CRICKET THE UP SLOPE SIDE

RE: BUILDING SECTIONS & ROOF PLANS

- ASSOCIATED ROOF ACCESSORIES AT BUILDING AND NEW BUILDING WORK. ALL THRU-WALL FLASHINGS SHALL REMAIN INTACT AT ROOF LEVEL FOR NEW WORK
- 11. WHERE EXISTING MECHANICAL EQUIPMENT IS NOTED TO BE REMOVED PATCH AND INFILL EXISTING ROOF WITH SPECIFIED ROOFING SYSTEM. CONTRACTOR SHALL REMOVE ALL EXISTING COMPONENTS COMPLETE AND INFILL ROOF OPENINGS. CONTRACTOR TO VERIFY NEW STRUCTURAL COMPONENTS ARE
- FINISH SHALL MATCH ADJACENT EXISTING.
- PLAN, SEE MEP DRAWINGS AND SPECIFICATIONS.
- DETAILS FOR CONDITIONS NOT FULLY DOCUMENTED ON DRAWINGS AND SPECIFICATIONS.
- SHALL BE TREATED AS SPECIFIED.
- 17. REFER TO SHEET A2.31 & A2.32 FOR TYPICAL NEW SPILAST ROOF MEMBRANE DETAILS ROOF
- 19. REFER TO SHEET A8.01 & A8.02 FOR ALL NEW
- FLOWING BEFORE & AFTER DEMOLITION & CONSTRUCTION.
- REMOVED & REPLACED AT NEW EDGE (CAP SHEET REPLACEMENT).





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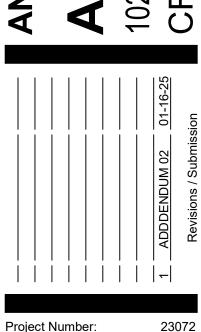
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OF ALL CURBS & SQUARE PROJECTIONS.

REPLACE ALL SURFACE MOUNTED STAINLESS STEEL FLASHING, PRE-FINISHED FLASHINGS & ROOF LEVEL AT INTERSECTION OF EXISTING UNLESS OTHERWISE NOTED IN DEMOLITION & ROOF PLAN.

- REQ'D PRIOR TO INFILL OF ROOF DECK.
- 12. CONTRACTOR SHALL FIELD VERIFY TOP OF STEEL, THICKNESS OF EXISTING ROOF SYSTEM AND ROOF SLOPE OF EXISTING ROOF WHERE NEW ROOF WILL ABUTT. NEW BUILDING ADDITION ROOF SHALL ALIGN WITH ADJACENT EXISTING ROOF.
- 13. DEPTH OF ROOF METAL EDGE TRIM AND
- 14. FOR INFORMATION REGARDING ANY MEP ITEMS SHOWN FOR REFERENCE ON ROOF
- 15. REFER TO MANUFACTURER'S PRINTED INSTALLATION DETAILS AND NRC STANDARD
- 16. ALL WOOD BLOCKING ON ROOF WORK,
- MEMBRANE + LWIC ONLY .
- 18. REFER TO SHEET A2.31 FOR NEW ROOF FLASHING DETAILS AT BUILDING ADDITIONS.
- WALL SECTIONS. 20. ALL ROOF DRAINS SHALL BE CLEAR & FREE
- 21. EXISTING EDGE BLOCKING AT NEW ROOF WORK ON EXISTING ROOF EDGES, SHALL BE FLASHING & NEW EXPANSION JOINTS ABUTTING NEW BUILDING ADDITIONS. ROOF OVERLAY PROJECTS SHALL HAVE ALL ROOF EDGE WOOD BLOCKING REMOVED & REPLACED AT ALL EDGES OF ROOF AFFECTED BY NEW ROOF OVERLAY



Date: 29 DECEMBER 2024

ROOF PLAN & ENLG ROOF PLAN

6 ENLG ELEVATION SOUTH - FINE ARTS

7 BRICK COURSING
1/2" = 1'-0"

5 ENLG ELEVATION SOUTH EAST - FINE ARTS

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Project Number: Date: 29 DECEMBER 2024

EXTERIOR ELEVATIONS

BRICK LEGEND

NOTE: FOR VERTICAL HEIGHTS OF BANDING, MATCH EXISTING BUILDING ADJACENT TO NEW ADDITION - SEE WALL SECTIONS FOR DIMENSIONS & DESCRIPTIONS MATCH BRICK LEDGE DEPTH VERIFIED IN FIELD

> EXTRA LARGE KING SIZED BRICK @ BLDG RUNNING BOND COURSING

FIELD COLOR - TAN **ACME BRICK - DOESKIN**

EXTRA LARGE KING SIZED BRICK @ BLDG RUNNING BOND COURSING FIELD COLOR - RED **ACME BRICK - BURGUNDY**

EXTRA LARGE KING SIZED BRICK @ BLDG RUNNING BOND COURSE BRICK BAND - WHITE **ACME BRICK - GLACIER WHITE**

____MJ MASONRY JOINTS

EJ WALL EXPANSION JOINTS

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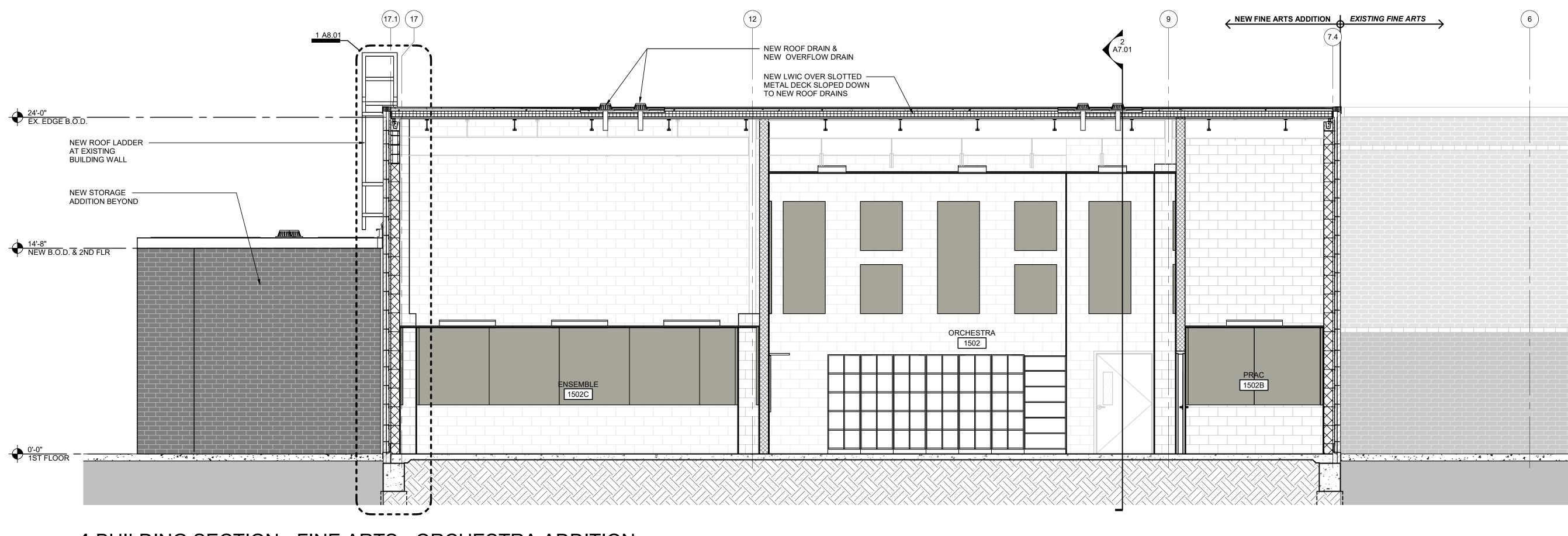
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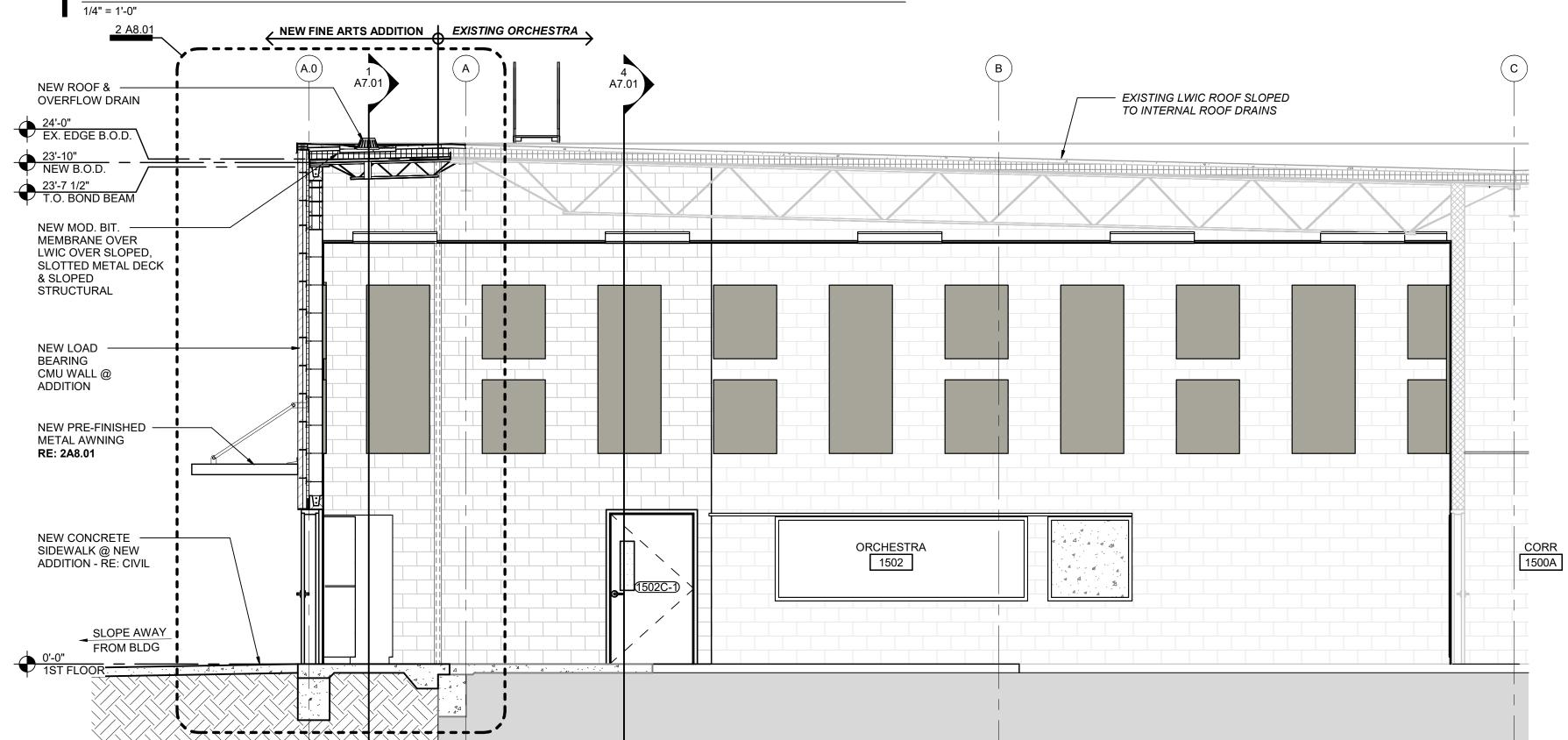
tel: 713.337.8881 **MEPT ENGINEER SALAS O'BRIEN** 10930 W. SAM HOUSTON PKWY. SUITE 900

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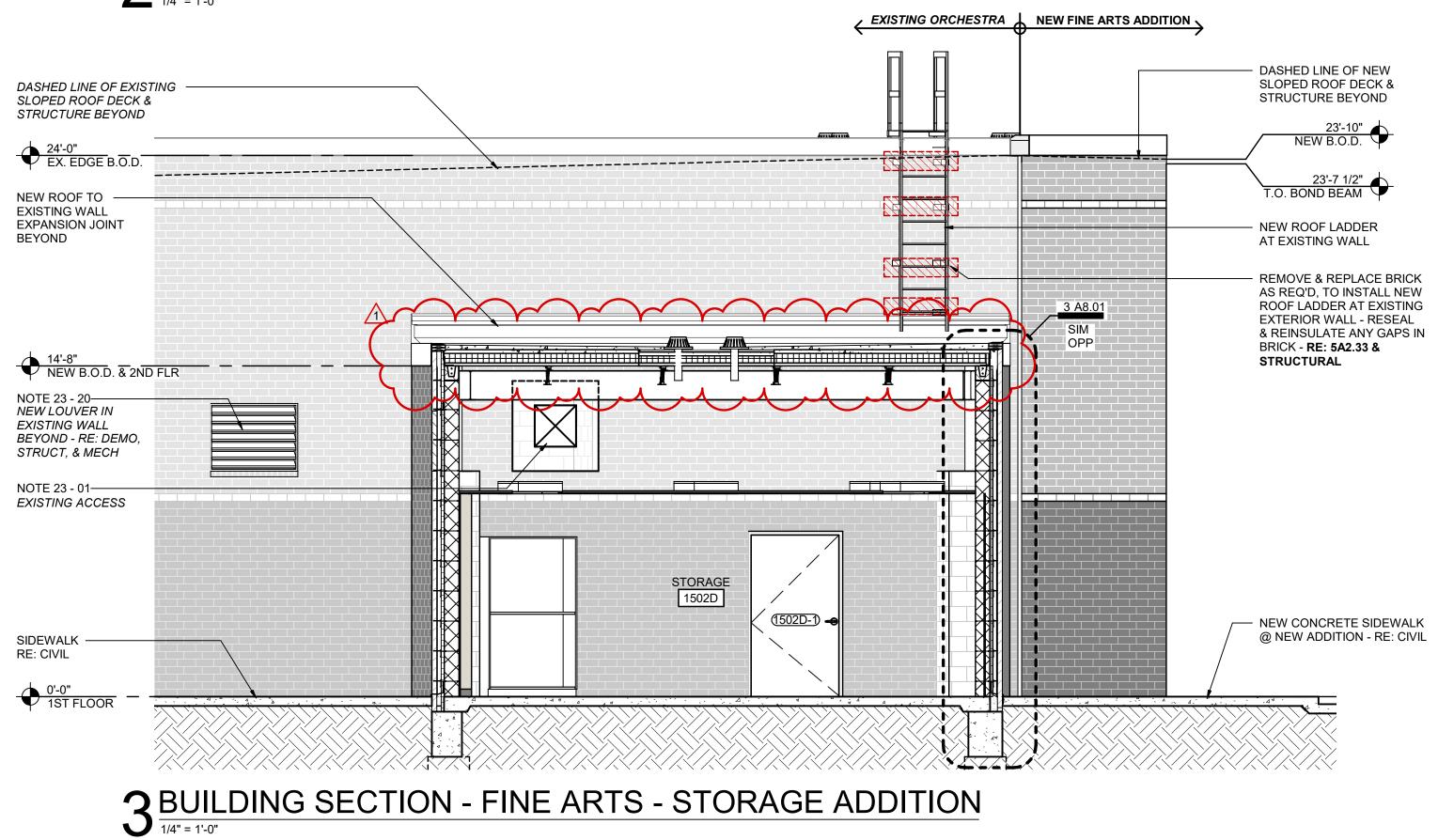
SECTIONS

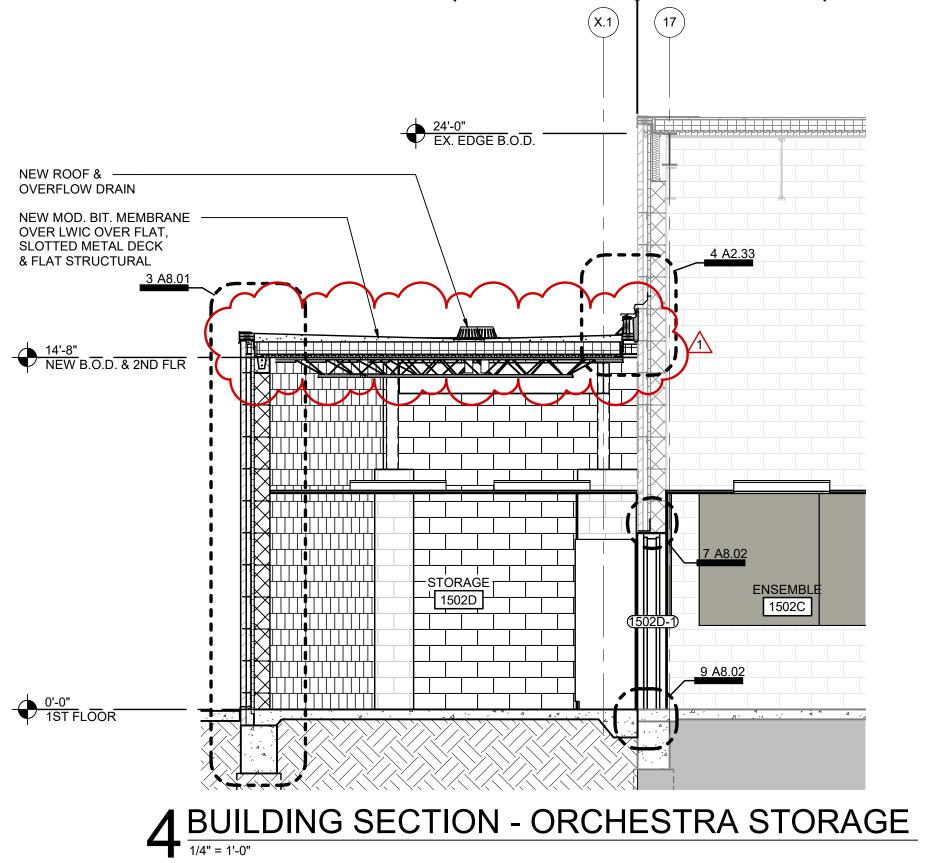


1 BUILDING SECTION - FINE ARTS - ORCHESTRA ADDITION



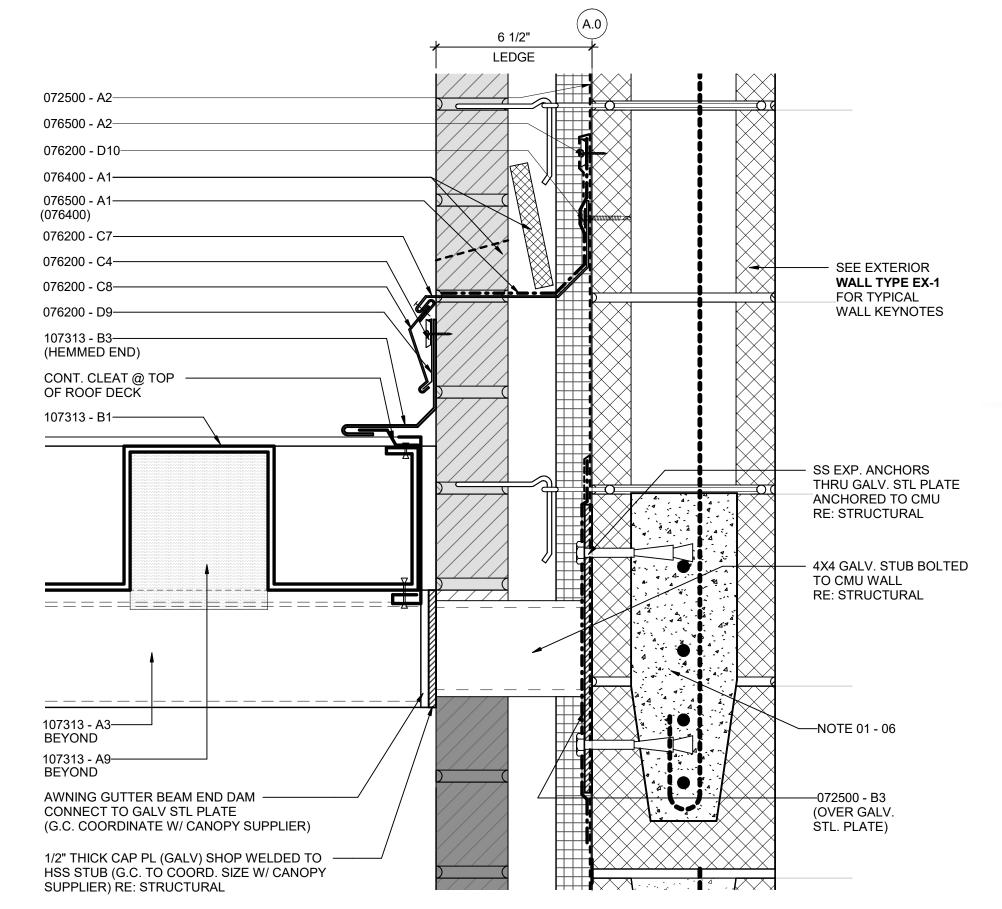
2 BUILDING SECTION - FINE ARTS - ORCHESTRA





NEW FINE ARTS ADDITION LEXISTING ORCHESTRA

1 FOUNDATION DETAIL - FINE ARTS



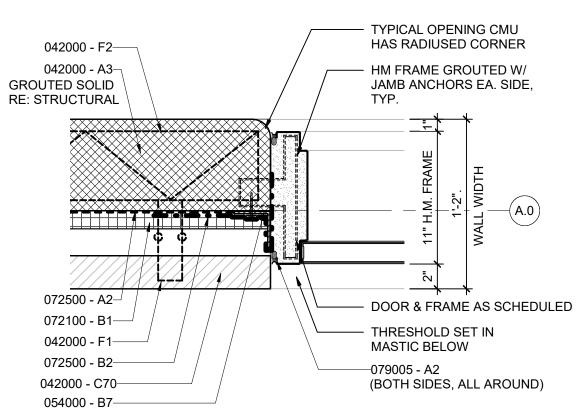
2 AWNING FLASHING - THRU-WALL
3" = 1'-0"

EXTEND DAM TO EDGE OF SILL PAN **NEW WINDOW FRAME** _& GLAZING AS SCHED CAULK WHERE SILL (SHOWN DISPLACED FOR CLARITY) PAN MEETS BRICK SOLID SURFACE -SILL OR CMU SILL NEW SELF ADHERED FLASHING LAPPED SELF ADHERED **OVER EXISTING** FLASHING LAPPED FLASHING OVER END DAM - WD BLOCKING OR CMU SILL MTL. SILL PAN FLASHING W/ UPTURNED BACK LEG & END DAMS - CONT. SEALANT @ ALL SEAMS NEW OR EXISTING BRICK FINISH FULL BED OF MASTIC TYP. SILL PAN FLASHING @ WINDOWS

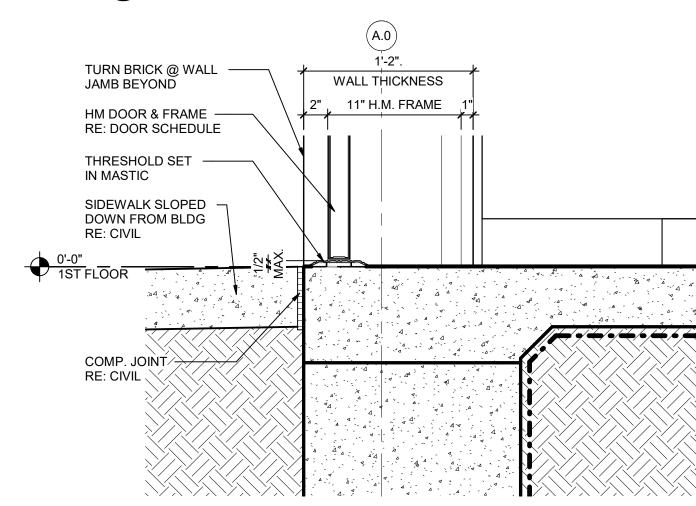
3 TYP. EXT. SILL PAN DETAIL

042000 - F2--NOTE 01 - 07 042000 - F1-(BULLNOSE) 076500 - A2-042000 - G3-076500 - A1--079200 - A2 (BOTH SIDES, 042000 - E4-ALL AROUND) BULLNOSE CMU JAMB BEYOND _____ NOTE 01 - 23- GROUT HM FRAME 061000 - A6— (ANGLED TOP) - NEW HM DOOR 072500 - B2----RE: DOOR SCHEDULE 11" H.M. FRAME WALL THICKNESS

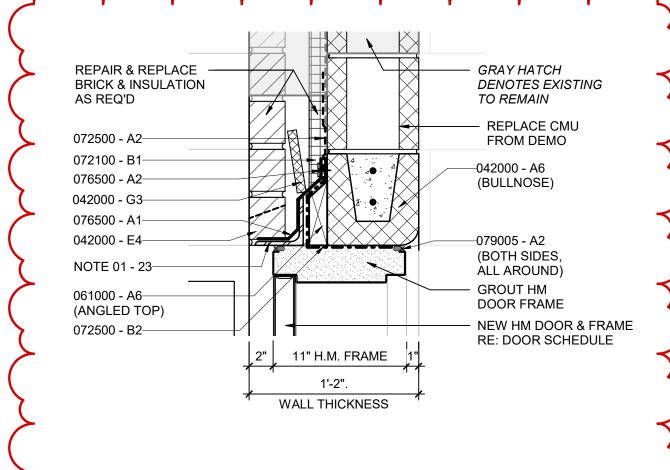
HEADER DETAIL - FINE ARTS



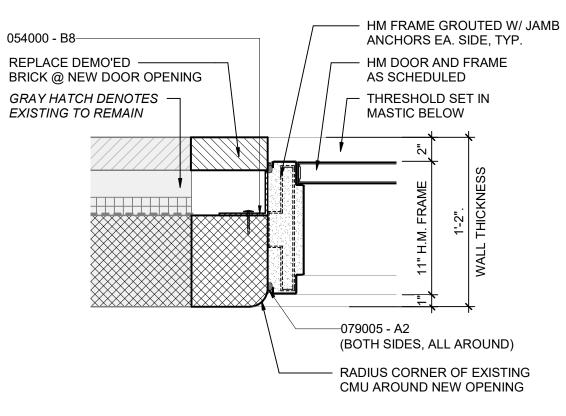
5 JAMB DETAIL - FINE ARTS
1 1/2" = 1'-0"



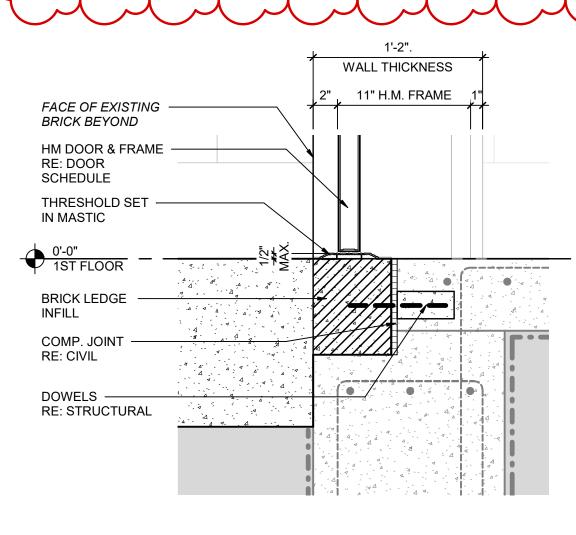
6 SILL DETAIL - FINE ARTS



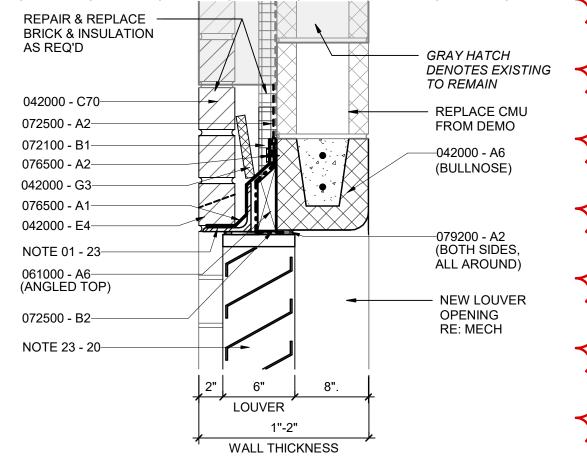
7HEADER DETAIL - STORAGE



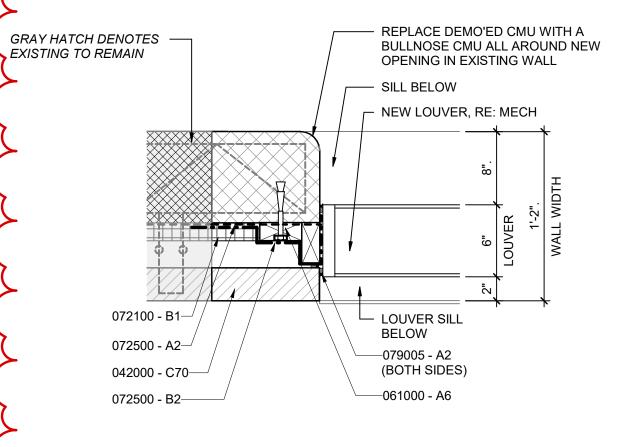
8 JAMB DETAIL - STORAGE



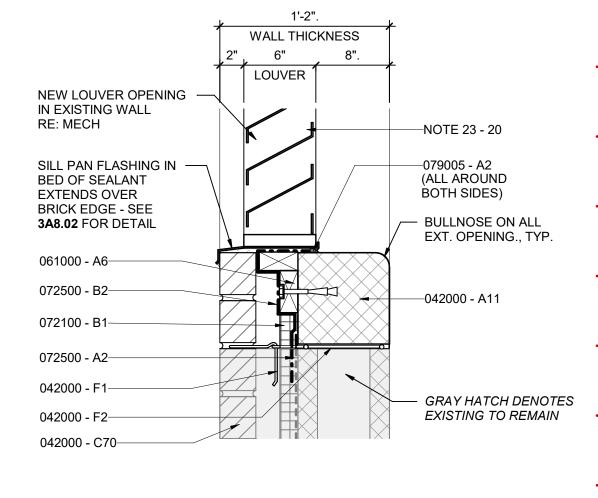
9 SILL DETAIL - STORAGE



10 HEADER DETAIL - LOUVER



1 1 JAMB DETAIL - LOUVER



WALL SECTION NOTES

PRIOR TO SUBMITTING SHOP DRAWINGS, CONTRACTOR SHALL FIELD VERIFY THE FOLLOWING EXISTING CONDITIONS & COMPARE WITH CONSTRUCTION DOCUMENTS:

TOP OF ROOF EDGE HEIGHT.

BOTTOM OF ROOF DECK. BRICK SIZES.

METAL FASCIA SIZE. BRICK LEDGE DEPTH

** NEW WALL SHALL ALIGN WITH ADJACENT EXISTING WAL INCLUDING BUT NOT LIMITED TO TOP OF ROOF, MASONRY COURSING, MASONRY TYPES, BANDING, AND METAL FASCIA NOTE: CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DESCREPANCIES BETWEEN DOCUMENTS & EXISTING CONDITIONS.

MATERIAL KEYNOTES

STRETCHER COURSES (RUNNING BOND)

FOR UNEVEN WYTHES OF BRICK & CMU

030580 - A1 UNDER-SLAB VAPOR RETARDER / BARRIER; RE: SPECIFICATIONS 042000 - A3 8X8X16 CONCRETE MASONRY UNIT - RE:

042000 - A6 U-SHAPED BOND BEAM BLOCK (WALL) OR

LINTEL BLOCK (OPENING) - RE: STRUCT 042000 - A11 8X8X8 SOLID CONCRETE MASONRY UNIT SILL BLOCK WITH BULLNOSE EDGE 042000 - B4 GROUND FACED (SMOOTH FACE) LOAD BEARING CMU WALL - RE: STRUCTURAL 042000 - C0 KING SIZED VENEER FACE BRICK -

SEE ELEVATIONS FOR BANDING & COLOR 042000 - C70 XL KING SIZED VENEER FACE BRICK -STRETCHER COURSES (RUNNING BOND) -SEE ELEVATIONS FOR BANDING & COLOR 042000 - E4 OPEN HEAD JOINT AT 24" O.C. MAX (WEEP)

FILLED WITH MOLDED PVC GRILLE, INSECT 042000 - E5 WEEP HOLES @ 24" OC - FILLED WITH MOLDED PVC GRILLE, INSECT RESISTANT 042000 - F1 ADJUSTABLE MASONRY VENEER WALL TIES AT 15" O.C. VERTICALLY MAX (16" O.C. STD BRICK) AND 16" O.C. HORIZONTALLY MAX -

REINFORCEMENT WITH EYE-WIRE FOR ADJUSTABLE TIES. @ 16" OC VERTICALLY MAX @ CMU - FOR WYTHES OF KING SIZED BRICK & STANDARD CMU

042000 - F2 ADJUSTABLE HORIZONTAL TRUSS

042000 - G3 MORTAR NET TYPICAL AT ALL THRU WALL FLASHING

054000 - B7 3" X 3" COLD FORM CONTINUOUS METAL ANGLE SPANNING AIR GAP @ OPENING JAMBS TYPICAL (CFMF) 054000 - B8 3 1/2" X 3 1/2" COLD FORM CONTINUOUS METAL ANGLE SPANNING AIR GAP @

OPENING JAMBS TYPICAL (CFMF) 061000 - A6 2X TREATED WOOD BLOCKING OR NAILER (@ ROOFING SEE SPEC SECTION 061055) 072100 - B1 RIGID WALL INSULATION - 1-1/2" THICK IN WALL CAVITY - RE: SPECS 072500 - A2 FLUID APPLIED AIR BARRIER OVER EXTERIOR

072500 - B2 SELF-ADHERING FLASHING MEMBRANE @ WALL OPENINGS 072500 - B3 SELF-ADHERING TRANSITION MEMBRANE @ WALL CONNECTIONS

076200 - C4 TERMINATION BAR WITH CONTINUOUS BEAD OF SEALANT (AS REQ'D AT THRU WALL 076200 - C7 STAINLESS STEEL THRU-WALL FLASHING RECEIVER

076200 - D9 STAINLESS STEEL WIND CLIPS / CLEATS @ 30" O.C. W/ TERMINATION BAR FASTENED @ 6" O.C. MIN., SEALED CONTINUOUS 076200 - D10 STAINLESS STEEL THRU-WALL FLASHING

076200 - C8 STAINLESS STEEL COUNTER FLASHING

076400 - A1 COMBINATION FLEXIBLE SHEET FLASHING

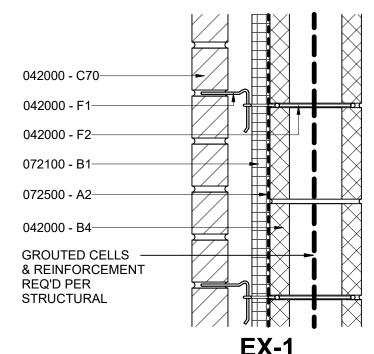
(076500), MORTAR DEFLECTION, & WEEP AS COMPLETE ONE-STEP SYSTEM RE: SPECS 076500 - A1 FLEXIBLE THRU-WALL FLASHING - STAINLESS STEEL CORE W/ POLYMER FABRIC LAMINATED TO BOTTOM OF SS FACE W/

076500 - A2 TERMINATION BAR W/ SELF TAPPING SCREWS 079005 - A2 JOINT SEALANT AND CYLINDRICAL SEALANT

107313 - A3 PREFINISHED ALUMINUM OPEN TOP GUTTER 107313 - A9 PREFINISHED ALUMINUM CANOPY BIRD SCREENS EA SIDE OF BEAMS / DECK

107313 - B1 PREFINISHED ALUMINUM AWNING 107313 - B3 PREFINISHED WALL TO AWNING DECK METAL FLASHING; CAULK TOP CONT. NOTE 01 - 01 CONCRETE SLAB - RE: STRUCTURAL NOTE 01 - 02 FOUNDATION - RE: STRUCTURAL

NOTE 01 - 06 CMU BOND BEAM - RE: STRUCTURAL NOTE 01 - 07 CMU LINTEL - RE: STRUCTURAL NOTE 01 - 23 STEEL ANGLE - RE: STRUCTURAL NOTE 23 - 20 INTAKE LOUVER W/ INSECT SCREEN; RE:



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EXTERIOR WALL TYPE KEY LEGEND EX-

NOTE:
ALL INTERIOR WALL TYPE DETAILS ARE ON **SHEET** A4.20. REFER TO LIFE SAFETY SHEET G1.01, FOR LOCATION AND ASSEMBLY REQUIREMENT FOR EXTERIOR FIRE-RATED LOAD BEARING WALLS.

Date: 29 DECEMBER 2024

WALL SECTION DETAILS

ELECTRICAL LIGHTING 1ST FLOOR - AREA F
Scale: 1/8" = 1'-0"



Registration: F-4111 Project No: 2024-00209-00

LINETYPE LEGEND EXISTING TO REMAIN — — — DISCONNECT AND REMOVE NEW WORK

PROVIDE NEW LIGHTING DEVICES AND SWITCH BOX EXTENSIONS IN ALL AREAS WHERE GYPSUM BOARD OR OTHER WALL COVERING ADDS TO THE THICKNESS OF WALLS. SEE ARCHITECTURAL DRAWINGS FOR AREAS AFFECTED.

EXISTING RACEWAYS AND LOCATION OF ELECTRICAL OUTLETS ON EXISTING WALLS TO REMAIN SHALL BE RE-USED AS PRACTICAL FOR NEW DEVICES AS PART OF NEW WORK.

LIGHTING GENERAL NOTES

CONNECT NEW / EXISTING LIGHT FIXTURES TO NEW NORMAL AND EMERGENCY POWER CIRCUITS AS SHOWN. 2 LOCATION OF NEW / REPLACEMENT LIGHT FIXTURES SHALL RE-USE EXISTING J-BOX AND EXISTING LIGHT FIXTURE WHIPS AS PRACTICAL. EXTEND WIRING WITH MATCHING CONDUCTORS/CONDUIT AND PROVIDE NEW J-BOX ABOVE ACCESIBLE CEILING WITH 1/2-INCH FLEXIBLE STEEL CONDUIT OR STEEL MC CABLE, LENGTH NOT TO EXCEED 6-FEET, "DAISY CHAINING" LIGHT FIXTURES INSTALLED FOR LAY-IN CEILING AREAS IS NOT ALLOWED. FOR NON-ACCESIBLE CEILINGS, LIGHT FIXTURE WHIPS SHALL BE 1/2-INCH FLEXIBLE STEEL CONDUIT, LENGTH AS REQUIRED TO MAKE A TAP AT AN ACCESSIBLE J-BOX. RECESSED LIGHT FIXTURES IN NON-ACCESSIBLE CEILINGS MAY BE DAISY CHAINED USING THE LIGHT FIXTURE'S INTEGRAL, UL LISTED J-BOX OR INTERNAL WIRE WAY THAT IS ACCESSIBLE THROUGH FIXTURE FROM BELOW THE CEILING. REFER TO 26 05

PROVIDE NEW LIGHTING CONTROLS, SENSORS AND ASSOCIATED DEVICES, 20A EMERGENCY LOAD CONTROL RELAYS AND/OR TRANSFER SWITCHES. REFER TO SPECIFICATIONS AND DETAIL SHEETS.

33 CONDUIT SYSTEMS

LOCATE DIGITAL LIGHTING CONTROLLER AND/OR EMERGENCY LOAD CONTROL RELAY ABOVE ACCESSIBLE CEILING 12-FEET AFF OR BELOW ADJACENT TO SWITCH CONTROLLING THE SPACE. IN NON-ACCESSIBLE AND/OR HIGH CEILING AREAS, LOCATE DIGITAL LIGHTING CONTROLLER IN ADJACENT ANCILLARY AREA WITH ACCESSIBLE CEILING. IN AREAS WITH NO CEILING AND/OR IN EXTERIOR APPLICATIONS LOCATE ADJACENT TO PANEL SERVING THE LOAD. PROVIDE PLASTIC TAPE MACHINE TYPED NAME PLATE TO BOTTOM OF CEILING T-GRID BELOW RELAY LOCATION. WHITE LETTERS ON BLACK BACKGROUND WITH 1/4" HIGH LETTERS ON 1/2" TALL LABEL FOR DIGITAL MODULE, INDICATE AS: DLM. LOCATE DIGITAL LIGHTING CONTROLLER FOR HIGH CEILING CORRIDORS, GYM AND OTHER HIGH CEILING AREAS WITH NO ADJACENT ANCILLARY AREA

ADJACENT TO NORMAL POWER PANEL SERVING THE LOAD. PROVIDE LABEL WITH WORDING PER SPECIFICATIONS. LOCATE DIGITAL LIGHTING CONTROLLER FOR INSTRUCTIONAL SPACES AND OFFICES ABOVE ACCESSIBLE CEILING IN CORRIDOR DIRECTLY OUTSIDE OF ENTRY DOOR. PROVIDE LABEL IDENTIFYING ASSOCIATED SPACE, GRID

MARKERS WITH WORDING PER SPECIFICATIONS.

OCCUPANCY/VACANCY SENSOR AND DAYLIGHTING SENSOR LOCATIONS INDICATE SPACE OR AREA CONTROLLED, CONTRACTOR TO PROVIDE ACTUAL QUANTITIES, TYPES, AND MOUNTING LOCATIONS AS RECOMMENDED BY

MANUFACTURER AND IECC-2015 C405. 3 SPACES WITH MULTIPLE OCCUPANCY/VACANCY SENSORS OR WHERE LINE OF

SIGHT MAY BE OBSCURED, SHALL BE LINKED TOGETHER FOR SIMULTANEOUS OPERATION WITHIN THE SPACE. MAINTAIN CONSTANT UNSWITCHED CIRCUITS FROM EXISTING SOURCE AND/OR NEW AS SHOWN FOR EMERGENCY FIXTURES, EMERGENCY LOAD RELAYS, TRANSFER SWITCHES AND EXIT SIGNS.

0 COORDINATE LOCATION OF LIGHT FIXTURES IN ALL MECHANICAL AND

ELECTRICAL ROOMS WITH MECHANICAL EQUIPMENT, PIPING, AND ALL OTHER

PROVIDE SEPARATE RACEWAY SYSTEMS FOR LIGHTING CONTROL SYSTEM, CONTROLS WIRING (DIMMERS OR OTHERWISE) SHALL NOT BE INSTALLED IN THE SAME RACEWAY AS LINE VOLTAGE. REFER TO 26 05 33.

EXTERIOR LIGHT FIXTURE SALVAGED AFTER DEMOLITION. FIELD VERIFY MOUNTING HEIGHT WITH EXISTING WALL MOUNTED FIXTURES AND MATCH. CONNECT TO EXISTING EXTERIOR LIGHTING EMERGENCY CIRCUIT LEFT IN PLACE AFTER DEMOLITION, EXTEND CONDUCTORS/ CONDUIT WITH MATCHING SIZE TO NEW LOCATION. FIELD VERIFY CONNECTED LOAD NOT TO EXCEED 3500

4 LIGHT FIXTURE SALVAGED AFTER DEMOLITION. CLEAN AND RE-LAMP. 5 DO NOT PENETRATE TOP OF CANOPY.

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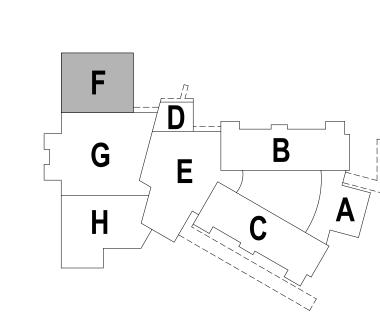
STRUCTURAL ENGINEER DALLY + ASSOCIATES, INC. 9800 RICHMOND AVE. SUITE 460 HOUSTON, TX 77042 tel: 713.337.8881

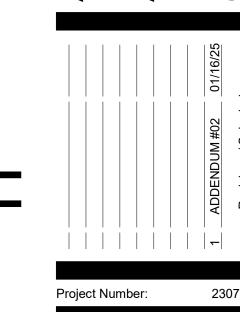
MEPT ENGINEER SALAS O'BRIEN 10930 W. SAM HOUSTON PKWY. N.

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ELECTRICAL KEYED NOTES

LOCATE DIGITAL LIGHTING CONTROLLER AND IF SHOWN, PLENUM RATED, EMERGENCY LOAD CONTROL RELAY / TRANSFER SWITCH ABOVE ACCESSIBLE CEILING IN CORRIDOR / ANCILLARY SPACE DIRECTLY OUTSIDE OF ENTRY DOOR. PROVIDE LABEL IDENTIFYING ASSOCIATED SPACE, GRID MARKERS WITH WORDING PER SPECIFICATIONS. REFER TO DETAILS.





Date: 29 DECEMBER 2024 ELECTRICAL LIGHTING 1ST FLOOR - AREA F

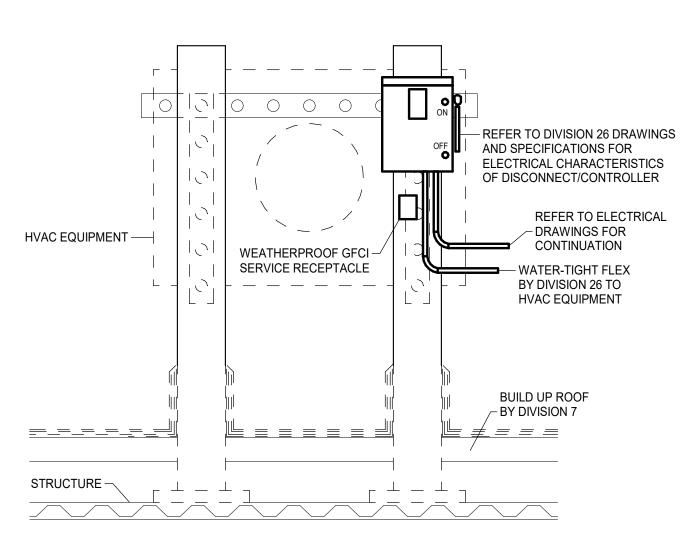
	LIGHTING CONTROLS SCHEDULE						
Туре	Sensor Operation	# of Lighting Zones	# of Plug Load Zones	# of Total Zones	Description		
ER	-	-	-	-	LISTED UL924 EMERGENCY LOAD CONTROL RELAY, PLENUM RATED, 0-10V COMPATIBLE, 16A MINIMUM.		
ES	-	-	-	-	LISTED UL1008 EMERGENCY TRANSFER SWITCH PLENUM RATED, 0-10V COMPATIBLE, 16A MINIMUM.		
RA	VACANCY - MANUAL ON / AUTO OFF 20 MINUTES TIMEOUT	1	0	1	ROOM CONTROLLER, 0-10V DIMMING.		
RB	VACANCY - MANUAL ON / AUTO OFF 20 MINUTES TIMEOUT	1	0	1	ROOM CONTROLLER, NO DIMMING.		
RC	OCCUPANCY - AUTO ON 50% / AUTO OFF 20 MINUTES TIMEOUT	1	0	1	ROOM CONTROLLER, 0-10V DIMMING.		
RJ	NONE	1	0	1	ON/OFF SPRING WOUND MECHANICAL TIME SWITCH, 20 AMP, 12-HOUR WITH HOLD. WHERE MULTIPLE SWITCHES ARE USED, THESE SHALL BE LINKED TOGETHER FOR SIMULTANEOUS OPERATION WITHIN THE SPACE.		

2	PROVIDE PHOTOCELL WITHIN DAYLIGHT ZONE ONLY WHERE SHOWN ON FLOORPLANS.
3	REFER TO LIGHTING CONTROL DETAILS FOR TYPICAL INSTALLATION.

3	REFER TO LIGHTING CONTROL DETAILS FOR TYPICAL INSTALLATION.
4	CONTRACTOR TO COORDINATE EXACT PROGRAMING OF TIME-SCHEDULE WITH OWNER REPRESENTATIVE.

	<u>LIGHTING FIXTURE SCHEDULE</u>									
	pe ark	Manufacturer	Catalog Number Model	Mounting	Lamp Type	ССТ	CRI	Voltage	Load	Remarks
A		METALUX	24CGT5540C	RECESSED		4000 K	80	277 V		
А	2	METALUX	24CGT4540C	RECESSED	LED / 4,432 LUMENS	4000 K	80	277 V	38 W	LED 2x4' LUMINAIRE, ACRYLIC DIFUSSER. 0-10V DIMMING DRIVER. DLC CERTIFIED.
А	4	METALUX	24CGTX65L840	RECESSED	LED / 6,447 LUMENS	4000 K	80	277 V	53 W	LED 2x4' LUMINAIRE, ACRYLIC DIFUSSER. 0-10V DIMMING DRIVER. DLC CERTIFIED.
С	1	METALUX	4SNLED-LD5-34SL-LN-UNV-L840-CD1-U / AYC-Chain/Set / WG/SNF-4FT	SURFACE / CHAIN HANG	LED / 3,500 LUMENS	4000 K	80	277 V	25 W	LED 4-FEET STRIP, ACRYLIC LENS. 0-10V DIMMING DRIVER. DLCCERTIFIED. PROVIDE WITH WIREGUARD.
		METALUX	4SNLED-LD5-34SL-LN-UNV-EL14W-L840-CD1-U / AYC-Chain/Set / WG/SNF-4FT	SURFACE / CHAIN HANG	LED / 3,500 LUMENS			277 V		LED 4-FEET STRIP, ACRYLIC LENS. 0-10V DIMMING DRIVER. DLOCERTIFIED. PROVIDE WITH WIREGUARD AND 90-MINUTES EMERGENCY BATTERY PACK.
		AĹW	LP3.5SMBWL-S4-LOW/80/4000K-V01-EXT/F-XX-UNV	SURFACE	LED / 635 L/FT	4000 K	80	277 V	25 W	3-INCH x 4-FEET LINEAR LED IN EXTRUDED ALUMINUM PROFILE WITH OPAL ACRYLIC LENS AND END FEED CONNECTION, WET LOCATION RATED. 0-10V DIMMING DRIVER. DLC CERTIFIED. PROVIDE SURFACE MOUNTING BRACKETS AND TIGHT SEAL AL CANOPY PENETRATIONS.
M		MCGRAW EDISON	1\$P-\$A1B-740-W-7\$-XX	WALL	LEDY3,470 LUMENS	400016	1891	1277	~25W	LED ARCHIPECTURAL WALLPAK, ALUMINUM HOUSING. COORDINATE FINISH WITH ARCHITECT. DLC CERTIFIED.
Х	P	SURE-LITES	LPX6	SURFACE	LED	4000 K	80	277 V	3 W	SINGLE-FACED EXIT SIGN, WHITE HOUSING, RED LETTERING. PROVIDE CHEVRON DIRECTIONAL ARROWS PER PLANS OR AS DIRECTED BY AHJ.
X\	/P	SURE-LITES	LPXW61R	SURFACE	LED	4000 K	80	277 V	3 W	SINGLE-FACED VANDAL RESISTANT EXIT SIGN, WHITE HOUSING, RED LETTERING. PROVIDE CHEVRON DIRECTIONAL ARROWS PER PLANS OR AS DIRECTED BY AHJ.

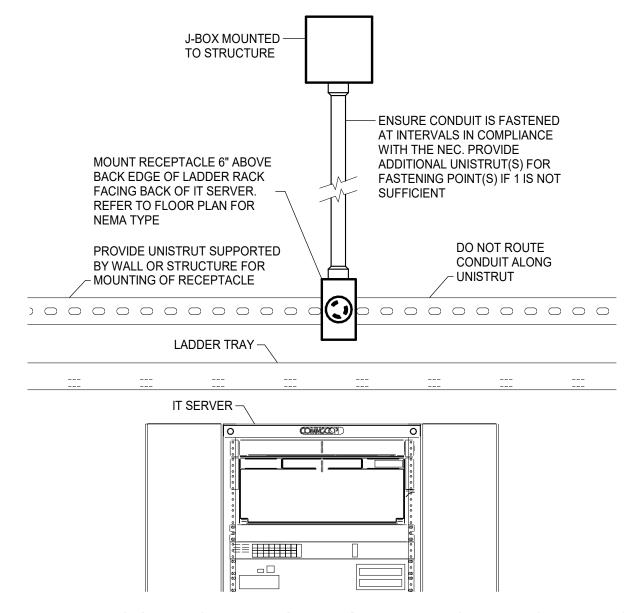
- 1 UNLESS OTHERWISE INDICATED ON THE SCHEDULE ABOVE, THE ARCHITECT/OWNER REPRESENTATIVE SHALL SELECT ALL FINISHES, COLORS, AND TRIMS. APPROVED LIGHTING MANUFACTURERS:
- SURFACE / RECESSED LIGHTING: SIGNIFY, LITHONIA, METALUX, AXIS, CURRENT, PINNACLE, H.E. WILLIAMS, CREE, NULITE, ALW DOWN / TRACK LIGHTING: GOTHAM, LIGHTOLIER, PORTFOLIO, CREE, CURRENT, INDY, H.E. WILLIAMS ARCHITECTURAL WALLPACK: LITHONIA, VISIONAIRE, CURRENT, GARDCO, McGRAW EDISON, HUBBELL, LSI, LUMARK, LIGMAN
- EXIT SIGNAGE: CHLORIDE, LITHONIA, EMERGI-LITE, DUAL-LITE, SURE-LITES, EVENLITE REFER TO THE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS NOT INDICATED IN THE LIGHTING FIXTURE SCHEDULE. WHERE THERE IS AN INCONSISTENCY BETWEEN THE LIGHTING FIXTURE
- SCHEDULE AND THE SPECIFICATIONS, THE GREATER QUANTITY OR HIGHER QUALITY OF WORK SHALL BE INCLUDED IN THE PROPOSAL. THE ABOVE LIGHTING MANUFACTURERS SUBSTITUTION LIST DOES NOT GUARANTEE APPROVAL. APPROVAL WILL BE DETERMINED AFTER REVIEW OF SHOP DRAWING TO DETERMINE IF THE FIXTURE OR POLE SUBMITTED MEETS OR EXCEEDS THE DESIGN STANDARDS AND PERFORMANCE REQUIRED OF THE ACTUAL FIXTURE SPECIFIED IN THE LIGHT FIXTURE SCHEDULE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CAREFULLY SELECT SUBSTITUTIONS FOR THE SPECIFIED LIGHT FIXTURES FROM THE APPROVED LIGHTING MANUFACTURERS LISTED ABOVE. WHERE SPECIFIC OPTIONS / ACCESSORIES ARE SPECIFIED, THEY SHALL BE PROVIDED AS SPECIFIED WITH THE SUBSTITUION.
- DUE TO THE WIDE RANGE OF FIXTURE QUALITIES OFFERED BY EACH MANUFACTURER, THE APPROVED LIGHTING MANUFACTURERS SUBSTITUTION LIST IS NOT INTENDED TO INDICATE THAT ANY OR ALL MANUFACTURERS LISTED WILL HAVE SUITABLE SUBSTITUTIONS FOR THE LIGHT FIXTURES OR POLES SPECIFIED IN THE LIGHT FIXTURE SCHEDULE. SHOP DRAWING DELAYS AS A RESULT OF INAPPROPRIATE SUBSTITUTIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE ALL HARDWARE AND ACCESSORIES AS REQUIRED TO INSTALL FIXTURES IN LOCATIONS AS ILLUSTRATED WITH MOUNTING METHODS DESIRED.
- WHEN A UNIVERSAL (120-277V) VOLTAGE OPTION IS AVAILABLE, IT SHALL BE PROVIDED. OTHERWISE PROVIDE AS INDICATED IN SCHEDULE. 8 FOR ALL SUSPENDED FIXTURES, COORDINATE THE EXACT MOUNTING ELEVATION ABOVE FINISHED FLOOR WITH ARCHITECT PRIOR TO INSTALLATION. PROVIDE SUSPENSION HARDWARE IN LENGTHS AS



NOTES:

1. REFER TO ARCHITECTURAL, STRUCTURAL AND ROOFING DRAWINGS AND SPECIFICATIONS FOR HVAC EQUIPMENT SUPPORT CONSTRUCTION DETAILS.

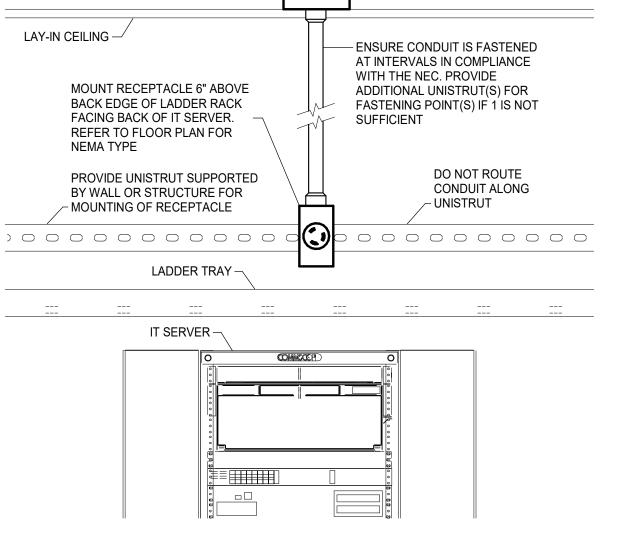
ROOF ACCU SUPPORT DISCONNECT/RECEPTACLE

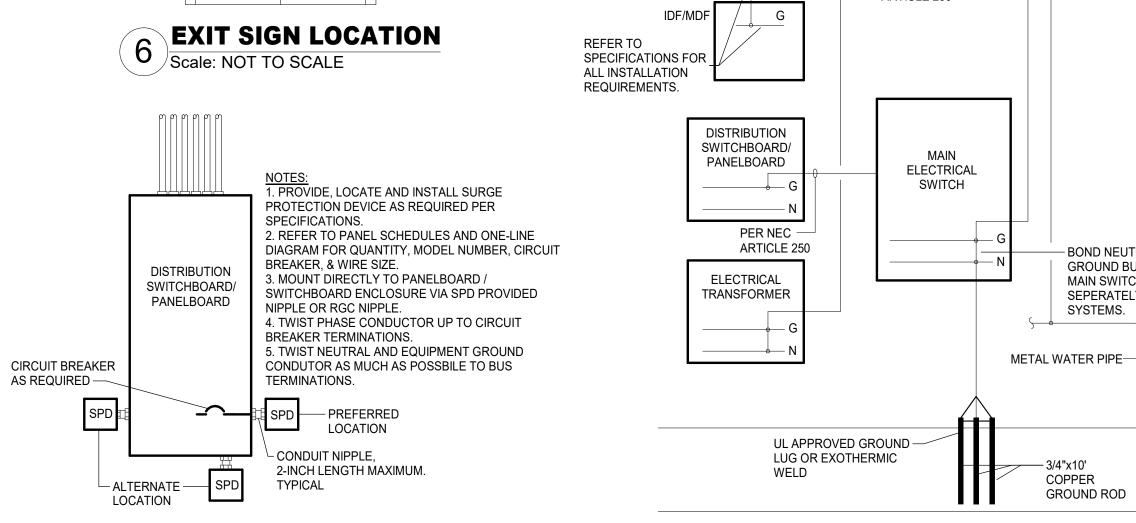


3 EXPOSED CEILING IDF/MDF RACK RECEPTACLE Scale: NOT TO SCALE

CEILING MOUNTED -J-BOX SUPPORTED

BY STRUCTURE





5 SURGE PROTECTION DEVICE
Scale: NOT TO SCALE

EXIT

SYSTEM GROUNDING

10930 W. Sam Houston Pkwy North, Suite 900 Houston, TX 77064 Registration: F-4111 Project No: 2024-00209-00

SYMBOL SCHEDULE

SYMBOL DESCRIPTION (DISREGARD ITEMS NOT SHOWN ON PLANS)

LIGHTING (LETTER DENOTES TYPE - SEE LIGHT FIXTURE SCHEDULE)

DOWNLIGHT FIXTURE ON EMERGENCY CIRCUIT

LINE VOLTAGE SINGLE POLE SWITCH

LIGHT FIXTURE - WALL MOUNTED ON EMERGENCY CIRCUIT

EXIT LIGHT-CEILING MTD WITH DIRECTIONAL ARROWS AS REQUIRED

LINE VOLTAGE WALL DIMMER SWITCH, SIZE AND TYPE AS REQUIRED

\$ VD LINE VOLTAGE WALL MOUNTED DIMMER SWITCH WITH VACANCY SENSOR. MANUAL ON / AUTO OFF

SPRING WOUND MECHANICAL TIME SWITCH, 20 AMP, 12-HOUR WITH HOLD, UNLESS NOTED OTHERWISE

\$V LINE VOLTAGE WALL MOUNTED SWITCH WITH VACANCY SENSOR. MANUAL ON / AUTO OFF \$OC | LINE VOLTAGE WALL MOUNTED SWITCH WITH VACANCY SENSOR. AUTO ON / AUTO OFF

LISTED UL924, EMERGENCY LOAD CONTROL RELAY, 0-10V DIMMING COMPATIBLE

CEILING MOUNTED VACANCY SENSOR, MANUAL ON / AUTO OFF. HB= HIGH-BAY SENSOR

CEILING MOUNTED OCCUPANCY SENSOR, AUTO ON TO 100% / AUTO OFF. HB= HIGH-BAY SENSOR

DOUBLE DUPLEX GROUND FAULT CIRCUIT INTERRUPTER RECEPTACLE IN 2-GANG BOX WITH SINGLE COVER PLATE

CONCEALED SERVICE MULTI-ACCESS FLOOR BOX WITH WIRING DEVICES AS INDICATED ON DRAWINGS. SIZE

VARIABLE FREQUENCY DRIVE MOTOR CONTROLLER FURNISHED BY DIVISION 23, INSTALLED BY DIVISION 26

3/4"C. UNLESS OTHERWISE NOTED; LONG HATCH, NEUTRAL; SHORT HATCH, PHASE; "Z" HATCH OR HOOK,

SWITCH CONTROLLED RECEPTACLE. RECEPTACLE SHALL BE PERMANENTLY FACTORY MARKED AS

NEXT TO ANY SYMBOL INDICATES FINAL ROUGH-IN FIELD COORDINATION BY CONTRACTOR WITH

X = L LOW EXPOSURE SPD; X = M MEDIUM EXPOSURE SPD; X = H HIGH EXPOSURE SPD; X = VH VERY HIGH

LIGHTING CONTROLLER. X= DENOTES CONTROL SEQUENCE, REFER TO CONTROL SCHEDULE

LISTED UL1008 EMERGENCY TRANSFER SWITCH, 0-10V DIMMING COMPATIBLE

EXIT LIGHT-WALL MTD WITH DIRECTIONAL ARROWS AS REQUIRED

LIGHT FIXTURE

O DOWNLIGHT FIXTURE

FIXTURE ON EMERGENCY CIRCUIT

LIGHT FIXTURE - WALL MOUNTED

\$2 LINE VOLTAGE 2-POLE SWITCH

\$3 LINE VOLTAGE 3-WAY SWITCH

\$4 LINE VOLTAGE 4-WAY SWITCH

\$K LINE VOLTAGE KEYED SWITCH

\$3K LINE VOLTAGE KEYED 3-WAY SWITCH

\$P | LINE VOLTAGE SWITCH WITH PILOT LIGHT

\$R LOW VOLTAGE LIGHTING CONTROLLER WALL SWITCH

CEILING MOUNTED PHOTO SENSOR. HB= HIGH-BAY SENSOR

125/250 VOLT, 1 PHASE, 3-WIRE, 20 AMPS, UNLESS NOTED OTHERWISE

DOUBLE DUPLEX IN 2-GANG BOX WITH SINGLE COVER PLATE

DUPLEX GROUND FAULT CIRCUIT INTERRUPTER RECEPTACLE

COMBINATION MOTOR STARTER/DISCONNECT SWITCH AS REQUIRED

PREWIRED DEVICE, MAKE ELECTRICAL FINAL CONNECTIONS

CONCEALED SERVICE FLOOR BOX, DUPLEX RECEPTACLE OUTLET

CONCEALED SERVICE FLOOR BOX, DOUBLE DUPLEX RECEPTACLE OUTLET

BMCS TIMER LOCAL OVERRIDE SWITCH

\$MC | MOMENTARY CONTACT SWITCH

☐HD PUSH BUTTON

RECEPTACLES AND OUTLETS

→ SIMPLEX RECEPTACLE

DUPLEX RECEPTACLE

POWER POLE

TO MATCH DEVICE QUANTITIES

CHIME/BUZZER

MOTOR CONTROLLERS AND EQUIPMENT

FIRE ALARM CONTROL PANEL

FIRE ALARM REMOTE ANNUCIATOR

REMOTE BLANK FACE GFCI DEVICE

MOTOR, MAKE FINAL MOTOR CONNECTION DISCONNECT SWITCH AS REQUIRED

MOTOR STARTER AS REQUIRED

MANUAL MOTOR SWITCH AS REQUIRED

ELECTRICAL DISTRIBUTION OR PANELBOARD

CONDUIT BELOW FLOOR, SLAB, OR GRADE

GROUND. ARROW INDICATES HOMERUN

TRANSFORMER FOR DOOR BELL/BUZZER

MISCELLANEOUS EQUIPMENT

ELECTRICAL EQUIPMENT

DRY TYPE TRANSFORMER

SUBSCRIPTS AND ABBREVIATIONS

WP INDICATES WEATHERPROOF

WG INDICATES WIREGUARD

H INDICATES HORIZONTAL

TL INDICATES TWIST LOCK

GENERAL NOTES:

NL LIGHT FIXTURE ON NIGHT LIGHT CIRCUIT

INDICATES EXISTING TO REMAIN

REP INDICATES REPLACE EXISTING WITH NEW

INDICATES WALL MOUNTED DEVICE

INDICATES TO PROVIDE COMBINATION USB/RECEPTACLE DEVICE

ARCHITECTURAL MILLWORK DRAWINGS AND OTHER TRADES

-ALL EXTERIOR BUILDING ELECTRICAL EQUIPMENT TO BE WEATHERPROOF NEMA-4X MINIMUM.

REFER TO ONE-LINE DIAGRAM

LOW VOLTAGE LIGHTING CONTROLS



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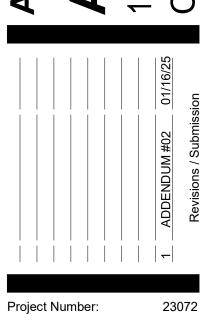
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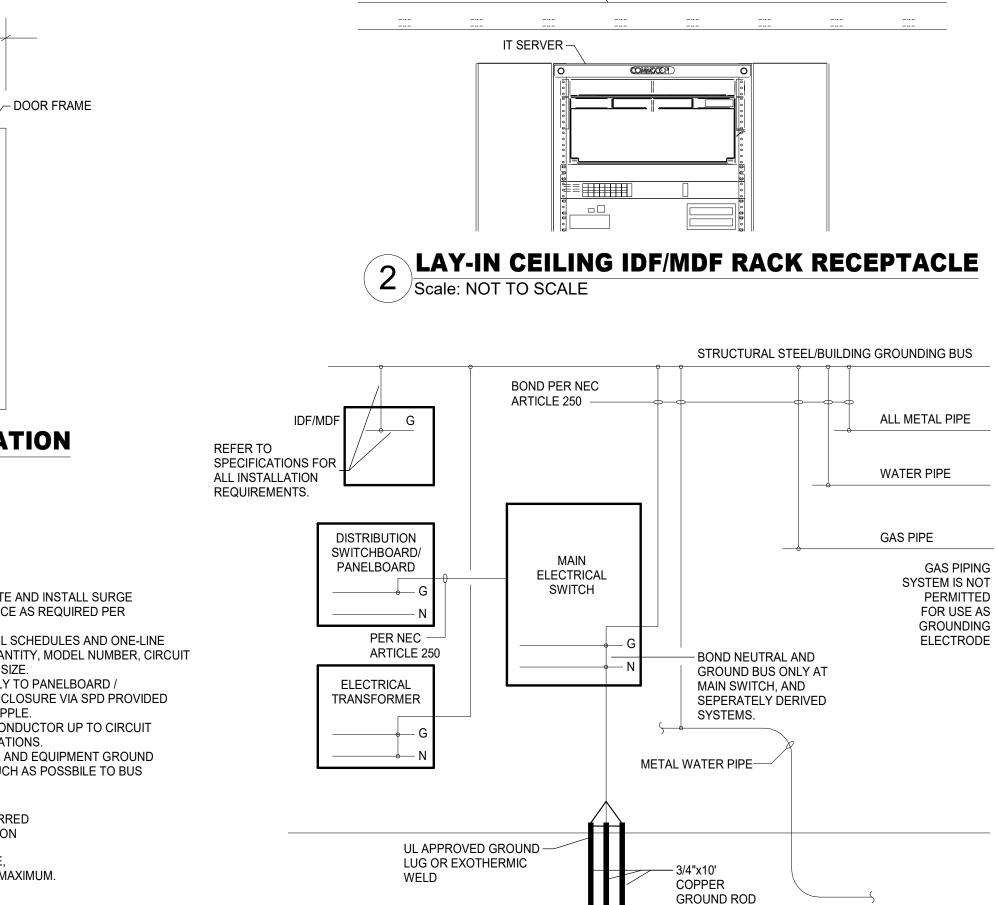
tel: 713.337.8881 MEPT ENGINEER

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Date: 29 DECEMBER 2024

ELECTRICAL SCHEDULES AND DETAILS



TECHNOLOGY LEGEND - 27 10 00						
SYMBOL	DESCRIPTION	ELEVATION	BACK BOX/RACEWAY	NOTES		
*#	WALL MOUNTED NETWORK OUTLET D#: NUMBER OF DATA DROPS IN OUTLET AP: WIRELESS ACCESS POINT	+18" AFF, UNLESS OTHERWISE NOTED	4"X4"X2 1/8" BACK BOX WITH 1-G MUD RING, 1"C			
V# ▽	COMMUNICATIONS OUTLET	FIELD COORDINATE	FIELD COORDINATE			
W	WALL MOUNTED NETWORK OUTLET	+44" AFF	4"X4"X2 1/8" BACK BOX WITH 1-G MUD RING, 1"C			
$\overset{B}{\triangleright}$	WALL MOUNTED BOX FOR FUTURE USE.	+18" AFF UNO	4"X4"X2 1/8" BACK BOX WITH 1-G MUD RING, 1"C			
D#	FLOOR MOUNTED NETWORK OUTLET	N/A	COORDINATE WITH ELECTRICAL CONTRACTOR	FINISHED HARDWARE PROVIDED BY DIV 27		
—— ——*#	CEILING MOUNTED NETWORK OUTLET AP: WIRELESS ACCESS POINT D#": NETWORK OUTLET	ABOVE CEILING	CEILING BRACKET WITH BISCUIT BLOCK			

NOTES:

1. #-G INDICATES BACK BOX SIZE.

2. #-C INDICATES CONDUIT SIZE. 3. UNO: UNLESS NOTED OTHERWISE

I. CONDUIT STUB UP AND SLEEVES SHALL HAVE A SOLID UNCUT PLASTIC PROTECTIVE BUSHING. NO CONDUITS SHALL EXCEED FOR 40% MAXIMUM FILL RATIO. CONTRACTOR TO PROVIDE ADDITIONAL CONDUITS REQUIRED.

	AUDIO/VIDEO LEGEND - 27 41 16.10						
SYMBOL	DESCRIPTION	ELEVATION	BACK BOX/RACEWAY	NOTES			
WMP	WALL MOUNTED PROJECTOR AUDIO/VISUAL OUTPUT OUTLET	REFERENCE FLOOR PLANS.	4 11/16"X4 11/16"X2-1/8" BACK BOX WITH DOUBLE GANG RING, TWO(2) 1.25"C	NOTE #5			
CMP	CEILING MOUNTED PROJECTOR AUDIO/VISUAL OUTPUT OUTLET	CEILING MOUNTED	N/A	NOTE #5			
AV-1	WALL MOUNTED AUDIO/VIDEO INPUT OUTLET	+18" AFF UNO	4 11/16"X4 11/16"X2-1/8" BACK BOX WITH DOUBLE GANG RING, TWO(2) 1.25"C				
FSD-1	WALL MOUNTED FLAT SCREEN DISPLAY AUDIO/VISUAL OUTPUT OUTLET	REFERENCE FLOOR PLAN	4"X4"X2 1/8" BACK BOX WITH 1-G MUD RING, 1"C	NOTE #5			
FSD-2	WALL MOUNTED FLAT SCREEN DISPLAY AUDIO/VISUAL OUTPUT OUTLET ASSOCIATED WITH AV-1 INPUT OUTLET	REFERENCE FLOOR PLAN	4 11/16"X4 11/16"X2-1/8" BACK BOX WITH DOUBLE GANG RING, TWO(2) 1.25"C	NOTE #5			
VD	INTERACTIVE VIDEO DISPLAY AUDIO/VISUAL OUTPUT OUTLET	REFERENCE FLOOR PLAN	4 11/16"X4 11/16"X2-1/8" BACK BOX WITH DOUBLE GANG RING, TWO(2) 1.25"C	NOTE #5			
CP	AV CONTROL PANEL	+48" AFF TO TOP	4"X4"X2 1/8" BACK BOX WITH 1-G MUD RING, 1"C				
PS	LOCAL INSTRUCTIONAL SPACE PRESENTATION SPEAKER	CEILING	CONTRACTOR PROVIDED CEILING BOX	COORDINATE POWER WITH EC			
\bigcirc	STREAMING CAMERA	CEILING UNO	N/A	NOTE #5			

NOTES:

1. #-G INDICATES BACK BOX SIZE.

2. #-C INDICATES CONDUIT SIZE. B. UNO: UNLESS NOTED OTHERWISE

1. THE SYSTEM INTEGRATOR SHALL COORDINATE ALL BOX AND CONDUIT SIZE REQUIREMENTS PRIOR TO ROUGH-IN BY THE PROJECTS ELECTRICAL CONTRACTOR. PROVIDE AND INSTALL ONE (1) CATEGORY CABLE TO CONNECT DEVICE TO NETWORK

	LOCAL SOUND S	SYSTEM LEC	GEND - 27 41 16	.20
SYMBOL	DESCRIPTION	ELEVATION	BACK BOX/RACEWAY	NOTES
©,	LOCAL SOUND SYSTEM SPEAKER P: POLE MOUNTED SPEAKER	CEILING MOUNT UNO	CONTRACTOR PROVIDED BACK BOX OR 4"X4"X2 1/8" J BOX WITH COVER, 1"C	
LSC	LOCAL SOUND SYSTEM CONTROL PLATE	+48" AFF TO TOP	4"X4"X2 1/8" BACK BOX WITH 1-G MUD RING, 1"C	
MI	MICROPHONE INPUT	+18" AFF UNO	4"X4"X2 1/8" BACK BOX WITH 1-G MUD RING, 1"C	
MA	COMBINATION OUTLET CONSISTING OF ONE (1) MICROPHONE INPUT AND ONE (1) AUXILIARY INPUT	+18" AFF UNO	4"X4"X2 1/8" BACK BOX WITH 1-G MUD RING, 1"C	
Al	3.5MM STEREO AUDIO AUXILIARY INPUT	+18" AFF UNO	4"X4"X2 1/8" BACK BOX WITH 1-G MUD RING, 1"C	
\bigoplus	HANGING MICROPHONE	CEILING MOUNT	N/A	
ABM	AUXILIARY INPUT AND BLUETOOTH MIXER	+48" AFF TO TOP	4"X4"X2 1/8" BACK BOX WITH 1-G MUD RING, 1"C	
RACK	VENUE SPECIFIC LOCAL SOUND SYSTEM HEAD END RACK	WALL MOUNT UNO	N/A	
WA	WIRELESS ANTENNA	WALL MOUNT UNO	4"X4"X2 1/8" BACK BOX WITH 1-G MUD RING, 1"C	
ALA	ASSISTED LISTENING ANTENNA	WALL MOUNT UNO	4"X4"X2 1/8" BACK BOX WITH 1-G MUD RING, 1"C	
SUB	SUBWOOFER	CEILING MOUNT UNO		

1. #-G INDICATES BACK BOX SIZE. 2. #-C INDICATES CONDUIT SIZE.

. UNO: UNLESS NOTED OTHERWISE

4. THE SYSTEM INTEGRATOR SHALL COORDINATE ALL BOX AND CONDUIT SIZE REQUIREMENTS PRIOR TO ROUGH-IN BY THE PROJECTS ELECTRICAL CONTRACTOR. 5. PROVIDE AND INSTALL ONE (1) CATEGORY CABLE TO CONNECT DEVICE TO NETWORK

	INTERCOM LEGEND - 27 50 00						
SYMBOL	DESCRIPTION	ELEVATION	BACK BOX/RACEWAY	NOTES			
ICS	INTERCOM COMMUNICATIONS SYSTEM HEAD END UNIT.	FLOOR MOUNTED	COORDINATE WITH EC	COORDINATE POWER WITH E			
<u>(S)</u>	CEILING MOUNT INTERCOM SPEAKER, LAY-IN CEILING	CEILING	CONTRACTOR PROVIDED				
<u>\$2</u>	CEILING MOUNT INTERCOM SPEAKER, HARD CEILING.	CEILING	CONTRACTOR PROVIDED				
<u>\$3</u>	WALL MOUNT INTERIOR INTERCOM SPEAKER	REFERENCE FLOOR PLANS	CONTRACTOR PROVIDED				
<u>\$4</u>)	WALL MOUNT EXTERIOR INTERCOM SPEAKER	+10' AFF UNO	CONTRACTOR PROVIDED				
<u>\$5</u>	PENDANT MOUNT INTERCOM SPEAKER	REFERENCE FLOOR PLANS	CONTRACTOR PROVIDED				
<u>\$6</u>	SURFACE MOUNT INTERCOM SPEAKER, MOUNT TO STRUCTURE	CEILING	CONTRACTOR PROVIDED				
§ 7	CEILING MOUNTED EXTERIOR INTERCOM SPEAKER.	CEILING	CONTRACTOR PROVIDED				
#IP	IP BASED SPEAKER. '#' TO BE REPLACED WITH S, S2, S3, S4 INDICATING THE SPECIFIC TYPE OF SPEAKER.	REFERENCE FLOOR PLANS	CONTRACTOR PROVIDED	NOTE #5			
VC	WALL MOUNTED VOLUME CONTROL	+48" AFF	4"X4"X2 1/8" BACK BOX WITH 1-G MUD RING, 1"C				
СВ	INTERCOM CALL BUTTON	+48" AFF	4"X4"X2 1/8" BACK BOX WITH 1-G MUD RING, 1"C				
C	SINGLE FACE CLOCK	REFERENCE FLOOR PLANS	4"X4"X2 1/8" BACK BOX WITH 1-G MUD RING, 1"C				
©2	DOUBLE FACE CLOCK	REFERENCE FLOOR PLANS	4"X4"X2 1/8" BACK BOX WITH 1-G MUD RING, 1"C				
RPS	REMOTE PROGRAM SOURCE	DESK TOP	COORDINATE WITH EC	NOTE #5			
ACS	ADMINISTRATIVE CALL STATION.	DESK TOP	N/A	NOTE #5			
LD	LOCKDOWN BUTTON	REF. DETAILS	4"X4"X2 1/8" BACK BOX WITH				

#-G INDICATES BACK BOX SIZE. . #-C INDICATES CONDUIT SIZE.

LMB LARGE MESSAGE BOARD, POE+

. UNO: UNLESS NOTED OTHERWISE THE SYSTEM INTEGRATOR SHALL COORDINATE ALL BOX AND CONDUIT SIZE REQUIREMENTS PRIOR TO ROUGH-IN BY THE PROJECTS ELECTRICAL CONTRACTOR.

PROVIDE AND INSTALL ONE (1) CATEGORY CABLE TO CONNECT DEVICE TO NETWORK

-G MUD RING, 1"C

-G MUD RING, 1"C

REFERENCE FLOOR 4"X4"X2 1/8" BACK BOX WITH

•				
SYMBOL	DESCRIPTION	ELEVATION	BACK BOX/RACEWAY	NOTES
ACP	ACCESS CONTROL SYSTEM, CONTROL PANEL.	+60" AFF TO CENTER		COORDINATE POWER. NOTE #4.
CR *#	ACCESS CONTROL PROXIMITY CARD READER. DEFAULT SYMBOL INDICATES WALL MOUNTED *M - INDICATES MULLION MOUNTED READER	+42" A.F.F.	1-G, 3/4" C	
(CR)	DOOR MOUNTED ACCESS CONTROL PROXIMITY CARD READER THAT IS INTEGRATED INTO THE DOOR HARDWARE.	+42" AFF	N/A	
DS *#	2-WAY AUDIO/VIDEO INTERCOM DOOR STATION. *DEFAULT INDICATES WALL MOUNTED *M - INDICATES MULLION MOUNTED DEVICE	+42" AFF	*W: 1-G, 3/4" C *M: 3/4"C	COORDINATE POWER. NOTE #4.
(DS)	DOOR MOUNTED, 2-WAY AUDIO/VIDEO INTERCOM DOOR STATION.	+42" AFF, FIELD COORDINATE		COORDINATE POWER. NOTE #4
MS	2-WAY AUDIO/VIDEO INTERCOM MASTER STATION.	DESK MOUNTED UNO		COORDINATE POWER. NOTE #4
DR	DOOR RELEASE BUTTON	COORDINATE WITH GC	1-G, 3/4" C	
REX	PIR MOTION REQUEST TO EXIT DEVICE			
DP	DOOR PROP ALARM	CEILING MOUNTED UNO	N/A	N/A
<u>3</u>	DPDT MAGNETIC DOOR CONTACT/DOOR POSITION SENSOR.	FLUSH MOUNTED IN DOOR FRAME	N/A	PROVIDED BY ACS CONTRACTOR
SS	NETWORK SIREN STROBE	CEILING MOUNTED UNO		NOTE #4
2. #-C IN	NDICATES BACK BOX SIZE. IDICATES CONDUIT SIZE. UNLESS NOTED OTHERWISE			

ACCESS CONTROL LEGEND - 28 10 00 & 28 10 00.05

4. PROVIDE AND INSTALL ONE (1) CATEGORY CABLE TO CONNECT DEVICE TO NETWORK

VIDEO SURVEILLANCE LEGEND - 28 20 00						
SYMBOL	DESCRIPTION	ELEVATION	BACK BOX/RACEWAY	NOTES		
	WALL/CORNER MOUNT 4-SENSOR CAMERA	REFERENCE FLOOR PLANS	4"X4"X2 1/8" BACK BOX WITH 1-G MUD RING, 1"C	NOTE #5		
	CEILING MOUNTED 4-SENSOR CAMERA	CEILING		NOTE #5		
	2-SENSOR CAMERA	REFERENCE FLOOR PLANS	4"X4"X2 1/8" BACK BOX WITH 1-G MUD RING, 1"C	NOTE #5		
	1-SENSOR CAMERA	REFERENCE FLOOR PLANS	4"X4"X2 1/8" BACK BOX WITH 1-G MUD RING, 1"C			
VRS	VIDEO RECORDING SERVER					
#MU	VIDEO SURVEILLANCE MAIN UNIT	ABOVE CEILING		NOTE #5		

NOTES:

1. #-G INDICATES BACK BOX SIZE. . #-C INDICATES CONDUIT SIZE.

UNO: UNLESS NOTED OTHERWISE THE SYSTEM INTEGRATOR SHALL COORDINATE ALL BOX AND CONDUIT SIZE REQUIREMENTS PRIOR TO ROUGH-IN BY THE PROJECTS ELECTRICAL CONTRACTOR.

PROVIDE AND INSTALL ONE (1) CATEGORY CABLE TO CONNECT DEVICE TO NETWORK

	INTRUSION LEGEND - 28 31 00								
SYMBOL	DESCRIPTION	ELEVATION	BACK BOX/RACEWAY	NOTES					
IDP	INTRUSION DETECTION SYSTEM CONTROL PANEL	+60" AFF	TWO(2) - 1"C TO CONTRACTOR PROVIDED BACK BOX	COORDINATE POWER WITH EC. NOTE #5					
KP	INTRUSION DETECTION SYSTEM KEYPAD.	+48" AFF TO TOP	4"X4"X2 1/8" BACK BOX WITH 1-G MUD RING, 1"C						
M	CEILING MOUNTED MOTION DETECTOR	CEILING							
(M)	WALL MOUNTED MOTION DETECTOR LR: LONG RANGE	REFERENCE FLOOR PLAN	N/A						
GB	CEILING MOUNTED GLASS BREAK DETECTOR	CEILING	N/A						
(DC)	DPDT MAGNETIC DOOR CONTACT/DOOR POSITION SENSOR.	FLUSH MOUNTED IN DOOR FRAME	N/A	DEVICE PROVIDED BY ACS CONTRACTOR.					
SDC	SURFACE MOUNT MAGNETIC DOOR CONTACT.	SURFACE MOUNTED ON DOOR FRAME	N/A						
ODC	OVERHEAD DOOR MOUNT MAGNETIC DOOR CONTACT.	SURFACE MOUNTED ON DOOR FRAME	N/A						
DB	DURESS PANIC BUTTON	UNDER DESK UNO	N/A						

NOTES:
1. #-G INDICATES BACK BOX SIZE. . #-C INDICATES CONDUIT SIZE.

. UNO: UNLESS NOTED OTHERWISE . REFERENCE DIVISION 28 SPECIFICATION FOR ADDITIONAL INFORMATION AND REQUIREMENTS. 5. PROVIDE AND INSTALL ONE (1) CATEGORY CABLE TO CONNECT DEVICE TO NETWORK

DESCRIPTION

	_
FIRE ALARM - 28 46 00	

FACP FIRE ALARM CONTROL FAA FIRE ALARM ANNUNCIATOR PANEL

SYMBOL

FIRE ALARM SYSTEM IS PERFORMANCE BASED PER SPECIFICATIONS. CONTRACTOR TO REFERENCE SPECIFICATIONS FOR ADDITIONAL INFORMATION.

A LICENSED FIRE ALARM PLANNING SUPERINTENDENT CERTIFIED TO A MINIMUM LEVEL 3, IN THE SUBFIELD OF FIRE ALARM SYSTEMS THROUGH THE NATIONAL INSTITUTE FOR CERTIFICATION IN ENGINEERING TECHNOLOGIES (NICET), SHALL PROVIDE PLANS AND CALCULATIONS FOR A MANUAL AND AUTOMATIC FIRE DETECTION AND ALARM SYSTEM TO COMPLY WITH THE BUILDING SPACE LAYOUT, BUILDING OCCUPANCY, CURRENT NFPA 72, LOCAL AND STATE CODE REQUIREMENTS, AND THE FIRE ALARM AND DETECTION SYSTEM SPECIFICATIONS.

SUBSCRIPTS AND ABBREVIATIONS				
TEXT	DESCRIPTION			
'WP'	DEVICE SHALL BE WEATHER PROOF AND RATED FOR EXTERIOR CONDITIONS			
•	FIELD COORDINATE ELEVATION.			
AFF	ABOVE FINISHED FLOOR			
'UC'	DEVICE IS TO BE MOUNTED ON THE UNDERSIDE OF THE ELEVATED CANOPY.			
'WM'	DEVICE IS TO BE WALL MOUNTED.			
'WG'	WIRE GUARD TO BE PROVIDED AND INSTALLED TO PROTECT ASSOCIATED DEVICE.			

SUBSCRIPTS LEGEND - EXISTING DEVICES				
TEXT	DESCRIPTION			
'E'	EXISTING TO REMAIN.			
'D'	DEVICE IS EXISTING AND IS TO BE REMOVED. CONTRACTOR TO REMOVE THE DEVICE AND RETURN TO OWNER.			
'R'	REMOVE EXISTING DEVICE AND RELOCATE TO A LOCATION INDICATED ON THE DRAWINGS.			

NOTES TO CONTRACTOR

1. EVERY SYMBOL SHOWN ON LEGEND MAY NOT APPEAR ON DRAWINGS.

SYSTEM INSTALLERS SHALL COORDINATE LOCATIONS AND CONNECTIONS WITH THE PROJECT'S ELECTRICAL CONTRACTOR.

CONTRACTOR TO PROVIDE PROPERLY GROUNDED LIGHTING PROTECTION ON ALL CABLING ENTERING AND EXITING THE BUILDING.

TECH DEMO PLAN GENERAL NOTES

CONTRACTOR SHALL PROVIDE NEW CEILING TILES IN INSTANCES WHERE CEILIR DEVICES ARE REMOVED, REPLACED OR ADDED. CONTRACTOR SHALL COORDINATE WITH ARCHITECT ON CORRECT MANUFACTURER AND MODEL PRIC TO REMOVAL OF EXISTING TILE.

CONTRACTOR SHALL HAVE EACH LOW VOLTAGE SYSTEM TESTED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. SYSTEMS SHALL INCLUDE BUT NOT BE) FIRE ALARM

INTERCOM STRUCTURED CABLING INTRUSION DETECTION

ACCESS CONTROL

AUDIO VIDEO VIDEO SURVEILLANCE

TESTING SHALL INCLUDE THE FUNCTIONALITY OF ALL FIELD DEVICES AND EQUIPMENT. ANY FAILURES OR ITEMS FOUND NOT TO BE FUNCTIONING TO SPECIFICATION, SHALL BE REPORTED PRIOR TO CONSTRUCTION. ANY ITEMS FOUND TO BE IMPROPERLY OR NON-FUNCTIONING UPON THE COMPLETION OF THE PROJECT, SHALL BE REPLACED AND/OR REPAIRED, BY THE CONTRACTOR, AT NO ADDITIONAL COST TO THE PROJECT OR THE OWNER.

CONTRACTOR SHALL REMOVE ANY DEVICES WHERE CONSTRUCTION OCCURS TO PREVENT POSSIBLE DAMAGE TO THE DEVICE. REMOVAL OF ANY DEVICES WHICH SUPPORT USER CONNECTION OR OTHER SYSTEMS, SHALL BE COORDINATED WITH THE OWNER PRIOR TO REMOVAL AND/OR TAKING OFF LINE. REMOVAL SHALL CONSIST OF BUT NOT BE LIMITED TO THE FOLLOWING DEVICES AND ASSOCIATED SUPPORT INFRASTRUCTURE:

) FIRE ALARM DEVICES INTERCOM DEVICES WIRELESS ACCESS POINTS

TELEPHONES VIDEO SURVEILLANCE CAMERAS

INTRUSION DETECTION DEVICES ACCESS CONTROL DEVICES VIDEO PROJECTION DEVICES

9) VIDEO DISPLAY DEVICES ANY DEVICES, NOT BEING REINSTALLED, SHALL BE RETURNED TO THE OWNER.

CONTRACTOR SHALL DOCUMENT THE LOCATION AND ANY ID TAG, MAC ADDRESS, IP ADDRESS, OR BAR CODE OF ANY EXISTING DEVICE THAT IS TO BE REMOVED FROM ITS CURRENT LOCATION. DEVICES THAT ARE TO REMAIN, SHALL BE REINSTALLED IN THE EXACT LOCATION THAT THEY RESIDE IN PRIOR TO CONSTRUCTION, UNLESS NOTED OTHERWISE.

ANY INDIVIDUAL THAT WILL BE REMOVING. RELOCATING, REINSTALLING, AND/OR TAMPERING WITH ANY EXISTING DEVICES; SHALL BE CERTIFIED BY THE MANUFACTURER OF THE SPECIFIC SYSTEM AND/OR LICENSED AS REQUIRED BY THE STATE TO PERFORM WORK ON THE SYSTEM. THE INDIVIDUAL SHALL BE A FULL-TIME EMPLOYEE OF THE FIRM CONTRACTED TO CONDUCT SUCH WORK ON THE PROJECT AND THAT FIRM SHALL ALSO HOLD ANY CERTIFICATIONS AND/OR LICENSES REQUIRED TO CONDUCT WORK ON THE SPECIFIC SYSTEM.

ANY INDIVIDUAL/FIRM THAT WILL BE REMOVING, RELOCATING, REINSTALLING, OR TAMPERING WITH IN ANY DEVICES; SHALL BE LICENSED BY THE STATE, AS APPLICABLE, AND CERTIFIED BY THE MANUFACTURER OF THE SYSTEM.

ALL CABLING ASSOCIATED WITH DEVICES THAT ARE TO BE DEMOLISHED, SHALL BE REMOVED FROM THE DEVICE LOCATION TO THE CABLES POINT OF ORIGIN. NO CABLE SHALL BE ABANDONED IN PLACE.

ALL EXISTING DEVICES SHOWN ARE EXISTING TO REMAIN. CONTRACTOR TO REMOVE EXISTING DEVICES DURING CONSTRUCTION AND REINSTALL THE DEVICE IN THE SAME LOCATION, UNLESS NOTED OTHERWISE. WIRELESS ACCESS POINTS SHALL BE REMOVED AND REINSTALLED BY OWNER.

REFERENCE EXISTING DEVICE SUBSCRIPT LEGEND ON THE NOTES AND LEGENDS

TOPCAT LIGHTSPEED LOCAL SOUND SPEAKERS SHALL BE BAGGED AND SUSPENDED IN THE CEILING DURING CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE WITH THE MANUFACTURER TO NOT VOID THE WARRANTY. THE CONTRACTOR SHALL COORDINATE WITH THE MANUFACTURER TO NOT VOID THE WARRANTY.

TOPCAT LIGHTSPEED SPEAKER, BASE STATION AND ANY OTHER SYSTEM

COMPONENTS SHALL BE TAGGED BY CONTRACTOR WITH ROOM NAME AND STAND BE REINSTALLED IN THE SAME ROOM IT WAS REMOVED FROM.

CUMPONENTS SHALL BE TAGGED BY CONTRACTOR WITH ROOM NAME AND NAME AND SHALL BE TAGGED BY CONTRACTOR WITH ROOM NAME AND SHALL BE TAGGED BY CONTRACTOR WITH ROOM NAME AND NAME AND SHALL BE TAGGED BY CONTRACTOR WITH ROOM NAME AND SHALL BE TAGGED BY CONTRACTOR WITH ROOM NAME AND SHALL BE TAGGED BY CONTRACTOR WITH ROOM NAME AND SHALL BE TAGGED BY CONTRACTOR WITH ROOM NAME AND SHALL BE TAGGED BY CONTRACTOR WITH ROOM NAME AND SHALL BY THE SAME POOR WITH ROOM NAME AND SHALL BY THE SAME POOR WITH ROOM WAS REMOVED FROM WAS REMOVED FROM WAS REMOVED FROM WITH ROOM WAS REMOVED FROM WAS R NUMBER AND BE REINSTALLED IN THE SAME ROOM IT WAS REMOVED FROM.

CONTRACTOR TO COORDINATE WITH CFISD TECHNOLOGY DEPARTMENT PRIOR TO CONSTRUCTION ON WHICH DEVICES ARE TO BE REMOVED BY THE OWNER'S VENDOR IN ORDER TO PREVENT VOID OF WARRANTY.

ALL DEMO DEVICES WITH 'D' SUBSCRIPT SHALL DISCONNECT AND REMOVE EXISTING WIRING DEVICE BACK TO ORIGIN. PATCH WALL TO MATCH EXISTING.

RESPONSIBILITY MA	<u> ATRIX</u>	<u> </u>		
SCOPE ITEM	RES	PONSIBILITY		NOTES
COMMUNICATIONS - DIVISION 27	OFOI	CFCI	OFCI	
CATEGORY 6/6A STRUCTURED CABLING SYSTEM (SCS)	√			
FLAT PANEL DISPLAYS	√			
FLAT PANEL DISPLAY MOUNTS	√			
INTERACTIVE DISPLAYS	√			
INTERACTIVE DISPLAY MOUNTS	√			
BUILDING INTERCOM/PA, BELL, AND CLOCK SYSTEM		√		
→ NETWORK SWITCHES	√			
NETWORK EQUIPMENT				
→ MDF/IDF NETWORK EQUIPMENT	√			
→ VOIP TELEPHONES	✓			
→ WIRELESS ACCESS POINTS	√			
→ UNINTERRUPTIBLE POWER SUPPLIES (UPS)	√			
RACEWAY: CONDUIT, BACK BOXES, ETC.		√		SEE NOTE
LOW VOLTAGE: RACEWAY, SLEEVES		√		SEE NOTE
STRUCTURED CABLING: RACEWAY, SLEEVES	1			SEE NOTE
ELECTRICAL POWER		√		SEE NOTE
LIFE SAFETY AND SECURITY - DIVISION 28	OFOI	CFCI	OFCI	
ACCESS CONTROL SYSTEM(ACS)		√		
INTRUSION DETECTION SYSTEM		√		
DOOR ACCESS VIDEO INTERCOM SYSTEM		√		
VIDEO SURVEILLANCE SYSTEM (VSS)	•	•		
→ VSS SERVERS		√		
→ VSS CAMERAS	\neg	V		
→ VSS PROGRAMMING		V		
→ VSS CABLING	J			SEE NOTE
FIRE ALARM SMOKE DETECTION WITH VOICE EVACUATION	1	√		
RACEWAY: CONDUIT, BACK BOXES, SLEEVES, ETC.				SEE NOTE
FLECTRICAL POWER		7		SEE NOTE

2. BY DIVISION 27.

BE USED BY ANY OTHER TRADE.

3. BY DIVISION 11.

SEE NOTE 1. ELECTRICAL POWER OFOI - OWNER FURNISHED AND OWNER INSTALLED CFCI - CONTRACTOR FURNISHED AND CONTRACTOR INSTALLED OFCI - OWNER FURNISHED AND CONTRACTOR INSTALLED RESPONSIBILITY MATRIX NOTES: BY DIVISION 26.

4. IF SYSTEM REQUIRES NETWORK SWITCH IT SHALL BE OFOI. CONTRACTOR TO COORDINATE WITH

SLEEVES FOR STRUCTURED CABLING WILL BE OWNER FURNISHED, OWNER INSTALLED. NOT TO

Salas O'Brien

2024-00209-00

CHECKED BY: AY

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Houston, TX 77064

Project No:

CORPORATION

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| | | | | | | | Project Number: Date: 29 DECEMBER 2024

TECHNOLOGY NOTES AND LEGENDS



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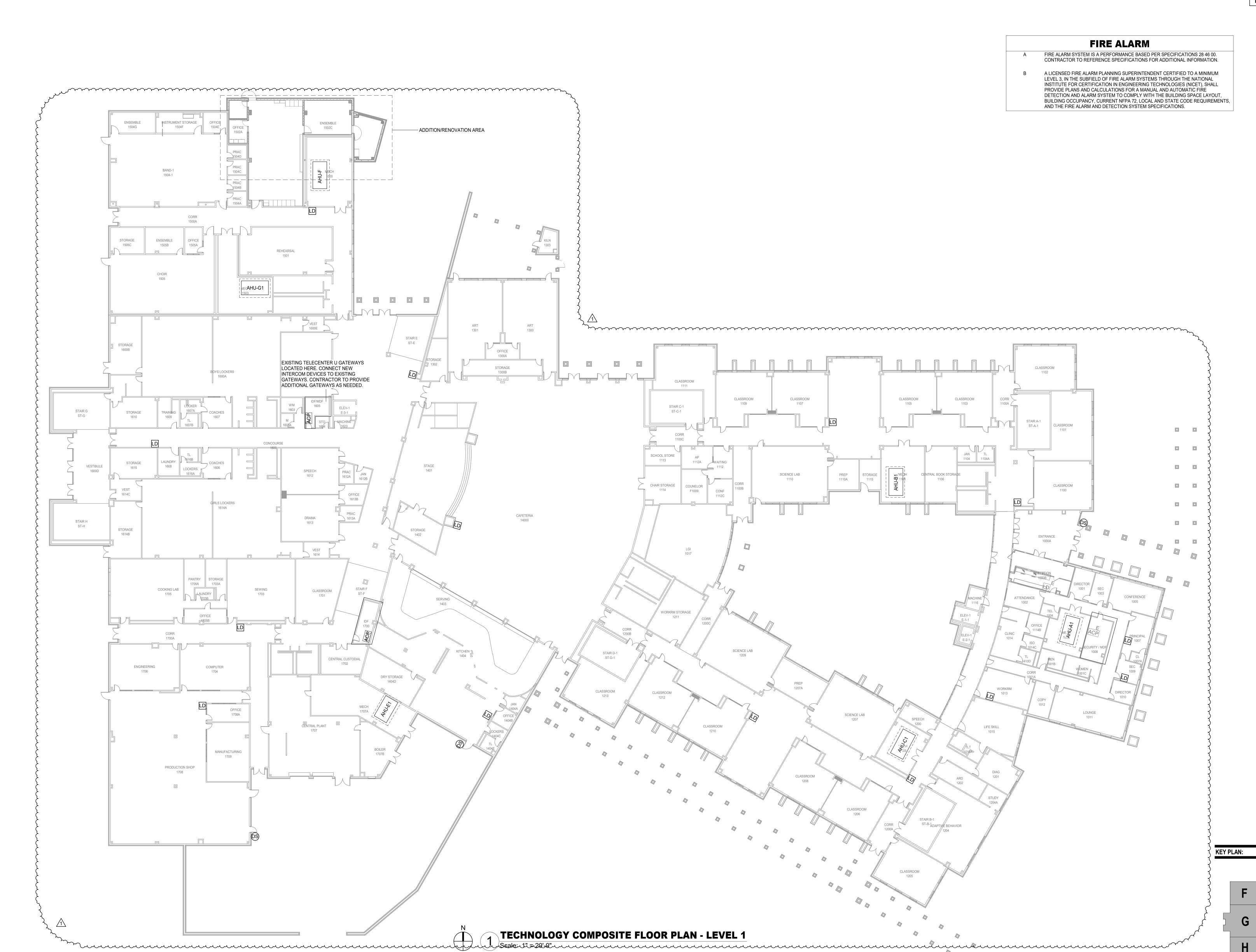
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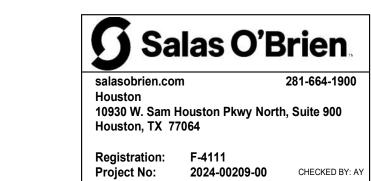
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Date: 29 DECEMBER 2024 TECHNOLOGY COMPOSITE 1ST FLOOR PLAN







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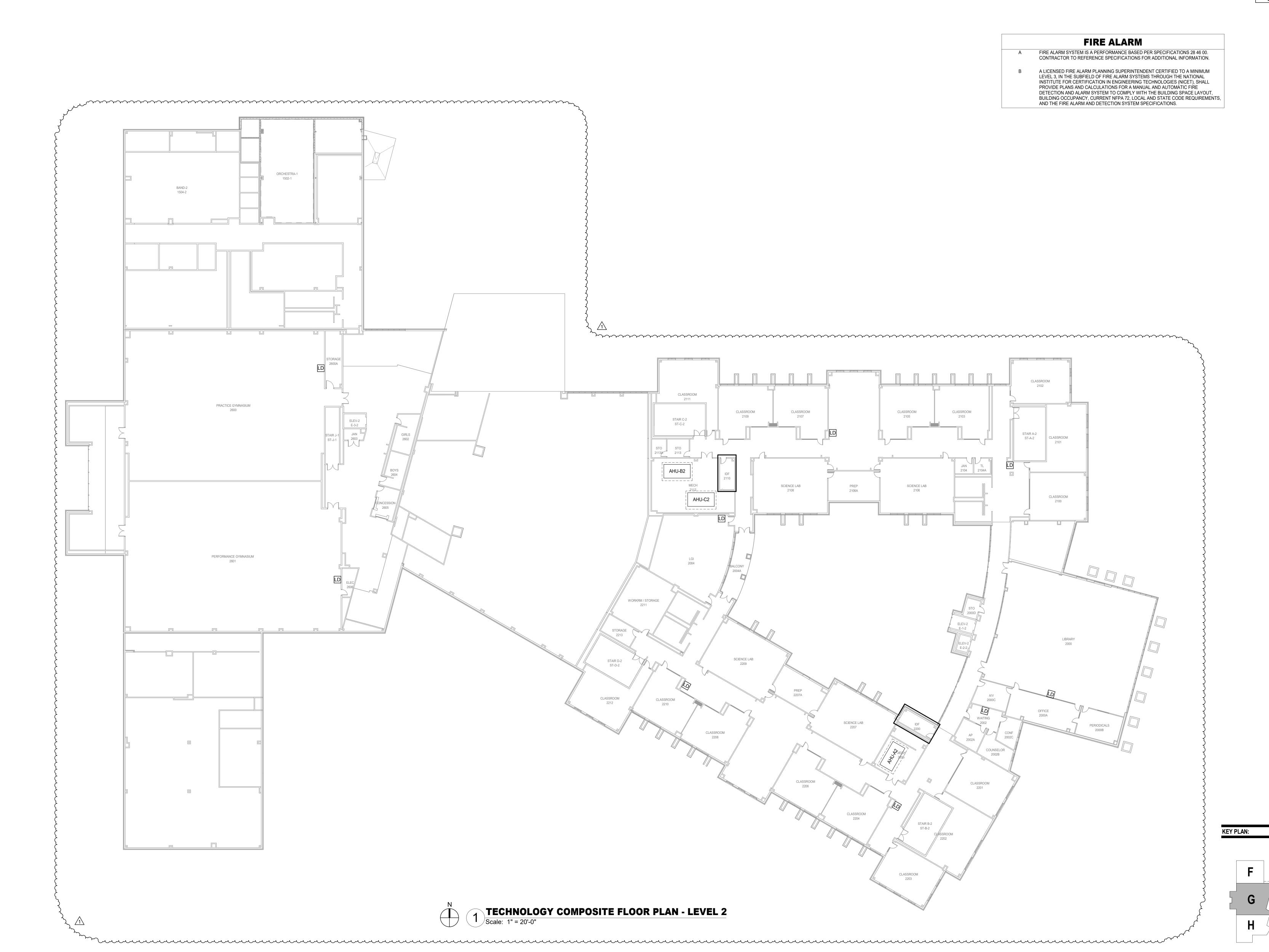
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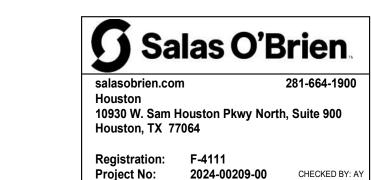
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FIRE ALARM

- FIRE ALARM SYSTEM IS A PERFORMANCE BASED PER SPECIFICATIONS 28 46 00. CONTRACTOR TO REFERENCE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- A LICENSED FIRE ALARM PLANNING SUPERINTENDENT CERTIFIED TO A MINIMUM LEVEL 3, IN THE SUBFIELD OF FIRE ALARM SYSTEMS THROUGH THE NATIONAL PROVIDE PLANS AND CALCULATIONS FOR A MANUAL AND AUTOMATIC FIRE

AND THE FIRE ALARM AND DETECTION SYSTEM SPECIFICATIONS.

INSTITUTE FOR CERTIFICATION IN ENGINEERING TECHNOLOGIES (NICET), SHALL DETECTION AND ALARM SYSTEM TO COMPLY WITH THE BUILDING SPACE LAYOUT, BUILDING OCCUPANCY, CURRENT NFPA 72, LOCAL AND STATE CODE REQUIREMENTS,

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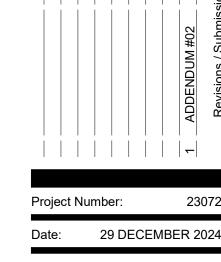
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TECHNOLOGY COMPOSITE 3RD FLOOR PLAN





COORDINATE ALL FINAL MOUNTING HEIGHTS, FOR WALL MOUNTED DEVICES, PRIOR TO ROUGH-IN. COORDINATE WITH ARCHITECT, OWNER AND ENGINEER.

COORDINATE ALL CEILING DEVICE LOCATIONS WITH ARCHITECTURAL DRAWINGS AND INTERIOR DESIGN CONSULTANT(IF APPLICABLE) PRIOR TO ROUGH-IN.

REFERENCE TECHNOLOGY SITE PLAN, COMPOSITE PLANS, NOTES & LEGENDS

AND DETAILS FOR ADDITIONAL INFORMATION AND DEVICE/OUTLET LOCATIONS.

CONTRACTOR TO COORDINATE INTERCOM SPEAKER MOUNTING TYPES WITH ARCHITECTURAL CEILING PLANS PRIOR TO FINAL SPEAKER SELECTION.

CONTRACTOR TO COORDINATE ALL DROP LOCATIONS WITH FURNITURE.

COORDINATE WITH ARCHITECT AND OWNER FOR MORE INFORMATION.

ALL EXISTING LOCAL SOUND SYSTEMS THAT ARE TO REMAIN SHALL HAVE ALL DEVICES AND CABLING PROTECTED THROUGHOUT ALL PHASES OF PROJECT.

REFERENCE DETAILS FOR LOCKDOWN BUTTON INSTALLATION INSTRUCTIONS.

COORDINATE WITH ENGINEER ON ANY DISCREPANCIES.

Registration: F-4111
Project No: 2024-00209-00 CHECKED BY: AY

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ANTHONY MIDDLE

| | | | | | | | |

TECHNOLOGY 1ST FLOOR PLAN - AREA E

TECHNOLOGY FLOOR PLAN - LEVEL 1 - AREA E

Scale: 1/8" = 1'-0"



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tel: 713.337.8881 **MEPT ENGINEER** 10930 W. SAM HOUSTON PKWY. N.

HOUSTON, TX 77064 tel: 281.664.1900

| | | | | | | | Date: 29 DECEMBER 2024 TECHNOLOGY 1ST FLOOR PLAN - AREA F



CONTRACTOR TO REFERENCE SPECIFICATIONS FOR ADDITIONAL INFORMATION.

A LICENSED FIRE ALARM PLANNING SUPERINTENDENT CERTIFIED TO A MINIMUM

DETECTION AND ALARM SYSTEM TO COMPLY WITH THE BUILDING SPACE LAYOUT,

BUILDING OCCUPANCY, CURRENT NFPA 72, LOCAL AND STATE CODE REQUIREMENTS,

LEVEL 3, IN THE SUBFIELD OF FIRE ALARM SYSTEMS THROUGH THE NATIONAL INSTITUTE FOR CERTIFICATION IN ENGINEERING TECHNOLOGIES (NICET), SHALL PROVIDE PLANS AND CALCULATIONS FOR A MANUAL AND AUTOMATIC FIRE

AND THE FIRE ALARM AND DETECTION SYSTEM SPECIFICATIONS.

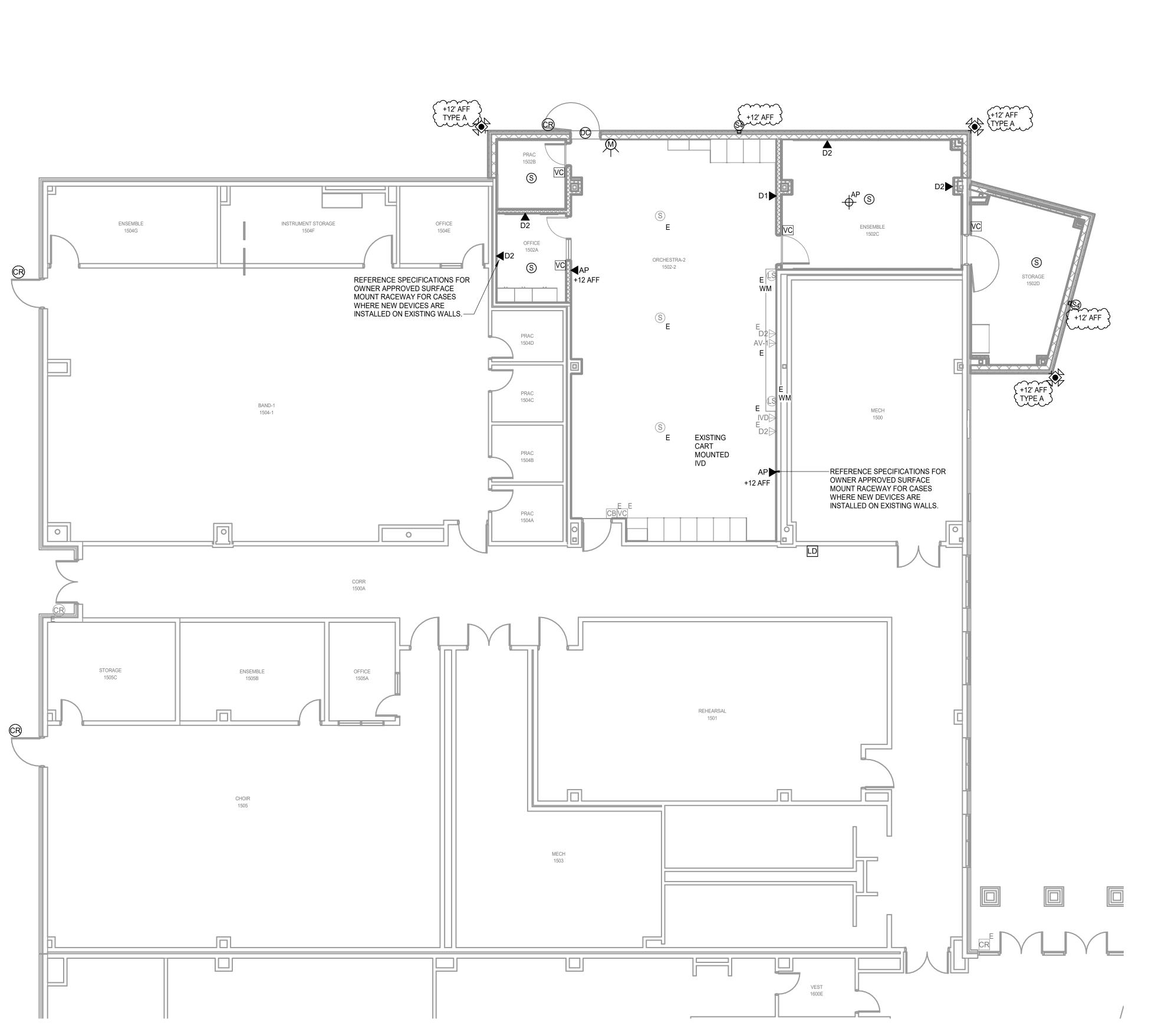
- COORDINATE ALL CEILING DEVICE LOCATIONS WITH ARCHITECTURAL DRAWINGS
- AND INTERIOR DESIGN CONSULTANT(IF APPLICABLE) PRIOR TO ROUGH-IN.
- REFERENCE TECHNOLOGY SITE PLAN, COMPOSITE PLANS, NOTES & LEGENDS AND DETAILS FOR ADDITIONAL INFORMATION AND DEVICE/OUTLET LOCATIONS.

PRIOR TO ROUGH-IN. COORDINATE WITH ARCHITECT, OWNER AND ENGINEER.

- CONTRACTOR TO COORDINATE INTERCOM SPEAKER MOUNTING TYPES WITH ARCHITECTURAL CEILING PLANS PRIOR TO FINAL SPEAKER SELECTION.
- CONTRACTOR TO COORDINATE ALL DROP LOCATIONS WITH FURNITURE. COORDINATE WITH ARCHITECT AND OWNER FOR MORE INFORMATION.
- ALL EXISTING LOCAL SOUND SYSTEMS THAT ARE TO REMAIN SHALL HAVE ALL DEVICES AND CABLING PROTECTED THROUGHOUT ALL PHASES OF PROJECT.

COORDINATE WITH ENGINEER ON ANY DISCREPANCIES.

REFERENCE DETAILS FOR LOCKDOWN BUTTON INSTALLATION INSTRUCTIONS.



1 TECHNOLOGY FLOOR PLAN - LEVEL 1 - AREA F
Scale: 1/8" = 1'-0"



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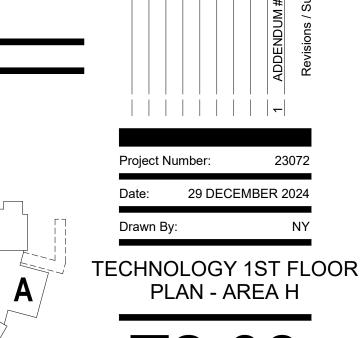
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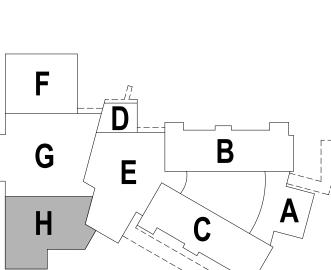
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MEPT ENGINEER SALAS O'BRIEN

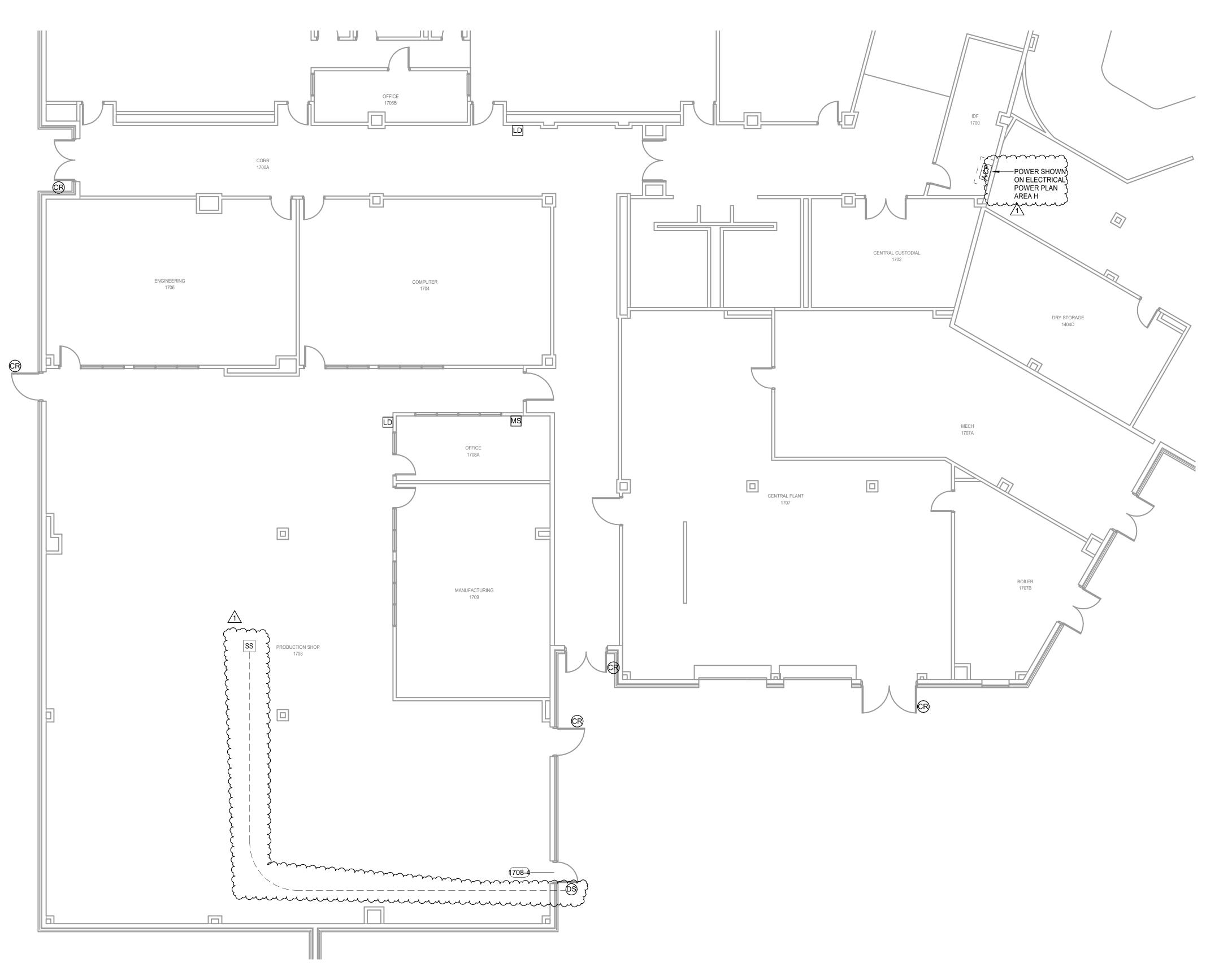
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- A COORDINATE ALL FINAL MOUNTING HEIGHTS, FOR WALL MOUNTED DEVICES, PRIOR TO ROUGH-IN. COORDINATE WITH ARCHITECT, OWNER AND ENGINEER.
- COORDINATE ALL CEILING DEVICE LOCATIONS WITH ARCHITECTURAL DRAWINGS AND INTERIOR DESIGN CONSULTANT(IF APPLICABLE) PRIOR TO ROUGH-IN.
- REFERENCE TECHNOLOGY SITE PLAN, COMPOSITE PLANS, NOTES & LEGENDS AND DETAILS FOR ADDITIONAL INFORMATION AND DEVICE/OUTLET LOCATIONS.
- CONTRACTOR TO COORDINATE INTERCOM SPEAKER MOUNTING TYPES WITH ARCHITECTURAL CEILING PLANS PRIOR TO FINAL SPEAKER SELECTION. COORDINATE WITH ENGINEER ON ANY DISCREPANCIES.
- CONTRACTOR TO COORDINATE ALL DROP LOCATIONS WITH FURNITURE. COORDINATE WITH ARCHITECT AND OWNER FOR MORE INFORMATION.
- ALL EXISTING LOCAL SOUND SYSTEMS THAT ARE TO REMAIN SHALL HAVE ALL DEVICES AND CABLING PROTECTED THROUGHOUT ALL PHASES OF PROJECT.
- REFERENCE DETAILS FOR LOCKDOWN BUTTON INSTALLATION INSTRUCTIONS.



TECHNOLOGY FLOOR PLAN - LEVEL 1 - AREA H
Scale: 1/8" = 1'-0"

53'-9 7/8" VIF

ADA

ATHLETICS

STORAGE

1502

(1501B-2) VEST

BENCH TYPE B

22'-6"

BENCH TYPE A

3 LOCKER ELEVATION - FRONT

GIRLS ATHLETICS LOCKERS:

248 TOTAL LOCKERS

124 TYPE B UNITS, RE: 2A2.10G

- 5% ADA LOCKERS - 13

SHADED AREA INDICATES

SLAB PER AS-BUILT. GC TO

VERIFY AND INFILL AS

EXISTING 2-1/2" RECESSED 4

REQUIRED TO COMPLETE NEW

 \cdots

BENCH TYPE A

- 1" SOLID PLASTIC TOILET - 1" THICK HDPE PANEL SEAT W/ PARTITION SEAT W/ EASED EASED EDGES(RADIUS OR EDGES(RADIUS OR CHAMFER) CHAMFER). COLOR TO MATCH TOILET PARTITION. MACHINE SCREW WITH SNAKE - CONTINUOUS SEALANT MECHANICAL ANCHORS AS 1'-8" MANUFACTURED BY POWERS. MACHINE SCREW WITH SNAKE SCREW TO BE STAINLESS MECHANICAL ANCHORS AS STEEL AND COUNTERSUNK MANUFACTURED BY POWERS. WITH VANDAL-PROOF TOP. SCREW TO BE STAINLESS **EPOXY PAINT ALL** INSTALL AT 24" O.C. MAX. STEEL AND COUNTERSUNK **EXPOSED** WITH VANDAL-PROOF TOP. SURFACES - 8" CMU, GROUT CELLS SOLID INSTALL AT 24" O.C. MAX. EPOXY PAINT ALL EXPOSED WRAP CMU AT SURFACES, TYP. EACH END TO · #2 BARS @ 48" O.C. MAX. **ADJOINING WALL** — 8" CMU, GROUT CELLS SOLID ANCHORED INTO FLOOR SLAB SCHEDULED BASE - #2 BARS @ 48" O.C. MAX. SCHEDULED BASE (ALL SIDES) (FRONT & SIDES) ANCHORED INTO FLOOR SLAB

FLOOR FIN.

AS SCHED

BENCH TYPE B

REF. SECTION

- LOCKER

DOOR

- DOOR -

FRAME

2 LOCKER ROOM BENCH SECTION DETAIL

1 1/2" = 1'-0"

FLOOR PLAN RENOVATION NOTES

- REFER TO SHEET A2.01 FOR FLOOR PLAN RENOVATION NOTES
- REFER TO SHEET A1.10 FOR SITE PLAN RENOVATION LIMITS AND DETAILS FOR NEW PAVING AROUND BUILDING

LOCKER ROOM GENERAL NOTES

REFER TO D SERIES SHEETS FOR EXTENT OF LOCKER ROOM DEMOLITION WORK.

DETAILS.

CONSTRUCT CONCRETE CURB BELOW ALL NEW PARTITIONS AROUND RESTROOMS, TOILET ROOMS, SHOWER AREA, SHOWER STALLS AND COACHES LOCKER ROOM. REFER TO A4.20 FOR

REMOVE ALL FINISHES FROM EXISTING WALLS TO REMAIN. PATCH, REPAIR AND FINISH WALL AS REQUIRED TO RECEIVE NEW FINISHES.

INSTALL SALVAGED METAL SHELVINGS FROM EXISTING PE STORAGE ROOMS TO NEW STORAGE ROOMS. SECURE AND STRAP TO WALL.

PROVIDE AND INSTALL LOCKERS AS SHOWN IN PLAN. PROVIDE 4" H CONTINUOUS CONCRETE CURB UNDER ALL LOCKERS. ADA LOCKER UNITS ARE SHOWN WITH "H" SYMBOL. REFER TO SPECIFICATIONS.

REFER TO RESTROOM / TOILET ROOM RENOVATION NOTES.

PROVIDE AND INSTALL THE FOLLOWING AT EACH SHOWER STALL: - SHOWER CURTAIN AND ROD - TOWEL HOOKS OUTSIDE OF SHOWER

REFER TO SHEET G2.01 FOR ADA AND ACCESSORIES MOUNTING HEIGHTS REQUIREMENT. ACCESSIBLE PLUMBING FIXTURES ARE NOTED ON PLAN "ADA".

REFER TO ELEVATIONS, FINISH PLANS AND FINISH

LEGEND. 10. REFER TO CEILING PLANS FOR DEMOLITION AND

NEW WORK. REFER TO MEPT AND STRUCTURAL DRAWINGS

FOR DEMOLITION AND NEW WORK.

KEYNOTES AD-02 INSTALL NEW EXTERIOR STOREFRONT DOOR IN EXISTING ALUMINUM CURTAIN WALL FRAME.

LINE OF WALL

- PROVIDE 2x WD

SLEEPER

CONC BASE

CONCRETE SLAB

FOR LOCKER

ANCHORAGE

CORPORATION

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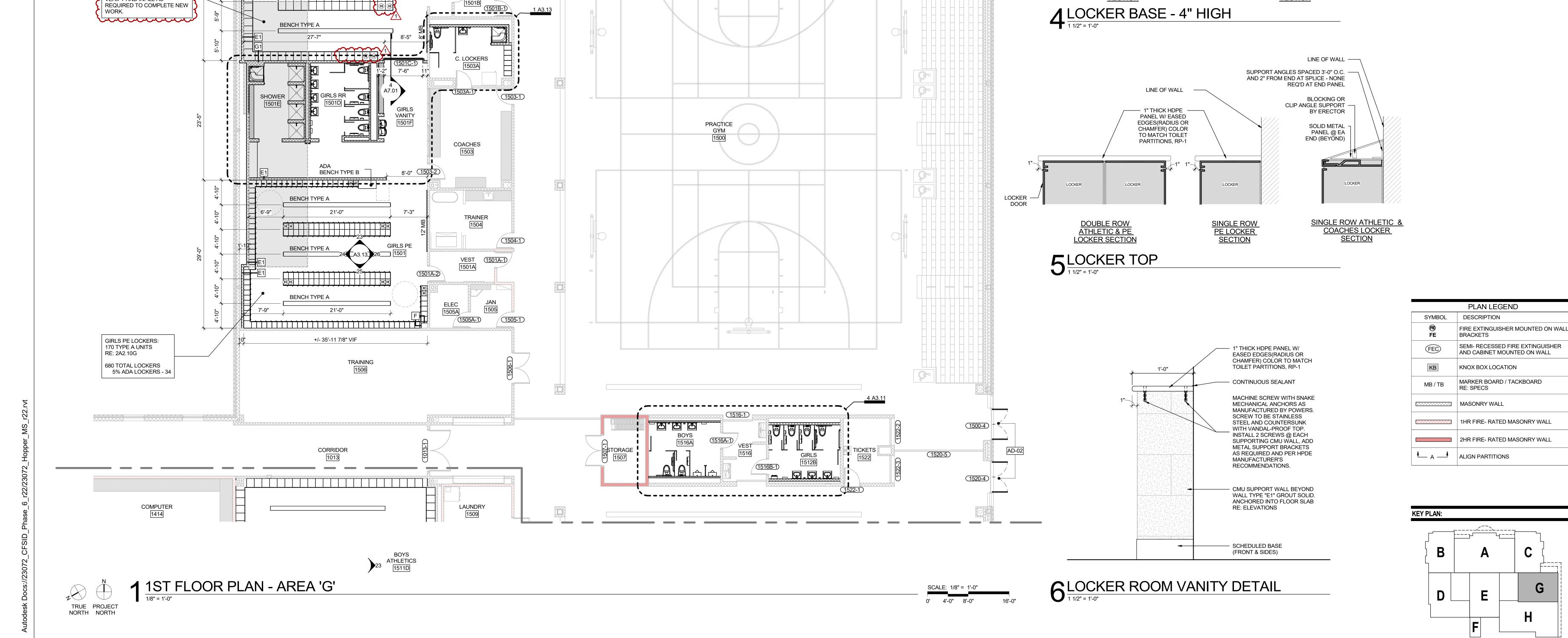
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Date: 29 DECEMBER 2024

FLOOR PLAN AREA 'G' A2.10G



FLOOR PLAN RENOVATION NOTES

- REFER TO SHEET A2.01 FOR FLOOR PLAN
- REFER TO SHEET A1.10 FOR SITE PLAN

LOCKER ROOM GENERAL NOTES

- REFER TO D SERIES SHEETS FOR EXTENT OF LOCKER ROOM DEMOLITION WORK.
- CONSTRUCT CONCRETE CURB BELOW ALL NEW PARTITIONS AROUND RESTROOMS, TOILET ROOMS, SHOWER AREA, SHOWER STALLS AND COACHES LOCKER ROOM. REFER TO A4.20 FOR DETAILS.
- REMOVE ALL FINISHES FROM EXISTING WALLS TO REMAIN. PATCH, REPAIR AND FINISH WALL AS REQUIRED TO RECEIVE NEW FINISHES.
- 4. INSTALL SALVAGED METAL SHELVINGS FROM EXISTING PE STORAGE ROOMS TO NEW STORAGE ROOMS. SECURE AND STRAP TO WALL.
- PROVIDE AND INSTALL LOCKERS AS SHOWN IN PLAN. PROVIDE 4" H CONTINUOUS CONCRETE CURB UNDER ALL LOCKERS. ADA LOCKER UNITS ARE SHOWN WITH "H" SYMBOL. REFER TO SPECIFICATIONS.
- REFER TO RESTROOM / TOILET ROOM RENOVATION NOTES.
- PROVIDE AND INSTALL THE FOLLOWING AT EACH SHOWER STALL: - SHOWER CURTAIN AND ROD - TOWEL HOOKS OUTSIDE OF SHOWER
- 8. REFER TO SHEET G2.01 FOR ADA AND ACCESSORIES MOUNTING HEIGHTS REQUIREMENT. ACCESSIBLE PLUMBING FIXTURES ARE NOTED ON PLAN "ADA".
- 9. REFER TO ELEVATIONS, FINISH PLANS AND FINISH
- LEGEND.
- 10. REFER TO CEILING PLANS FOR DEMOLITION AND NEW WORK.
- 11. REFER TO MEPT AND STRUCTURAL DRAWINGS FOR DEMOLITION AND NEW WORK.
 - KEYNOTES
- AD-02 INSTALL NEW EXTERIOR STOREFRONT DOOR IN EXISTING ALUMINUM CURTAIN WALL FRAME. AD-03 INSTALL NEW DOOR IN EXISTING FRAME. RE: DOOR SCHEDULE

PLAN LEGEND

FIRE EXTINGUISHER MOUNTED ON WALL

SEMI- RECESSED FIRE EXTINGUISHER AND CABINET MOUNTED ON WALL

DESCRIPTION

KNOX BOX LOCATION

1HR FIRE- RATED MASONRY WALL

2HR FIRE- RATED MASONRY WALL

MARKER BOARD / TACKBOARD

BRACKETS

RE: SPECS

MASONRY WALL

ALIGN PARTITIONS

SYMBOL

- RENOVATION NOTES
- RENOVATION LIMITS AND DETAILS FOR NEW PAVING AROUND BUILDING

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FLOOR PLAN AREA 'H'

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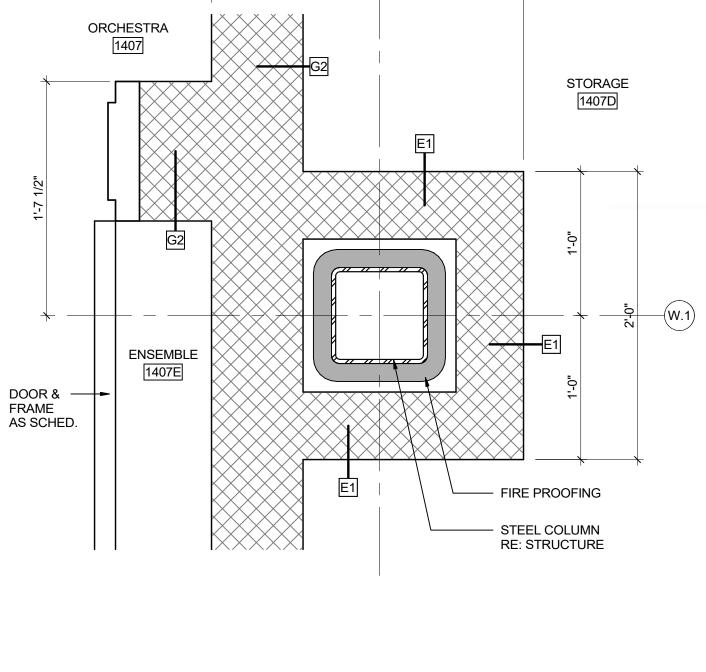
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tel: 281.486.4040

Project Number: Date: 29 DECEMBER 2024 WHL / KLO

OPENING TYPES & DETAILS

A4.10



7 PLAN DETAIL - 4.6 + W.1

072100 - B1

-042000 - C0

-042000 - G3

-076500 - A1

─076400 - A1

-042000 - E4

-079005 - A2

-NOTE 01 - 23

(ANGLE TOP OF WD)

-072500 - B2

REMOVE & REPLACE

NEW DOOR & FRAME

-TURN BRICK @ WALL JAMB BEYOND

HM DOOR AND FRAME

RE: DOOR SCHEDULE

-THRESHOLD SET IN MASTIC

SLOPED DOWN FROM BUILDING

-RE: STRUCTURAL

-SIDEWALK

RE: CIVIL

INFILL

BRICK & CMU AS

REQ'D TO INSTALL

EXISTING WALL

-042000 - C0

-042000 - F

-072500 - A2

─061000 - A8

11" H.M. FRAME

WALL THICKNESS

079005 - A1-

(BOTH SIDES,

ALL AROUND)

SIDE TYPICAL

HM FRAME GROUTED -

W/ JAMB ANCHORS EA.

DOOR & FRAME AS ---

THRESHOLD SET IN —

(FROM JAMB AROUND

SCHEDULED

072500 - B2-

MASTIC BELOW

8 KILN RM. - H.M. DOOR HEAD
1 1/2" = 1'-0"

9 KILN RM. - H.M. DOOR JAMB

10 KILN RM. - H.M. DOOR THRESHOLD

WALL THICKNESS

042000 - E4

076500 - A2 1

-NEW LAYER OF RIGID

OVERLAPS EXISTING

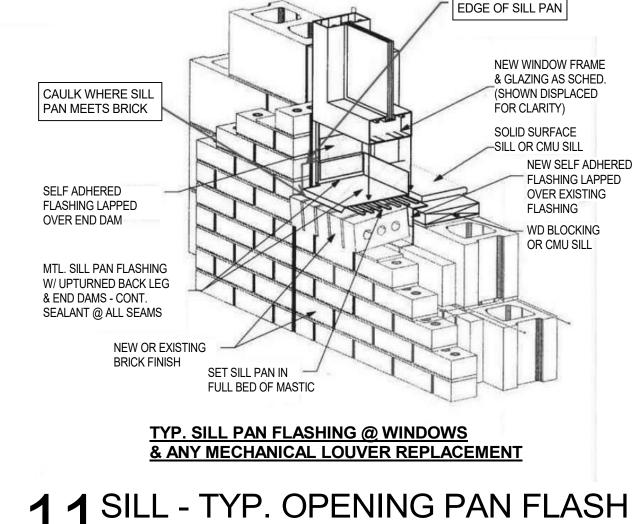
INSULATION TO MATCH EXISTING

072500 - A2 —NEW LAYER OF AIR BARRIER

(BOTH SIDES ALL AROUND)

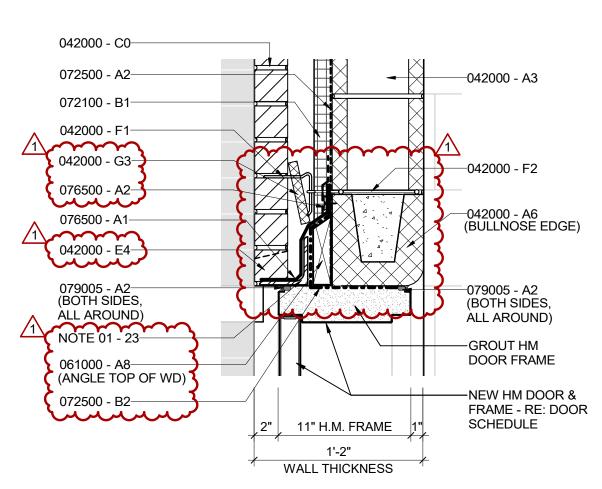
-REMOVE AND REPAIR PLASTER

SOFFIT TO INSTALL NEW DOOR



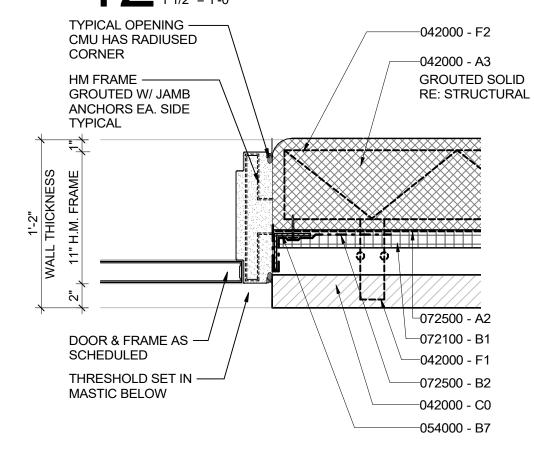
EXTEND DAM TO

1 1 SILL - TYP. OPENING PAN FLASH

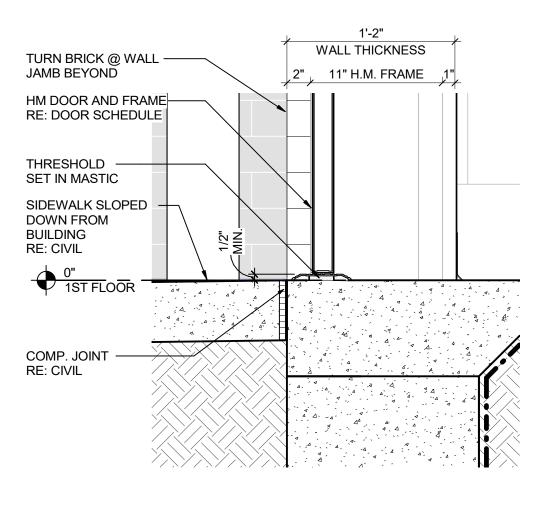


12 EXT. H.M. DOOR HEAD

1 1/2" = 1'-0"



13 EXT. H.M. DOOR JAMB



14 EXT. H.M. DOOR THRESHOLD

MATERIAL KEYNOTES 042000 - A3 8X8X16 CONCRETE MASONRY UNIT - RE:

042000 - A6 U-SHAPED BOND BEAM BLOCK (WALL) OR LINTEL BLOCK (OPENING) - RE: STRUCT 042000 - CO KING SIZED VENEER FACE BRICK - STRETCHER COURSES (RUNNING BOND) - SEE ELEVATIONS FOR BANDING & COLOR

042000 - E1 AIR SPACE 042000 - E4 OPEN HEAD JOINT AT 24" O.C. MAX (WEEP) FILLED WITH MOLDED PVC GRILLE, INSECT

042000 - F1 ADJUSTABLE MASONRY VENEER WALL TIES AT 15" O.C. VERTICALLY MAX (16" O.C. STD BRICK) AND 16" O.C. HORIZONTALLY MAX - FOR UNEVEN WYTHES OF BRICK & CMU 042000 - F2 ADJUSTABLE HORIZONTAL TRUSS

REINFORCEMENT WITH EYE-WIRE FOR ADJUSTABLE TIES. @ 16" OC VERTICALLY MAX @ CMU - FOR WYTHES OF KING SIZED BRICK & STANDARD CMU 042000 - F5 ADJUSTABLE MASONRY WALL ANCHOR 15" OC EA WAY @ METAL STUD WALLS TYPICAL

042000 - G3 MORTAR NET TYPICAL AT ALL THRU WALL FLASHING 054000 - A1 6" METAL STUD WALL FRAMING (CFMF) - RE STRUCTURAL 054000 - B7 3" X 3" COLD FORM CONTINUOUS METAL ANGLE

SPANNING AIR GAP @ OPENING JAMBS TYPICAL 061000 - A8 2X6 TREATED WOOD BLOCKING OR NAILER (@ ROOFING SEE SPEC SECTION 061055) 072100 - B1 RIGID WALL INSULATION - 1-1/2" THICK IN WALL

CAVITY - RE: SPECS 072500 - A1 FLUID APPLIED AIR BARRIER OVER EXTERIOR SHEATHING 072500 - A2 FLUID APPLIED AIR BARRIER OVER EXTERIOR 072500 - B2 SELF-ADHERING FLASHING MEMBRANE @ WALL

OPENINGS 072500 - B3 SELF-ADHERING TRANSITION MEMBRANE @ WALL CONNECTIONS 072500 - B4 SELF-ADHERING TRANSITION MEMBRANE LOOPED INTO EXPANSION JOINT @ NEW & EXISTING WALL CONNECTION 076400 - A1 COMBINATION FLEXIBLE SHEET FLASHING (076500), MORTAR DEFLECTION, & WEEP AS

COMPLETE ONE-STEP SYSTEM RE: SPECS 076500 - A1 FLEXIBLE THRU-WALL FLASHING - STAINLESS STEEL CORE W/ POLYMER FABRIC LAMINATED TO BOTTOM OF SS FACE W/ ADHESIVE TERMINATION BAR W/ SELF TAPPING SCREWS JOINT SEALANT AND CYLINDRICAL SEALANT BACKING REPLACEMENT AROUND ALL SIDES OF

JOINT SEALANT AND CYLINDRICAL SEALANT 079513 - A2 WALL EXPANSION JOINT COVER ASSEMBLY -SINGLE GASKET EXPANSION JOINT COVER; RE: SPECIFICATIONS 079513 - B1 EXPANDABLE WALL EXPANSION JOINT: HIGH DENSITY, OPEN MICRO-CELL IMPREGNATED

POLYURETHANE FOAM WITH A

EXTERIOR WALL TYPE KEY LEGEND

EX-1

042000 - F1-

042000 - F2-

072500 - A2— NO INSULATION @ SIM. COND.

072500 - A2-

042000 - F5-

072500 - A1

KEY PLAN:

NOTE:
ALL INTERIOR WALL
TYPE SYMBOLS ARE
FOUND ON SHEET A4.20

EXTERIOR WALL OPENINGS & PENETRATIONS

FACTORY-APPLIED SILICONE - SEAL COLOR TBD BY ARCHITECT; RE: SPECIFICATIONS 079513 - B2 FOAM EXPANSION JOINT BACKER ROD & SEALANT @ EXP JT 092116 - E1 5/8" GLASS MAT GYPSUM BOARD SHEATHING -RE: SPECS NOTE 01 - 23 STEEL ANGLE - RE: STRUCTURAL

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Date: 29 DECEMBER 2024 PLAN DETAILS

A9.01

(C.5)—

MECHANICAL-1

25.6 (26) (27)

1 ER EHSA-11

31 31.2

ELECTRICAL LIGHTING 1ST FLOOR - AREA 'C'

Scale: 1/8" = 1'-0"

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ARCHITECTS **cp**arch.com

01/16/2025

Houston, TX 77064 Registration: F-4111 Project No: 2024-00211-00

LINETYPE LEGEND EXISTING TO REMAIN — — — DISCONNECT AND REMOVE

PROVIDE NEW LIGHTING DEVICES AND SWITCH BOX EXTENSIONS IN ALL AREAS WHERE GYPSUM BOARD OR OTHER WALL COVERING ADDS TO THE THICKNESS OF WALLS. SEE ARCHITECTURAL DRAWINGS FOR AREAS AFFECTED.

ON EXISTING WALLS TO REMAIN SHALL BE RE-USED AS PRACTICAL FOR NEW DEVICES AS PART OF NEW WORK.

THE BMCS MASTER PANEL.

FIXTURE WHIPS SHALL BE 1/2-INCH FLEXIBLE STEEL CONDUIT, LENGTH AS REQUIRED TO MAKE A TAP AT AN ACCESSIBLE J-BOX. RECESSED LIGHT FIXTURES IN NON-ACCESSIBLE CEILINGS MAY BE DAISY CHAINED USING THE LIGHT FIXTURE'S INTEGRAL, UL LISTED J-BOX OR INTERNAL WIRE WAY THAT IS ACCESSIBLE THROUGH FIXTURE FROM BELOW THE CEILING. REFER TO 26 05 33 CONDUIT SYSTEMS.

SPECIFICATIONS AND DETAIL SHEETS. LOCATE DIGITAL LIGHTING CONTROLLER AND/OR EMERGENCY LOAD CONTROL RELAY ABOVE ACCESSIBLE CEILING 12-FEET AFF OR BELOW ADJACENT TO

AND OTHER HIGH CEILING AREAS WITH NO ADJACENT ANCILLARY AREA ADJACENT TO NORMAL POWER PANEL SERVING THE LOAD, PROVIDE LABEL WITH

OFFICES ABOVE ACCESSIBLE CEILING IN CORRIDOR DIRECTLY OUTSIDE OF ENTRY DOOR. PROVIDE LABEL IDENTIFYING ASSOCIATED SPACE, GRID MARKERS WITH WORDING PER SPECIFICATIONS. OCCUPANCY/VACANCY SENSOR AND DAYLIGHTING SENSOR LOCATIONS

SPACES WITH MULTIPLE OCCUPANCY/VACANCY SENSORS OR WHERE LINE OF SIGHT MAY BE OBSCURED, SHALL BE LINKED TOGETHER FOR SIMULTANEOUS OPERATION WITHIN THE SPACE.

MAINTAIN CONSTANT UNSWITCHED CIRCUITS FROM EXISTING SOURCE AND/OR NEW AS SHOWN FOR EMERGENCY FIXTURES, EMERGENCY LOAD RELAYS, TRANSFER SWITCHES AND EXIT SIGNS.

PROVIDE SEPARATE RACEWAY SYSTEMS FOR LIGHTING CONTROL SYSTEM, CONTROLS WIRING (DIMMERS OR OTHERWISE) SHALL NOT BE INSTALLED IN THE

LOCATE DIGITAL LIGHTING CONTROLLER AND IF SHOWN, PLENUM RATED, EMERGENCY LOAD CONTROL RELAY / TRANSFER SWITCH ABOVE ACCESSIBLE CEILING IN CORRIDOR / ANCILLARY SPACE DIRECTLY OUTSIDE OF ENTRY DOOR. PROVIDE LABEL IDENTIFYING ASSOCIATED SPACE, GRID MARKERS WITH WORDING PER SPECIFICATIONS. REFER TO DETAILS. LOCATE DIGITAL LIGHTING CONTROLLER AND IF SHOWN, PLENUM RATED, EMERGENCY LOAD CONTROL RELAY / TRANSFER SWITCH WALL MOUNTED

ADJACENT TO NORMAL POWER PANEL. PROVIDE LABEL IDENTIFYING ASSOCIATED SPACE WITH WORDING PER SPECIFICATIONS. REFER TO DETAILS. INTERCEPT EXISTING NORMAL POWER CIRCUIT HOME RUN AND PROVIDE PER CIRCUIT (1) LISTED UL1008 TRANSFER SWITCH, (1) CONTACTOR WITH POLE QUANTITY AS REQUIRED CONTROLLED WITH BMCS. LOCATE ADJACENT TO NORMAL POWER PANEL SERVING THE LOAD, RE-USE EXISTING NORMAL POWER CIRCUIT AND NEW EMERGENCY POWER CIRCUIT AS SHOWN. EXTEND CONDUCTORS / CONDUIT WITH MATCHING SIZE. REFER TO SPECIFICATIONS AND

DETAIL SHEETS.

EXISTING RACEWAYS AND LOCATION OF ELECTRICAL OUTLETS

PROVIDE (1) MOMENTARY BMCS OVERRIDE TIME-OUT SWITCH FOR BUILDING OCCUPIED/UNOCCUPIED ADJACENT TO OR IN

LIGHTING GENERAL NOTES

PLACE AFTER DEMOLITION OR NEW AS SHOWN, PROVIDE EMERGENCY CIRCUIT FOR HATCHED FIXTURES AND/OR EXIT SIGNS. EXTEND WIRING WITH MATCHING CONDUCTORS/CONDUIT TO EXISTING LOCATION AND/OR NEW FIXTURES. FIELD VERIFY CONNECTED LOAD NOT TO EXCEED 3500 W @ 277V. TYPICAL. LOCATION OF NEW / REPLACEMENT LIGHT FIXTURES SHALL RE-USE EXISTING J-BOX AND EXISTING LIGHT FIXTURE WHIPS AS PRACTICAL. EXTEND WIRING WITH MATCHING CONDUCTORS/CONDUIT AND PROVIDE NEW J-BOX ABOVE ACCESIBLE CEILING WITH 1/2-INCH FLEXIBLE STEEL CONDUIT OR STEEL MC CABLE, LENGTH NOT TO EXCEED 6-FEET, "DAISY CHAINING" LIGHT FIXTURES INSTALLED FOR LAY-IN CEILING AREAS IS NOT ALLOWED. FOR NON-ACCESIBLE CEILINGS, LIGHT

PROVIDE NEW LIGHTING CONTROLS, SENSORS AND ASSOCIATED DEVICES, 20A EMERGENCY LOAD CONTROL RELAYS AND/OR TRANSFER SWITCHES. REFER TO

SWITCH CONTROLLING THE SPACE. IN NON-ACCESSIBLE AND/OR HIGH CEILING AREAS, LOCATE DIGITAL LIGHTING CONTROLLER IN ADJACENT ANCILLARY AREA WITH ACCESSIBLE CEILING. IN AREAS WITH NO CEILING AND/OR IN EXTERIOR APPLICATIONS LOCATE ADJACENT TO PANEL SERVING THE LOAD. PROVIDE PLASTIC TAPE MACHINE TYPED NAME PLATE TO BOTTOM OF CEILING T-GRID BELOW RELAY LOCATION. WHITE LETTERS ON BLACK BACKGROUND WITH 1/4" HIGH LETTERS ON 1/2" TALL LABEL FOR DIGITAL MODULE, INDICATE AS: DLM. LOCATE DIGITAL LIGHTING CONTROLLER FOR HIGH CEILING CORRIDORS, GYM

LOCATE DIGITAL LIGHTING CONTROLLER FOR INSTRUCTIONAL SPACES AND

WORDING PER SPECIFICATIONS.

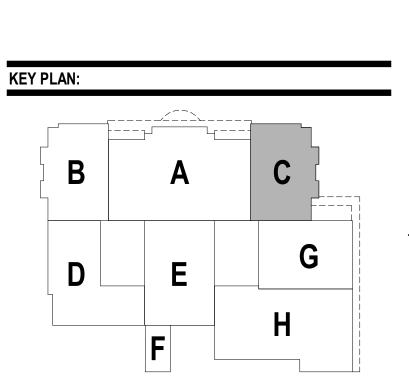
INDICATE SPACE OR AREA CONTROLLED, CONTRACTOR TO PROVIDE ACTUAL QUANTITIES, TYPES, AND MOUNTING LOCATIONS AS RECOMMENDED BY MANUFACTURER AND IECC-2015 C405.

0 COORDINATE LOCATION OF LIGHT FIXTURES IN ALL MECHANICAL AND ELECTRICAL ROOMS WITH MECHANICAL EQUIPMENT, PIPING, AND ALL OTHER

SAME RACEWAY AS LINE VOLTAGE. REFER TO 26 05 33.

ELECTRICAL KEYED NOTES

4 DO NOT PENETRATE TOP OF CANOPY.



ELECTRICAL LIGHTING 1ST FLOOR PLAN - AREA 'C'

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9800 RICHMOND AVE.

SUITE 460

HOUSTON, TX 77042

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MEPT ENGINEER

SALAS O'BRIEN

10930 W. SAM HOUSTON PKWY. N. SUITE 900

01/16/2025

Houston, TX 77064 Registration: F-4111

Project No: 2024-00211-00

I INETVDE I ECEND

LINET TPE LEGEND				
	EXISTING TO REMAIN			
	DISCONNECT AND REMOVE			
	NEW WORK			

PROVIDE NEW LIGHTING DEVICES AND SWITCH BOX EXTENSIONS IN ALL AREAS WHERE GYPSUM BOARD OR OTHER WALL COVERING ADDS TO THE THICKNESS OF WALLS. SEE ARCHITECTURAL DRAWINGS FOR AREAS AFFECTED.

ON EXISTING WALLS TO REMAIN SHALL BE RE-USED AS PRACTICAL FOR NEW DEVICES AS PART OF NEW WORK.

PROVIDE (1) MOMENTARY BMCS OVERRIDE TIME-OUT SWITCH FOR BUILDING OCCUPIED/UNOCCUPIED ADJACENT TO OR IN THE BMCS MASTER PANEL.

CONNECT NEW LIGHT FIXTURES TO EXISTING NORMAL POWER CIRCUITS LEFT IN PLACE AFTER DEMOLITION OR NEW AS SHOWN, PROVIDE EMERGENCY CIRCUIT FOR HATCHED FIXTURES AND/OR EXIT SIGNS. EXTEND WIRING WITH MATCHING CONDUCTORS/CONDUIT TO EXISTING LOCATION AND/OR NEW FIXTURES. FIELD VERIFY CONNECTED LOAD NOT TO EXCEED 3500 W @ 277V. TYPICAL. LOCATION OF NEW / REPLACEMENT LIGHT FIXTURES SHALL RE-USE EXISTING J-BOX AND EXISTING LIGHT FIXTURE WHIPS AS PRACTICAL. EXTEND WIRING WITH MATCHING CONDUCTORS/CONDUIT AND PROVIDE NEW J-BOX ABOVE ACCESIBLE CEILING WITH 1/2-INCH FLEXIBLE STEEL CONDUIT OR STEEL MC CABLE, LENGTH NOT TO EXCEED 6-FEET, "DAISY CHAINING" LIGHT FIXTURES INSTALLED FOR LAY-IN CEILING AREAS IS NOT ALLOWED. FOR NON-ACCESIBLE CEILINGS, LIGHT REQUIRED TO MAKE A TAP AT AN ACCESSIBLE J-BOX. RECESSED LIGHT FIXTURES IN NON-ACCESSIBLE CEILINGS MAY BE DAISY CHAINED USING THE

CONDUIT SYSTEMS. SPECIFICATIONS AND DETAIL SHEETS.

AREAS, LOCATE DIGITAL LIGHTING CONTROLLER IN ADJACENT ANCILLARY AREA

LOCATE DIGITAL LIGHTING CONTROLLER FOR INSTRUCTIONAL SPACES AND OFFICES ABOVE ACCESSIBLE CEILING IN CORRIDOR DIRECTLY OUTSIDE OF ENTRY DOOR. PROVIDE LABEL IDENTIFYING ASSOCIATED SPACE, GRID MARKERS WITH WORDING PER SPECIFICATIONS.

INDICATE SPACE OR AREA CONTROLLED, CONTRACTOR TO PROVIDE ACTUAL QUANTITIES, TYPES, AND MOUNTING LOCATIONS AS RECOMMENDED BY SPACES WITH MULTIPLE OCCUPANCY/VACANCY SENSORS OR WHERE LINE OF SIGHT MAY BE OBSCURED, SHALL BE LINKED TOGETHER FOR SIMULTANEOUS

OPERATION WITHIN THE SPACE. MAINTAIN CONSTANT UNSWITCHED CIRCUITS FROM EXISTING SOURCE AND/OR TRANSFER SWITCHES AND EXIT SIGNS.

ELECTRICAL ROOMS WITH MECHANICAL EQUIPMENT, PIPING, AND ALL OTHER

ELECTRICAL KEYED NOTES

LOCATE DIGITAL LIGHTING CONTROLLER AND IF SHOWN, PLENUM RATED, EMERGENCY LOAD CONTROL RELAY / TRANSFER SWITCH ABOVE ACCESSIBLE CEILING IN CORRIDOR / ANCILLARY SPACE DIRECTLY OUTSIDE OF ENTRY DOOR. PROVIDE LABEL IDENTIFYING ASSOCIATED SPACE, GRID MARKERS WITH WORDING PER SPECIFICATIONS. REFER TO DETAILS. LOCATE DIGITAL LIGHTING CONTROLLER AND IF SHOWN, PLENUM RATED, EMERGENCY LOAD CONTROL RELAY / TRANSFER SWITCH WALL MOUNTED ADJACENT TO NORMAL POWER PANEL. PROVIDE LABEL IDENTIFYING ASSOCIATED SPACE WITH WORDING PER SPECIFICATIONS. REFER TO DETAILS. INTERCEPT EXISTING NORMAL POWER CIRCUIT HOME RUN AND PROVIDE PER

DETAIL SHEETS.

LINE I TPE LEGEND						
	EXISTING TO REMAIN					
	DISCONNECT AND REMOVE					
	NEW WORK					

EXISTING RACEWAYS AND LOCATION OF ELECTRICAL OUTLETS

LIGHTING GENERAL NOTES

FIXTURE WHIPS SHALL BE 1/2-INCH FLEXIBLE STEEL CONDUIT, LENGTH AS LIGHT FIXTURE'S INTEGRAL, UL LISTED J-BOX OR INTERNAL WIRE WAY THAT IS ACCESSIBLE THROUGH FIXTURE FROM BELOW THE CEILING. REFER TO 26 05 33

PROVIDE NEW LIGHTING CONTROLS, SENSORS AND ASSOCIATED DEVICES, 20A EMERGENCY LOAD CONTROL RELAYS AND/OR TRANSFER SWITCHES. REFER TO LOCATE DIGITAL LIGHTING CONTROLLER AND/OR EMERGENCY LOAD CONTROL RELAY ABOVE ACCESSIBLE CEILING 12-FEET AFF OR BELOW ADJACENT TO

SWITCH CONTROLLING THE SPACE. IN NON-ACCESSIBLE AND/OR HIGH CEILING

WITH ACCESSIBLE CEILING. IN AREAS WITH NO CEILING AND/OR IN EXTERIOR APPLICATIONS LOCATE ADJACENT TO PANEL SERVING THE LOAD. PROVIDE PLASTIC TAPE MACHINE TYPED NAME PLATE TO BOTTOM OF CEILING T-GRID BELOW RELAY LOCATION. WHITE LETTERS ON BLACK BACKGROUND WITH 1/4" HIGH LETTERS ON 1/2" TALL LABEL FOR DIGITAL MODULE, INDICATE AS: DLM. LOCATE DIGITAL LIGHTING CONTROLLER FOR HIGH CEILING CORRIDORS, GYM AND OTHER HIGH CEILING AREAS WITH NO ADJACENT ANCILLARY AREA ADJACENT TO NORMAL POWER PANEL SERVING THE LOAD, PROVIDE LABEL WITH

OCCUPANCY/VACANCY SENSOR AND DAYLIGHTING SENSOR LOCATIONS

WORDING PER SPECIFICATIONS.

MANUFACTURER AND IECC-2015 C405.

NEW AS SHOWN FOR EMERGENCY FIXTURES, EMERGENCY LOAD RELAYS, COORDINATE LOCATION OF LIGHT FIXTURES IN ALL MECHANICAL AND

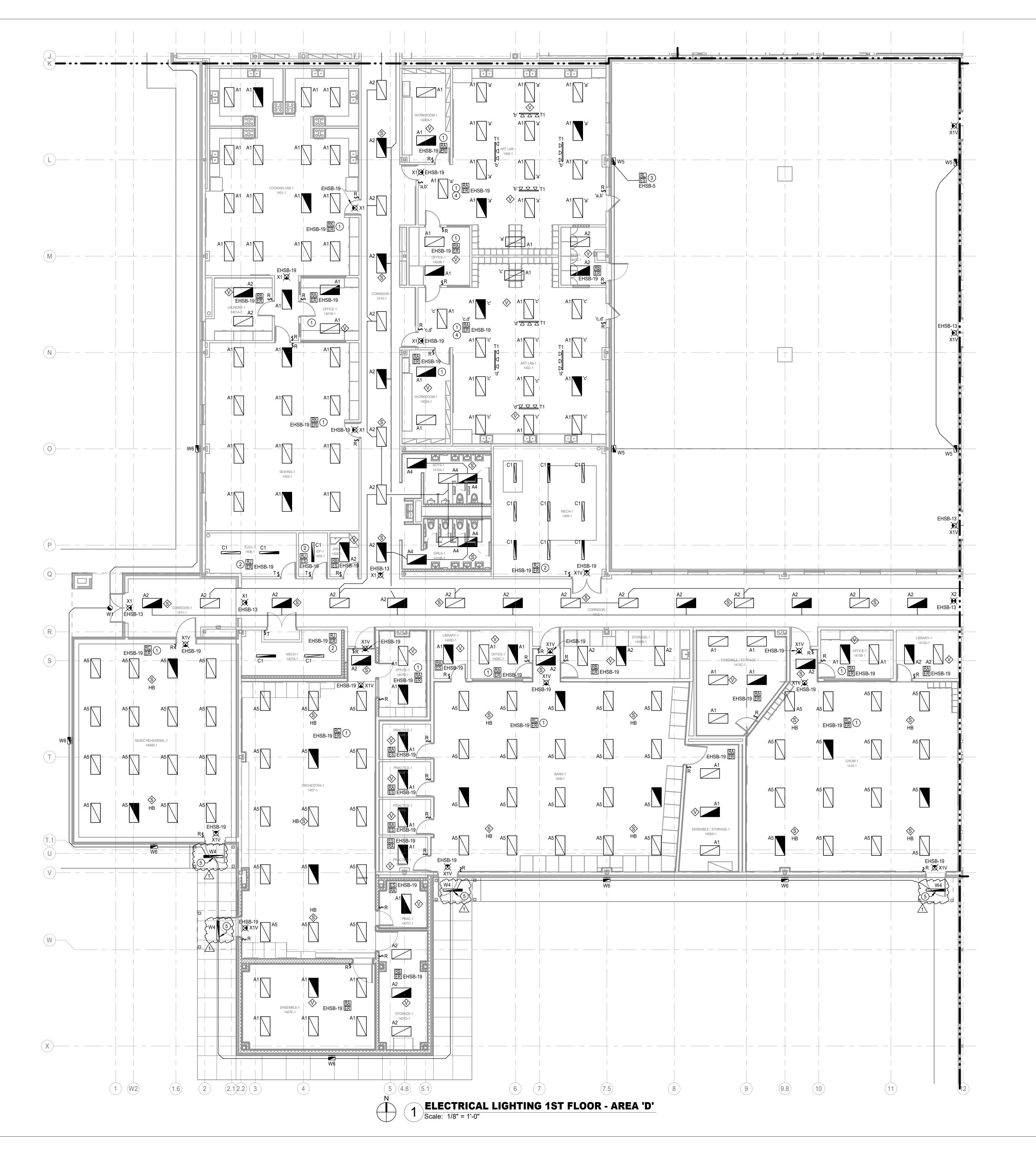
PROVIDE SEPARATE RACEWAY SYSTEMS FOR LIGHTING CONTROL SYSTEM, CONTROLS WIRING (DIMMERS OR OTHERWISE) SHALL NOT BE INSTALLED IN THE SAME RACEWAY AS LINE VOLTAGE. REFER TO 26 05 33.

CIRCUIT (1) LISTED UL1008 TRANSFER SWITCH, (1) CONTACTOR WITH POLE QUANTITY AS REQUIRED CONTROLLED WITH BMCS. LOCATE ADJACENT TO NORMAL POWER PANEL SERVING THE LOAD, RE-USE EXISTING NORMAL POWER CIRCUIT AND NEW EMERGENCY POWER CIRCUIT AS SHOWN. EXTEND CONDUCTORS / CONDUIT WITH MATCHING SIZE. REFER TO SPECIFICATIONS AND

4 PROVIDE 120 V REVERSE-PHASE DIMMING FOR TRACK LIGHTING. 5 DO NOT PENETRATE TOP OF CANOPY.

KEY PLAN:

ELECTRICAL LIGHTING 1ST FLOOR PLAN - AREA 'D'



ELECTRICAL KEYED NOTES

CEILING IN CORRIDOR / ANCILLARY SPACE DIRECTLY OUTSIDE OF ENTRY DOOR. PROVIDE LABEL IDENTIFYING ASSOCIATED SPACE, GRID MARKERS WITH WORDING PER SPECIFICATIONS. REFER TO DETAILS. 2 LOCATE DIGITAL LIGHTING CONTROLLER AND IF SHOWN, PLENUM RATED,

EMERGENCY LOAD CONTROL RELAY / TRANSFER SWITCH WALL MOUNTED ADJACENT TO NORMAL POWER PANEL. PROVIDE LABEL IDENTIFYING ASSOCIATED SPACE WITH WORDING PER SPECIFICATIONS. REFER TO DETAILS.

3 INTERCEPT EXISTING NORMAL POWER CIRCUIT HOME RUN AND PROVIDE PER CIRCUIT (1) LISTED UL1008 TRANSFER SWITCH, (1) CONTACTOR WITH POLE QUANTITY AS REQUIRED CONTROLLED WITH BMCS. LOCATE ADJACENT TO NORMAL POWER PANEL SERVING THE LOAD, RE-USE EXISTING NORMAL POWER CIRCUIT AND NEW EMERGENCY POWER CIRCUIT AS SHOWN, EXTEND CONDUCTORS / CONDUIT WITH MATCHING SIZE. REFER TO SPECIFICATIONS AND

4 WALL MOUNTED. 5 DO NOT PENETRATE TOP OF CANOPY.

DETAIL SHEETS.

(T.1)(U)(V)

1 LOCATE DIGITAL LIGHTING CONTROLLER AND IF SHOWN, PLENUM RATED,

- EMERGENCY LOAD CONTROL RELAY / TRANSFER SWITCH ABOVE ACCESSIBLE
 - VERIFY CONNECTED LOAD NOT TO EXCEED 3500 W @ 277V. TYPICAL. J-BOX AND EXISTING LIGHT FIXTURE WHIPS AS PRACTICAL. EXTEND WIRING WITH MATCHING CONDUCTORS/CONDUIT AND PROVIDE NEW J-BOX ABOVE ACCESIBLE CEILING WITH 1/2-INCH FLEXIBLE STEEL CONDUIT OR STEEL MC CABLE, LENGTH

CONDUIT SYSTEMS.

OPERATION WITHIN THE SPACE.

- FIXTURE WHIPS SHALL BE 1/2-INCH FLEXIBLE STEEL CONDUIT, LENGTH AS REQUIRED TO MAKE A TAP AT AN ACCESSIBLE J-BOX. RECESSED LIGHT FIXTURES IN NON-ACCESSIBLE CEILINGS MAY BE DAISY CHAINED USING THE LIGHT FIXTURE'S INTEGRAL, UL LISTED J-BOX OR INTERNAL WIRE WAY THAT IS ACCESSIBLE THROUGH FIXTURE FROM BELOW THE CEILING. REFER TO 26 05 33
- PROVIDE NEW LIGHTING CONTROLS, SENSORS AND ASSOCIATED DEVICES, 20A EMERGENCY LOAD CONTROL RELAYS AND/OR TRANSFER SWITCHES. REFER TO SPECIFICATIONS AND DETAIL SHEETS.
- LOCATE DIGITAL LIGHTING CONTROLLER AND/OR EMERGENCY LOAD CONTROL RELAY ABOVE ACCESSIBLE CEILING 12-FEET AFF OR BELOW ADJACENT TO SWITCH CONTROLLING THE SPACE. IN NON-ACCESSIBLE AND/OR HIGH CEILING AREAS, LOCATE DIGITAL LIGHTING CONTROLLER IN ADJACENT ANCILLARY AREA WITH ACCESSIBLE CEILING. IN AREAS WITH NO CEILING AND/OR IN EXTERIOR APPLICATIONS LOCATE ADJACENT TO PANEL SERVING THE LOAD. PROVIDE PLASTIC TAPE MACHINE TYPED NAME PLATE TO BOTTOM OF CEILING T-GRID BELOW RELAY LOCATION. WHITE LETTERS ON BLACK BACKGROUND WITH 1/4" HIGH LETTERS ON 1/2" TALL LABEL FOR DIGITAL MODULE, INDICATE AS: DLM.
- LOCATE DIGITAL LIGHTING CONTROLLER FOR HIGH CEILING CORRIDORS, GYM AND OTHER HIGH CEILING AREAS WITH NO ADJACENT ANCILLARY AREA ADJACENT TO NORMAL POWER PANEL SERVING THE LOAD. PROVIDE LABEL WITH WORDING PER SPECIFICATIONS. LOCATE DIGITAL LIGHTING CONTROLLER FOR INSTRUCTIONAL SPACES AND
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ELECTRICAL ROOMS WITH MECHANICAL EQUIPMENT, PIPING, AND ALL OTHER

- MAINTAIN CONSTANT UNSWITCHED CIRCUITS FROM EXISTING SOURCE AND/OR NEW AS SHOWN FOR EMERGENCY FIXTURES, EMERGENCY LOAD RELAYS, TRANSFER SWITCHES AND EXIT SIGNS. 0 COORDINATE LOCATION OF LIGHT FIXTURES IN ALL MECHANICAL AND
- PROVIDE SEPARATE RACEWAY SYSTEMS FOR LIGHTING CONTROL SYSTEM, CONTROLS WIRING (DIMMERS OR OTHERWISE) SHALL NOT BE INSTALLED IN THE SAME RACEWAY AS LINE VOLTAGE. REFER TO 26 05 33.

LIGHTING GENERAL NOTES

- CONNECT NEW LIGHT FIXTURES TO EXISTING NORMAL POWER CIRCUITS LEFT IN PLACE AFTER DEMOLITION OR NEW AS SHOWN. PROVIDE EMERGENCY CIRCUIT FOR HATCHED FIXTURES AND/OR EXIT SIGNS. EXTEND WIRING WITH MATCHING CONDUCTORS/CONDUIT TO EXISTING LOCATION AND/OR NEW FIXTURES. FIELD LOCATION OF NEW / REPLACEMENT LIGHT FIXTURES SHALL RE-USE EXISTING
- PROVIDE NEW LIGHTING DEVICES AND SWITCH BOX EXTENSIONS IN ALL AREAS WHERE GYPSUM BOARD OR OTHER NOT TO EXCEED 6-FEET. "DAISY CHAINING" LIGHT FIXTURES INSTALLED FOR WALL COVERING ADDS TO THE THICKNESS OF WALLS. SEE LAY-IN CEILING AREAS IS NOT ALLOWED. FOR NON-ACCESIBLE CEILINGS, LIGHT ARCHITECTURAL DRAWINGS FOR AREAS AFFECTED.
 - EXISTING RACEWAYS AND LOCATION OF ELECTRICAL OUTLETS ON EXISTING WALLS TO REMAIN SHALL BE RE-USED AS PRACTICAL FOR NEW DEVICES AS PART OF NEW WORK.

PROVIDE (1) MOMENTARY BMCS OVERRIDE TIME-OUT SWITCH FOR BUILDING OCCUPIED/UNOCCUPIED ADJACENT TO OR IN

THE BMCS MASTER PANEL.

LINETYPE LEGEND

— — — DISCONNECT AND REMOVE

NEW WORK

EXISTING TO REMAIN

Salas O'Brien. salasobrien.com 10930 W. Sam Houston Pkwy North, Suite 900 Houston, TX 77064

Registration: F-4111

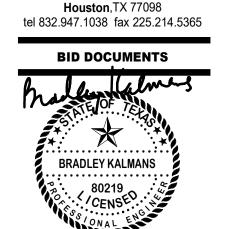
Project No: 2024-00211-00







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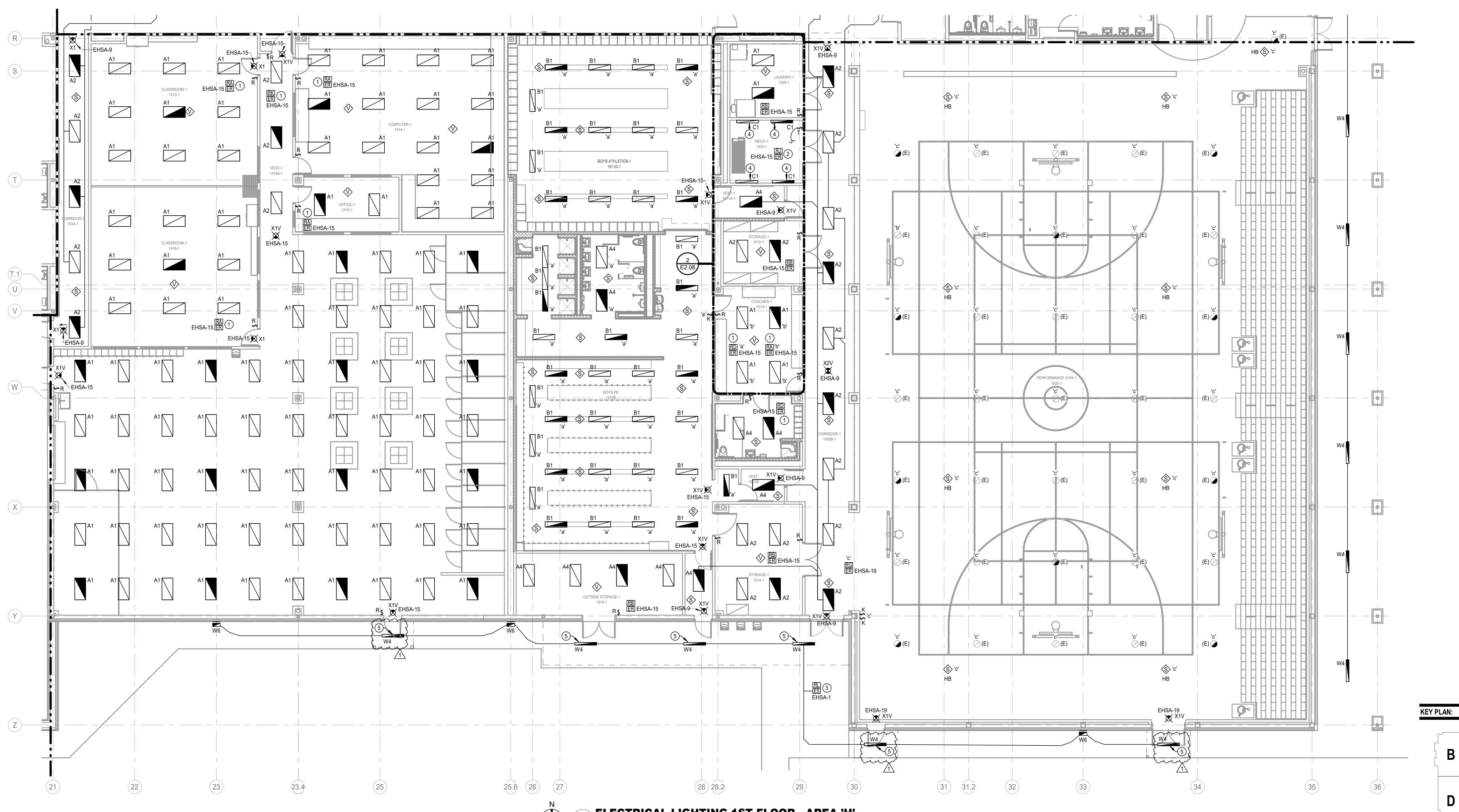
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LANDSCAPE HOUSTON, TX 77058 tel: 281.486.4040

Date: 29 DECEMBER 2024

ELECTRICAL LIGHTING 1ST FLOOR PLAN - AREA 'H'



ELECTRICAL LIGHTING - MECH 2002

ELECTRICAL LIGHTING 1ST FLOOR - AREA 'H'

ELECTRICAL KEYED NOTES

PROVIDE DRY CONTACT FOR INDIVIDUAL MONITORING INTERFACE WITH SECURITY PANEL FOR EACH ATS.

RELOCATED PANEL.

3PH, 4W, 120/208V, 400A REVENUE GRADE SUBMETER FOR LOAD AT FEEDERS AS SHOWN ON DIAGRAM. E-MON D-MON 3400 SERIES DEMAND METER. SUBMETER SHALL MEASURE KWH AND DEMAND AND WITH BACK-NET COMPATIBILITY. 3PH, 4W, 120/208V, 100A REVENUE GRADE SUBMETER FOR LOAD AT FEEDERS AS

SHOWN ON DIAGRAM, E-MON D-MON 3400 SERIES DEMAND METER, SUBMETER SHALL MEASURE KWH AND DEMAND AND WITH BACK-NET COMPATIBILITY. EXTEND/RE-ROUTE ALL EXISTING BRANCH CIRCUIT AND FEEDER CONDUCTORS/ CONDUIT FROM EXISTING PANEL WITH MATCHING SIZE TO REPLACEMENT/

PROVIDE PHASE SEQUENCE MONITOR/BALANCE MODULE TO PROTECT AGAINST INADVERTENT PHASE ROTATION HOOKUP AND MONITOR FOR VOLTAGE PHASE IMBALANCE BETWEEN PHASES. 1"C. TO ATS FOR CONTROL WIRING REFER TO SPECIFICATIONS AND

COORDINATE WITH MANUFACTURER. TYPICAL. DOUBLE-THROW MANUAL TRANSFER SWITCH WITH INTEGRATED QUICK-CONNECTS IN SINGLE PACKAGE. REFER TO SPECIFICATIONS.

(E)ATS **AVAILABLE FAULT CURRENT**

PROVIDE LABEL WITH LETTERING ON CONTRASTING BACKGROUND PERMANENTLY AFFIXED TO THE SERVICE DISCONNECT / EQUIPMENT PRIOR TO ENERGIZING THE SERVICE EQUIPMENT. THE LABEL SHALL INCLUDE THE DATE OF INSTALLATION AND THE DATE OF CALCULATION. THE DATE OF CALCULATION SHALL BE THE DATE INDICATED BY THE ENGINEER OF RECORD'S SEAL ON THE CONSTRUCTION DOCUMENT ELECTRICAL ONE-LINE DIAGRAM / RISER DRAWING. REFER TO SPECIFICATIONS.

SERVICE EQUIPMENT AVAILABLE FAULT CURRENT: 12,410 A DATE OF INSTALLATION: MM/DD/YYYY DATE OF CALCULATION: 11/24/2024

ATS-LS AVAILABLE FAULT CURRENT

PROVIDE LABEL WITH LETTERING ON CONTRASTING BACKGROUND PERMANENTLY AFFIXED TO THE SERVICE DISCONNECT / EQUIPMENT PRIOR TO ENERGIZING THE SERVICE EQUIPMENT. THE LABEL SHALL INCLUDE THE DATE OF INSTALLATION AND THE DATE OF CALCULATION. THE DATE OF CALCULATION SHALL BE THE DATE INDICATED BY THE ENGINEER OF RECORD'S SEAL ON THE CONSTRUCTION DOCUMENT ELECTRICAL ONE-LINE DIAGRAM / RISER DRAWING. REFER TO SPECIFICATIONS.

SERVICE EQUIPMENT AVAILABLE FAULT CURRENT: 14.214 A DATE OF INSTALLATION: MM/DD/YYYY DATE OF CALCULATION: 11/24/2024

SINCE EXACT FAULT CURRENT INFORMATION IS CURRENTLY NOT AVAILABLE FROM CENTERPOINT ENERGY, CENTERPOINT ENERGY'S TRANSFORMER SECONDARY FAULT CURRENT TABLES HAVE BEEN USED TO PERFORM THE SHORT CIRCUIT CURRENT CALCULATIONS USING POINT-TO-POINT METHOD.

<u>M</u>					
480 / 277, 3PH, 4V	V				
LOAD DESCRIPTION	NEC-2023 CRITERIA	LOAD KV			
PEAK DEMAND 1,067 @125%	220.87	1,333.7			
LOAD REMOVED 328 @100%		328.0			
LIGHTING (CALC.) 1,517 SqFt x 1.5 W	220.42(A)	2.3			
LIGHTING (CONNECTED) x 1.25	215.2	164.0			
RECEPTACLES (CONNECTED)	220.47	12.5			
1st 10KVA @100%	220.47	10.0			
REMAINDER @50%	220.47	1.2			

CHILLERS 220 25% LARGEST MOTOR (3 HP) 430.24

GENERATOR LOAD ANALTSIS				
480 / 277, 3PH, 4W				
LOAD DESCRIPTION	LOAD KVA			
LIGHTING x 1.25	39.2			
RECEPTACLES	9.6			
MISCELLANEOUS	64.5			
HVAC - FAN's, AHU's	9.4			
ELEVATOR (15 HP)	17.4			
TOTAL	140.1			

GENERATOR CAPACITY - 150 kW / 175 kVA

<u>M</u>			
480 / 277, 3PH, 4	IW		
LOAD DESCRIPTION	NEC-2023 CRITERIA	LOAD KVA	
PEAK DEMAND 1,067 @125%	220.87	1,333.7	
LOAD REMOVED 328 @100%		328.0	
LIGHTING (CALC.) 1,517 SqFt x 1.5 W	220.42(A)	2.3	
LIGHTING (CONNECTED) x 1.25	215.2	164.0	
RECEPTACLES (CONNECTED)	220.47	12.5	
1st 10KVA @100%	220.47	10.0	
REMAINDER @50%	220.47	1.2	
MISCELLANEOUS	220	59.35	
KITCHEN EQUIPMENT	220.56	0	
HVAC - FANS, PUMPS, AHUs	220	10.7	

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4,000 A EXISTING SERVICE	
GENERATOR LOAD ANA	ALYSIS
480 / 277, 3PH, 4W	
LOAD DESCRIPTION	LOAD KVA
LIGHTING x 1.25	39.2
RECEPTACLES	9.6
MISCELLANEOUS	64.5

ELECTRICAL LOAD ANALYSIS

<u>M</u>			UNLESS NOTED OTHERWISE, RETAIN IN PLACE ALL EXISTING CIRCUITS AND FEEDER FROM SOURCE FOR ALL EXISTING
480 / 277, 3PH, 4W			PANELS LABELED TO BE REPLACED AND / OR RELOCATED. EXTEND / RE-ROUTE EXISTING BRANCH CIRCUITS AND FEEDER
DAD DESCRIPTION	NEC-2023 CRITERIA	LOAD KVA	LEFT IN PLACE AFTER DEMOLITION FROM EXISTING PANELS TO BE RELOCATED AND / OR REPLACED.
ND 1,067 @125%	220.87	1,333.7	
OVED 328 @100%		328.0	CONTRACTOR TO FIELD VERIFY INTERRUPTING FAULT CURRENT CAPACITY OF EXISTING PANELS AND / OR
CALC.) 1,517 SqFt x 1.5 W	220.42(A)	2.3	SWITCHBOARDS AND TO PROVIDE NEW BREAKERS/FUSES TO MATCH EXISTING.
CONNECTED) x 1.25	215.2	164.0	
ES (CONNECTED)	220.47	12.5	TWO-HOUR FIRE RATED CABLE:
2100%	220.47	10.0	1. TWO-HOUR FIRE RATED POWER CABLE SHALL BE APPROVED
R @50%	220.47	1.2	BY THE LOCAL AHJ AND INSTALLED PER MANUFACTURER'S

CABLE SHALL BE APPROVED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS IN COMPLIANCE WITH UL FIRE RESISTANCE DIRECTORY, ELECTRICAL CIRCUIT PROTECTIVE SYSTEMS (FHIT), AND SYSTEM 27. 2. TWO-HOUR FIRE RATED POWER CABLE SHALL BE INSTALLED AS APPROVED BY THE LOCAL AHJ IN STEEL EMT OR STEEL RIGID CONDUIT WITH STEEL SET SCREW OR THREADED FITTINGS. UL LISTED FLEXIBLE METALLIC STEEL CONDUIT MAY

BE USED IN LENGTHS NOT TO EXCEED 6-FEET. SUPPORT CONDUIT EVERY 5-FEET ON CONCRETE OR MASONRY WALLS OR A CONCRETE FLOOR-CEILING ASSEMBLY. THE FIRE RATING 1,251.9 OF THE WALL OR FLOOR-CEILING ASSEMBLY MUST BE EQUAL O OR GREATER THAN THE RATING OF THE ELECTRICAL CIRCUIT PROTECTIVE SYSTEM. PROVIDE J-BOX AT EACH END OF THE FIRE RATED CABLES IN THE FIRE RATED ROOM TO ALLOW SPLICE TO STANDARD BUILDING CABLE TO THE EQUIPMENT. PROVIDE SEALANT TO THE END OF THE RACEWAY TO PREVENT GASES FROM MIGRATING FROM THE FIRE RATED CABLE DOWN

INTO THE EQUIPMENT.

INSULATION FOR TWO-HOUR FIRE RATED POWER CABLE: I. INSULATION SHALL MEET OR EXCEED THE REQUIREMENTS OF UL 2196 FIRE TEST FOR CIRCUIT INTEGRITY OF FIRE-RESISTIVE POWER, INSTRUMENTATION, CONTROL AND DATA CABLES, AND

UL 44, THERMOSET INSULATED WIRES AND CABLES.

a. INSULATION FOR CONDUCTORS SHALL BE UL TYPE RHW-2 OR RW90, 90 DEGREES C FOR WET LOCATIONS AND 90 DEGREES C FOR DRY LOCATIONS. b. ELECTRICAL CIRCUIT PROTECTIVE SYSTEMS (FHIT) -SYSTEM 27 OF THE UL FIRE RESISTANCE DIRECTORY.

IN IN PLACE ALL EXISTING LINETYPE LEGEND RCE FOR ALL EXISTING O AND / OR RELOCATED. NCH CIRCUITS AND FEEDER FROM EXISTING PANELS TO

EXISTING TO REMAIN — — — DISCONNECT AND REMOVE ------ NEW WORK

DEMOLITION / EXISTING DRAWINGS ARE BASED ON CASUAL FIELD OBSERVATION, AND WHEN AVAILABLE, EXISTING RECORD DOCUMENTS. REPORT DISCREPANCIES TO ARCHITECT BEFORE DISTURBING EXISTING INSTALLATION, AND IMMEDIATELY AFTER SUCH DISCREPANCIES ARE DISCOVERED. CONTRACTOR TO VERIFY EXISTING CONDITIONS ON FIELD AND NOTIFY ENGINEER IF THERE ARE ANY CONFLICTS BETWEEN EXISTING CONDITIONS AND DRAWINGS PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR SHALL REMOVE SUCH EXISTING WORK AS CALLED FOR ON THE DRAWINGS OR AS REQUIRED TO CLEAR THE AREAS OF NEW CONSTRUCTION.

OWNER OR ITS REPRESENTATIVE SHALL HAVE FIRST RIGHT OF REFUSAL ON ALL EQUIPMENT BEING REMOVED FROM THIS PROJECT. CONTRACTOR TO NOTIFY CAREY RAMSEY WITH DISTRICT PRIOR TO DEMOLITION WORK TO DISCUSS ALL RETURNED ITEMS TO DISTRICT.

PANELBOARD CIRCUIT DIRECTORY:

CONTRACTOR SHALL RECORD AND/OR PRESERVE THE EXISTING CIRCUIT DIRECTORY, IF ANY, FOR THE SOLE PURPOSE UPON COMPLETION OF NEW WORK OF PRODUCING A NEW CIRCUIT DIRECTORY.

CONTRACTOR SHALL PROVIDE AS PART OF THE CONSTRUCTION DOCUMENTS A NEW, NEATLY TYPED DIRECTORY. CONTRACTOR SHALL TRACE ALL EXISTING CIRCUITS AND SHALL LEGIBLY IDENTIFY AS TO ITS CLEAR, EVIDENT, AND SPECIFIC PURPOSE OR USE, LOADS SERVED AND LOCATION AND/OR THE PANELBOARD SCHEDULE ON THE DRAWINGS. THE WORD "EXISTING" SHALL NOT BE USED ON PANELBOARD DIRECTORIES. SPARE BREAKERS ARE TO BE LISTED AS "SPARE". SPACES WITH NO BREAKERS ARE TO BE LEFT BLANK. REFER TO NEC-2023: 408.4(A) FOR DETAILS.

CONTRACTOR SHALL PERMANENTLY LABEL AS PART OF THE CONSTRUCTION DOCUMENTS ALL SWITCHBOARDS. SWITCHGEAR AND PANELBOARDS TO INDICATE EACH POWER SOURCE. REFER TO NEC-2023: 408.4(B) FOR DETAILS.

CORPORATION **ARCHITECTS** www.natexarchitects.com 447 Heights Boulevard

Houston, TX 77007

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10930 W. Sam Houston Pkwy North, Suite 900

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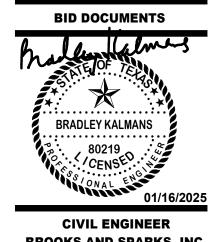
Registration: F-4111

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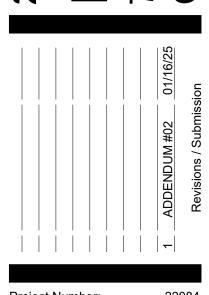
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LANDSCAPE LANDSCAPE GROUP 17041 EL CAMINO REAL, STE 204 HOUSTON, TX 77058

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tel: 281.486.4040

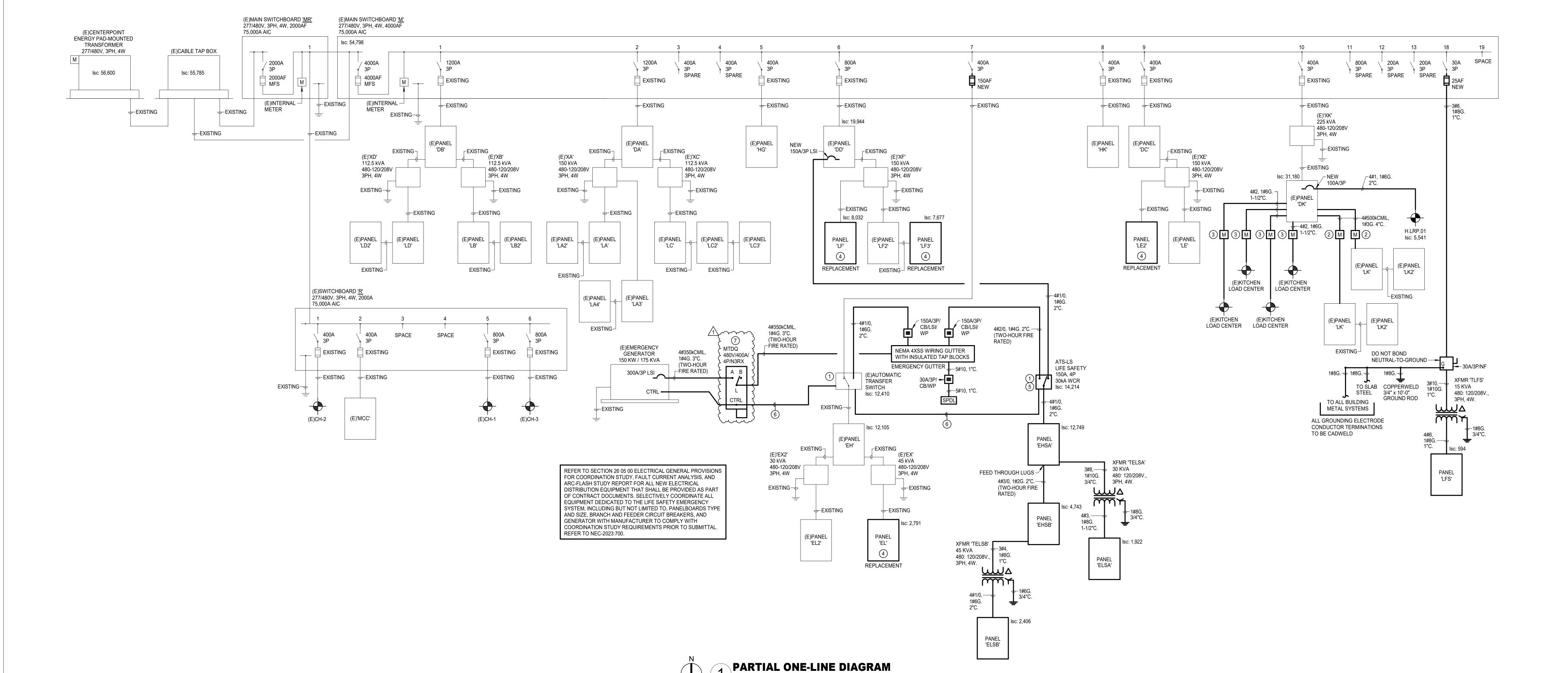
MIDD



Date: 29 DECEMBER 2024

ELECTRICAL ONE-LINE

E4.02



BROOKS AND SPARKS, INC. 21020 PARK ROW KATY, TX 77449 tel: 281.578.9595 STRUCTURAL ENGINEER

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tel: 281.664.1900 **FOOD SERVICE EQUIPMENT**

tel: 281.350.2323 LANDSCAPE

LANDSCAPE GROUP HOUSTON, TX 77058 tel: 281.486.4040

Registration: F-4111 **Project No: 2024-00211-00 CHECKED BY: AY**

NOTES

SEE NOTE 4.

SEE NOTE 1. SEE NOTE 1.

SEE NOTE 1.

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SEE NOTE 5.

SEE NOTE 5.

SEE NOTE 1.

RESPONSIBILITY

RESPONSIBILITY MATRIX

SCOPE ITEM

ATEGORY 6/6A STRUCTURED CABLING SYSTEM (SCS)

AUDIO DISTRIBUTION SYSTEM - SPECIAL SPACE

BUILDING INTERCOM/PA, BELL, AND CLOCK SYSTEM

→ UNINTERRUPTIBLE POWER SUPPLIES (UPS)

COMMUNICATIONS - DIVISION 27

FLAT PANEL DISPLAYS

INTERACTIVE DISPLAYS

→NETWORK SWITCHES

NETWORK EQUIPMENT

→ VOIP TELEPHONES

LECTRICAL POWER

→ VSS SERVERS

→ VSS CAMERAS

VSS CABLING

ELECTRICAL POWER

RESPONSIBILITY MATRIX NOTES:

BE USED BY ANY OTHER TRADE.

BY DIVISION 26.

BY DIVISION 27.

. BY DIVISION 11.

→ VSS PROGRAMMING

FLAT PANEL DISPLAY MOUNTS

INTERACTIVE DISPLAY MOUNTS

→ MDF/IDF NETWORK EQUIPMENT

→ WIRELESS ACCESS POINTS

RACEWAY: CONDUIT, BACK BOXES, ETC

LOW VOLTAGE: RACEWAY, SLEEVES

STRUCTURED CABLING: RACEWAY, SLEEVES

LIFE SAFETY AND SECURITY - DIVISION 28

DOOR ACCESS VIDEO INTERCOM SYSTEM

FIRE ALARM SMOKE DETECTION WITH VOICE EVACUATION

RACEWAY: CONDUIT, BACK BOXES, SLEEVES, ETC.

OFOI - OWNER FURNISHED AND OWNER INSTALLED

OFCI - OWNER FURNISHED AND CONTRACTOR INSTALLED

FCI - CONTRACTOR FURNISHED AND CONTRACTOR INSTALLED

IF SYSTEM REQUIRES NETWORK SWITCH IT SHALL BE OFOI. CONTRACTOR TO COORDINATE WITH

5. SLEEVES FOR STRUCTURED CABLING WILL BE OWNER FURNISHED, OWNER INSTALLED. NOT TO

VIDEO SURVEILLANCE SYSTEM (VSS)

ACCESS CONTROL SYSTEM(ACS)

INTRUSION DETECTION SYSTEM



10930 W. SAM HOUSTON PKWY. SUITE 900 HOUSTON, TX 77064

25317 INTERSTATE 45 THE WOODLANDS, TX 77380

17041 EL CAMINO REAL, STE 204

| | | | | | | | Project Number: Date: 29 DECEMBER 2024

TECHNOLOGY LEGENDS & SCHEDULES

TECHNOLOGY LEGEND - 27 10 00				ACCESS CONTROL LEGE	ND - 28 10	00 & 28 10	00.05		
SYMBOL	DESCRIPTION	ELEVATION	BACK BOX/RACEWAY	NOTES	SYMBOL	DESCRIPTION	ELEVATION	BACK BOX/RACEWAY	NOT
*#	WALL MOUNTED NETWORK OUTLET D#: NUMBER OF DATA DROPS IN OUTLET	+18" AFF, UNLESS OTHERWISE NOTED	4"X4"X2 1/8" BACK BOX WITH 1-G MUD RING, 1"C		ACP	ACCESS CONTROL SYSTEM, CONTROL PANEL.	+60" AFF TO CENTER	AS REQUIRED	COORDINATE NOTE #4.
V#	AP: WIRELESS ACCESS POINT COMMUNICATIONS OUTLET	FIELD COORDINATE	FIELD COORDINATE		CR *#	ACCESS CONTROL PROXIMITY CARD READER. DEFAULT SYMBOL INDICATES WALL MOUNTED *M - INDICATES MULLION MOUNTED READER	+42" A.F.F.	1-G, 3/4" C	
W	WALL MOUNTED NETWORK OUTLET	+44" AFF	4"X4"X2 1/8" BACK BOX WITH 1-G MUD RING, 1"C			DOOR MOUNTED ACCESS CONTROL	+42" AFF	N/A	
B	WALL MOUNTED BOX FOR FUTURE USE.	+18" AFF UNO	4"X4"X2 1/8" BACK BOX WITH 1-G MUD RING. 1"C		(CR)	PROXIMITY CARD READER THAT IS INTEGRATED INTO THE DOOR HARDWARE.			
· ·	FLOOR MOUNTED NETWORK OUTLET	N/A	COORDINATE WITH ELECTRICAL CONTRACTOR	FINISHED HARDWARE PROVIDED BY DIV 27	DS *#	2-WAY AUDIO/VIDEO INTERCOM DOOR STATION. *DEFAULT INDICATES WALL MOUNTED	+42" AFF	*W: 1-G, 3/4" C *M: 3/4"C	COORDINATE NOTE #4.
	CEILING MOUNTED NETWORK OUTLET AP: WIRELESS ACCESS POINT D#": NETWORK OUTLET	ABOVE CEILING	CEILING BRACKET WITH BISCUIT BLOCK		(DS)	*M - INDICATES MULLION MOUNTED DEVICE DOOR MOUNTED, 2-WAY AUDIO/VIDEO INTERCOM DOOR STATION.	+42" AFF, FIELD COORDINATE		COORDINATE NOTE #4
	NDICATES BACK BOX SIZE.		•		MS	2-WAY AUDIO/VIDEO INTERCOM MASTER STATION.	DESK MOUNTED UNO		COORDINATE NOTE #4
	NDICATES CONDUIT SIZE. UNLESS NOTED OTHERWISE				DR	DOOR RELEASE BUTTON	COORDINATE WITH GC	1-G, 3/4" C	
4. CONDUIT STUB UP AND SLEEVES SHALL HAVE A SOLID UNCUT PLASTIC PROTECTIVE BUSHING. 5. NO CONDUITS SUALL EXCEPT FOR 400' MAXIMUM FILL PATIO. CONTRACTOR TO PROVIDE ADDITIONAL CONDUITS REQUIRED.					REX	PIR MOTION REQUEST TO EXIT DEVICE			

UNO: UNLESS NOTED OTHERWISE PROVIDE AND INSTALL ONE (1) CATEGORY CABLE TO CONNECT DEVICE TO NETWORK

	VIDEO SURVEILLANCE LEGEND - 28 20 00						
SYMBOL	DESCRIPTION	ELEVATION	BACK BOX/RACEWAY	NOTES			
	WALL/CORNER MOUNT 4-SENSOR CAMERA	REFERENCE FLOOR PLANS	4"X4"X2 1/8" BACK BOX WITH 1-G MUD RING, 1"C	NOTE #5			
	CEILING MOUNTED 4-SENSOR CAMERA	CEILING		NOTE #5			
	2-SENSOR CAMERA	REFERENCE FLOOR PLANS	4"X4"X2 1/8" BACK BOX WITH 1-G MUD RING, 1"C	NOTE #5			
	1-SENSOR CAMERA	REFERENCE FLOOR PLANS	4"X4"X2 1/8" BACK BOX WITH 1-G MUD RING, 1"C				
VRS	VIDEO RECORDING SERVER						
#MU	VIDEO SURVEILLANCE MAIN UNIT	ABOVE CEILING		NOTE #5			
NOTES:							

INTRUSION LEGEND - 28 31 00					
SYMBOL	DESCRIPTION	ELEVATION	BACK BOX/RACEWAY	NOTES	
IDP	INTRUSION DETECTION SYSTEM CONTROL PANEL	+60" AFF	TWO(2) - 1"C TO CONTRACTOR PROVIDED BACK BOX	COORDINATE POWER WITH EC. NOTE #5	
KP	INTRUSION DETECTION SYSTEM KEYPAD.	+48" AFF TO TOP	4"X4"X2 1/8" BACK BOX WITH 1-G MUD RING, 1"C		
M	CEILING MOUNTED MOTION DETECTOR	CEILING			
M _	WALL MOUNTED MOTION DETECTOR LR: LONG RANGE	REFERENCE FLOOR PLAN	N/A		
GB	CEILING MOUNTED GLASS BREAK DETECTOR	CEILING	N/A		
(DC)	DPDT MAGNETIC DOOR CONTACT/DOOR POSITION SENSOR.	FLUSH MOUNTED IN DOOR FRAME	N/A	DEVICE PROVIDED BY ACS CONTRACTOR.	
SDC	SURFACE MOUNT MAGNETIC DOOR CONTACT.	SURFACE MOUNTED ON DOOR FRAME	N/A		
ODC	OVERHEAD DOOR MOUNT MAGNETIC DOOR CONTACT.	SURFACE MOUNTED ON DOOR FRAME	N/A		
DB	DURESS PANIC BUTTON	UNDER DESK UNO	N/A		

#-G INDICATES BACK BOX SIZE . #-C INDICATES CONDUIT SIZE. . UNO: UNLESS NOTED OTHERWISE

SYMBOL	DESCRIPTION
FACP	FIRE ALARM CONTROL
FAA	FIRE ALARM ANNUNCIATOR PANEL
ES:	
FIRE ALARM SY ADDITIONAL IN	(STEM IS PERFORMANCE BASED PER SPECIFICATIONS. CONTRACTOR TO REFERENCE SPECIFICATIONS FOR FORMATION.
SYSTEMS THR	RE ALARM PLANNING SUPERINTENDENT CERTIFIED TO A MINIMUM LEVEL 3, IN THE SUBFIELD OF FIRE ALARM OUGH THE NATIONAL INSTITUTE FOR CERTIFICATION IN ENGINEERING TECHNOLOGIES (NICET), SHALL PROVIDE LCULATIONS FOR A MANUAL AND AUTOMATIC FIRE DETECTION AND ALARM SYSTEM TO COMPLY WITH THE BUILDING
CDVCE I VAUIL	T DI III DINIC ACCI IDANICVI CI IDDENT NEDA 72 I ACAL AND STATE CADE DEALIIDEMENTS. AND THE EIDE ALADM AND

TIONAL INFORMATION AND REQUIREMENTS. TO CONNECT DEVICE TO NETWORK		BE REMOVED FROM THE DEVICE LOCATION TO THE CABLES POINT OF ORIGIN. NO CABLE SHALL BE ABANDONED IN PLACE.	
ALARM - 28 46 00	Н	ALL EXISTING DEVICES SHOWN(INCLUDING ALL VIDEO SURVEILLANCE CAMERAS AND WIRELESS ACCESS POINTS UNLESS NOTED OTHERWISE) ARE EXISTING TO REMAIN. CONTRACTOR TO REMOVE EXISTING DEVICES DURING CONSTRUCTION	
_		NEWAIN. CONTRACTOR TO NEWOVE EXISTING DEVICES DURING CONSTRUCTION	

CESS POINTS UNLESS NOTED OTHERWISE) ARE EXISTING TO TOR TO REMOVE EXISTING DEVICES DURING CONSTRUCTION AND REINSTALL THE DEVICE IN THE SAME LOCATION, UNLESS NOTED OTHERWISE. WIRELESS ACCESS POINTS SHALL BE REMOVED AND REINSTALLED BY OWNER.

SUBSCRIPTS AND ABBREVIATIONS

FIFLD COORDINATE ELEVATION.

DEVICE IS TO BE WALL MOUNTED.

ABOVE FINISHED FLOOR

EXISTING TO REMAIN.

ND RETURN TO OWNER.

EVERY SYMBOL SHOWN ON LEGEND MAY NOT APPEAR ON DRAWINGS.

A CEILING REPLACEMENT IN SCOPE OF PROJECT

DESCRIPTION

DEVICE SHALL BE WEATHER PROOF AND RATED FOR EXTERIOR CONDITIONS

DEVICE IS TO BE MOUNTED ON THE UNDERSIDE OF THE ELEVATED CANOPY.

SUBSCRIPTS LEGEND - EXISTING DEVICES

NOTES TO CONTRACTOR

SYSTEM INSTALLERS SHALL COORDINATE LOCATIONS AND CONNECTIONS WITH THE PROJECT'S

TECH DEMO PLAN GENERAL NOTES

CONTRACTOR SHALL HAVE EACH LOW VOLTAGE SYSTEM TESTED PRIOR TO THE

COMMENCEMENT OF CONSTRUCTION. SYSTEMS SHALL INCLUDE BUT NOT BE

TESTING SHALL INCLUDE THE FUNCTIONALITY OF ALL FIELD DEVICES AND

EQUIPMENT. ANY FAILURES OR ITEMS FOUND NOT TO BE FUNCTIONING TO

NO ADDITIONAL COST TO THE PROJECT OR THE OWNER.

SPECIFICATION, SHALL BE REPORTED PRIOR TO CONSTRUCTION. ANY ITEMS

FOUND TO BE IMPROPERLY OR NON-FUNCTIONING UPON THE COMPLETION OF

THE PROJECT, SHALL BE REPLACED AND/OR REPAIRED, BY THE CONTRACTOR, AT

CONTRACTOR SHALL REMOVE ANY DEVICES WHERE CONSTRUCTION OCCURS TO

THE OWNER PRIOR TO REMOVAL AND/OR TAKING OFF LINE. REMOVAL SHALL

PREVENT POSSIBLE DAMAGE TO THE DEVICE. REMOVAL OF ANY DEVICES WHICH

CONSIST OF BUT NOT BE LIMITED TO THE FOLLOWING DEVICES AND ASSOCIATED

ANY DEVICES, NOT BEING REINSTALLED, SHALL BE RETURNED TO THE OWNER.

CONTRACTOR SHALL DOCUMENT THE LOCATION AND ANY ID TAG, MAC ADDRESS,

IP ADDRESS, OR BAR CODE OF ANY EXISTING DEVICE THAT IS TO BE REMOVED

ANY INDIVIDUAL THAT WILL BE REMOVING. RELOCATING, REINSTALLING, AND/OR

MANUFACTURER OF THE SPECIFIC SYSTEM AND/OR LICENSED AS REQUIRED BY

THE STATE TO PERFORM WORK ON THE SYSTEM. THE INDIVIDUAL SHALL BE A

FULL-TIME EMPLOYEE OF THE FIRM CONTRACTED TO CONDUCT SUCH WORK ON THE PROJECT AND THAT FIRM SHALL ALSO HOLD ANY CERTIFICATIONS AND/OR

ANY INDIVIDUAL/FIRM THAT WILL BE REMOVING, RELOCATING, REINSTALLING, OR

ALL CABLING ASSOCIATED WITH DEVICES THAT ARE TO BE DEMOLISHED, SHALL

TAMPERING WITH IN ANY DEVICES; SHALL BE LICENSED BY THE STATE, AS

APPLICABLE, AND CERTIFIED BY THE MANUFACTURER OF THE SYSTEM.

FROM ITS CURRENT LOCATION. DEVICES THAT ARE TO REMAIN, SHALL BE REINSTALLED IN THE EXACT LOCATION THAT THEY RESIDE IN PRIOR TO

TAMPERING WITH ANY EXISTING DEVICES; SHALL BE CERTIFIED BY THE

LICENSES REQUIRED TO CONDUCT WORK ON THE SPECIFIC SYSTEM.

SUPPORT USER CONNECTION OR OTHER SYSTEMS, SHALL BE COORDINATED WITH

. CONTRACTOR TO PROVIDE PROPERLY GROUNDED LIGHTING PROTECTION ON ALL CABLING

WIRE GUARD TO BE PROVIDED AND INSTALLED TO PROTECT ASSOCIATED DEVICE

DESCRIPTION

DEVICE IS EXISTING AND IS TO BE REMOVED. CONTRACTOR TO REMOVE THE DEVICE

REMOVE EXISTING DEVICE AND RELOCATE TO A LOCATION INDICATED ON THE

TEXT

'WM'

TEXT

ELECTRICAL CONTRACTOR.

ENTERING AND EXITING THE BUILDING.

LIMITED TO: 1) FIRE ALARM

INTERCOM

STRUCTURED CABLING

) INTRUSION DETECTION

VIDEO SURVEILLANCE

SUPPORT INFRASTRUCTURE:

WIRELESS ACCESS POINTS

ACCESS CONTROL DEVICES) VIDEO PROJECTION DEVICES

) VIDEO DISPLAY DEVICES

VIDEO SURVEILLANCE CAMERAS

INTRUSION DETECTION DEVICES

CONSTRUCTION, UNLESS NOTED OTHERWISE.

1) FIRE ALARM DEVICES INTERCOM DEVICES

TELEPHONES

ACCESS CONTROL

AUDIO VIDEO

REFERENCE EXISTING DEVICE SUBSCRIPT LEGEND ON THE NOTES AND LEGENDS

TOPCAT LIGHTSPEED LOCAL SOUND SPEAKERS SHALL BE BAGGED AND SUSPENDED IN THE CEILING DURING CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE WITH THE MANUFACTURER TO NOT VOID THE WARRANTY. TOPACT LIGHTSPEED SPEAKER, BASE STATION AND ANY OTHER SYSTEM COMPONENTS SHALL BE TAGGED BY CONTRACTOR WITH ROOM NAME AND NUMBER AND BE REINSTALLED IN THE SAME ROOM IT WAS REMOVED FROM.

CONTRACTOR TO COORDINATE WITH CFISD TECHNOLOGY DEPARTMENT PRIOR TO CONSTRUCTION ON WHICH DEVICES ARE TO BE REMOVED BY THE OWNER'S VENDOR IN ORDER TO PREVENT VOID OF WARRANTY.

ALL DEMO DEVICES WITH 'D' SUBSCRIPT SHALL DISCONNECT AND REMOVE EXISTING WIRING DEVICE BACK TO ORIGIN. PATCH WALL TO MATCH EXISTING.

ACP	ACCESS CONTROL SYSTEM, CONTROL PANEL.	+60" AFF TO CENTER	AS REQUIRED	COORDINATE POWER. NOTE #4.
CR *#	ACCESS CONTROL PROXIMITY CARD READER. DEFAULT SYMBOL INDICATES WALL MOUNTED *M - INDICATES MULLION MOUNTED READER	+42" A.F.F.	1-G, 3/4" C	
(CR)	DOOR MOUNTED ACCESS CONTROL PROXIMITY CARD READER THAT IS INTEGRATED INTO THE DOOR HARDWARE.	+42" AFF	N/A	
DS *#	2-WAY AUDIO/VIDEO INTERCOM DOOR STATION. *DEFAULT INDICATES WALL MOUNTED *M - INDICATES MULLION MOUNTED DEVICE	+42" AFF	*W: 1-G, 3/4" C *M: 3/4"C	COORDINATE POWER. NOTE #4.
DS	DOOR MOUNTED, 2-WAY AUDIO/VIDEO INTERCOM DOOR STATION.	+42" AFF, FIELD COORDINATE		COORDINATE POWER. NOTE #4
MS	2-WAY AUDIO/VIDEO INTERCOM MASTER STATION.	DESK MOUNTED UNO		COORDINATE POWER. NOTE #4
DR	DOOR RELEASE BUTTON	COORDINATE WITH GC	1-G, 3/4" C	
REX	PIR MOTION REQUEST TO EXIT DEVICE			
DP	DOOR PROP ALARM	CEILING MOUNTED UNO	N/A	N/A
(DC)	DPDT MAGNETIC DOOR CONTACT/DOOR POSITION SENSOR.	FLUSH MOUNTED IN DOOR FRAME	N/A	PROVIDED BY ACS CONTRACTOR.
SS	NETWORK SIREN STROBE	CEILING MOUNTED UNO		NOTE #4

#-G INDICATES BACK BOX SIZE. #-C INDICATES CONDUIT SIZE.

1. #-G INDICATES BACK BOX SIZE. . #-C INDICATES CONDUIT SIZE.

UNO: UNLESS NOTED OTHERWISE THE SYSTEM INTEGRATOR SHALL COORDINATE ALL BOX AND CONDUIT SIZE REQUIREMENTS PRIOR TO ROUGH-IN BY THE PROJECTS ELECTRICAL CONTRACTOR. PROVIDE AND INSTALL ONE (1) CATEGORY CABLE TO CONNECT DEVICE TO NETWORK

INTRUSION LEGEND - 28 31 00				
SYMBOL	DESCRIPTION	ELEVATION	BACK BOX/RACEWAY	NOTES
IDP	INTRUSION DETECTION SYSTEM CONTROL PANEL	+60" AFF	TWO(2) - 1"C TO CONTRACTOR PROVIDED BACK BOX	COORDINATE POWER WITH EC. NOTE #5
KP	INTRUSION DETECTION SYSTEM KEYPAD.	+48" AFF TO TOP	4"X4"X2 1/8" BACK BOX WITH 1-G MUD RING, 1"C	
M	CEILING MOUNTED MOTION DETECTOR	CEILING		
<u>M</u>	WALL MOUNTED MOTION DETECTOR LR: LONG RANGE	REFERENCE FLOOR PLAN	N/A	
GB-	CEILING MOUNTED GLASS BREAK DETECTOR	CEILING	N/A	
(DO)	DPDT MAGNETIC DOOR CONTACT/DOOR POSITION SENSOR.	FLUSH MOUNTED IN DOOR FRAME	N/A	DEVICE PROVIDED BY ACS CONTRACTOR.
SDC	SURFACE MOUNT MAGNETIC DOOR CONTACT.	SURFACE MOUNTED ON DOOR FRAME	N/A	
ODC	OVERHEAD DOOR MOUNT MAGNETIC DOOR CONTACT.	SURFACE MOUNTED ON DOOR FRAME	N/A	
DB	DURESS PANIC BUTTON	UNDER DESK UNO	N/A	

4. REFERENCE DIVISION 28 SPECIFICATION FOR ADDITIONAL INFORMATION AND REQUIREMENTS. 5. PROVIDE AND INSTALL ONE (1) CATEGORY CABLE TO

	FIRE ALAF
SYMBOL	DESCRIPTION
FACP	FIRE ALARM CONTROL
FAA	FIRE ALARM ANNUNCIATOR PANEL

SPACE LAYOUT, BUILDING OCCUPANCY, CURRENT NFPA 72, LOCAL AND STATE CODE REQUIREMENTS, AND THE FIRE ALARM AND DETECTION SYSTEM SPECIFICATIONS.

LMB LARGE MESSAGE BOARD, POE+ POWERED . #-G INDICATES BACK BOX SIZE. 2. #-C INDICATES CONDUIT SIZE. . UNO: UNLESS NOTED OTHERWISE

DESCRIPTION

. NO CONDUITS SHALL EXCEED FOR 40% MAXIMUM FILL RATIO. CONTRACTOR TO PROVIDE ADDITIONAL CONDUITS REQUIRED.

AUDIO/VIDEO LEGEND - 27 41 16.10

BACK BOX/RACEWAY

OX WITH DOUBLE GANG RING,

11/16"X4 11/16"X2-1/8" BACK

BOX WITH DOUBLE GANG

RING, TWO(2) 1.25"C

1-G MUD RING, 1"C

RING TWO(2) 1 25"C

BOX WITH DOUBLE GANG

BOX WITH DOUBLE GANG

4"X4"X2 1/8" BACK BOX WITH

CONTRACTOR PROVIDED

BACK BOX/RACEWAY

CONTRACTOR PROVIDED

BACK BOX OR 4"X4"X2 1/8" J

4"X4"X2 1/8" BACK BOX WITH

COORDINATE WITH EC

CONTRACTOR PROVIDED

CONTRACTOR PROVIDED

CONTRACTOR PROVIDED

CONTRACTOR PROVIDED

CONTRACTOR PROVIDED

CONTRACTOR PROVIDED

4"X4"X2 1/8" BACK BOX WITH 1-G MUD RING, 1"C

4"X4"X2 1/8" BACK BOX WITH

1-G MUD RING, 1"C

1-G MUD RING, 1"C

1-G MUD RING, 1"C

COORDINATE WITH EC

-G MUD RING, 1"C 4"X4"X2 1/8" BACK BOX WITH

1-G MUD RING, 1"C

4"X4"X2 1/8" BACK BOX WITH

REFERENCE FLOOR 4"X4"X2 1/8" BACK BOX WITH

REFERENCE FLOOR 4"X4"X2 1/8" BACK BOX WITH

REFERENCE FLOOR | CONTRACTOR PROVIDED

COORDINATE OWER WITH E

NOTE #5

NOTE #5

NOTE #5

1-G MUD RING, 1"C

CEILING BOX

11/16"X4 11/16"X2-1/8" BACK NOTE #5

4"X4"X2 1/8" BACK BOX WITH NOTE #5

4 11/16"X4 11/16"X2-1/8" BACK NOTE #5

11/16"X4 11/16"X2-1/8" BACK NOTE #5

NOTES

COORDINATE POWER

WITH EC

NOTE #5

NOTE #5

ELEVATION

EFERENCE FLOOR

EILING MOUNTED

REFERENCE FLOOR

EFERENCE FLOOR

CEILING UNO

THE SYSTEM INTEGRATOR SHALL COORDINATE ALL BOX AND CONDUIT SIZE REQUIREMENTS PRIOR TO ROUGH-IN BY THE

LOCAL SOUND SYSTEM LEGEND - 27 41 16.20

ELEVATION

EILING MOUNT UNO

+18" AFF UNO

CEILING MOUNT

VALL MOUNT UNO

VALL MOUNT UNO

WALL MOUNT UNO

CEILING MOUNT UNO

THE SYSTEM INTEGRATOR SHALL COORDINATE ALL BOX AND CONDUIT SIZE REQUIREMENTS PRIOR TO ROUGH-IN BY THE

INTERCOM LEGEND - 27 50 00

+18" AFF UNO

WMP WALL MOUNTED PROJECTOR

AUDIO/VISUAL OUTPUT OUTLET

CEILING MOUNTED PROJECTOR

UDIO/VISUAL OUTPUT OUTLET

AUDIO/VISUAL OUTPUT OUTLET

AUDIO/VISUAL OUTPUT OUTLET

INTERACTIVE VIDEO DISPLAY

LOCAL INSTRUCTIONAL SPACE

PRESENTATION SPEAKER

AV CONTROL PANEL

STREAMING CAMERA

UNO: UNLESS NOTED OTHERWISE

PROJECTS ELECTRICAL CONTRACTOR.

DESCRIPTION

LSC LOCAL SOUND SYSTEM CONTROL PLATE +48" AFF TO TOP

COMBINATION OUTLET CONSISTING OF +18" AFF UNO

3.5MM STEREO AUDIO AUXILIARY INPUT +18" AFF UNO

AUXILIARY INPUT AND BLUETOOTH MIXER | +48" AFF TO TOP

PROVIDE AND INSTALL ONE (1) CATEGORY CABLE TO CONNECT DEVICE TO NETWORK

INTERCOM COMMUNICATIONS SYSTEM HEAD END FLOOR MOUNTED

CEILING MOUNT INTERCOM SPEAKER, LAY-IN

CEILING MOUNT INTERCOM SPEAKER, HARD

WALL MOUNT INTERIOR INTERCOM SPEAKER

SURFACE MOUNT INTERCOM SPEAKER, MOUNT

S, S2, S3, S4 INDICATING THE SPECIFIC TYPE OF

EILING MOUNTED EXTERIOR INTERCOM SPEAKER. CEILING

WALL MOUNT EXTERIOR INTERCOM SPEAKER

PENDANT MOUNT INTERCOM SPEAKER

WALL MOUNTED VOLUME CONTROL

INTERCOM CALL BUTTON

SINGLE FACE CLOCK

DOUBLE FACE CLOCK

ACS ADMINISTRATIVE CALL STATION.

LOCKDOWN BUTTON

REMOTE PROGRAM SOURCE

O STRUCTURE

LOCAL SOUND SYSTEM SPEAKER

ONE (1) MICROPHONE INPUT AND ONE

: POLE MOUNTED SPEAKER

MI MICROPHONE INPUT

1) AUXILIARY INPUT

HANGING MICROPHONE

SYSTEM HEAD END RACK

WIRELESS ANTENNA

1. #-G INDICATES BACK BOX SIZE.

3. UNO: UNLESS NOTED OTHERWISE

PROJECTS ELECTRICAL CONTRACTOR.

2. #-C INDICATES CONDUIT SIZE.

SUB SUBWOOFER

VENUE SPECIFIC LOCAL SOUND

ASSISTED LISTENING ANTENNA

. #-G INDICATES BACK BOX SIZE.

2. #-C INDICATES CONDUIT SIZE.

AUDIO/VISUAL OUTPUT OUTLET

WALL MOUNTED FLAT SCREEN DISPLAY

ASSOCIATED WITH AV-1 INPUT OUTLET

WALL MOUNTED AUDIO/VIDEO INPUT

WALL MOUNTED FLAT SCREEN DISPLAY REFERENCE FLOOR

PROVIDE AND INSTALL ONE (1) CATEGORY CABLE TO CONNECT DEVICE TO NETWORK

. THE SYSTEM INTEGRATOR SHALL COORDINATE ALL BOX AND CONDUIT SIZE REQUIREMENTS PRIOR TO ROUGH-IN BY THE

DESK TOP

REF. DETAILS

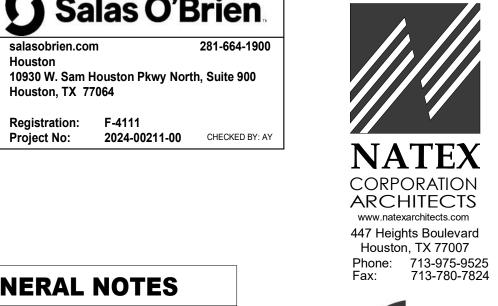
PROJECTS ELECTRICAL CONTRACTOR. 5. PROVIDE AND INSTALL ONE (1) CATEGORY CABLE TO CONNECT DEVICE TO NETWORK

IP BASED SPEAKER. '#' TO BE REPLACED WITH REFERENCE FLOOR CONTRACTOR PROVIDED

Registration: F-4111

TECH DEMO PLAN GENERAL NOTES

A CEILING REPLACEMENT IN SCOPE OF PROJECT



Coleman Partners ARCHITECTS **cp**arch.com

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BID DOCUMENTS

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HOUSTON, TX 77042 tel: 713.337.8881 **MEPT ENGINEER**

SALAS O'BRIEN 10930 W. SAM HOUSTON PKWY. N SUITE 900 HOUSTON, TX 77064 tel: 281.664.1900

FOOD SERVICE EQUIPMENT 25317 INTERSTATE 45 THE WOODLANDS, TX 77380

LANDSCAPE

TOPCAT LIGHTSPEED LOCAL SOUND SPEAKERS SHALL BE BAGGED AND SUSPENDED IN THE CEILING DURING CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE WITH THE MANUFACTURER TO NOT VOID THE WARRANTY. TOPACT LIGHTSPEED SPEAKER, BASE STATION AND ANY OTHER SYSTEM

CONTRACTOR TO COORDINATE WITH CFISD TECHNOLOGY DEPARTMENT PRIOR TO CONSTRUCTION ON WHICH DEVICES ARE TO BE REMOVED BY THE OWNER'S

ALL DEMO DEVICES WITH 'D' SUBSCRIPT SHALL DISCONNECT AND REMOVE

CIVIL ENGINEER **BROOKS AND SPARKS, INC.** 21020 PARK ROW 9800 RICHMOND AVE. SUITE 460

tel: 281.350.2323 LANDSCAPE GROUP 17041 EL CAMINO REAL, STE 204

HOUSTON, TX 77058 tel: 281.486.4040

TECHNOLOGY DEMOLITION FIRST FLOOR PLAN - AREA 'C' T0.03



Registration: F-4111

TECH DEMO PLAN GENERAL NOTES

CONTRACTOR SHALL HAVE EACH LOW VOLTAGE SYSTEM TESTED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. SYSTEMS SHALL INCLUDE BUT NOT BE

TESTING SHALL INCLUDE THE FUNCTIONALITY OF ALL FIELD DEVICES AND EQUIPMENT. ANY FAILURES OR ITEMS FOUND NOT TO BE FUNCTIONING TO

CEILING REPLACEMENT IN SCOPE OF PROJECT

 FIRE ALARM 2) INTERCOM

3) STRUCTURED CABLING 4) INTRUSION DETECTION

7) VIDEO SURVEILLANCE

5) ACCESS CONTROL

6) AUDIO VIDEO

Project No: 2024-00211-00 CHECKED BY: AY CORPORATION ARCHITECTS www.natexarchitects.com 447 Heights Boulevard Houston, TX 77007

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BID DOCUMENTS 01/16/2025 CIVIL ENGINEER

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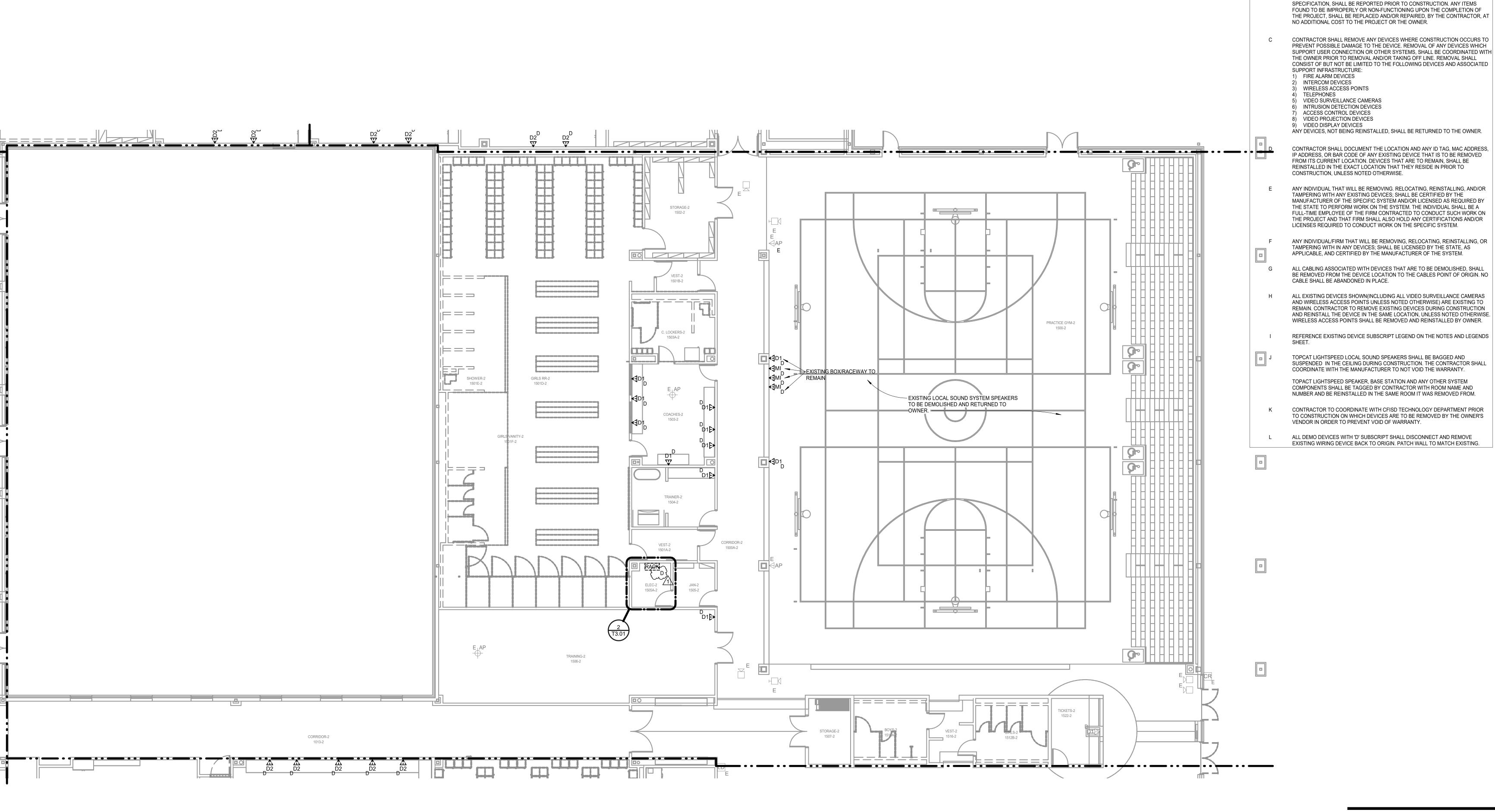
HOUSTON, TX 77058

FOOD SERVICE EQUIPMENT 25317 INTERSTATE 45

CONTRACTOR TO COORDINATE WITH CFISD TECHNOLOGY DEPARTMENT PRIOR TO CONSTRUCTION ON WHICH DEVICES ARE TO BE REMOVED BY THE OWNER'S

TECHNOLOGY
DEMOLITION FIRST
FLOOR PLAN - AREA 'G'

TO.07



Project No: 2024-00211-00 CHECKED BY: AY

Registration: F-4111

TECH DEMO PLAN GENERAL NOTES

CONTRACTOR SHALL HAVE EACH LOW VOLTAGE SYSTEM TESTED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. SYSTEMS SHALL INCLUDE BUT NOT BE

CEILING REPLACEMENT IN SCOPE OF PROJECT

 FIRE ALARM 2) INTERCOM

3) STRUCTURED CABLING 4) INTRUSION DETECTION

5) ACCESS CONTROL





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tel: 713.337.8881 **MEPT ENGINEER SALAS O'BRIEN** 10930 W. SAM HOUSTON PKWY. N

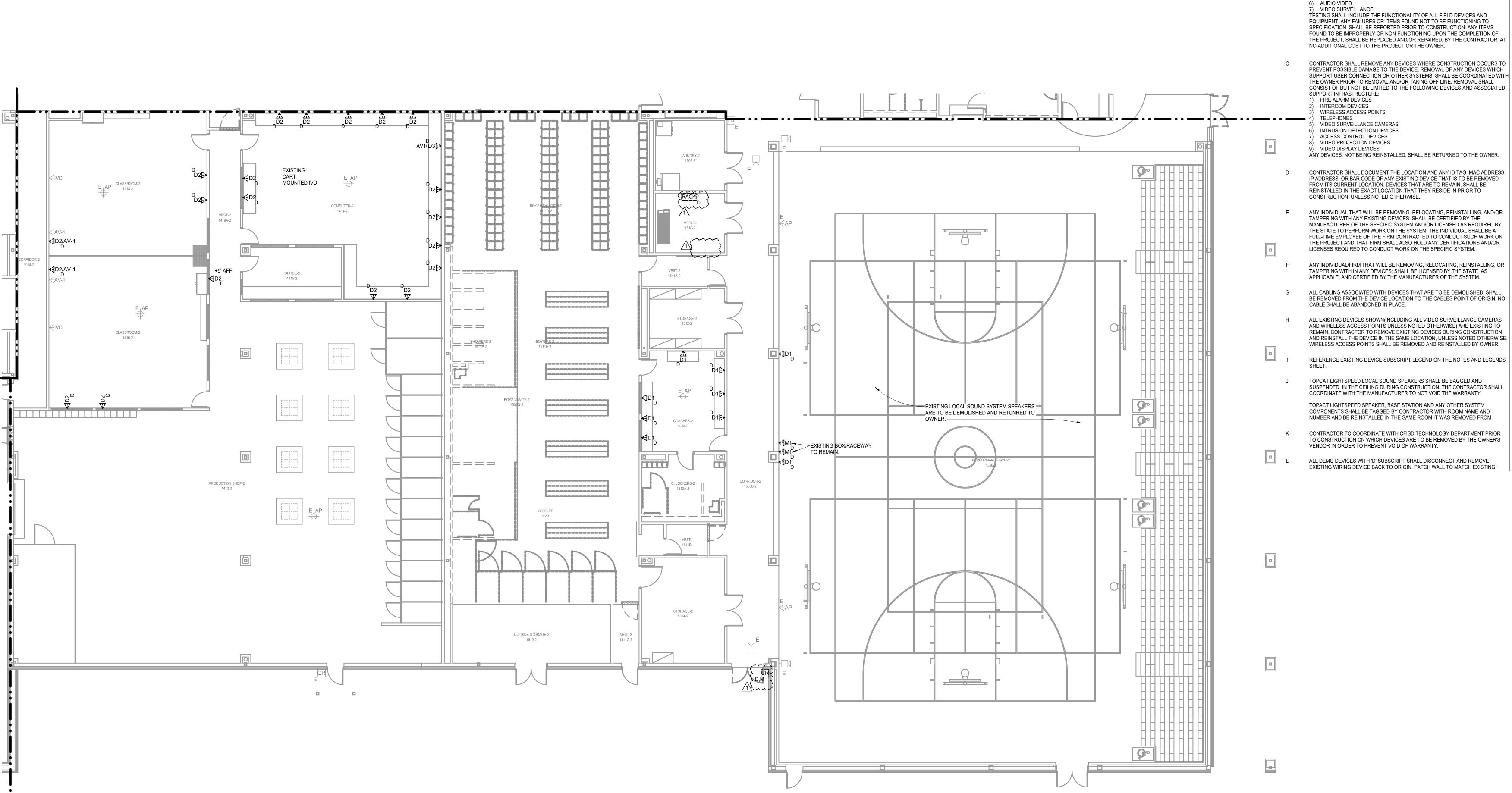
SUITE 900 HOUSTON, TX 77064 tel: 281.664.1900 FOOD SERVICE EQUIPMENT

25317 INTERSTATE 45 THE WOODLANDS, TX 77380 tel: 281.350.2323 LANDSCAPE

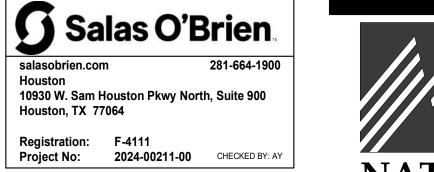
LANDSCAPE GROUP 17041 EL CAMINO REAL, STE 204 HOUSTON, TX 77058 tel: 281.486.4040

TECHNOLOGY DEMOLITION FIRST FLOOR PLAN - AREA 'H'

80.0T



TECHNOLOGY DEMOLITION FLOOR PLAN - LEVEL 1 - AREA 'H'
Scale: 1/8" = 1'-0"







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LANDSCAPE GROUP

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| | | | | | | | | |

Date: 29 DECEMBER 2024

TECHNOLOGY SITE PLAN - NEW

Salas O'Brien

Project No: 2024-00211-00 CHECKED BY: AY

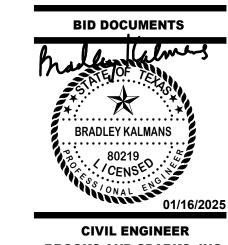
10930 W. Sam Houston Pkwy North, Suite 900 Houston, TX 77064 Registration: F-4111

CORPORATION ARCHITECTS www.natexarchitects.com





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tel: 713.337.8881

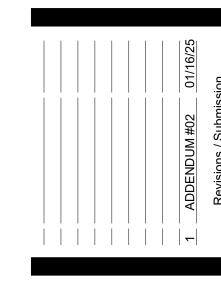
MEPT ENGINEER SALAS O'BRIEN 10930 W. SAM HOUSTON PKWY. N SUITE 900 HOUSTON, TX 77064

FOOD SERVICE EQUIPMENT

tel: 281.664.1900

25317 INTERSTATE 45 THE WOODLANDS, TX 77380 tel: 281.350.2323 LANDSCAPE LANDSCAPE GROUP

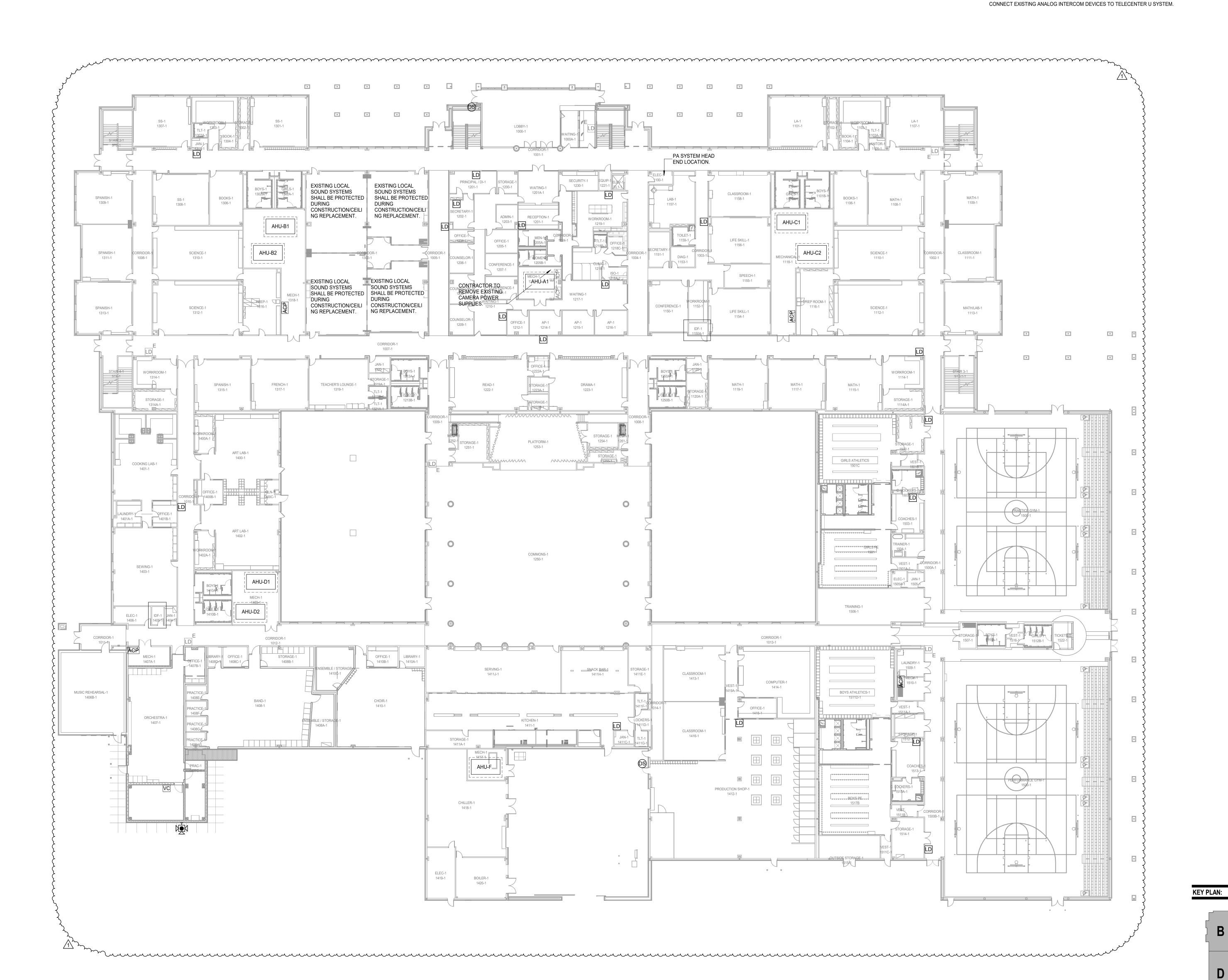
17041 EL CAMINO REAL, STE 204 HOUSTON, TX 77058 tel: 281.486.4040



TECHNOLOGY COMPOSITE FIRST FLOOR PLAN



- 1. EXISTING LOCKDOWNS TO REMAIN AND SHALL BE HOMERUN TO INTERCOM HEAD
- 2. CONTRACTOR TO PROVIDE AND INSTALL ADDITIONAL GATEWAYS FOR NEW
- LOCKDOWN BUTTONS. 3. CONTRACTOR TO PROVIDE AND INSTALL ANALOG GATEWAYS AND ZPM MODULES TO



Registration: F-4111
Project No: 2024-00211-00 CHECKED BY: AY





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Houston,TX 77098

tel 832.947.1038 fax 225.214.5365

BRADLEY KALMANS

80219

CENSE

01/16/2025

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MEPT ENGINEER
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tel: 281.350.2323

LANDSCAPE
LANDSCAPE GROUP

LANDSCAPE GROUP

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tel: 281.486.4040

DDLE SCHOOL

FRY RD, CYPRESS, TX 77433

Project Number: 22084

Date: 29 DECEMBER 2024

Drawn by: NY

Date: 29 DECEMBER 2024

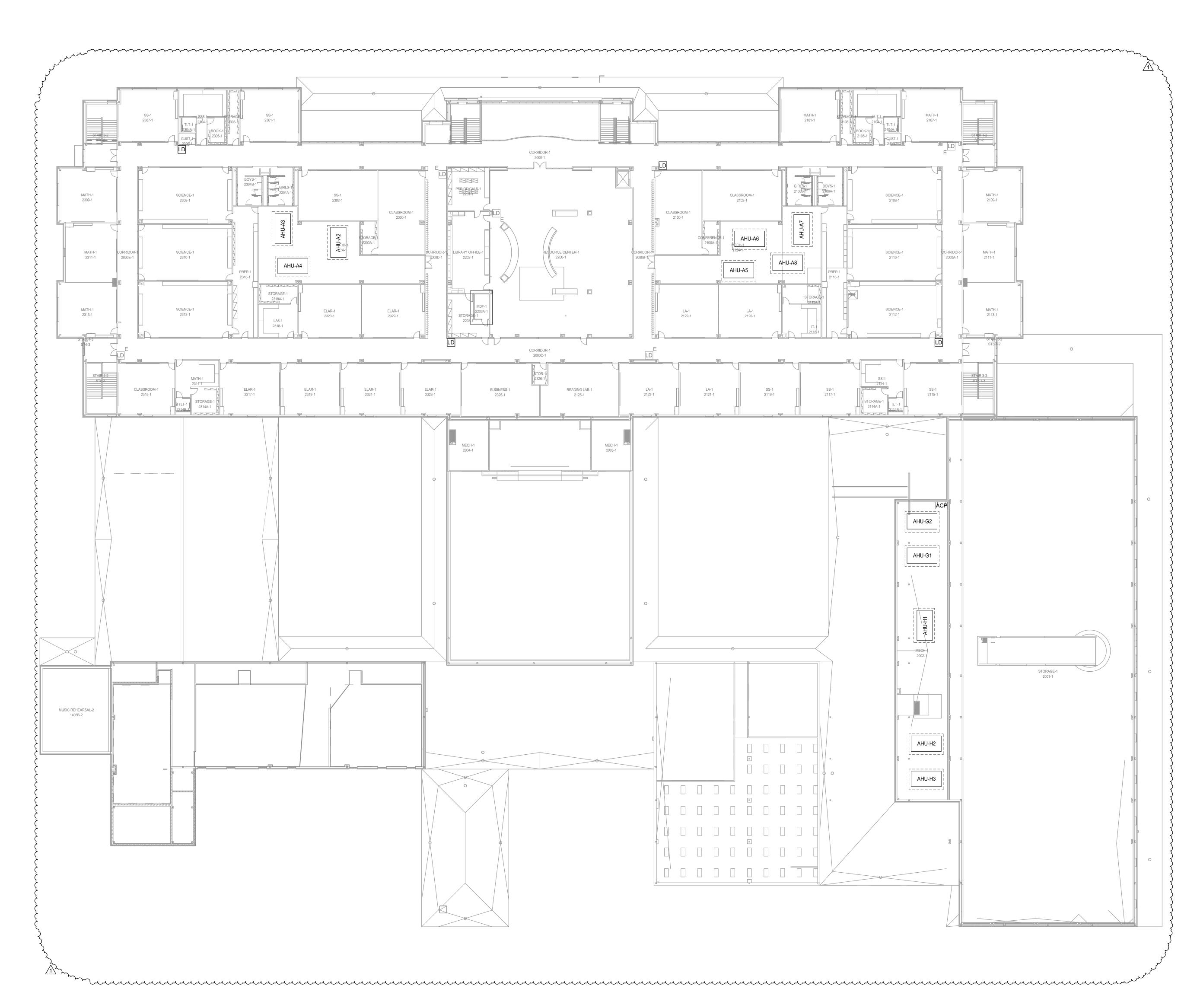
Drawn by: NY

TECHNOLOGY

COMPOSITE SECOND

FLOOR PLAN

T1.04



3701 Kirby Drive, Suite 830 Houston,TX 77098 tel 832.947.1038 fax 225.214.5365

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FOOD SERVICE EQUIPMENT 25317 INTERSTATE 45 THE WOODLANDS, TX 77380 tel: 281.350.2323

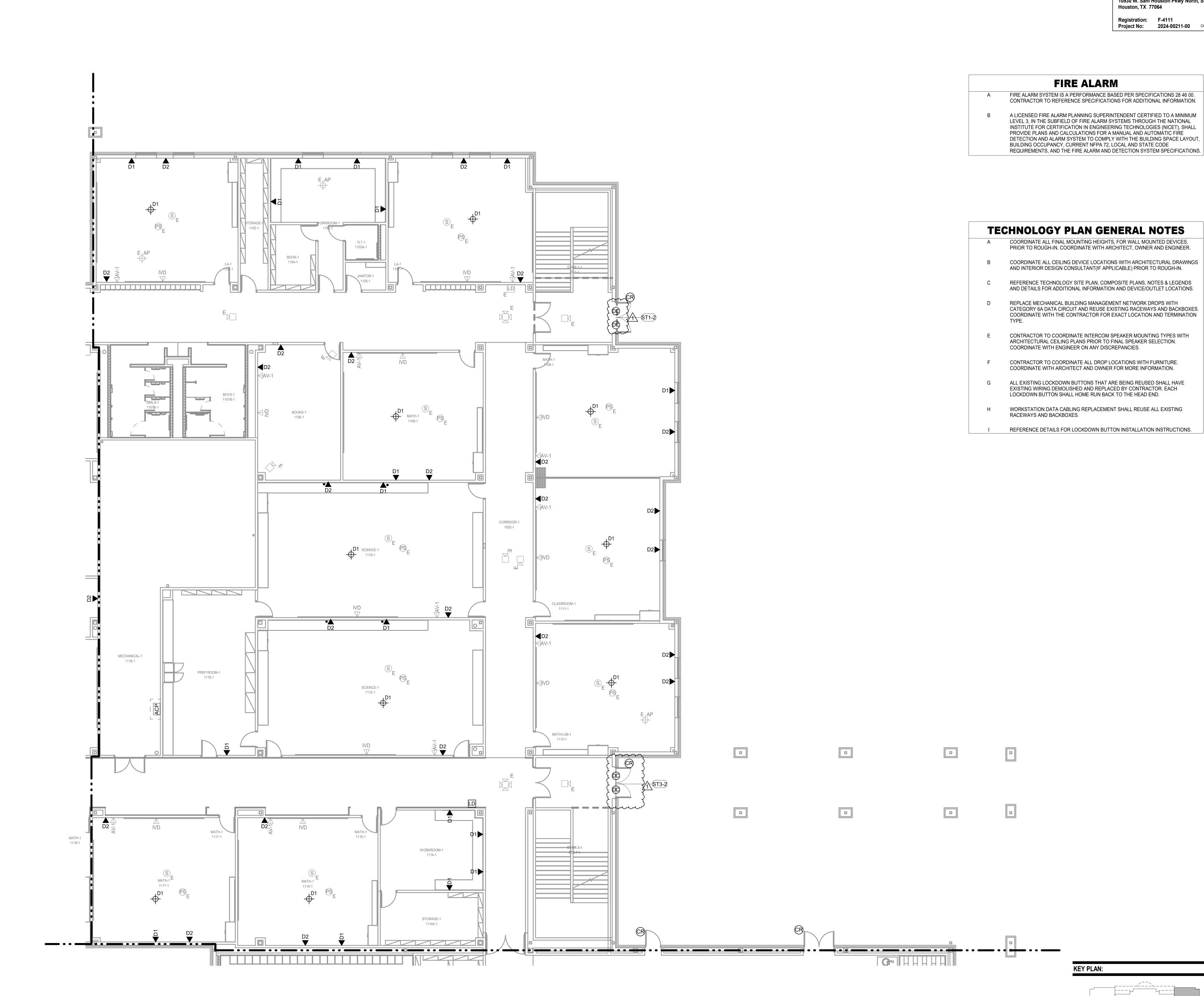
tel: 281.664.1900

LANDSCAPE LANDSCAPE GROUP

17041 EL CAMINO REAL, STE 204 HOUSTON, TX 77058 tel: 281.486.4040

TECHNOLOGY FIRST FLOOR PLAN - AREA 'C'

TECHNOLOGY FLOOR PLAN - LEVEL 1 - AREA 'C'
Scale: 1/8" = 1'-0"



Registration: F-4111

KATY, TX 77449 tel: 281.578.9595 STRUCTURAL ENGINEER DALLY + ASSOCIATES, INC.

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LANDSCAPE LANDSCAPE GROUP 17041 EL CAMINO REAL, STE 204 HOUSTON, TX 77058 tel: 281.486.4040

TECHNOLOGY FIRST FLOOR PLAN - AREA 'E'

T2.05

FIRE ALARM FIRE ALARM SYSTEM IS A PERFORMANCE BASED PER SPECIFICATIONS 28 46 00. CONTRACTOR TO REFERENCE SPECIFICATIONS FOR ADDITIONAL INFORMATION.

A LICENSED FIRE ALARM PLANNING SUPERINTENDENT CERTIFIED TO A MINIMUM LEVEL 3, IN THE SUBFIELD OF FIRE ALARM SYSTEMS THROUGH THE NATIONAL INSTITUTE FOR CERTIFICATION IN ENGINEERING TECHNOLOGIES (NICET), SHALL PROVIDE PLANS AND CALCULATIONS FOR A MANUAL AND AUTOMÀTIC FIRE DETECTION AND ALARM SYSTEM TO COMPLY WITH THE BUILDING SPACE LAYOUT, BUILDING OCCUPANCY, CURRENT NFPA 72, LOCAL AND STATE CODE REQUIREMENTS, AND THE FIRE ALARM AND DETECTION SYSTEM SPECIFICATIONS.

TECHNOLOGY PLAN GENERAL NOTES

COORDINATE ALL FINAL MOUNTING HEIGHTS, FOR WALL MOUNTED DEVICES, PRIOR TO ROUGH-IN. COORDINATE WITH ARCHITECT, OWNER AND ENGINEER.

- COORDINATE ALL CEILING DEVICE LOCATIONS WITH ARCHITECTURAL DRAWINGS AND INTERIOR DESIGN CONSULTANT(IF APPLICABLE) PRIOR TO ROUGH-IN.

REFERENCE TECHNOLOGY SITE PLAN, COMPOSITE PLANS, NOTES & LEGENDS

COORDINATE WITH THE CONTRACTOR FOR EXACT LOCATION AND TERMINATION

- AND DETAILS FOR ADDITIONAL INFORMATION AND DEVICE/OUTLET LOCATIONS. REPLACE MECHANICAL BUILDING MANAGEMENT NETWORK DROPS WITH CATEGORY 6A DATA CIRCUIT AND REUSE EXISTING RACEWAYS AND BACKBOXES.
- CONTRACTOR TO COORDINATE INTERCOM SPEAKER MOUNTING TYPES WITH ARCHITECTURAL CEILING PLANS PRIOR TO FINAL SPEAKER SELECTION. COORDINATE WITH ENGINEER ON ANY DISCREPANCIES.
- CONTRACTOR TO COORDINATE ALL DROP LOCATIONS WITH FURNITURE. COORDINATE WITH ARCHITECT AND OWNER FOR MORE INFORMATION.
- ALL EXISTING LOCKDOWN BUTTONS THAT ARE BEING REUSED SHALL HAVE EXISTING WIRING DEMOLISHED AND REPLACED BY CONTRACTOR. EACH LOCKDOWN BUTTON SHALL HOME RUN BACK TO THE HEAD END.
- WORKSTATION DATA CABLING REPLACEMENT SHALL REUSE ALL EXISTING RACEWAYS AND BACKBOXES.
- REFERENCE DETAILS FOR LOCKDOWN BUTTON INSTALLATION INSTRUCTIONS.

TECHNOLOGY PLAN KEYED NOTES

- FIRE ALARM CONTRACTOR TO PROVIDE A CONTACT CLOSURE TO THE AUDIO-VIDEO RACK FOR EMERGENCY MUTING OF AUDIO SYSTEM WHEN SYSTEM
- INTERCOM CONTRACTOR TO PROVIDE A CONTACT CLOSURE TO THE AUDIO-VIDEO

4 DATA CONNECTION RESERVED FOR FREEZER/COOLER MONITORING

NETWORK OUTLET RESERVED FOR AV SYSTEM HEAD END RACK. COORDINATE WITH AV CONSULTANT DRAWINGS ON FINAL AV RACK LOCATION.

RACK FOR LOCKDOWN EMERGENCY MUTING OF AUDIO SYSTEM WHEN SYSTEM IS

KEY PLAN:

TECHNOLOGY FLOOR PLAN - LEVEL 1 - AREA 'E'
Scale: 1/8" = 1'-0"

PLATFORM-1

- THE CONTRACTOR WILL INSTALL -

NEW DATA CABLING IN THE SAME LOCATION AS THE REMOVED

CABLE, REUSING THE EXISTING

BACKBOX AND RACEWAY.

mymm

SNACK BAR-1

 \cdots

MASTER STATION AND DOOR STATION SHALL BE ROUTED TO

FROM OFFICE TO LEVEL 2.

LEVEL 2 MDF. CONTRACTOR TO > PROVIDE AND INSTALL 2" CONDUIT

SS-----

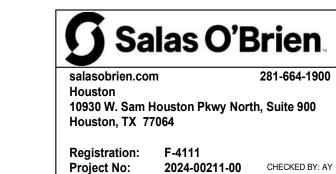
quimminum minument

mmmm

ALL NETWORK DROPS SHALL ROUTE TO NEAREST IDF/MDF.

D1—TIME CLOCK

CORRIDOR-1



FIRE ALARM

- FIRE ALARM SYSTEM IS A PERFORMANCE BASED PER SPECIFICATIONS 28 46 00. CONTRACTOR TO REFERENCE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- A LICENSED FIRE ALARM PLANNING SUPERINTENDENT CERTIFIED TO A MINIMUM LEVEL 3, IN THE SUBFIELD OF FIRE ALARM SYSTEMS THROUGH THE NATIONAL INSTITUTE FOR CERTIFICATION IN ENGINEERING TECHNOLOGIES (NICET), SHALL PROVIDE PLANS AND CALCULATIONS FOR A MANUAL AND AUTOMATIC FIRE DETECTION AND ALARM SYSTEM TO COMPLY WITH THE BUILDING SPACE LAYOUT, BUILDING OCCUPANCY, CURRENT NFPA 72, LOCAL AND STATE CODE REQUIREMENTS, AND THE FIRE ALARM AND DETECTION SYSTEM SPECIFICATIONS.

TECHNOLOGY PLAN KEYED NOTES

NETWORK OUTLET RESERVED FOR AV SYSTEM HEAD END RACK. COORDINATE WITH AV CONSULTANT DRAWINGS ON FINAL AV RACK LOCATION.

 \mathcal{A}

- FIRE ALARM CONTRACTOR TO PROVIDE A CONTACT CLOSURE TO THE AUDIO-VIDEO RACK FOR EMERGENCY MUTING OF AUDIO SYSTEM WHEN SYSTEM IS IN ALARM.
- INTERCOM CONTRACTOR TO PROVIDE A CONTACT CLOSURE TO THE AUDIO-VIDEO RACK FOR LOCKDOWN EMERGENCY MUTING OF AUDIO SYSTEM WHEN SYSTEM IS
- 4 DATA CONNECTION RESERVED FOR FREEZER/COOLER MONITORING.

PRACTICE GYM-1

TECHNOLOGY PLAN GENERAL NOTES

- A COORDINATE ALL FINAL MOUNTING HEIGHTS, FOR WALL MOUNTED DEVICES, PRIOR TO ROUGH-IN. COORDINATE WITH ARCHITECT, OWNER AND ENGINEER.
- COORDINATE ALL CEILING DEVICE LOCATIONS WITH ARCHITECTURAL DRAWINGS AND INTERIOR DESIGN CONSULTANT(IF APPLICABLE) PRIOR TO ROUGH-IN.
- REFERENCE TECHNOLOGY SITE PLAN, COMPOSITE PLANS, NOTES & LEGENDS AND DETAILS FOR ADDITIONAL INFORMATION AND DEVICE/OUTLET LOCATIONS.
- REPLACE MECHANICAL BUILDING MANAGEMENT NETWORK DROPS WITH CATEGORY 6A DATA CIRCUIT AND REUSE EXISTING RACEWAYS AND BACKBOXES. COORDINATE WITH THE CONTRACTOR FOR EXACT LOCATION AND TERMINATION
- CONTRACTOR TO COORDINATE INTERCOM SPEAKER MOUNTING TYPES WITH
- ARCHITECTURAL CEILING PLANS PRIOR TO FINAL SPEAKER SELECTION.
 COORDINATE WITH ENGINEER ON ANY DISCREPANCIES.
- CONTRACTOR TO COORDINATE ALL DROP LOCATIONS WITH FURNITURE. COORDINATE WITH ARCHITECT AND OWNER FOR MORE INFORMATION.
- ALL EXISTING LOCKDOWN BUTTONS THAT ARE BEING REUSED SHALL HAVE EXISTING WIRING DEMOLISHED AND REPLACED BY CONTRACTOR. EACH
- EXISTING WIRING DEMOLISHED AND REPLACED BY CONTRACTOR. EACH LOCKDOWN BUTTON SHALL HOME RUN BACK TO THE HEAD END.
- WORKSTATION DATA CABLING REPLACEMENT SHALL REUSE ALL EXISTING RACEWAYS AND BACKBOXES.





CENSE 01/16/2025

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tel: 281.486.4040

HOPPER & KAHLA RENOVATI

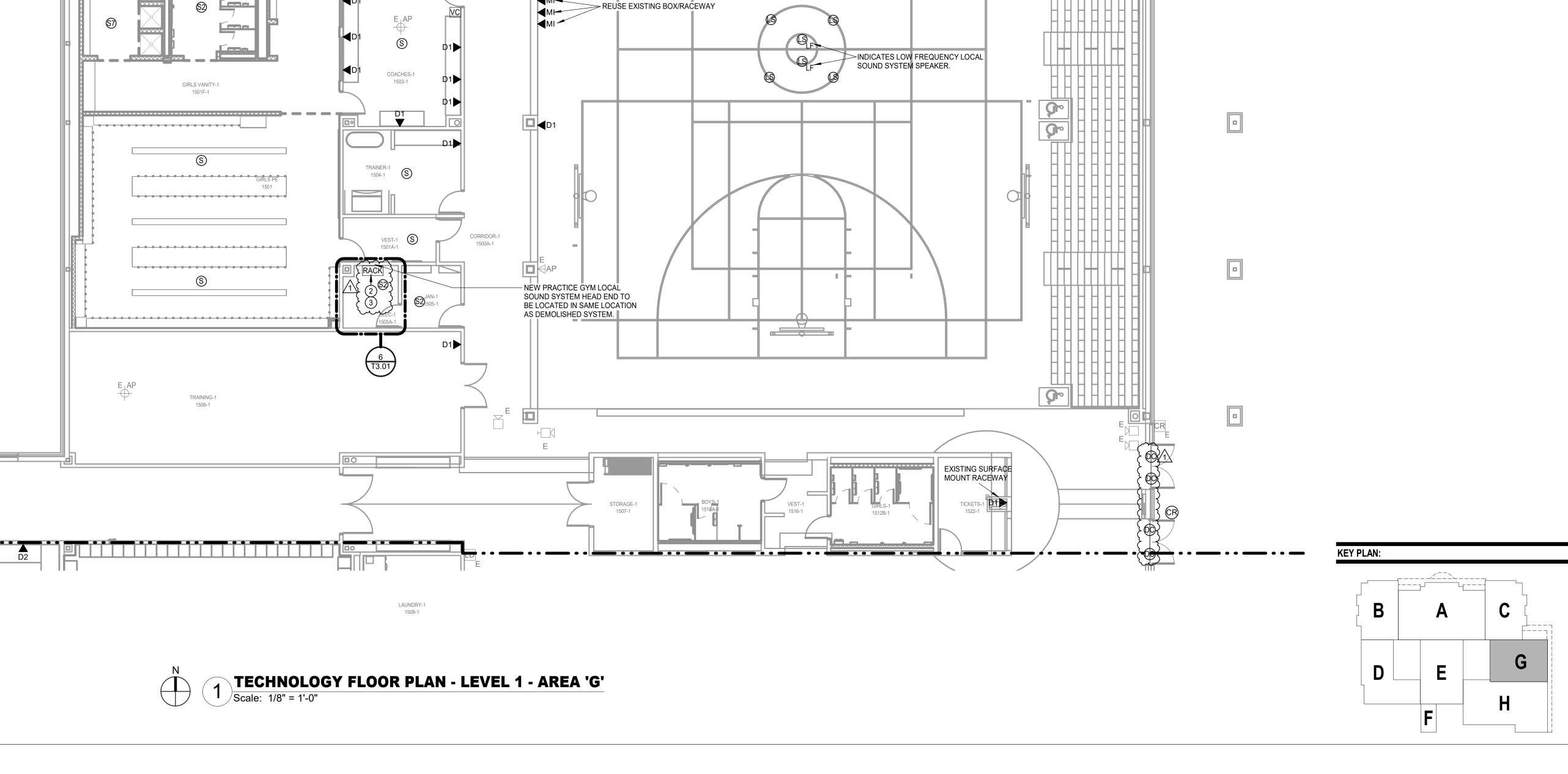
IOPPER MIDDLE S
111 FRY RD, CYPRESS, TX 77433

Project Number: 22084

Date: 29 DECEMBER 2024

Drawn by: NY

TECHNOLOGY FIRST
FLOOR PLAN - AREA 'G'



STORAGE-1

1411E-1

TLT-1 1411F-1

LOCKERS-1 1411D-1

1411G-1

CLASSROOM-1

Salas O'Brien. 10930 W. Sam Houston Pkwy North, Suite 900 Houston, TX 77064

Registration: F-4111 Project No: 2024-00211-00 CHECKED BY: AY

> Phone: 713-975-9525 Fax: 713-780-7824 Coleman Partners

ARCHITECTS **cp**arch.com

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TECHNOLOGY FIRST FLOOR PLAN - AREA 'H'

T2.08



- INTERCOM CONTRACTOR TO PROVIDE A CONTACT CLOSURE TO THE AUDIO-VIDEO RACK FOR LOCKDOWN EMERGENCY MUTING OF AUDIO SYSTEM WHEN SYSTEM IS

- NETWORK OUTLET RESERVED FOR AV SYSTEM HEAD END RACK. COORDINATE WITH AV CONSULTANT DRAWINGS ON FINAL AV RACK LOCATION.
- FIRE ALARM CONTRACTOR TO PROVIDE A CONTACT CLOSURE TO THE AUDIO-VIDEO RACK FOR EMERGENCY MUTING OF AUDIO SYSTEM WHEN SYSTEM

IN ALARM. 4 DATA CONNECTION RESERVED FOR FREEZER/COOLER MONITORING.

EXISTING SURFACE

MOUNT RACEWAY

TECHNOLOGY PLAN GENERAL NOTES

FIRE ALARM

FIRE ALARM SYSTEM IS A PERFORMANCE BASED PER SPECIFICATIONS 28 46 00. CONTRACTOR TO REFERENCE SPECIFICATIONS FOR ADDITIONAL INFORMATION.

A LICENSED FIRE ALARM PLANNING SUPERINTENDENT CERTIFIED TO A MINIMUM

LEVEL 3, IN THE SUBFIELD OF FIRE ALARM SYSTEMS THROUGH THE NATIONAL INSTITUTE FOR CERTIFICATION IN ENGINEERING TECHNOLOGIES (NICET), SHALL PROVIDE PLANS AND CALCULATIONS FOR A MANUAL AND AUTOMÀTIC FIRE DETECTION AND ALARM SYSTEM TO COMPLY WITH THE BUILDING SPACE LAYOUT,

REQUIREMENTS, AND THE FIRE ALARM AND DETECTION SYSTEM SPECIFICATIONS.

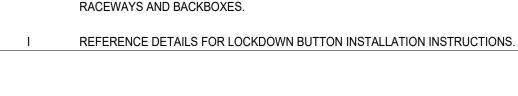
BUILDING OCCUPANCY, CURRENT NFPA 72, LOCAL AND STATE CODE

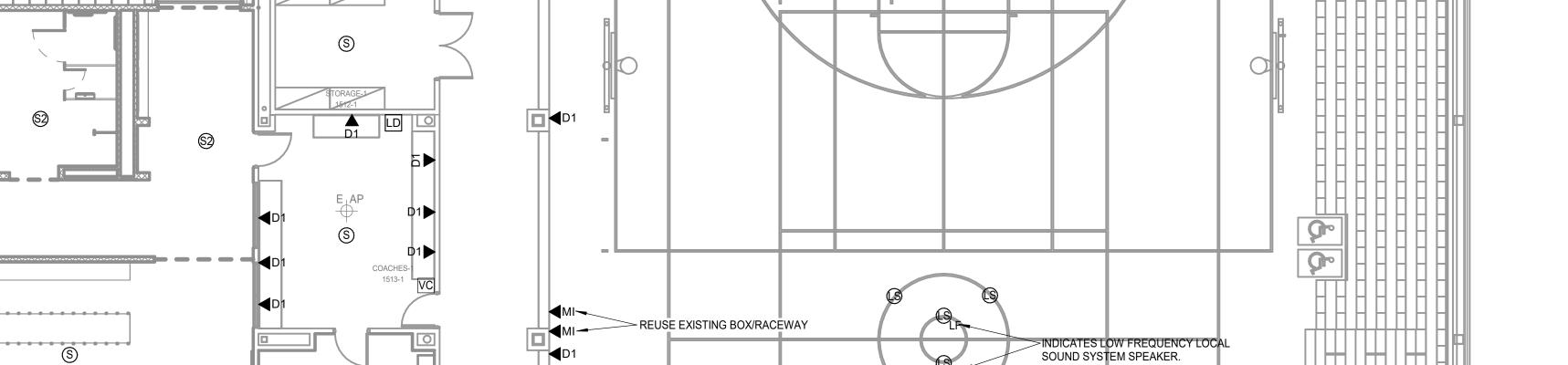
COORDINATE ALL CEILING DEVICE LOCATIONS WITH ARCHITECTURAL DRAWINGS

COORDINATE ALL FINAL MOUNTING HEIGHTS, FOR WALL MOUNTED DEVICES, PRIOR TO ROUGH-IN. COORDINATE WITH ARCHITECT, OWNER AND ENGINEER.

- AND INTERIOR DESIGN CONSULTANT(IF APPLICABLE) PRIOR TO ROUGH-IN.
- REFERENCE TECHNOLOGY SITE PLAN, COMPOSITE PLANS, NOTES & LEGENDS AND DETAILS FOR ADDITIONAL INFORMATION AND DEVICE/OUTLET LOCATIONS.
- REPLACE MECHANICAL BUILDING MANAGEMENT NETWORK DROPS WITH CATEGORY 6A DATA CIRCUIT AND REUSE EXISTING RACEWAYS AND BACKBOXES. COORDINATE WITH THE CONTRACTOR FOR EXACT LOCATION AND TERMINATION
- CONTRACTOR TO COORDINATE INTERCOM SPEAKER MOUNTING TYPES WITH ARCHITECTURAL CEILING PLANS PRIOR TO FINAL SPEAKER SELECTION. COORDINATE WITH ENGINEER ON ANY DISCREPANCIES.
- CONTRACTOR TO COORDINATE ALL DROP LOCATIONS WITH FURNITURE. COORDINATE WITH ARCHITECT AND OWNER FOR MORE INFORMATION.
- ALL EXISTING LOCKDOWN BUTTONS THAT ARE BEING REUSED SHALL HAVE
- EXISTING WIRING DEMOLISHED AND REPLACED BY CONTRACTOR. EACH LOCKDOWN BUTTON SHALL HOME RUN BACK TO THE HEAD END.
- WORKSTATION DATA CABLING REPLACEMENT SHALL REUSE ALL EXISTING RACEWAYS AND BACKBOXES.

KEY PLAN:





LOCAL SOUND NEW SYSTEM
HEAD END TO BE LOCATED IN
THE SAME LOCATION AS

DEMILOSHED SYSTEM.

------ BOYS PE

BOYS ATHLETICS-1

mmm

TECHNOLOGY FLOOR PLAN - LEVEL 1 - AREA 'H'
Scale: 1/8" = 1'-0"

TE - 1ST FLOOR CEILING PLAN DRAMA 1223

General Notes:All power conduit and fill shown on the "TE" series drawings are for diagrammatic purposes only.

- Refer to project electrical drawings for sizing and fill requirements. Refer to sheet TE0.00 for cable key. All dimensions and loading shown are for diagrammatic purposes only. Verify all location dimensions with field conditions, and all loading
 - with the structural engineer before construction or installation. Notify consultant of any changes required. Interstitial steel shown on this drawing is to be
- designed by the project structural engineer and provided by the project structural contractor. Miscellaneous steel above and beyond what is shown may be required for connection of stage lighting to roof steel. It is the responsibility of the theatrical lighting contractor to provide any
- miscellaneous steel and to coordinate this with the general contractor. Theatrical Rigging contractor to verify the load capacity of the structure with the project structural
- engineer. All power conduit and wire sizing per NEC and all applicable local codes.





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CONSTRUCTION DOCUMENT

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KATY, TX 77449

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LANDSCAPE ARCHITECT

LANDESIGN GROUP 17041 EL CAMINO REAL SUITE 204 HOUSTON, TX 77058 tel: 281.486.4040

MIDDLE

| | | | | | | | | TE - 1ST FLOOR CEILING PLAN DRAMA 1223

1 TL - 1ST FLOOR CEILING PLAN DRAMA 1223

General Notes:All power conduit and fill shown on the "TL" series drawings are for diagrammatic purposes only. Refer to project electrical drawings for sizing and

fill requirements. Refer to sheet TL0.00 for cable schedule. All dimensions and loading shown are for diagrammatic purposes only. Verify all location dimensions with field conditions, and all loading with the Structural Engineer before construction or installation. Notify Consultant of any changes required. Interstitial steel shown on this drawing is to be designed by the project Structural Engineer and

provided by the project Structural Contractor. Miscellaneous steel above and beyond what is shown may be required for connection of stage lighting to roof steel. It is the responsibility of the Theatrical Lighting Contractor to provide any miscellaneous steel and to coordinate this with the General Contractor.

Theatrical Lighting Contractor to verify the load capacity of the structure with the project Structural Engineer. All power conduit and wire sizing to be determined

by EE per NEC and all applicable local codes. All cable runs for Type A cable shall not exceed 295 feet.

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| | | | | | | | Date: 29 DECEMBER 2024

TL - 1ST FLOOR CEILING PLAN DRAMA 1223

DEMOLITION PLAN LEGEND

DEMO KEYNOTE - REFER TO KEYNOTE

EXIST. CONSTRUCTION TO REMAIN

EXIST. CONSTRUCTION TO BE

DEMOLISHED

EXIST. CMU WALL TO REMAIN

DEMOLISHED

DEMOLISHED

REMOVED

DEMO KEYNOTE - APPLIES TO ENTIRE

EXIST. CARPET AND BASE TO BE

EXIST. TILE FLOORING AND BASE (TILE

STRUCTURAL GLAZED TILE BASE TO

OR RUBBER) TO BE DEMOLISHED.

EXIST. VCT AND BASE TO BE

EXIST. CONCRETE COATING

EXIST. CONCRETE COATING TO BE

EXIST. RUBBER FITNESS FLOORING

EXIST. VCT AND BASE TO BE REMAIN

EXIST. CARPET AND BASE TO REMAIN

EXIST. ATHLETIC FLOORING TO REMAIN

 $\sim\sim\sim\sim\sim$

MUSIC REHEARSAL

- SEE **1D1.10** ENLG DEMO SITE PLAN

FOR SIDEWALK DEMO AND GRADING LIMITS THIS AREA

DW-12

D2.10D

CORRIDOR DC-10 1009 DF-12

PATCH AND REPAIR AS REQUIRED

EXISTING STAGE WOOD FLOOR TO

EXIST. FLOOR - NO WORK

EXIST. TILE TO REMAIN

PATCH AND REPAIR AS REQUIRED

RE: 1 D2.10B

SYMBOL DESCRIPTION

D20

DF-11

COOKING LA

DM-10

1405A

1402 ART LAB - SOUTH WALL



WORKROOM'

DM-10

OFFICE

WORKROOM

JAN 1409

STORAGE

DF-10 DC-10

DF-10 DM-16 DW-30 DC-10

ORCHESTRA

29'-6" - DEMO WALL FROM BRICK LEDGE TO

UNDERSIDE OF ROOF DECK ONLY

DF-10 LIBRARY

● DD-11

10'-8" - DEMO BRICK

& RIGID INSUL ONLY

OFFICE

1413C

DM-10



1403 COOKING LAB - EAST WALL

(D2.10D)

(REMOVE WALL TO INSTALL A

3'-10" X 8'-0" R.O. DOOR & FRAME

RE: ARCH & STRUCT FOR INFO)

14'-0" 2ND FLOOR

1ST FLOOR

[DD-11]

ENSEMBLE STORAGE

INSTRUMENT STORAGE

1413B DF-10

DM-02

DM-16 DW-30 DF-10 DC-10

- SEE **1D1.10** ENLG DEMO SITE PLAN FOR SIDEWALK DEMO AND GRADING LIMITS THIS AREA

DM-10

ART LAB

1404

DM-10



EQUAL

DEMO - V.I.F.

CDEMO ENLG ELEVATION - AREA 'D'

ENSEMBLE

1415C

● DM-02

LOUVER

DM-10 DW-30 DM-15 DF-10

DM-08

SCALE: 1/8" = 1'-0"

0' 4'-0" 8'-0"

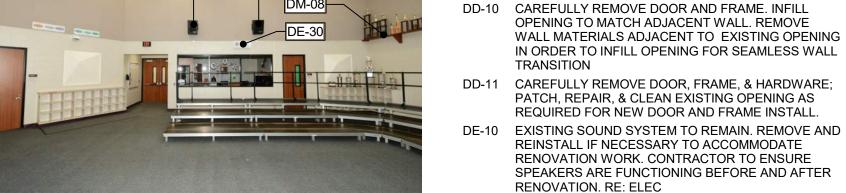
RE: MECH

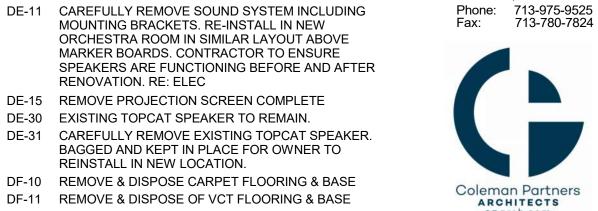
EQUAL





1415 CHOIR - NORTH WALL





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DM-02 EXISTING MARKER / TACK BOARD TO REMAIN. CLEAN BOARDS AFTER ALL RENOVATION IS COMPLETE. REINSTALL AS REQUIRED TO ACCOMMODATE RENOVATION WORK. CONTRACTOR TO ENSURE SPEAKERS ARE FUNCTIONING BEFORE AND AFTER

UNITS TYPICAL FOR RE-USE. REINSTALL AS REQUIRED TO ACCOMMODATE

RENOVATION WORK. DM-10 REMOVE & DISPOSE CASEWORK AND

COMPUTERS, ETC. ATTACHED TO DESK TO BE

713-864-6442

TYPICAL OTHERWISE NOTED. INCL BUT NOT LIMITED TO DISHWASHERS. RE: MEPT

DEMOLITION REQUIRED. SHORE & BRACE AS REQUIRED PER STRUCTURAL. DW-11 REMOVE CMU WALL IN ITS ENTIRETY; PROTECT SURROUNDING AREA FROM DAMAGE DW-12 REMOVE PORTION OF MASONRY WALL AS

REQUIRED TO CREATE NEW FINISHED OPENING. SHORE & BRACE AS REQ'D PER STRUCTURAL. PREPARE FOR NEW CONSTRUCTION AS SHOWN. DW-14 REMOVE COLUMN FURR-OUT WALLS; PROTECT FIRE PROOFED STEEL COLUMNS DURING DEMOLITION &

> STRUCTURAL, ELECTRICAL, MECHANICAL, & PLUMBING IN EXISTING WALLS AND COORDINATE ANY WORK REQUIRED PRIOR TO DEMOLITION. PATCH, REPAIR, & CLEAN ALL ADJACENT WALLS TO RECEIVE NEW WORK AS SHOWN ON DRAWINGS. INSULATION INSIDE WALL TO DIMENSION SHOWN ON DEMOLITION PLAN. REMOVE BRICK VERTICALLY, PROTECT CMU BACK UP WALLS THAT REMAIN IN

MARKER BOARDS. CONTRACTOR TO ENSURE SPEAKERS ARE FUNCTIONING BEFORE AND AFTER RENOVATION. RE: ELEC DE-15 REMOVE PROJECTION SCREEN COMPLETE DE-30 EXISTING TOPCAT SPEAKER TO REMAIN. DE-31 CAREFULLY REMOVE EXISTING TOPCAT SPEAKER. BAGGED AND KEPT IN PLACE FOR OWNER TO REINSTALL IN NEW LOCATION.

DF-10 REMOVE & DISPOSE CARPET FLOORING & BASE DF-11 REMOVE & DISPOSE OF VCT FLOORING & BASE DF-12 REMOVE & DISPOSE TILE FLOORING & TILE BASE. STRUCTURAL GLAZED TILE BASE TO REMAIN. DM-01 EXISTING METAL SHELVING TO REMAIN. REMOVE, STORE AND REINSTALL AS REQUIRE TO ACCOMMODATE SURROUNDING RENOVATION

MOUNTING BRACKETS. RE-INSTALL IN NEW

DEMOLITION KEYNOTES

SUSPENSION SYSTEM COMPLETE. REFER TO MEPT DRAWINGS FOR ADDITIONAL DEMO INSTRUCTION.

DC-10 DEMOLISH ACOUSTICAL CEILING TILE AND

INTERCOM / AUDIO EQUIPMENT, CLOCKS, PHONES,

DM-17 REMOVE AND DISPOSE CHOIR BLEACHER DM-18 CONTRACTOR SHALL NOT MOVE KILN, GC TO COORDINATE WITH OWNER'S APPROVED VENDOR FOR RELOCATION OF KILN. CERAMIC STORE OF HOUSTON. 1002 W. 11TH ST., HOUSTON, TX 77008.

DP-03 EXISTING UTILITY SINK TO REMAIN. DP-10 REMOVE & DISPOSE SINK. TERMINATE UTILITIES AS

REQ'D. RE: TO PLUMBING DW-10 REMOVE PORTION OF EXISTING CMU WALL TO CREATE NEW DOOR / WINDOW OPENING. REFER TO NEW SCHEDULED DOOR / WINDOW FOR EXTENT OF

CONSTRUCTION

TO CREATE NEW WALL OPENING (DOOR, WINDOW OR LOUVER); PROTECT SURROUNDING AREA FROM DAMAGE - RE: STRUCTURAL FOR INFORMATION ON SHORING & INSTALLATION OF NEW LINTELS, SILL INFILL OF LEDGES, ETC. DW-20 REMOVE EXTERIOR WALL IN ITS ENTIRETY WHERE INDICATED (FROM BRICK LEDGE TO UNDER ROOF

REQUIRED.. CONTRACTOR SHALL VERIFY DW-22 REMOVE EXTERIOR BRICK FACADE AND RIGID

ADDITIONAL INSTRUCTION. REQUIRED FOR PLUMBING DEMO AND INSTALLATION. REFER TO PLUMBING DRAWINGS TO DETERMINE EXTENT OF DEMO.

DM-05 EXISTING SOUND SYSTEM TO REMAIN. REMOVE AND RENOVATION. RE: ELEC DM-07 REMOVE AND STORE EXISTING METAL SHELVING DM-08 TROPHY SHELF TO REMAIN. REMOVE AND

COUNTERTOPS IN THEIR ENTIRETY. SALVAGE ANY

DM-12 CAREFULLY REMOVE & DISPOSE PLAM TOP OVER EXISTING LOCKERS. PREP SURFACES AS REQUIRED TO RECEIVE NEW LOCKER TOP. DM-15 REMOVE & DISPOSE TROPHY SHELF DM-16 REMOVE AND DISPOSE INSTRUMENT CASEWORK

DM-21 REMOVE AND DISPOSE PROJECTION SCREENS DM-70 REMOVE AND DISPOSE APPLIANCES UNLESS EXHAUST HOODS, RANGES, REFRIGERATORS AND

REQ'D TO ACCEPT NEW SINK IN NEW CASEWORK AT SAME LOCATION. RE: TO PLUMBING DP-11 REMOVE & DISPOSE SINK. TERMINATE UTILITIES AS DS-02 DEMOLISH PAVING / DRIVE; RE: CIVIL

DW-17 REMOVE PORTION OF EXTERIOR CMU & BRICK WALL

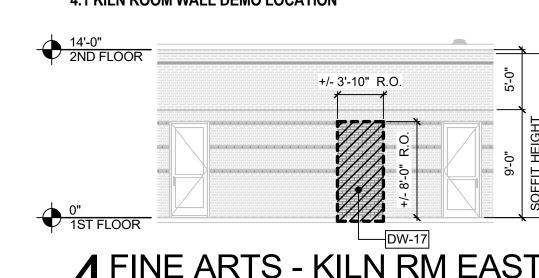
DECK OR TOP OF PARAPET) INCLUDING DOORS, WINDOWS, & OPENINGS. SHORE UP ROOF AS

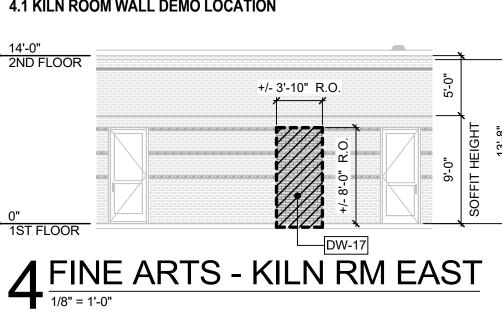
PLACE, DURING DEMOLITION & CONSTRUCTION; REFER TO STRUCTURAL DRAWINGS FOR DW-26 CAREFULLY REMOVE PORTION OF CMU WALL AS

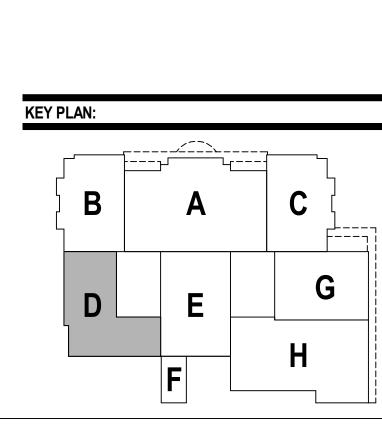
DW-30 REMOVE ALL ACOUSTICAL WALL PANELS INSIDE

3 FINE ARTS - KILN RM SOUTH









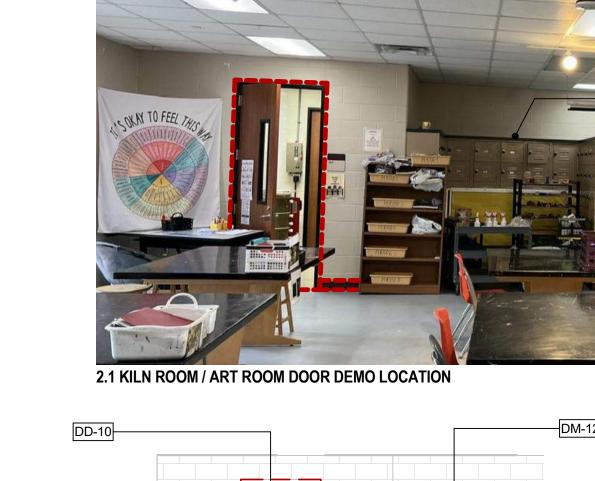
Project Number: Date: 29 DECEMBER 2024 **DEMOLITION PLAN** AREA 'D'

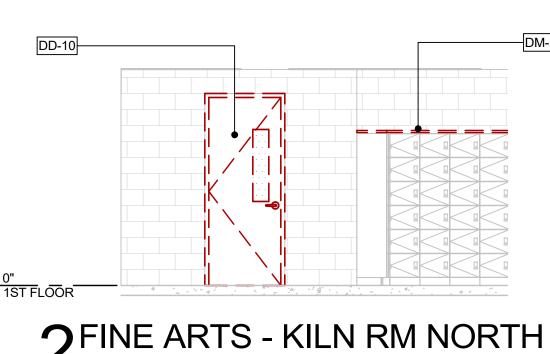
N TRUE PROJECT

NORTH NORTH

1ST FLOOR DEMOLITION PLAN - AREA 'D'

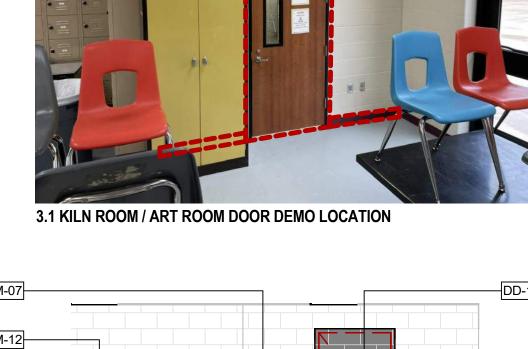
1411 ORCHESTRA - EAST WALL

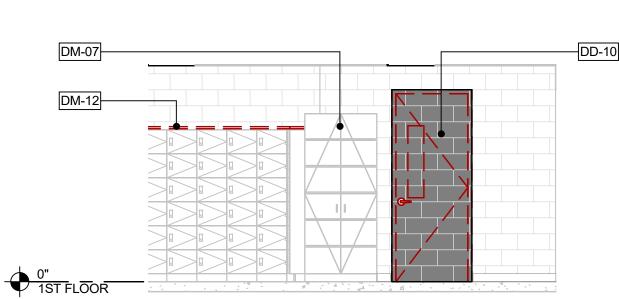




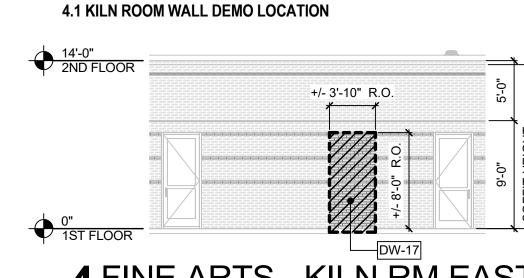


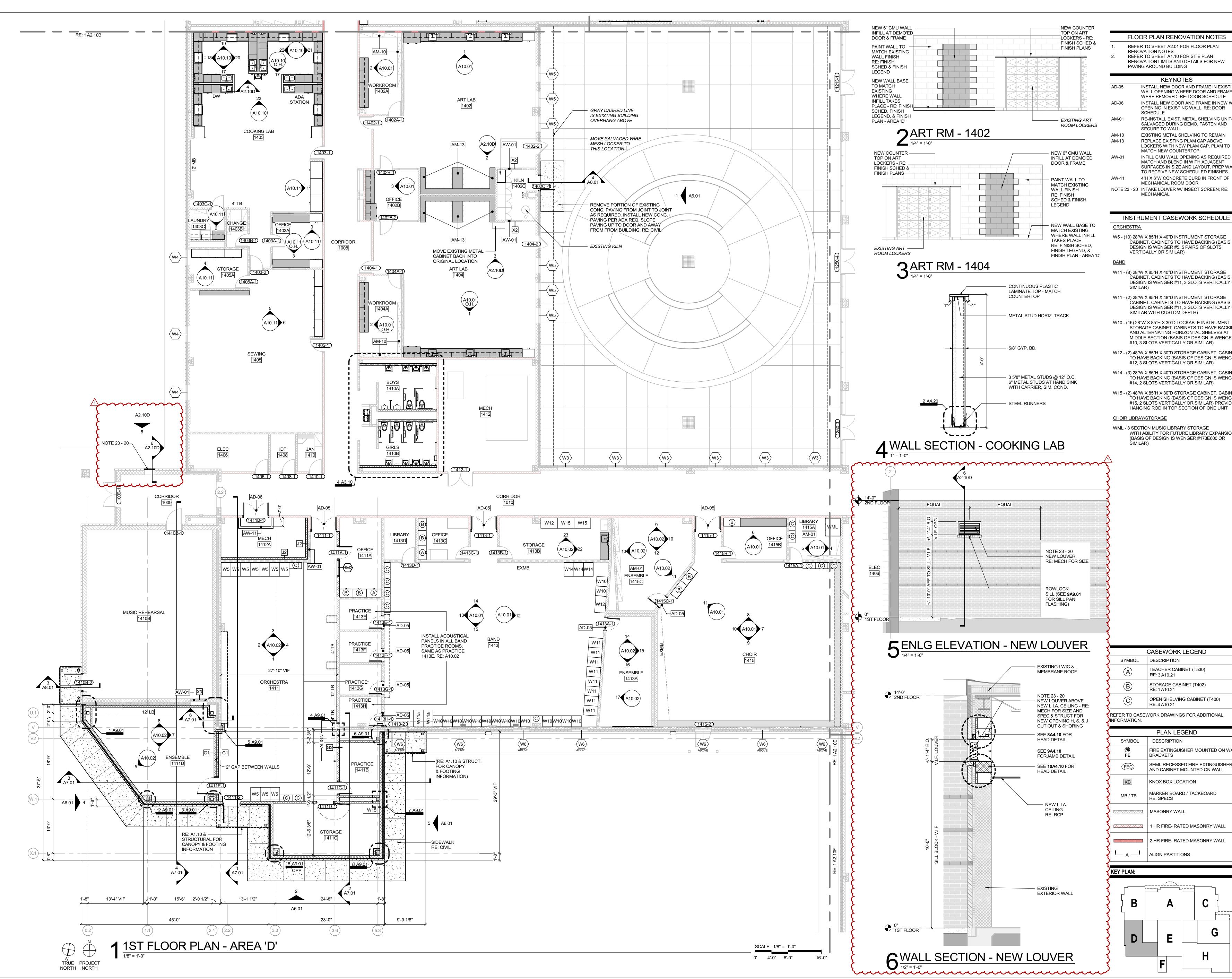












FLOOR PLAN RENOVATION NOTES REFER TO SHEET A2.01 FOR FLOOR PLAN RENOVATION NOTES REFER TO SHEET A1.10 FOR SITE PLAN

RENOVATION LIMITS AND DETAILS FOR NEW PAVING AROUND BUILDING

KEYNOTES INSTALL NEW DOOR AND FRAME IN EXISTING

WALL OPENING WHERE DOOR AND FRAME WERE REMOVED. RE: DOOR SCHEDULE INSTALL NEW DOOR AND FRAME IN NEW WALL OPENING IN EXISTING WALL. RE: DOOR

RE-INSTALL EXIST. METAL SHELVING UNITS SALVAGED DURING DEMO. FASTEN AND SECURE TO WALL. EXISTING METAL SHELVING TO REMAIN

LOCKERS WITH NEW PLAM CAP. PLAM TO MATCH NEW COUNTERTOP. INFILL CMU WALL OPENING AS REQUIRED TO MATCH AND BLEND IN WITH ADJACENT SURFACES IN SIZE AND LAYOUT. PREP WALL TO RECEIVE NEW SCHEDULED FINISHES.

MECHANICAL ROOM DOOR NOTE 23 - 20 INTAKE LOUVER W/ INSECT SCREEN; RE: MECHANICAL

INSTRUMENT CASEWORK SCHEDULE

W5 - (10) 28"W X 85"H X 40"D INSTRUMENT STORAGE CABINET. CABINETS TO HAVE BACKING (BASIS OF DESIGN IS WENGER #5, 5 PAIRS OF SLOTS

W11 - (8) 28"W X 85"H X 40"D INSTRUMENT STORAGE CABINET. CABINETS TO HAVE BACKING (BASIS OF DESIGN IS WENGER #11, 3 SLOTS VERTICALLY OR

W11 - (2) 28"W X 85"H X 48"D INSTRUMENT STORAGE CABINET. CABINETS TO HAVE BACKING (BASIS OF DESIGN IS WENGER #11, 3 SLOTS VERTICALLY OR SIMILAR WITH CUSTOM DEPTH)

W10 - (16) 28"W X 85"H X 30"D LOCKABLE INSTRUMENT STORAGE CABINET. CABINETS TO HAVE BACKING AND ALTERNATING HORIZONTAL SHELVES AT MIDDLE SECTION (BASIS OF DESIGN IS WENGER

W12 - (2) 48"W X 85"H X 30"D STORAGE CABINET. CABINETS TO HAVE BACKING (BASIS OF DESIGN IS WENGER #12, 3 SLOTS VERTICALLY OR SIMILAR)

W14 - (3) 28"W X 85"H X 40"D STORAGE CABINET. CABINETS TO HAVE BACKING (BASIS OF DESIGN IS WENGER #14, 2 SLOTS VERTICALLY OR SIMILAR)

W15 - (2) 48"W X 85"H X 30"D STORAGE CABINET. CABINETS TO HAVE BACKING (BASIS OF DESIGN IS WENGER #15, 2 SLOTS VERTICALLY OR SIMILAR) PROVIDE HANGING ROD IN TOP SECTION OF ONE UNIT

CHOIR LIBRAY/STORAGE

WITH ABILITY FOR FUTURE LIBRARY EXPANSION (BASIS OF DESIGN IS WENGER #173E600 OR

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HOUSTON, TX 77058 tel: 281.486.4040

STORAGE CABINET (T402) RE: 1 A10.21 OPEN SHELVING CABINET (T400) RE: 4 A10.21

	PLAN LEGEND		
SYMBOL	DESCRIPTION		
Æ FE	FIRE EXTINGUISHER MOUNTED ON WALL BRACKETS		
FEC	SEMI- RECESSED FIRE EXTINGUISHER AND CABINET MOUNTED ON WALL		
КВ	KNOX BOX LOCATION		
MB / TB	MARKER BOARD / TACKBOARD RE: SPECS		
	MASONRY WALL		
	1 HR FIRE- RATED MASONRY WALL		
***************************************	2 HR FIRE- RATED MASONRY WALL		
ALIGN PARTITIONS			

Date: 29 DECEMBER 2024

FLOOR PLAN AREA 'D'

- LOCKERS AGAINST WALL TO HAVE SLOPED HOOD, MIDDLE LOCKERS TO HAVE 1" THICK HDPE TOP COLOR: MATCH TOILET PARTITIONS - SLOPED HOOD OR SLOPED HOOD OR RE: 5/A2.10G HDPE TOP HDPE TOP RE: 5/A2.10G RE: 5/A2.10G - SLOPE HOOD _____ RE: 5/A2.10G 1" THICK HDPE SOLID END TOP COLOR: PANEL ON METAL END **MATCH TOILET** LOCKER TYP. FILLER STRIP PARTITIONS RE: 5/A2.10G - LOCKERS LOCKERS LOCKERS <u></u> LOCKER CURB & BASE CURB & BASE AS SCHED. AS SCHED. RE: 4/A2.10G RE: 4/A2.10G TYP. CLOSED END TYP. OPEN END TYPE A TYPE B TYPE C **ATHLETIC** COACHES CONDITION CONDITION LOCKERS LOCKERS LOCKERS 12"W X 16"D X 12"H 18"W X 22"D X 36"H 12"W X 18"D X 60"H

3 LOCKER ELEVATION - FRONT

53'-10" VIF

BENCH TYPE A

BENCH TYPE A

BENCH TYPE A

BENCH TYPE B

GIRLS ATHLETICS

╃┩╸┙┩┝╸┿╺┥╼╏╗┝╺┿╶╣╼╎╸<u>┝</u>╺╅<mark>╬┤═╎╸┾╺╅╚</mark>╟<mark>╬╏<u>╤┢╸╸╸╸</u>╱╗╟</mark>

HH HH

WEIGHT TRAINING

GIRLS ATHLETICS

124 TYPE B UNITS,

248 TOTAL LOCKERS

5% ADA LOCKERS - 13

 $\sim\sim\sim\sim\sim$

INDICATES EXISTING

2-1/2" RECESSED SLAB

PER AS-BUILT. GC TO

VERIFY AND INFILL AS

COMPLETE NEW WORK.

GIRLS PE LOCKERS:

680 TOTAL LOCKERS 5% ADA LOCKERS - 34

 $\langle W3 \rangle$

170 TYPE A UNITS RE: 3A2.10G

NORTH NORTH

SHADED AREA

REQUIRED TO

LOCKERS:

RE: 3A2.10G

STORAGE

1501

1503B (1503B-1)

COACHES

TRAINER

ELEC 1509A

(1503A-1)

JAN 1509

LAUNDRY 1514

CORRIDOR

CORRIDOR 1500B

BENCH TYPE B

TYPE B

1" THICK HDPE PANEL SEAT W/ EASED EDGES(RADIUS OR CHAMFER). COLOR TO MATCH TOILET PARTITION. MACHINE SCREW WITH SNAKE MECHANICAL ANCHORS AS MANUFACTURED BY POWERS. SCREW TO BE STAINLESS STEEL AND COUNTERSUNK WITH VANDAL-PROOF TOP. INSTALL AT 24" O.C. MAX. 8" CMU, GROUT CELLS SOLID EPOXY PAINT ALL EXPOSED SURFACES, TYP. #2 BARS @ 48" O.C. MAX. ANCHORED INTO FLOOR SLAB SCHEDULED BASE (ALL SIDES) BENCH TYPE A

- 1" THICK HDPE PANEL SEAT W/ EASED EDGES(RADIUS OR CHAMFER) COLOR TO MATCH **TOILET PARTITIONS** - CONTINUOUS SEALANT 1'-8" MACHINE SCREW WITH SNAKE MECHANICAL ANCHORS AS MANUFACTURED BY POWERS. **EPOXY PAINT ALL** EXPOSED SCREW TO BE STAINLESS STEEL AND COUNTERSUNK SURFACES WITH VANDAL-PROOF TOP. INSTALL AT 24" O.C. MAX. WRAP CMU AT EACH END TO ADJOINING WALL - 8" CMU, GROUT CELLS SOLID SCHEDULED BASE - #2 BARS @ 48" O.C. MAX. (FRONT & SIDES) ANCHORED INTO FLOOR SLAB BENCH TYPE B

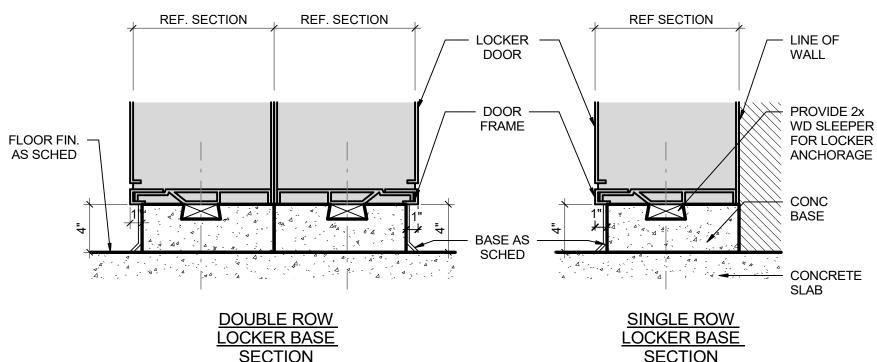
2 LOCKER ROOM BENCH SECTION DETAIL

1 1/2" = 1'-0"

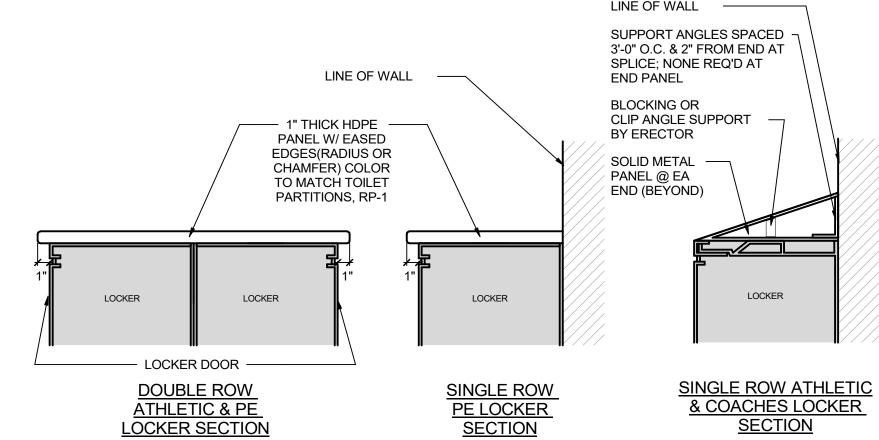
AM-60 AM-80

AUXÎLARY GYM

0 0 0



LOCKER BASE - 4" HIGH



LOCKER SECTION

- 1" THICK HDPE PANEL W/ EASED EDGES(RADIUS OR CHAMFER) COLOR TO MATCH TOILET PARTITIONS, RP-1 CONTINUOUS SEALANT MACHINE SCREW WITH SNAKE MECHANICAL ANCHORS AS MANUFACTURED BY POWERS SCREW TO BE STAINLESS STEEL AND COUNTERSUNK WITH VANDAL-PROOF TOP. INSTALL 2 SCREWS @ EACH SUPPORTING CMU WALL, ADD METAL SUPPORT BRACKETS AS REQUIRED AND PER HPDE MANUFACTURER'S RECOMMENDATIONS. CMU SUPPORT WALL BEYOND WALL TYPE "E1" GROUT SOLID. ANCHORED INTO FLOOR SLAB RE: ELEVATIONS

> SCHEDULED BASE (FRONT & SIDES)

6 LOCKER ROOM VANITY DETAIL
1/2" = 1'-0"

- LOCKER ROOM GENERAL NOTES REFER TO D SERIES SHEETS FOR EXTENT OF LOCKER ROOM DEMOLITION WORK.
- CONSTRUCT CONCRETE CURB BELOW ALL NEW PARTITIONS AROUND RESTROOMS, TOILET ROOMS, SHOWER AREA, SHOWER STALLS AND COACHES LOCKER ROOM. REFER TO A4.20 FOR
- REMOVE ALL FINISHES FROM EXISTING WALLS TO REMAIN. PATCH, REPAIR AND FINISH WALL AS REQUIRED TO RECEIVE NEW FINISHES.
- PROVIDE AND INSTALL LOCKERS AS SHOWN IN PLAN. PROVIDE 4" H CONTINUOUS CONCRETE CURB UNDER ALL LOCKERS. ADA LOCKER UNITS ARE SHOWN WITH "H" SYMBOL. REFER TO SPECIFICATIONS.
- REFER TO RESTROOM / TOILET ROOM RENOVATION NOTES.

REFER TO SHEET G2.01 FOR ADA AND

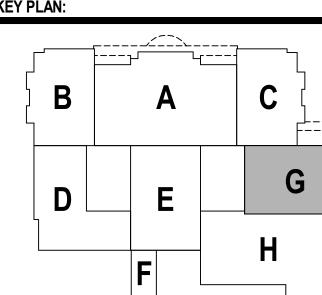
ACCESSORIES MOUNTING HEIGHTS

- PROVIDE AND INSTALL THE FOLLOWING AT EACH - SHOWER CURTAIN AND ROD - TOWEL HOOKS OUTSIDE OF SHOWER
- REQUIREMENT. ACCESSIBLE PLUMBING FIXTURES ARE NOTED ON PLAN "ADA".
- 8. REFER TO ELEVATIONS, FINISH PLANS AND FINISH
- REFER TO CEILING PLANS FOR DEMOLITION AND
- 10. REFER TO MEPT AND STRUCTURAL DRAWINGS

•	FOR DEMOLITION AND NEW WORK.

	PLAN LEGEND		
SYMBOL	DESCRIPTION		
€ FE	FIRE EXTINGUISHER MOUNTED ON WALL BRACKETS		
FEC	SEMI- RECESSED FIRE EXTINGUISHER AND CABINET MOUNTED ON WALL		
КВ	KNOX BOX LOCATION		
MB / TB	MARKER BOARD / TACKBOARD RE: SPECS		
	MASONRY WALL		
	1 HR FIRE- RATED MASONRY WALL		
	2 HR FIRE- RATED MASONRY WALL		
4 A4	ALIGN PARTITIONS		

KEY	

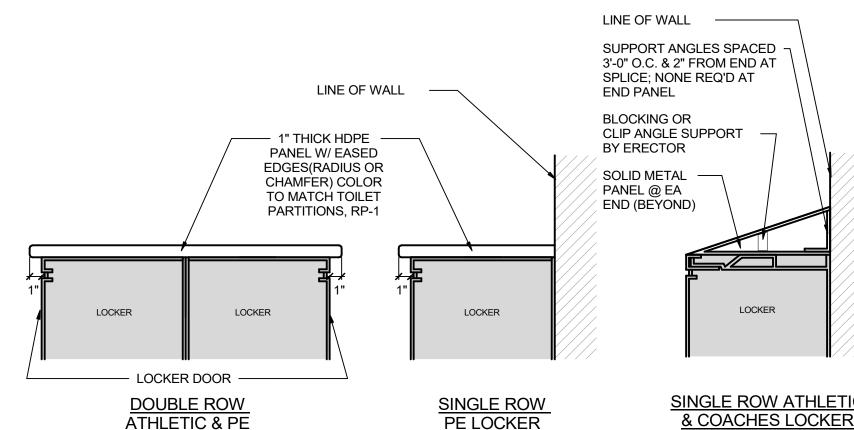


Date: 29 DECEMBER 2024 FLOOR PLAN AREA 'G'

1 1ST FLOOR PLAN - AREA 'G' N TRUE PROJECT

0' 4'-0" 8'-0"

WD SLEEPER FOR LOCKER ANCHORAGE



5 LOCKER TOP

FLOOR PLAN RENOVATION NOTES

RENOVATION LIMITS AND DETAILS FOR NEW

KEYNOTES

SURFACES TO MATCH EXISTING WHERE EXISTING

AD-03 INSTALL NEW DOOR IN EXISTING FRAME. RE: DOOR

BLEACHER WAS REMOVED. INSTALL NEW

AM-60 PATCH/ REPAIR AND FINISH SURROUNDING

AM-80 INSTALL NEW BLEACHERS - REFER TO

REFER TO SHEET A2.01 FOR FLOOR PLAN

REFER TO SHEET A1.10 FOR SITE PLAN

RENOVATION NOTES

SCHEDULE

BLEACHERS.

SPECIFICATIONS

PAVING AROUND BUILDING

Phone: 713-975-9525 Fax: 713-780-7824 ARCHITECTS cparch.com

Coleman Partners 3701 Kirby Drive, Suite 830 Houston,TX 77098 tel 832.947.1038 fax 225.214.5365

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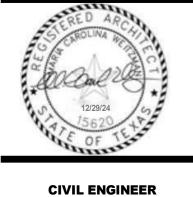
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tel: 281.486.4040

8

A2.10G

FLOOR PLAN RENOVATION NOTES

REFER TO SHEET A2.01 FOR FLOOR PLAN RENOVATION NOTES

REFER TO SHEET A1.10 FOR SITE PLAN RENOVATION LIMITS AND DETAILS FOR NEW PAVING AROUND BUILDING

KEYNOTES

BLEACHER WAS REMOVED. INSTALL NEW

AD-03 INSTALL NEW DOOR IN EXISTING FRAME. RE: DOOR SCHEDULE AM-60 PATCH/ REPAIR AND FINISH SURROUNDING SURFACES TO MATCH EXISTING WHERE EXISTING

BLEACHERS. AM-80 INSTALL NEW BLEACHERS - REFER TO **SPECIFICATIONS**





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tel: 281.350.2323 LANDSCAPE ARCHITECT **LANDESIGN GROUP**

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REMOVE ALL FINISHES FROM EXISTING WALLS TO REMAIN. PATCH, REPAIR AND FINISH WALL AS REQUIRED TO RECEIVE NEW FINISHES.

4. PROVIDE AND INSTALL LOCKERS AS SHOWN IN PLAN. PROVIDE 4" H CONTINUOUS CONCRETE CURB UNDER ALL LOCKERS. ADA LOCKER UNITS ARE SHOWN WITH "H" SYMBOL. REFER TO SPECIFICATIONS.

LOCKER ROOM GENERAL NOTES

2. CONSTRUCT CONCRETE CURB BELOW ALL NEW

LOCKER ROOM DEMOLITION WORK.

REFER TO D SERIES SHEETS FOR EXTENT OF

PARTITIONS AROUND RESTROOMS, TOILET

ROOMS, SHOWER AREA, SHOWER STALLS AND COACHES LOCKER ROOM. REFER TO A4.20 FOR

REFER TO RESTROOM / TOILET ROOM RENOVATION NOTES.

> PROVIDE AND INSTALL THE FOLLOWING AT EACH SHOWER STALL: - SHOWER CURTAIN AND ROD - TOWEL HOOKS OUTSIDE OF SHOWER

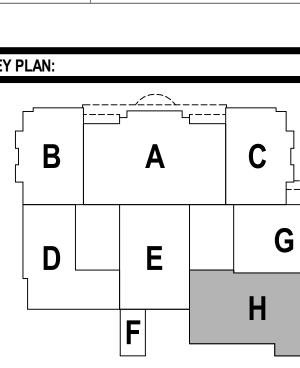
REFER TO SHEET G2.01 FOR ADA AND ACCESSORIES MOUNTING HEIGHTS REQUIREMENT. ACCESSIBLE PLUMBING FIXTURES

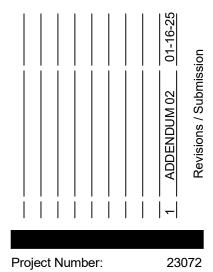
ARE NOTED ON PLAN "ADA". 8. REFER TO ELEVATIONS, FINISH PLANS AND FINISH

9. REFER TO CEILING PLANS FOR DEMOLITION AND

NEW WORK. REFER TO MEPT AND STRUCTURAL DRAWINGS FOR DEMOLITION AND NEW WORK.

	PLAN LEGEND
SYMBOL	DESCRIPTION
₽ FE	FIRE EXTINGUISHER MOUNTED ON WALL BRACKETS
FEC	SEMI- RECESSED FIRE EXTINGUISHER AND CABINET MOUNTED ON WALL
КВ	KNOX BOX LOCATION
MB / TB	MARKER BOARD / TACKBOARD RE: SPECS
	MASONRY WALL
	1 HR FIRE- RATED MASONRY WALL
	2 HR FIRE- RATED MASONRY WALL
└ A ─	ALIGN PARTITIONS





Date: 29 DECEMBER 2024

FLOOR PLAN AREA 'H' A2.10H

RE: SCHED

<u>PHOTO NO.1 :</u> EXISTING DOOR LITE - VERIFY SIZE IN FIELD. LITES IN NEW DOORS SHOULD MATCH EXISTING. VERIFY WALL WIDTH FOR FRAME, GLASS TYPE RE: SCHED CMU WALL

1 1 KEYED REMOVABLE MULLION

1 1/2" = 1'-0"

DR WIDTH 2'-7 1/2" \(\frac{1}{2} \) 4 1/2"

IR-1

IR-1

2" HOLLOW METAL FRAME

SCHEDULE 1 INT. HM DOOR FRAME - HEAD 2 INT. HM DOOR FRAME - JAMB 3 INT. HM DOOR FRAME - HEAD WINDOW 4 INT. HM DOOR FRAME - JAMB WINDOW 5 INT. HM DOOR FRAME - SILL WINDOW 3 = 1-0"

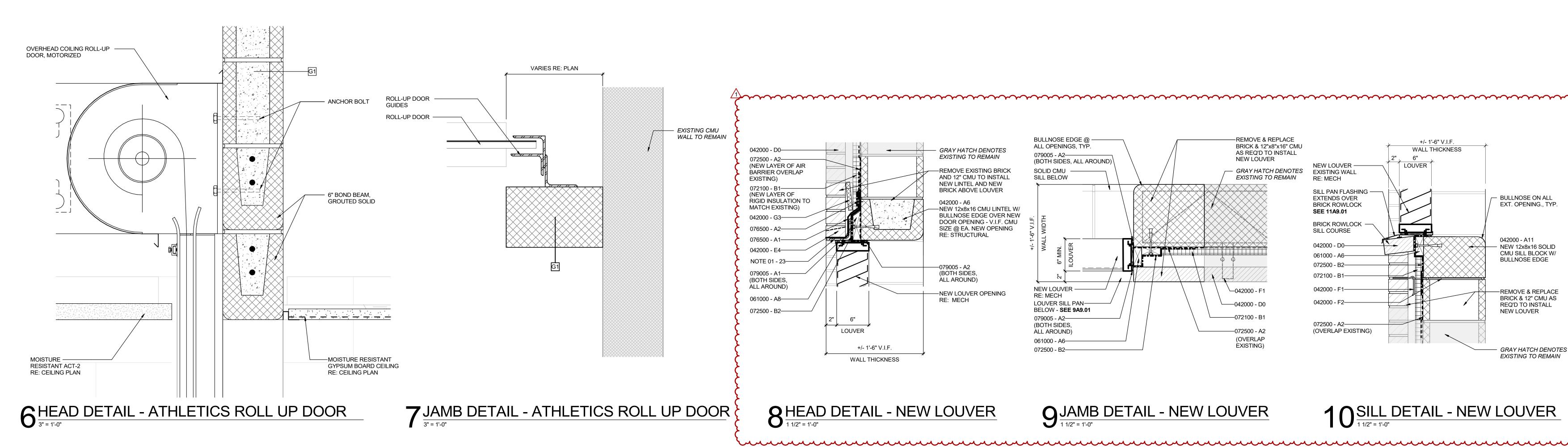
DOOR - RE: SCHEDULE

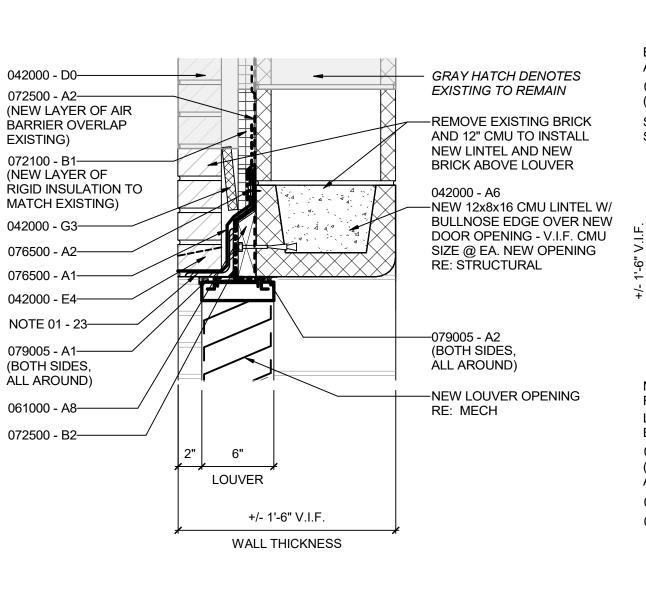
VERIFY WALL WIDTH FOR FRAME

VERIFY WALL WIDTH FOR FRAME

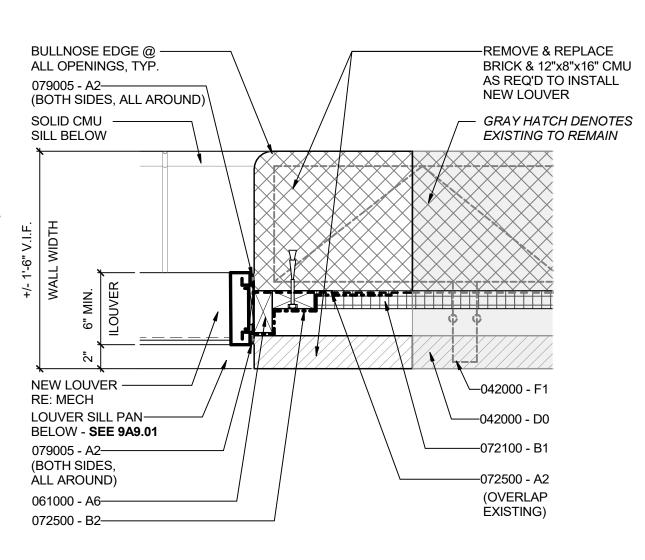
GLASS TYPE RE: SCHED

RE: PARTITION TYPE

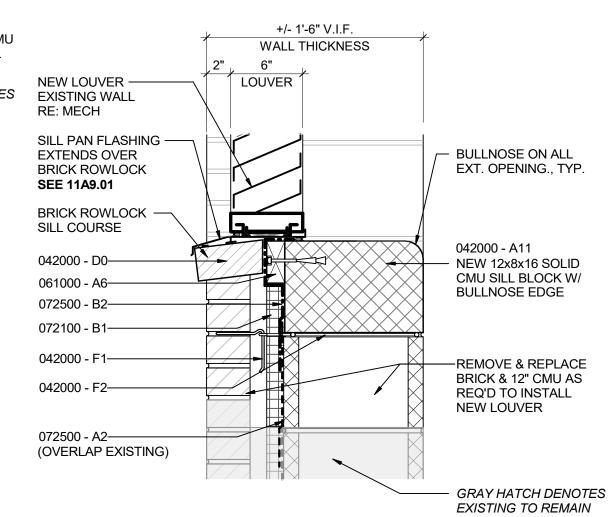




8 HEAD DETAIL - NEW LOUVER



9 JAMB DETAIL - NEW LOUVER



10 SILL DETAIL - NEW LOUVER

GLASS TYPE LEGEND

IG-1 INSULATED GLASS (EXTERIOR) IR-3 INSULATED IMPACT RESISTANT GLASS (EXTERIOR) **IR-1** 9/16" THICK IMPACT RESISTANT GLASS (INTERIOR) IR-2 3/8" THICK IMPACT RESISTANT GLASS (INTERIOR) FR-1 FIRE-RATED GLASS - 90 MINS AC-1 ACOUSTICAL RATED GLASS S-3 1/4" TEMPERED GLASS E EXISTING GLAZING

INSTALLATION OF IMPACT RESISTANT GLASS (IR) TYPES SHALL COMPLY WITH GLASS MANUFACTURER'S STANDARDS AND RECOMMENDATIONS, DOW CORNING 995 SILICON STRUCTURAL SEALANT IS REQUIRED. WHERE IR-F IS NOTED. INSTALL IMPACT RESISTANT FILM

2" HOLLOW

METAL FRAME

BOTH SIDES

OVER EXISTING GLASS PER MANUFACTURER'S

STANDARDS AND RECOMMENDATIONS. REFER TO SPECIFICATION SECTION 08 80 00



CORPORATION

ARCHITECTS

www.natexarchitects.com 447 Heights Boulevard

Houston, TX 77007

3701 Kirby Drive, Suite 830 Houston,TX 77098 tel 832.947.1038 fax 225.214.5365

CIVIL ENGINEER BROOKS AND SPARKS, INC. 21020 PARK ROW KATY, TX 77449 tel: 281.578.9595

STRUCTURAL ENGINEER DALLY + ASSOCIATES, INC. 9800 RICHMOND AVE. SUITE 460 HOUSTON, TX 77042 tel: 713.337.8881

MEPT ENGINEER SALAS O'BRIEN SUITE 900

10930 W. SAM HOUSTON PKWY. HOUSTON, TX 77064 tel: 281.664.1900

FOOD SERVICE EQUIPMENT 25317 INTERSTATE 45 THE WOODLANDS, TX 77380 tel: 281.350.2323

LANDSCAPE ARCHITEC **LANDESIGN GROUP** 17041 EL CAMINO REAL SUITE 204 HOUSTON, TX 77058

tel: 281.486.4040

| | | | | | | | | Project Number:

Date: 29 DECEMBER 2024

INTERIOR OPENING TYPES & DETAILS

A4.10

____ of ____

BULLNOSE ON ALL EXT. —

TYPICAL OPENING CMU-

DOOR OPENINGS, TYP.

-REMOVE & REPLACE BRICK & CMU AS REQ'D TO INSTALL

NEW DOOR & FRAME

1'-2"

WALL THICKNESS

GLASS TYPE LEGEND

IR-3 INSULATED IMPACT RESISTANT GLASS (EXTERIOR) IR-1 9/16" THICK IMPACT RESISTANT GLASS (INTERIOR) IR-2 3/8" THICK IMPACT RESISTANT GLASS (INTERIOR)

INSTALLATION OF IMPACT RESISTANT GLASS (IR) TYPES STANDARDS AND RECOMMENDATIONS, DOW CORNING 995 WHERE IR-F IS NOTED, INSTALL IMPACT RESISTANT FILM

- ONLY. CONTRACTOR SHALL VERIFY ALL WINDOW
- REPLACE GASKETS / SEALANTS FOR ALL EXISTING EXTERIOR WINDOWS WHETHER SPECIFIC SHOWN

IRF FILM ON EXISTING GLAZING

EXISTING GLASS BLOCK - VERIFY

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tel: 281.578.9595

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MEPT ENGINEER SALAS O'BRIEN SUITE 900

FOOD SERVICE EQUIPMENT

tel: 281.350.2323 LANDSCAPE ARCHITECT

SUITE 204

072100 - B1 RIGID WALL INSULATION - 1-1/2" THICK IN WALL 072500 - A2 FLUID APPLIED AIR BARRIER OVER EXTERIOR

072500 - B2 SELF-ADHERING FLASHING MEMBRANE @ WALL

076200 - A9 METAL REGLET W/ COUNTER FLASHING &

076400 - A1 COMBINATION FLEXIBLE SHEET FLASHING (076500), MORTAR DEFLECTION, & WEEP AS

076500 - A1 FLEXIBLE THRU-WALL FLASHING - STAINLESS STEEL CORE W/ POLYMER FABRIC LAMINATED TO BOTTOM OF SS FACE W/ ADHESIVE 076500 - A2 TERMINATION BAR W/ SELF TAPPING SCREWS

079005 - A1 JOINT SEALANT AND CYLINDRICAL SEALANT BACKING REPLACEMENT AROUND ALL SIDES

STOREFRONT SYSTEM

CORPORATION ARCHITECTS www.natexarchitects.com 447 Heights Boulevard Houston, TX 77007 Phone: 713-975-9525 Fax: 713-780-7824

Coleman Partners ARCHITECTS cparch.com 3701 Kirby Drive, Suite 830

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Date: 29 DECEMBER 2024

EXTERIOR OPENING TYPES

STOREFRONT SYSTEM

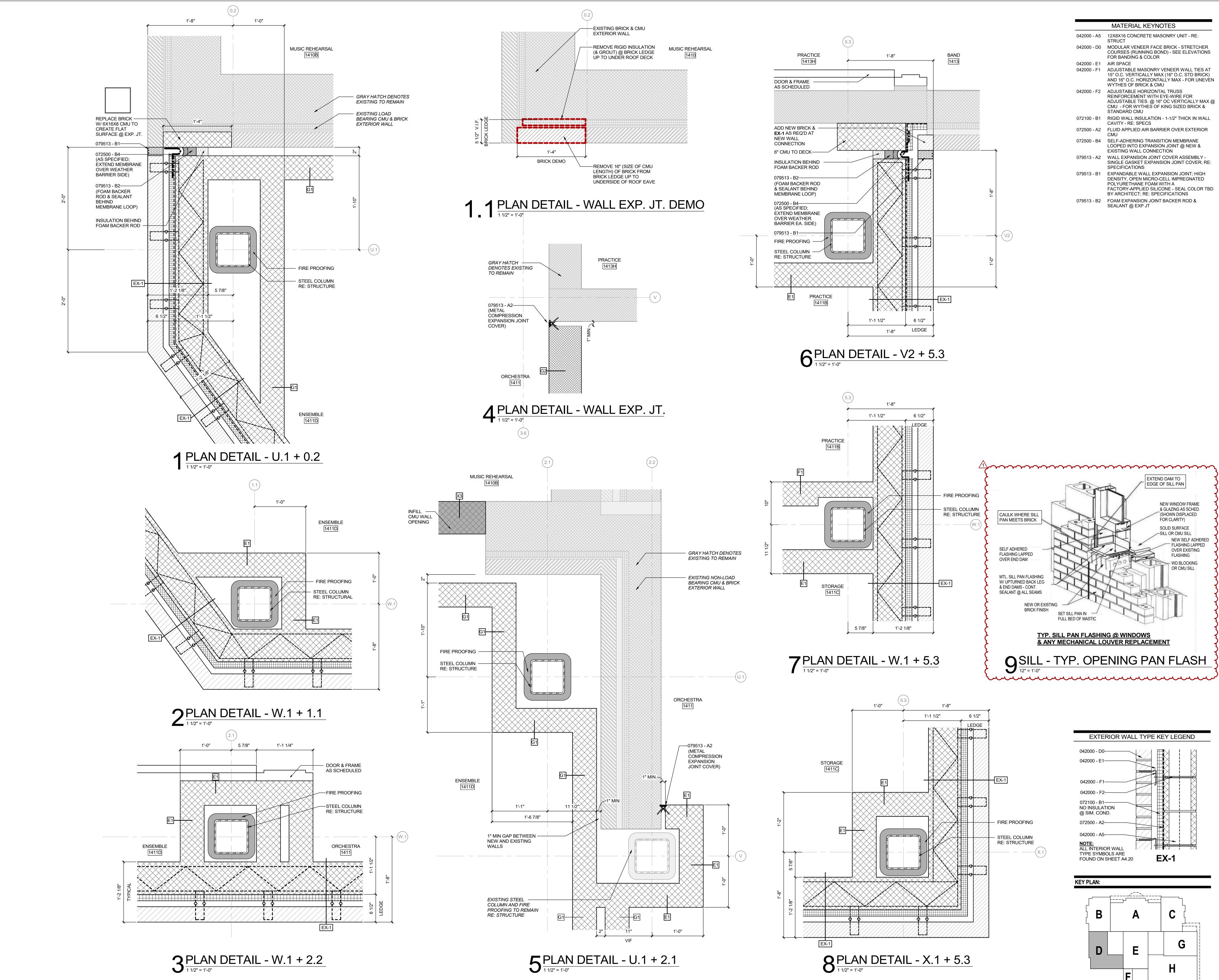
STOREFRONT SYSTEM

STOREFRONT SYSTEM

STOREFRONT SYSTEM

STOREFRONT SYSTEM

STOREFRONT SYSTEM



CORPORATION

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MEPT ENGINEER SALAS O'BRIEN 10930 W. SAM HOUSTON PKWY. SUITE 900 HOUSTON, TX 77064

FOOD SERVICE EQUIPMENT

25317 INTERSTATE 45 THE WOODLANDS, TX 77380 tel: 281.350.2323

tel: 281.664.1900

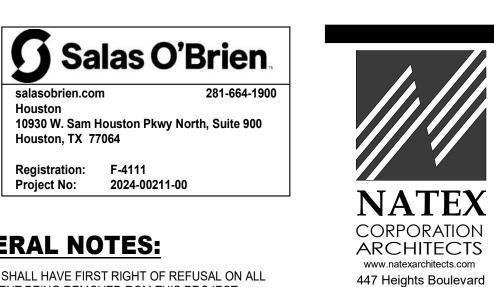
LANDESIGN GROUP 17041 EL CAMINO REAL SUITE 204 HOUSTON, TX 77058 tel: 281.486.4040

Date: 29 DECEMBER 2024

PLAN DETAILS

A9.01

KEY PLAN:



GENERAL NOTES:

1. OWNER SHALL HAVE FIRST RIGHT OF REFUSAL ON ALL EQUIPMENT BEING REMOVED ROM THIS PROJECT. THIS INCLUDES BUT IS NOT LIMITED TO CHILLERS, AIR HANDLING UNITS, ROOF TOP UNITS, FANS, CONDENSING UNITS, BMCS CONTROL PANELS, TEMPERATURE SENSORS, AND CONTROL VALVES. 2. THESE CONSTRUCTION DRAWINGS ARE DIAGRAMMATIC, AND DO NOT NECESSARILY REFLECT ACTUAL DIMENSIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD-VERIFY ALL DIMENSIONS AND COORDINATE PLACEMENT OF ALL EQUIPMENT AND ROUTING OF ALL PIPING AND/OR DUCT SYSTEMS. 3. ALL MECHANICAL SYSTEMS SHOWN ON THIS PLAN ARE FROM EXISTING DRAWINGS AND PRELIMINARY FIELD WORK. CONTRACTOR IS RESPONSIBLE FOR FIELD

DEMOLITION KEYED NOTES:

(1) REMOVE EXISTING SUPPLY AIR GRILLE, EXISTING DUCTWORK SHALL REMAIN AND BE REUSED. MAINTAIN

(2) REMOVE EXISTING RETURN AIR DEVICE.

(3) REMOVE EXISTING LIEBERT HVAC UNIT AND ALL ASSOCIATED DUCTWORK, PIPING, CONTROLS AND

(4) EXISTING DUAL DUCT BOX TO REMAIN.

 $\sqrt{5}$ REFER TO M2.01 FOR PIPING INSULATION WORK. (6) REMOVE EXISTING EXHAUST AIR GRILLE AND

RENOVATIONS

Houston, TX 77007 Phone: 713-975-9525 Fax: 713-780-7824 Coleman Partners VERIFYING ALL LOCATIONS AND SIZES OF MECHANICAL ARCHITECTS cparch.com SYSTEMS PRIOR TO THE START OF WORK.

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tel 832.947.1038 fax 225.214.5365

BID DOCUMENTS BRADLEY KALMANS 01/16/2025

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HOUSTON, TX 77064

tel: 281.664.1900

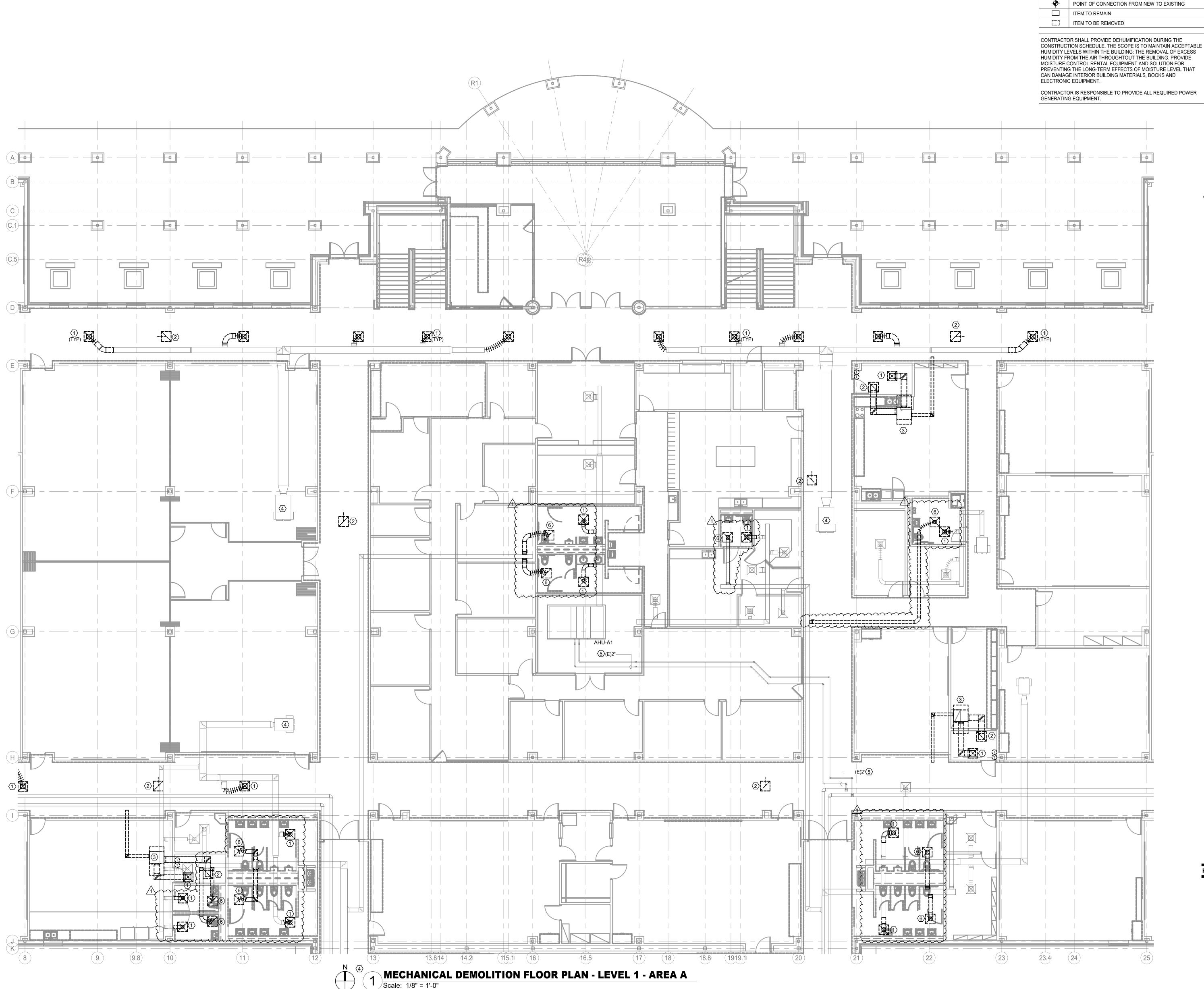
FOOD SERVICE EQUIPMENT

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17041 EL CAMINO REAL, STE 204 HOUSTON, TX 77058 tel: 281.486.4040

MECHANICAL DEMOLITION FIRST FLOOR PLAN - AREA 'A'

M0.01



Houston, TX 77064

Registration: F-4111 Project No: 2024-00211-00

1. OWNER SHALL HAVE FIRST RIGHT OF REFUSAL ON ALL

THIS INCLUDES BUT IS NOT LIMITED TO CHILLERS, AIR

EQUIPMENT BEING REMOVED ROM THIS PROJECT.

TEMPERATURE SENSORS, AND CONTROL VALVES.

DIAGRAMMATIC, AND DO NOT NECESSARILY REFLECT

THE CONTRACTOR TO FIELD-VERIFY ALL DIMENSIONS

AND ROUTING OF ALL PIPING AND/OR DUCT SYSTEMS.

3. ALL MECHANICAL SYSTEMS SHOWN ON THIS PLAN ARE

FROM EXISTING DRAWINGS AND PRELIMINARY FIELD

VERIFYING ALL LOCATIONS AND SIZES OF MECHANICAL

WORK. CONTRACTOR IS RESPONSIBLE FOR FIELD

ACTUAL DIMENSIONS. IT IS THE RESPONSIBILITY OF

AND COORDINATE PLACEMENT OF ALL EQUIPMENT

HANDLING UNITS, ROOF TOP UNITS, FANS, CONDENSING UNITS, BMCS CONTROL PANELS,

2. THESE CONSTRUCTION DRAWINGS ARE

GENERAL NOTES:

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CORPORATION ARCHITECTS

www.natexarchitects.com

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ARCHITECTS cparch.com 3701 Kirby Drive, Suite 830 Houston,TX 77098 tel 832.947.1038 fax 225.214.5365

Coleman Partners

BID DOCUMENTS

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DALLY + ASSOCIATES, INC.

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25317 INTERSTATE 45 THE WOODLANDS, TX 77380 tel: 281.350.2323

LANDSCAPE LANDSCAPE GROUP

17041 EL CAMINO REAL, STE 204 HOUSTON, TX 77058 tel: 281.486.4040

DEMOLITION FIRST FLOOR PLAN - AREA 'B'

RENOVATIONS POINT OF CONNECTION FROM NEW TO EXISTING ☐ ITEM TO REMAIN [_] ITEM TO BE REMOVED

CONTRACTOR SHALL PROVIDE DEHUMIFICATION DURING THE CONSTRUCTION SCHEDULE. THE SCOPE IS TO MAINTAIN ACCEPTABLE HUMIDITY LEVELS WITHIN THE BUILDING: THE REMOVAL OF EXCESS HUMIDITY FROM THE AIR THROUGHTOUT THE BUILDING. PROVIDE MOISTURE CONTROL RENTAL EQUIPMENT AND SOLUTION FOR PREVENTING THE LONG-TERM EFFECTS OF MOISTURE LEVEL THAT CAN DAMAGE INTERIOR BUILDING MATERIALS, BOOKS AND ELECTRONIC EQUIPMENT.

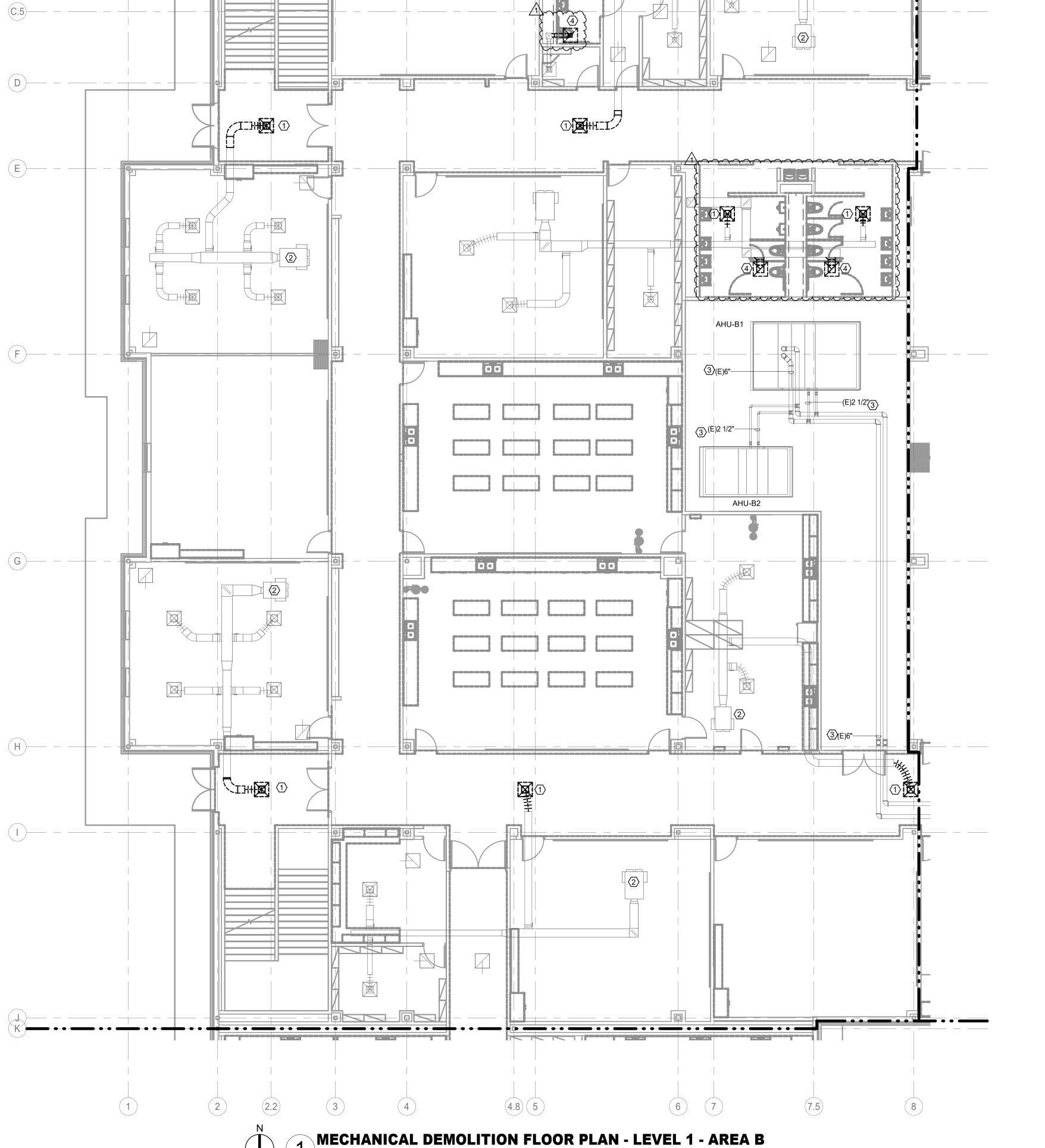
CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL REQUIRED POWER GENERATING EQUIPMENT.

SYSTEMS PRIOR TO THE START OF WORK. **DEMOLITION KEYED NOTES:**

(1) REMOVE EXISTING SUPPLY AIR GRILLE, EXISTING DUCTWORK SHALL REMAIN AND BE REUSED. MAINTAIN EXISTING BALANCING DAMPER IN EXISTING LOCATION.

(2) EXISTING DUAL DUCT BOX TO REMAIN.

(3) REFER TO M2.02 FOR PIPING INSULATION WORK. (4) REMOVE EXISTING EXHAUST AIR GRILLE AND ASSOCIATED BRANCH DUCT AS INDICATED.



KEY PLAN:

Houston, TX 77064 Registration: F-4111

Project No: 2024-00211-00

WORK. CONTRACTOR IS RESPONSIBLE FOR FIELD

SYSTEMS PRIOR TO THE START OF WORK.

VERIFYING ALL LOCATIONS AND SIZES OF MECHANICAL

GENERAL NOTES:

RENOVATIONS

☐ ITEM TO REMAIN

ELECTRONIC EQUIPMENT.

GENERATING EQUIPMENT.

[_] ITEM TO BE REMOVED

POINT OF CONNECTION FROM NEW TO EXISTING

CONTRACTOR SHALL PROVIDE DEHUMIFICATION DURING THE

CONSTRUCTION SCHEDULE. THE SCOPE IS TO MAINTAIN ACCEPTABLE

HUMIDITY LEVELS WITHIN THE BUILDING: THE REMOVAL OF EXCESS

HUMIDITY FROM THE AIR THROUGHTOUT THE BUILDING. PROVIDE

PREVENTING THE LONG-TERM EFFECTS OF MOISTURE LEVEL THAT

CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL REQUIRED POWER

MOISTURE CONTROL RENTAL EQUIPMENT AND SOLUTION FOR

CAN DAMAGE INTERIOR BUILDING MATERIALS, BOOKS AND

1. OWNER SHALL HAVE FIRST RIGHT OF REFUSAL ON ALL 447 Heights Boulevard EQUIPMENT BEING REMOVED ROM THIS PROJECT. Houston, TX 77007 THIS INCLUDES BUT IS NOT LIMITED TO CHILLERS, AIR Phone: 713-975-9525 Fax: 713-780-7824 HANDLING UNITS, ROOF TOP UNITS, FANS, CONDENSING UNITS, BMCS CONTROL PANELS, TEMPERATURE SENSORS, AND CONTROL VALVES. 2. THESE CONSTRUCTION DRAWINGS ARE DIAGRAMMATIC, AND DO NOT NECESSARILY REFLECT ACTUAL DIMENSIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD-VERIFY ALL DIMENSIONS AND COORDINATE PLACEMENT OF ALL EQUIPMENT AND ROUTING OF ALL PIPING AND/OR DUCT SYSTEMS. 3. ALL MECHANICAL SYSTEMS SHOWN ON THIS PLAN ARE FROM EXISTING DRAWINGS AND PRELIMINARY FIELD

DEMOLITION KEYED NOTES: (1) REMOVE EXISTING SUPPLY AIR GRILLE, EXISTING

DUCTWORK SHALL REMAIN AND BE REUSED. MAINTAIN EXISTING BALANCING DAMPER IN EXISTING LOCATION.

2 REMOVE EXISTING RETURN AIR DEVICE.

 $\langle 3 \rangle$ EXISTING DUAL DUCT BOX TO REMAIN.

(4) REFER TO M2.03 FOR PIPING INSULATION WORK. 5 REMOVE EXISTING EXHAUST AIR GRILLE AND ASSOCIATED BRANCH DUCT AS INDICATED.

Coleman Partners

CORPORATION ARCHITECTS

www.natexarchitects.com

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ARCHITECTS cparch.com

BID DOCUMENTS BRADLEY KALMANS 01/16/2025

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STRUCTURAL ENGINEER

DALLY + ASSOCIATES, INC. 9800 RICHMOND AVE. SUITE 460 HOUSTON, TX 77042 tel: 713.337.8881 **MEPT ENGINEER**

SALAS O'BRIEN 10930 W. SAM HOUSTON PKWY. N SUITE 900 HOUSTON, TX 77064 tel: 281.664.1900

FOOD SERVICE EQUIPMENT 25317 INTERSTATE 45 THE WOODLANDS, TX 77380 tel: 281.350.2323

LANDSCAPE LANDSCAPE GROUP 17041 EL CAMINO REAL, STE 204 HOUSTON, TX 77058 tel: 281.486.4040

MECHANICAL DEMOLITION FIRST FLOOR PLAN - AREA 'C'

KEY PLAN: MECHANICAL DEMOLITION FLOOR PLAN - LEVEL 1 - AREA C

| Scale: 1/8" = 1'-0"



Salas O'Brien.

10930 W. Sam Houston Pkwy North, Suite 900 Houston, TX 77064

Registration: F-4111 Project No: 2024-00211-00

> 447 Heights Boulevard Houston, TX 77007 Phone: 713-975-9525 Fax: 713-780-7824

DEMOLITION KEYED NOTES:

(1) REMOVE EXISTING SUPPLY AIR GRILLE, EXISTING DUCTWORK SHALL REMAIN AND BE REUSED. MAINTAIN

 $\langle 2 \rangle$ REMOVE EXISTING RETURN AIR DEVICE.

(3) REMOVE EXISTING LIEBERT HVAC UNIT AND ALL ASSOCIATED DUCTWORK, PIPING, CONTROLS AND

4 EXISTING DUAL DUCT BOX TO REMAIN.

(5) REMOVE EXISTING DUAL DUCT BOX, ASSOCIATED DUCTWORK, PIPING, CONTROLS AND ELECTRICAL

(6) REMOVE EXISTING CHWS&R PIPING BACK TO THIS POINT.

(7) REMOVE EXHAUST DUCT CONNECTION BACK TO

(8) REFER TO M2.04 FOR PIPING INSULATION WORK. 9 REMOVE EXISTING EXHAUST AIR GRILLE AND ASSOCIATED BRANCH DUCT AS INDICATED.

Coleman Partners

CORPORATION ARCHITECTS

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01/16/2025

tel: 281.578.9595 STRUCTURAL ENGINEER DALLY + ASSOCIATES, INC. 9800 RICHMOND AVE. SUITE 460

tel: 713.337.8881 **MEPT ENGINEER SALAS O'BRIEN** 10930 W. SAM HOUSTON PKWY. N

HOUSTON, TX 77042

SUITE 900 HOUSTON, TX 77064 tel: 281.664.1900

FOOD SERVICE EQUIPMENT

25317 INTERSTATE 45 THE WOODLANDS, TX 77380 tel: 281.350.2323 LANDSCAPE

LANDSCAPE GROUP 17041 EL CAMINO REAL, STE 204 HOUSTON, TX 77058 tel: 281.486.4040

Date: 29 DECEMBER 2024 MECHANICAL DEMOLITION FIRST FLOOR PLAN - AREA 'D'

M0.04

1/mmmmm

Lumming

Registration: F-4111 Project No: 2024-00211-00

EQUIPMENT BEING REMOVED ROM THIS PROJECT. Houston, TX 77007 Phone: 713-975-9525 Fax: 713-780-7824 THIS INCLUDES BUT IS NOT LIMITED TO CHILLERS, AIR HANDLING UNITS, ROOF TOP UNITS, FANS, CONDENSING UNITS, BMCS CONTROL PANELS, TEMPERATURE SENSORS, AND CONTROL VALVES. 2. THESE CONSTRUCTION DRAWINGS ARE DIAGRAMMATIC, AND DO NOT NECESSARILY REFLECT ACTUAL DIMENSIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD-VERIFY ALL DIMENSIONS AND COORDINATE PLACEMENT OF ALL EQUIPMENT AND ROUTING OF ALL PIPING AND/OR DUCT SYSTEMS. 3. ALL MECHANICAL SYSTEMS SHOWN ON THIS PLAN ARE

DEMOLITION KEYED NOTES:

(1) REMOVE EXISTING SUPPLY AIR GRILLE, EXISTING BRANCH DUCTWORK SHALL REMAIN AND BE REUSED.

FROM EXISTING DRAWINGS AND PRELIMINARY FIELD

WORK. CONTRACTOR IS RESPONSIBLE FOR FIELD

(2) REMOVE EXISTING RETURN AIR DEVICE.

(3) REMOVE EXISTING EXHAUST AIR GRILLE, EXISTING DUCTWORK SHALL REMAIN AND BE REUSED.

(4) REMOVE EXISTING EXHAUST FAN, ROOF CURB, CONTROLS AND DUCTWORK AS INDICATED. CONTRACTOR SHALL PRESERVE EXISTING OPENING FOR DURATION OF CONSTRUCTION.

(5) EXISTING EXHAUST FAN TO REMAIN.

(6) EXISTING DUAL DUCT BOX TO REMAIN.

KEY PLAN:

REMOVE EXISTING DUST COLLECTOR. EXISTING DUCT TO REMAIN.

(8) REMOVE EXISTING DUAL DUCT BOX, ASSOCIATED DUCTWORK AND ALL ASSOCATED CONTROLS.

VERIFYING ALL LOCATIONS AND SIZES OF MECHANICAL ARCHITECTS SYSTEMS PRIOR TO THE START OF WORK. **cp**arch.com

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> > **BRADLEY KALMANS**

CORPORATION

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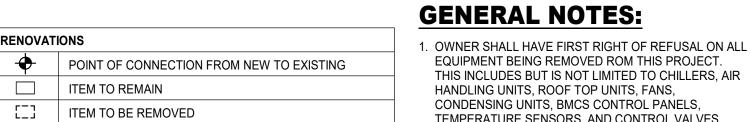
MEPT ENGINEER

FOOD SERVICE EQUIPMENT 25317 INTERSTATE 45 THE WOODLANDS, TX 77380 tel: 281.350.2323

LANDSCAPE 17041 EL CAMINO REAL, STE 204 HOUSTON, TX 77058 tel: 281.486.4040

MECHANICAL DEMOLITION FIRST FLOOR PLAN - AREA 'H'

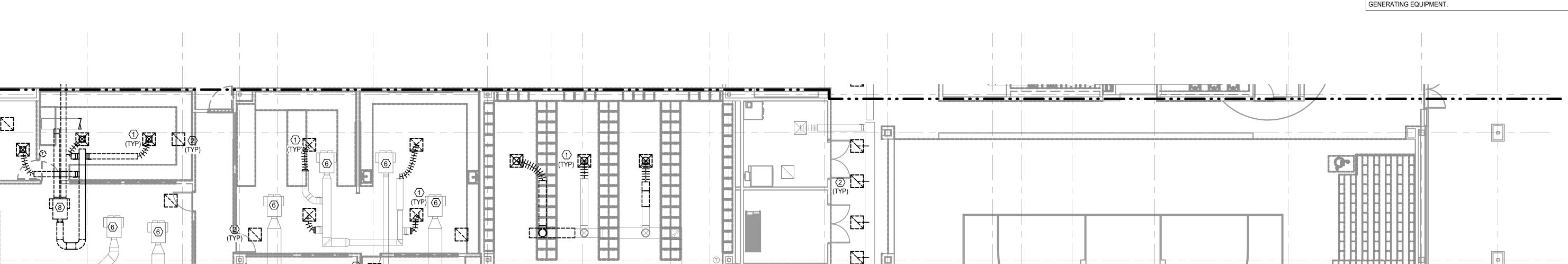
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CONTRACTOR SHALL PROVIDE DEHUMIFICATION DURING THE CONSTRUCTION SCHEDULE. THE SCOPE IS TO MAINTAIN ACCEPTABLE HUMIDITY LEVELS WITHIN THE BUILDING: THE REMOVAL OF EXCESS HUMIDITY FROM THE AIR THROUGHTOUT THE BUILDING. PROVIDE MOISTURE CONTROL RENTAL EQUIPMENT AND SOLUTION FOR PREVENTING THE LONG-TERM EFFECTS OF MOISTURE LEVEL THAT CAN DAMAGE INTERIOR BUILDING MATERIALS, BOOKS AND ELECTRONIC EQUIPMENT.

RENOVATIONS

CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL REQUIRED POWER



MECHANICAL DEMOLITION FLOOR PLAN - LEVEL 1 - AREA H
Scale: 1/8" = 1'-0"

(TYP)

Registration: F-4111 Project No: 2024-00211-00

> Houston, TX 77007 Phone: 713-975-9525 Fax: 713-780-7824

DEMOLITION KEYED NOTES:

(1) REMOVE EXISTING SUPPLY AIR GRILLE, EXISTING BRANCH

4 REFER TO M2.10 FOR PIPING INSULATION WORK. (5) REMOVE EXISTING EXHAUST AIR GRILLE AND ASSOCIATED BRANCH DUCT AS INDICATED.

GENERAL NOTES:

. OWNER SHALL HAVE FIRST RIGHT OF REFUSAL ON ALL EQUIPMENT BEING REMOVED ROM THIS PROJECT. THIS INCLUDES BUT IS NOT LIMITED TO CHILLERS, AIR HANDLING UNITS, ROOF TOP UNITS, FANS, CONDENSING UNITS, BMCS CONTROL PANELS. TEMPERATURE SENSORS, AND CONTROL VALVES. THESE CONSTRUCTION DRAWINGS ARE DIAGRAMMATIC, AND DO NOT NECESSARILY REFLECT ACTUAL DIMENSIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD-VERIFY ALL DIMENSIONS AND COORDINATE PLACEMENT OF ALL EQUIPMENT AND ROUTING OF ALL PIPING AND/OR DUCT SYSTEMS. 3. ALL MECHANICAL SYSTEMS SHOWN ON THIS PLAN ARE

FROM EXISTING DRAWINGS AND PRELIMINARY FIELD WORK. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL LOCATIONS AND SIZES OF MECHANICAL SYSTEMS PRIOR TO THE START OF WORK.

DUCTWORK SHALL REMAIN AND BE REUSED.

 $\langle 2 \rangle$ REMOVE EXISTING RETURN AIR DEVICE.

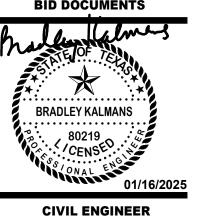
(3) EXISTING DUAL DUCT BOX TO REMAIN.

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CORPORATION ARCHITECTS

www.natexarchitects.com 447 Heights Boulevard

tel 832.947.1038 fax 225.214.5365 **BID DOCUMENTS**



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MEPT ENGINEER SALAS O'BRIEN 10930 W. SAM HOUSTON PKWY. N SUITE 900 HOUSTON, TX 77064

FOOD SERVICE EQUIPMENT

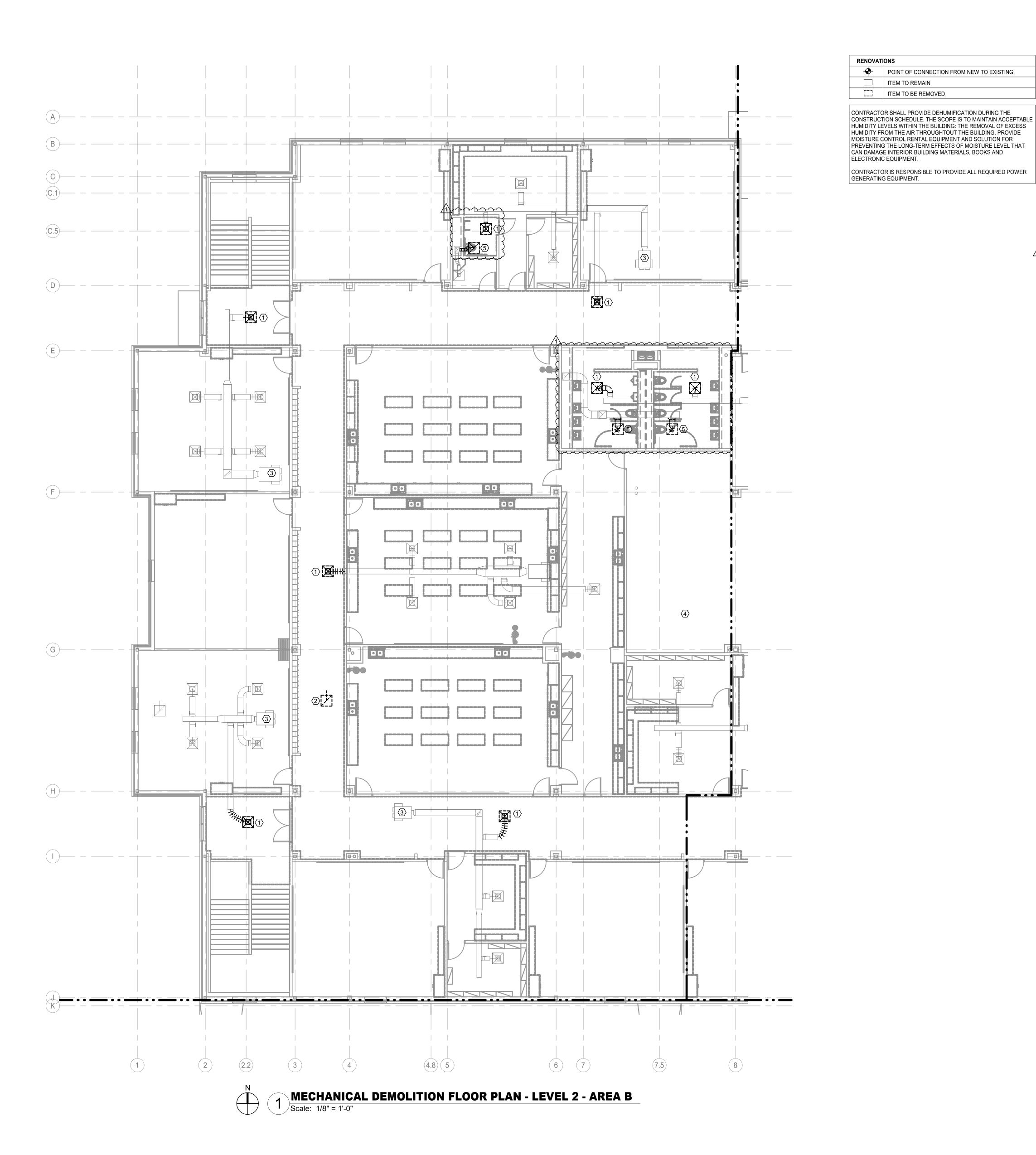
tel: 281.664.1900

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DEMOLITION SECOND F<u>LOOR PLAN - AREA</u> 'B'

KEY PLAN:



Houston, TX 77064

Registration: F-4111 Project No: 2024-00211-00

3. ALL MECHANICAL SYSTEMS SHOWN ON THIS PLAN ARE

VERIFYING ALL LOCATIONS AND SIZES OF MECHANICAL

DEMOLITION KEYED NOTES:

(1) REMOVE EXISTING SUPPLY AIR GRILLE, EXISTING BRANCH

FROM EXISTING DRAWINGS AND PRELIMINARY FIELD

WORK. CONTRACTOR IS RESPONSIBLE FOR FIELD

SYSTEMS PRIOR TO THE START OF WORK.

DUCTWORK SHALL REMAIN AND BE REUSED.

4 REFER TO M2.11 FOR PIPING INSULATION WORK.

5 REMOVE EXISTING EXHAUST AIR GRILLE AND

ASSOCIATED BRANCH DUCT AS INDICATED.

<u>_</u>_____

2 REMOVE EXISTING RETURN AIR DEVICE.

 $\overline{3}$ EXISTING DUAL DUCT BOX TO REMAIN.

KEY PLAN:

GENERAL NOTES:

RENOVATIONS

ELECTRONIC EQUIPMENT.

GENERATING EQUIPMENT.

☐ ITEM TO REMAIN

[_] ITEM TO BE REMOVED

POINT OF CONNECTION FROM NEW TO EXISTING

CONTRACTOR SHALL PROVIDE DEHUMIFICATION DURING THE

CONSTRUCTION SCHEDULE. THE SCOPE IS TO MAINTAIN ACCEPTABLE

HUMIDITY LEVELS WITHIN THE BUILDING: THE REMOVAL OF EXCESS

PREVENTING THE LONG-TERM EFFECTS OF MOISTURE LEVEL THAT

CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL REQUIRED POWER

HUMIDITY FROM THE AIR THROUGHTOUT THE BUILDING. PROVIDE

MOISTURE CONTROL RENTAL EQUIPMENT AND SOLUTION FOR

CAN DAMAGE INTERIOR BUILDING MATERIALS, BOOKS AND

447 Heights Boulevard 1. OWNER SHALL HAVE FIRST RIGHT OF REFUSAL ON ALL Houston, TX 77007 EQUIPMENT BEING REMOVED ROM THIS PROJECT. Phone: 713-975-9525 Fax: 713-780-7824 THIS INCLUDES BUT IS NOT LIMITED TO CHILLERS, AIR HANDLING UNITS, ROOF TOP UNITS, FANS, CONDENSING UNITS, BMCS CONTROL PANELS, TEMPERATURE SENSORS, AND CONTROL VALVES. 2. THESE CONSTRUCTION DRAWINGS ARE DIAGRAMMATIC, AND DO NOT NECESSARILY REFLECT ACTUAL DIMENSIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD-VERIFY ALL DIMENSIONS AND COORDINATE PLACEMENT OF ALL EQUIPMENT AND ROUTING OF ALL PIPING AND/OR DUCT SYSTEMS.

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BID DOCUMENTS

BRADLEY KALMANS 01/16/2025 CIVIL ENGINEER

21020 PARK ROW KATY, TX 77449 tel: 281.578.9595 STRUCTURAL ENGINEER DALLY + ASSOCIATES, INC.

BROOKS AND SPARKS, INC.

9800 RICHMOND AVE. SUITE 460 HOUSTON, TX 77042 tel: 713.337.8881 **MEPT ENGINEER**

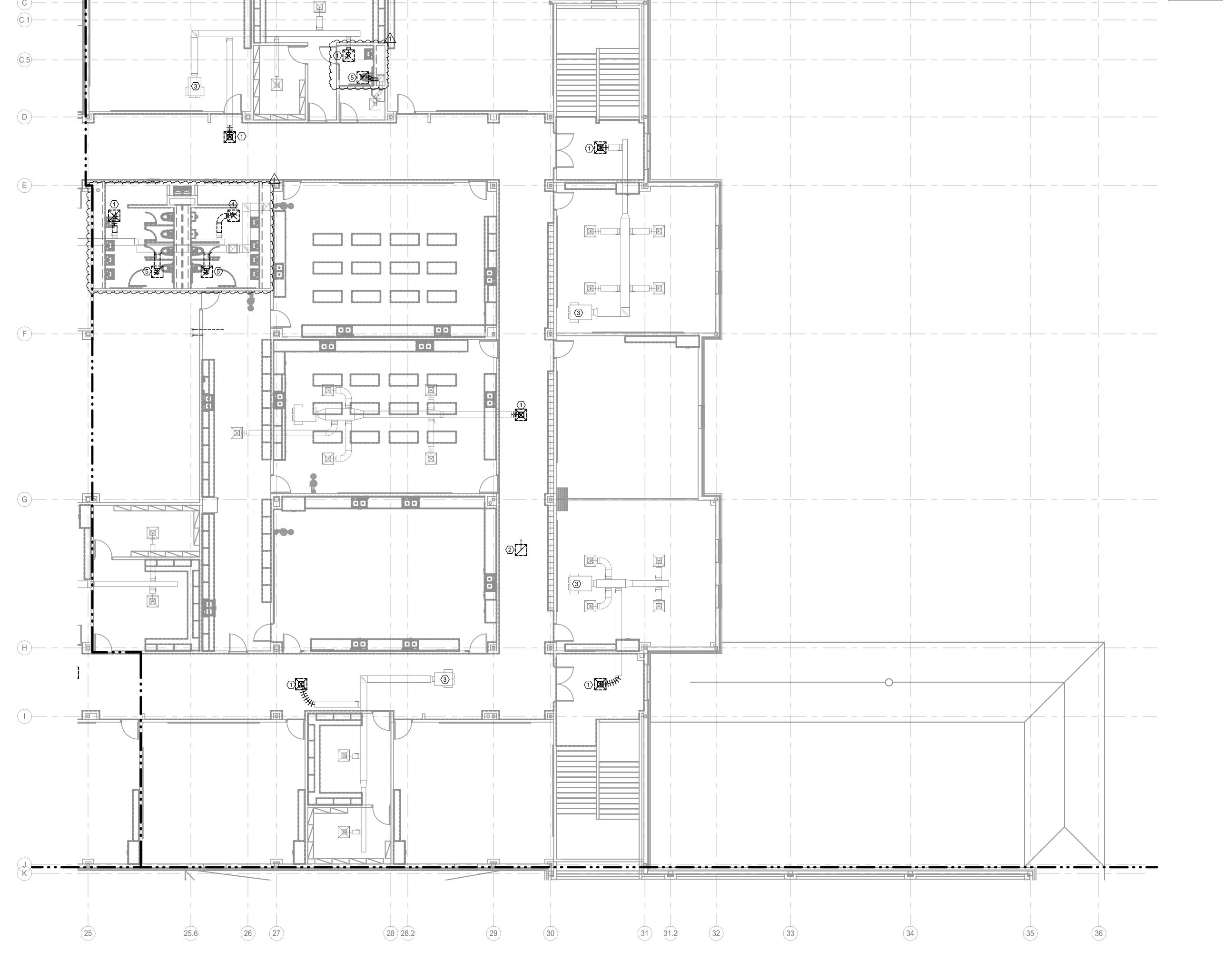
SALAS O'BRIEN 10930 W. SAM HOUSTON PKWY. N SUITE 900 HOUSTON, TX 77064 tel: 281.664.1900

25317 INTERSTATE 45 THE WOODLANDS, TX 77380 tel: 281.350.2323

FOOD SERVICE EQUIPMENT

LANDSCAPE LANDSCAPE GROUP 17041 EL CAMINO REAL, STE 204 HOUSTON, TX 77058 tel: 281.486.4040

Date: 29 DECEMBER 2024 DEMOLITION SECOND FLOOR PLAN - AREA 'C'



MECHANICAL DEMOLITION FLOOR PLAN - LEVEL 2 - AREA C
Scale: 1/8" = 1'-0"

Registration: F-4111 Project No: 2024-00211-00 NATEX CORPORATION ARCHITECTS www.natexarchitects.com 447 Heights Boulevard DIAGRAMMATIC, AND DO NOT NECESSARILY REFLECT ACTUAL DIMENSIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD-VERIFY ALL DIMENSIONS AND COORDINATE PLACEMENT OF ALL EQUIPMENT AND ROUTING OF ALL PIPING AND/OR DUCT SYSTEMS.



MECHANICAL KEYED NOTES:

1 PROVIDE ADDITIONAL FLEX DUCTWORK AS REQUIRED TO
INSTALL DIFFUSER IN EXISTING LOCATION

Coleman ARCHI

Coleman ARCH

INSTALL DIFFUSER IN EXISTING LOCATION.

(2) PROVIDE REQUIRED CLEARANCES FOR PROPER

2. ALL MECHANICAL SYSTEMS SHOWN ON THIS PLAN ARE FROM EXISTING DRAWINGS AND PRELIMINARY FIELD

WORK. CONTRACTOR IS RESPONSIBLE FOR FIELD

SYSTEMS PRIOR TO THE START OF WORK.

VERIFYING ALL LOCATIONS AND SIZES OF MECHANICAL

(2) PROVIDE REQUIRED CLEARANCES FOR PROPI MAINTENANCE AND OPERATION.

CONDENSING UNIT ON ROOF. SIZE PER MANUFACTURER'S RECOMMENDATIONS.

(4) ROUTE FULL SIZE CONDENSATE DRAIN PIPE TO SINK WYE

TAILPIECE IN LIFE SKILLS 1163 AS INDICATED.

(5) PROVIDE BMCS MONITORING TEMPERATURE SENSOR AS

(3) ROUTE REFRIGERANT LINES TO ASSOCIATED AIR COOLED

(6) ROUTE FULL SIZE CONDENSATE DRAIN PIPE TO FLOOR DRAIN IN JAN 1125 AS INDICATED.

INDICATED.

(7) REMOVE EXISTING CHWS&R PIPING INSULATION AS INDICATED, REINSULATE AND SEAL PER SPECIFICATIONS.

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tel 832.947.1038 fax 225.214.5365

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01/16/2025

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KATY, TX 77449

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tel: 281.664.1900

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17041 EL CAMINO REAL, STE 204 HOUSTON, TX 77058 tel: 281.486.4040

> **30L** EXAS 77084 3-R-RFP

JDLE SCHOOL RK RD, HOUSTON, TEXAS 770 7 NO: 24-02-5750-R-RFP

KAHLA MIDDLE

16212 W LITTLE YORK RD, HC

201/16/25 Revisions / Submission

Project Number: 23072

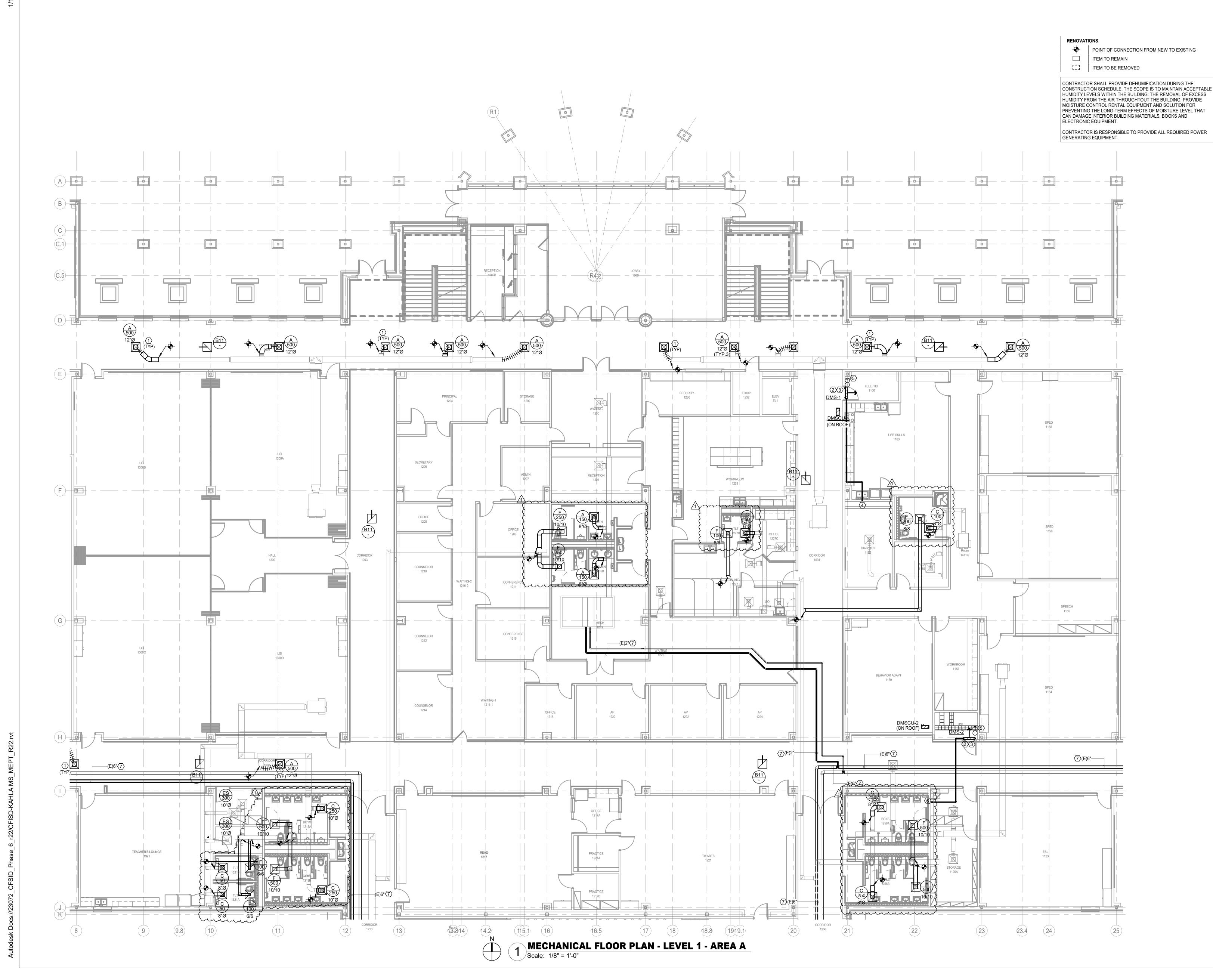
Date: 29 DECEMBER 2024

Drawn by: ER

MECHANICAL FIRST
FLOOR PLAN - AREA 'A'



KEY PLAN:



Houston, TX 77064

Registration: F-4111 Project No: 2024-00211-00

RENOVATIONS

☐ ITEM TO REMAIN

ELECTRONIC EQUIPMENT.

GENERATING EQUIPMENT.

[_] ITEM TO BE REMOVED

POINT OF CONNECTION FROM NEW TO EXISTING

CONTRACTOR SHALL PROVIDE DEHUMIFICATION DURING THE

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HUMIDITY LEVELS WITHIN THE BUILDING: THE REMOVAL OF EXCESS

HUMIDITY FROM THE AIR THROUGHTOUT THE BUILDING. PROVIDE MOISTURE CONTROL RENTAL EQUIPMENT AND SOLUTION FOR

PREVENTING THE LONG-TERM EFFECTS OF MOISTURE LEVEL THAT

CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL REQUIRED POWER

CAN DAMAGE INTERIOR BUILDING MATERIALS, BOOKS AND

GENERAL NOTES: 447 Heights Boulevard Houston, TX 77007 THESE CONSTRUCTION DRAWINGS ARE
 DIAGRAMMATIC, AND DO NOT NECESSARILY REFLECT Phone: 713-975-9525 Fax: 713-780-7824 ACTUAL DIMENSIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD-VERIFY ALL DIMENSIONS AND COORDINATE PLACEMENT OF ALL EQUIPMENT AND ROUTING OF ALL PIPING AND/OR DUCT SYSTEMS. 2. ALL MECHANICAL SYSTEMS SHOWN ON THIS PLAN ARE

FROM EXISTING DRAWINGS AND PRELIMINARY FIELD WORK. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL LOCATIONS AND SIZES OF MECHANICAL SYSTEMS PRIOR TO THE START OF WORK.

MECHANICAL KEYED NOTES:

1 PROVIDE ADDITIONAL FLEX DUCTWORK AS REQUIRED TO

INSTALL DIFFUSER IN EXISTING LOCATION. (2) REMOVE EXISTING CHWS&R PIPING INSULATION AS INDICATED, REINSULATE AND SEAL PER SPECIFICATIONS.

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Coleman Partners

ARCHITECTS cparch.com

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tel 832.947.1038 fax 225.214.5365 **BID DOCUMENTS**

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DALLY + ASSOCIATES, INC. 9800 RICHMOND AVE. SUITE 460 HOUSTON, TX 77042 tel: 713.337.8881 **MEPT ENGINEER**

STRUCTURAL ENGINEER

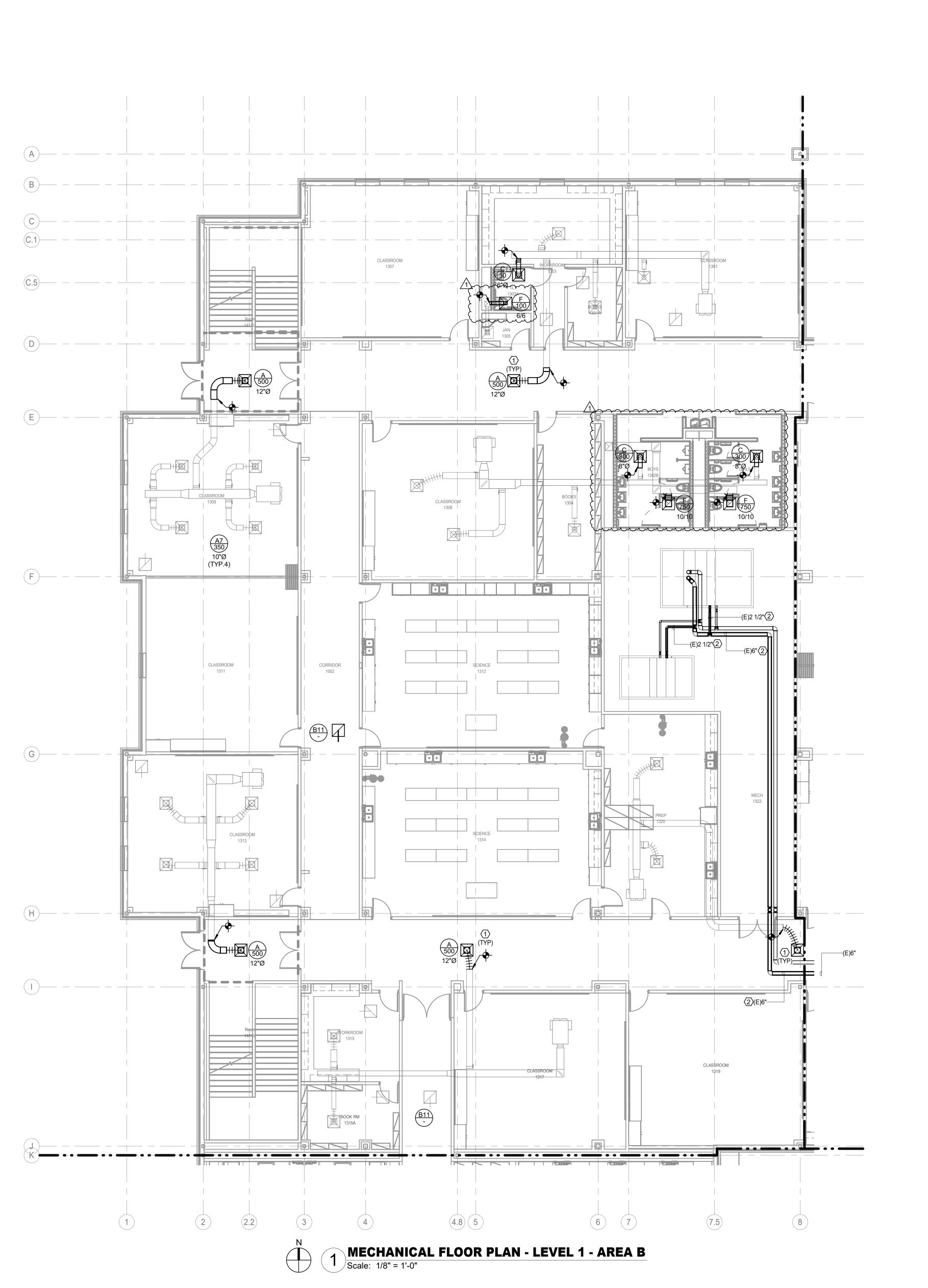
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FOOD SERVICE EQUIPMENT 25317 INTERSTATE 45 THE WOODLANDS, TX 77380 tel: 281.350.2323

LANDSCAPE LANDSCAPE GROUP

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MECHANICAL FIRST FLOOR PLAN - AREA 'B'



KEY PLAN:

10930 W. Sam Houston Pkwy North, Suite 900 Houston, TX 77064

Registration: F-4111

DIAGRAMMATIC, AND DO NOT NECESSARILY REFLECT ACTUAL DIMENSIONS. IT IS THE RESPONSIBILITY OF

THE CONTRACTOR TO FIELD-VERIFY ALL DIMENSIONS

AND COORDINATE PLACEMENT OF ALL EQUIPMENT AND ROUTING OF ALL PIPING AND/OR DUCT SYSTEMS. 2. ALL MECHANICAL SYSTEMS SHOWN ON THIS PLAN ARE FROM EXISTING DRAWINGS AND PRELIMINARY FIELD

WORK. CONTRACTOR IS RESPONSIBLE FOR FIELD

SYSTEMS PRIOR TO THE START OF WORK.

INSTALL DIFFUSER IN EXISTING LOCATION.

VERIFYING ALL LOCATIONS AND SIZES OF MECHANICAL

(2) REMOVE EXISTING CHWS&R PIPING INSULATION AS INDICATED, REINSULATE AND SEAL PER SPECIFICATIONS.

GENERAL NOTES:

1. THESE CONSTRUCTION DRAWINGS ARE

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MECHANICAL KEYED NOTES: Coleman Partners ARCHITECTS cparch.com 1 PROVIDE ADDITIONAL FLEX DUCTWORK AS REQUIRED TO

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21020 PARK ROW

9800 RICHMOND AVE.

SUITE 460 HOUSTON, TX 77042 tel: 713.337.8881 **MEPT ENGINEER SALAS O'BRIEN** 10930 W. SAM HOUSTON PKWY. N

tel: 281.664.1900 FOOD SERVICE EQUIPMENT

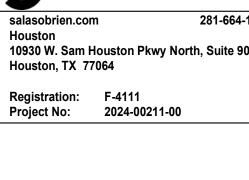
SUITE 900 HOUSTON, TX 77064

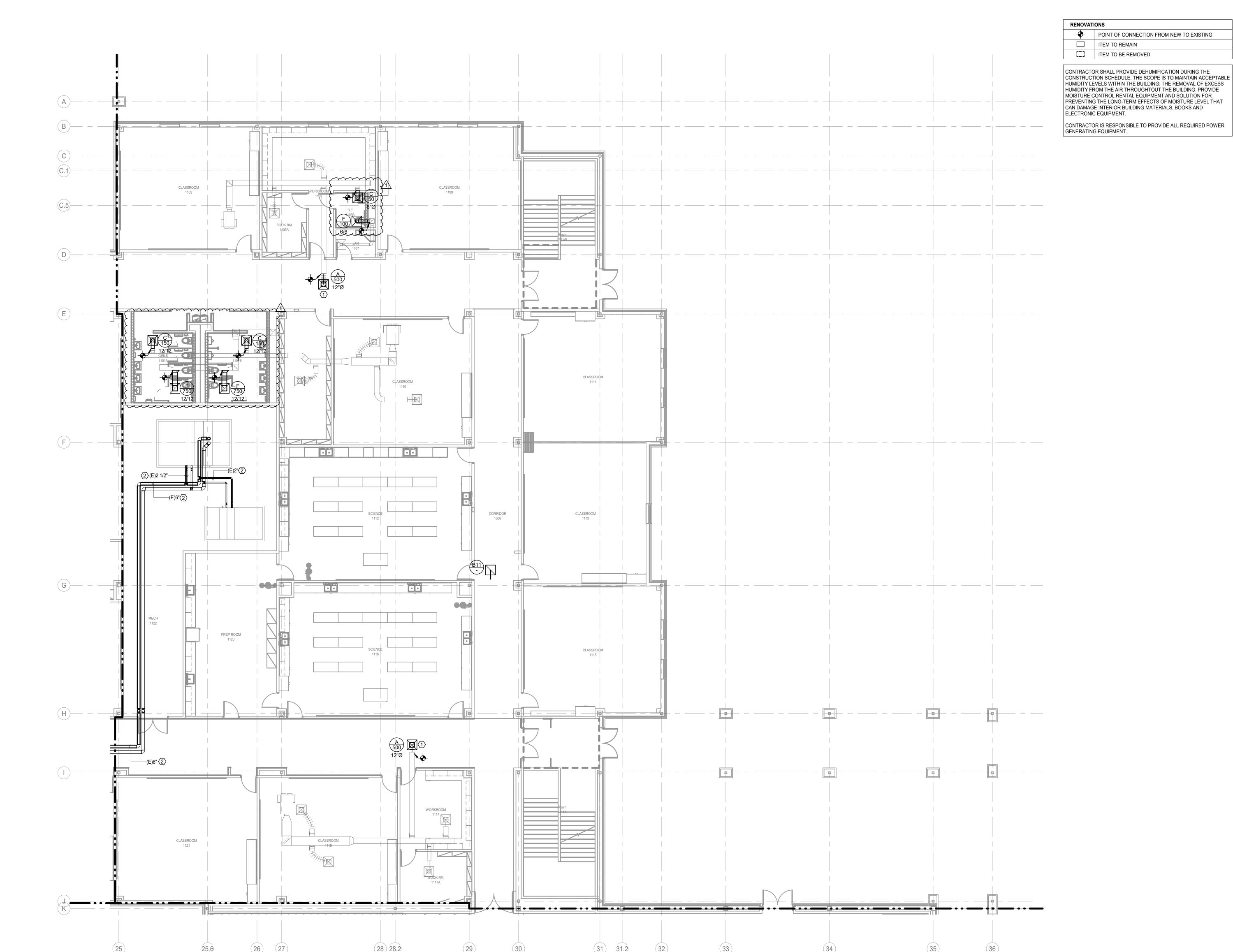
25317 INTERSTATE 45 THE WOODLANDS, TX 77380 tel: 281.350.2323 LANDSCAPE

LANDSCAPE GROUP 17041 EL CAMINO REAL, STE 204 HOUSTON, TX 77058 tel: 281.486.4040

MECHANICAL FIRST FLOOR PLAN - AREA 'C'

KEY PLAN:





MECHANICAL FLOOR PLAN - LEVEL 1 - AREA C
Scale: 1/8" = 1'-0"

Salas O'Brien

10930 W. Sam Houston Pkwy North, Suite 900 Houston, TX 77064

Registration: F-4111 Project No: 2024-00211-00

1 PROVIDE ADDITIONAL FLEX DUCTWORK AS REQUIRED TO

(2) PROVIDE REQUIRED CLEARANCES FOR PROPER

(3) ROUTE REFRIGERANT LINES TO ASSOCIATED AIR COOLED

MANUFACTURER'S RECOMMENDATIONS.

DRAIN LOCATED IN MECH 1412.

INDICATED.

WITH EQUIPMENT MANUFACTURER. COORDINATE WITH ALL TRADES NOT TO OBSTRUCT. (7) VERIFY SERVICE CLEARANCE FOR FAN SHAFT AND COIL

COORDINATE WITH ALL TRADES NOT TO OBSTRUCT. 8 PROVIDE 4" THICK CONCRETE HOUSEKEEPING PAD.

(10) ROUTE FULL SIZE CONDENSATE DRAIN PIPE TO FLOOR DRAIN. REFER TO PLUMBING DRAWINGS FOR EXACT LOCATION OF FLOOR DRAIN.

(11) PROVIDE NEW BYPASS PIPING AND VALVES AS SHOWN TO ALLOW FOR ISOLATING THE NEW PIPING FROM THE EXISTING HYDRONIC LOOPS. TESTING, FLUSHING, AND TREATEMENT OF NEW PIPING SHALL BE PERFORMED PRIOR TO OPENING THE NEW PIPING TO THE EXISTING HYDRONIC LOOPS. PURGERITE OR COMPARABLE COMPANY SHALL PROVIDE ASSISTANCE TO THE MECHANICAL CONTRACTOR TO CONFIRM FLUSHING AND CLEANING AT DESIGN SYSTEM FLOW RATES. CHEMICAL TREATEMENT MANUFACTURER SHALL TEST WATER TO CONFIRM COMPLIANCE OF FLUSHING AND TREATMENT OF WATER PRIOR TO OPENING THE NEW PIPING VALVES TO THE EXISTING HYDRONIC LOOP.

TO DETAIL.

INSTALLATION INSTRUCTIONS.

CONNECTIONS AS PER MANUFACTURER

PROVIDE ALUMINUM FLEX TO CONNECT KILN ALUMINUM DUCT WITH KILN FAN.

(19) THERMOSTAT SHALL BE SET TO 80°F (ADJUSTABLE).

GENERAL NOTES:

1. THESE CONSTRUCTION DRAWINGS ARE DIAGRAMMATIC, AND DO NOT NECESSARILY REFLECT ACTUAL DIMENSIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD-VERIFY ALL DIMENSIONS AND COORDINATE PLACEMENT OF ALL EQUIPMENT

AND ROUTING OF ALL PIPING AND/OR DUCT SYSTEMS. 2. ALL MECHANICAL SYSTEMS SHOWN ON THIS PLAN ARE FROM EXISTING DRAWINGS AND PRELIMINARY FIELD WORK. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL LOCATIONS AND SIZES OF MECHANICAL SYSTEMS PRIOR TO THE START OF WORK.

MECHANICAL KEYED NOTES:

INSTALL DIFFUSER IN EXISTING LOCATION.

MAINTENANCE AND OPERATION.

CONDENSING UNIT ON ROOF. SIZE PER

(4) ROUTE FULL SIZE CONDENSATE DRAIN PIPE TO FLOOR (5) PROVIDE BMCS MONITORING TEMPERATURE SENSOR AS

6 VERIFY SERVICE CLEARANCE FOR AIR FILTER REMOVAL

REMOVAL WITH EQUIPMENT MANUFACTURER.

(9) SHEET METAL PLENUM, FULL SIZE OF UNIT RETURN AIR OPENING, LENGTH AS REQUIRED FOR ALL DUCT CONNECTIONS SHOWN.

(12) REMOVE EXISTING CHWS&R PIPING INSULATION AS INDICATED, REINSULATE AND SEAL PER SPECIFICATIONS.

(13) PROVIDE WIND-DRIVEN RAIN RESISTANT STATIONARY LOUVER RUSKIN MODEL EME520MD OR APPROVED EQUAL AND MINIMUM FREE AREA AS NOTED. PROVIDE WITH BIRD SCREEN AND PAINT TO MATCH WALL OR AS SPECIFIED BY ARCHITECT.

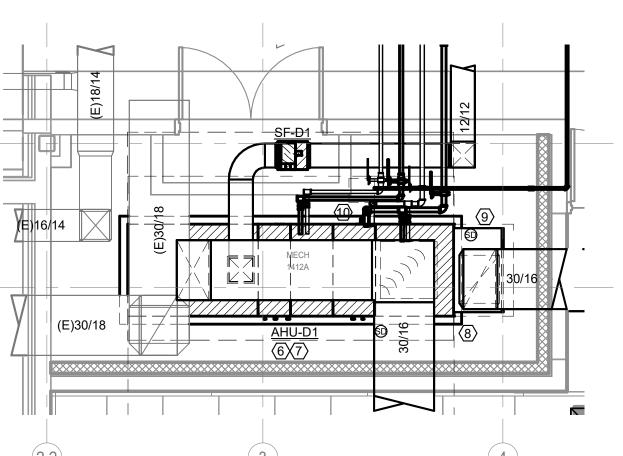
(14) ROUTE KILN ALUMINUM DUCTWORK DOWN ALONG WALL TO 24" A.F.F FOR CONNECTION TO KILN FUME FAN. REFER

15 ROUTE FAN DISCHARGE DUCT AS SHOWN UP TO GOOSENECK ON ROOF. REFER TO GOOSENECK DETAIL. (6) MOUNT KILN FAN TO WALL. REFER TO MANUFACTURER'S

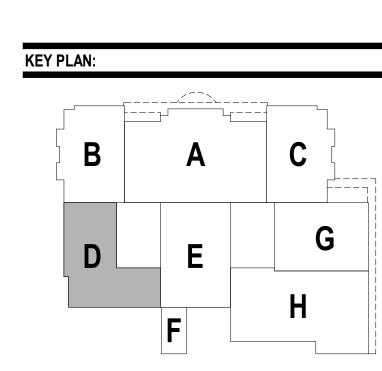
(17) KILN VENTILATION SHALL BE ENVIROVENT 2 BY SKUTT. PROVIDE KILN WITH ENVIROLINK CONTROLLER AND ALL WIRES WITH SUFFICIENT LENGTH TO MAKE ALL

RECOMMENDATIONS.

PROVIDE HEAT DETECTOR, INTERLOCK WITH KILN TO SHUT OFF POWER SOURCE AT 135°F (ADJUSTABLE) MOUNT HEAT DETECTOR ON CEILING AT LOCATION



ENLARGED MECHANICAL ROOM - MECH 110



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CORPORATION ARCHITECTS

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Houston,TX 77098 tel 832.947.1038 fax 225.214.5365

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STRUCTURAL ENGINEER DALLY + ASSOCIATES, INC. 9800 RICHMOND AVE. SUITE 460 HOUSTON, TX 77042 tel: 713.337.8881

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25317 INTERSTATE 45 THE WOODLANDS, TX 77380 tel: 281.350.2323

FOOD SERVICE EQUIPMENT

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MECHANICAL FIRST FLOOR PLAN - AREA 'D'

M2.04

Houston, TX 77064 Registration: F-4111

Project No: 2024-00211-00

GENERAL NOTES:

RENOVATIONS

☐ ITEM TO REMAIN

ELECTRONIC EQUIPMENT.

[]] ITEM TO BE REMOVED

POINT OF CONNECTION FROM NEW TO EXISTING

CONTRACTOR SHALL PROVIDE DEHUMIFICATION DURING THE

CONSTRUCTION SCHEDULE. THE SCOPE IS TO MAINTAIN ACCEPTABLE

HUMIDITY LEVELS WITHIN THE BUILDING: THE REMOVAL OF EXCESS

HUMIDITY FROM THE AIR THROUGHTOUT THE BUILDING. PROVIDE MOISTURE CONTROL RENTAL EQUIPMENT AND SOLUTION FOR

PREVENTING THE LONG-TERM EFFECTS OF MOISTURE LEVEL THAT CAN DAMAGE INTERIOR BUILDING MATERIALS, BOOKS AND

1. THESE CONSTRUCTION DRAWINGS ARE DIAGRAMMATIC. AND DO NOT NECESSARILY REFLECT ACTUAL DIMENSIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD-VERIFY ALL DIMENSIONS AND COORDINATE PLACEMENT OF ALL EQUIPMENT AND ROUTING OF ALL PIPING AND/OR DUCT SYSTEMS. 2. ALL MECHANICAL SYSTEMS SHOWN ON THIS PLAN ARE FROM EXISTING DRAWINGS AND PRELIMINARY FIELD WORK. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL LOCATIONS AND SIZES OF MECHANICAL SYSTEMS PRIOR TO THE START OF WORK.

MECHANICAL KEYED NOTES:

(1) PROVIDE ADDITIONAL FLEX DUCTWORK AS REQUIRED TO INSTALL DIFFUSER IN EXISTING LOCATION.

2 PROVIDE OSCILLATING FAN PER SPECIFICATIONS. (3) NEW DUAL DUCT BOX. PROVIDE REQUIRED CLEARANCES

FOR PROPER MAINTENANCE AND OPERATION.

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10930 W. SAM HOUSTON PKWY. N SUITE 900 HOUSTON, TX 77064 tel: 281.664.1900

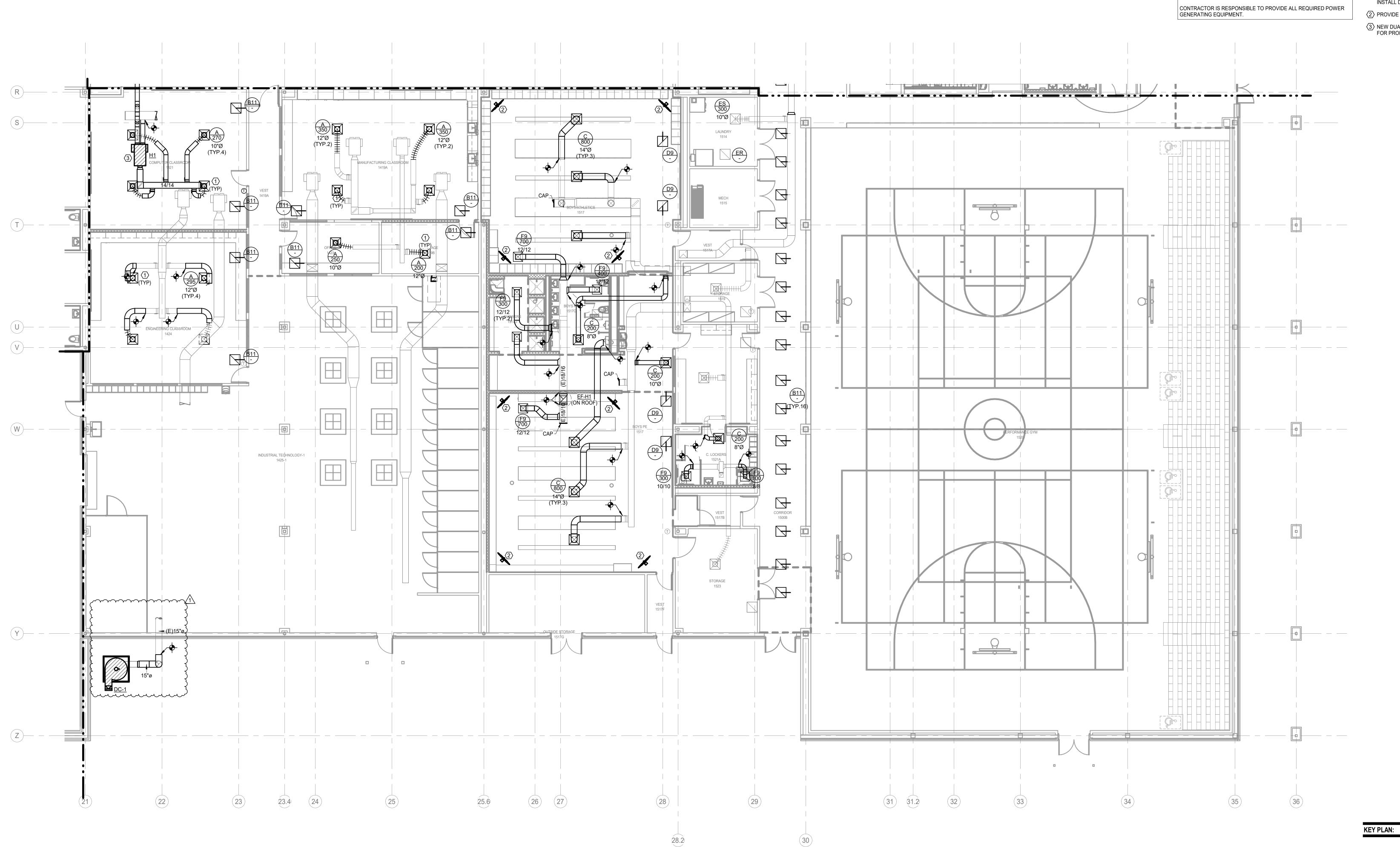
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MECHANICAL FIRST FLOOR PLAN - AREA 'H'

M2.08

1 MECHANICAL FLOOR PLAN - LEVEL 1 - AREA H
Scale: 1/8" = 1'-0"



Project No: 2024-00211-00

DIAGRAMMATIC, AND DO NOT NECESSARILY REFLECT

THE CONTRACTOR TO FIELD-VERIFY ALL DIMENSIONS AND COORDINATE PLACEMENT OF ALL EQUIPMENT

ACTUAL DIMENSIONS. IT IS THE RESPONSIBILITY OF

WORK. CONTRACTOR IS RESPONSIBLE FOR FIELD

VERIFYING ALL LOCATIONS AND SIZES OF MECHANICAL



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21020 PARK ROW KATY, TX 77449

tel: 713.337.8881 **MEPT ENGINEER SALAS O'BRIEN** 10930 W. SAM HOUSTON PKWY. N SUITE 900 HOUSTON, TX 77064

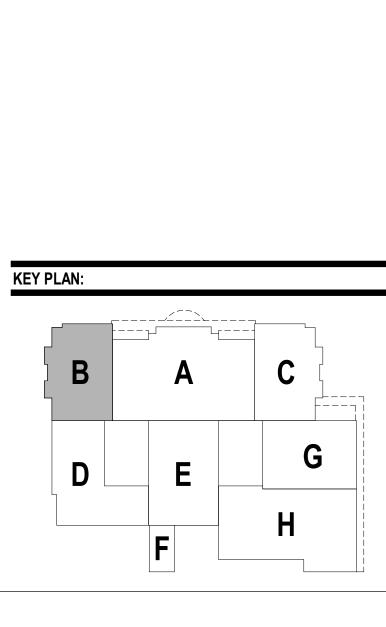
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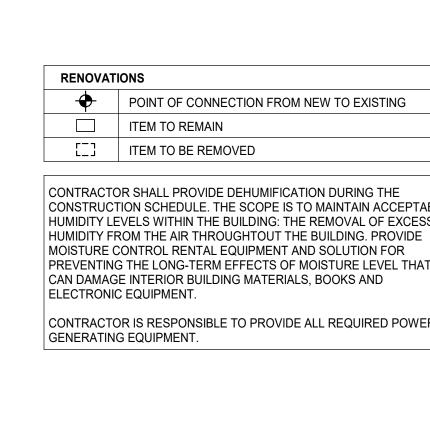
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LANDSCAPE LANDSCAPE GROUP

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MECHANICAL SECOND FLOOR PLAN - AREA 'B'





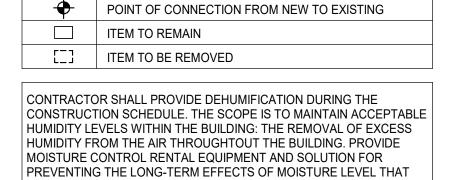
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1 MECHANICAL FLOOR PLAN - LEVEL 2 - AREA B
Scale: 1/8" = 1'-0"

CLASSROOM 2313



CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL REQUIRED POWER

AND ROUTING OF ALL PIPING AND/OR DUCT SYSTEMS. 2. ALL MECHANICAL SYSTEMS SHOWN ON THIS PLAN ARE FROM EXISTING DRAWINGS AND PRELIMINARY FIELD

GENERAL NOTES:

1. THESE CONSTRUCTION DRAWINGS ARE

MECHANICAL KEYED NOTES: 1 PROVIDE ADDITIONAL FLEX DUCTWORK AS REQUIRED TO INSTALL DIFFUSER IN EXISTING LOCATION.

SYSTEMS PRIOR TO THE START OF WORK.

Houston, TX 77064

Registration: F-4111 Project No: 2024-00211-00

GENERAL NOTES: 1. THESE CONSTRUCTION DRAWINGS ARE DIAGRAMMATIC, AND DO NOT NECESSARILY REFLECT

RENOVATIONS

☐ ITEM TO REMAIN

POINT OF CONNECTION FROM NEW TO EXISTING

THE CONTRACTOR TO FIELD-VERIFY ALL DIMENSIONS AND COORDINATE PLACEMENT OF ALL EQUIPMENT AND ROUTING OF ALL PIPING AND/OR DUCT SYSTEMS. 2. ALL MECHANICAL SYSTEMS SHOWN ON THIS PLAN ARE FROM EXISTING DRAWINGS AND PRELIMINARY FIELD WORK. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL LOCATIONS AND SIZES OF MECHANICAL SYSTEMS PRIOR TO THE START OF WORK.

ACTUAL DIMENSIONS. IT IS THE RESPONSIBILITY OF

MECHANICAL KEYED NOTES:

PROVIDE ADDITIONAL FLEX DUCTWORK AS REQUIRED TO

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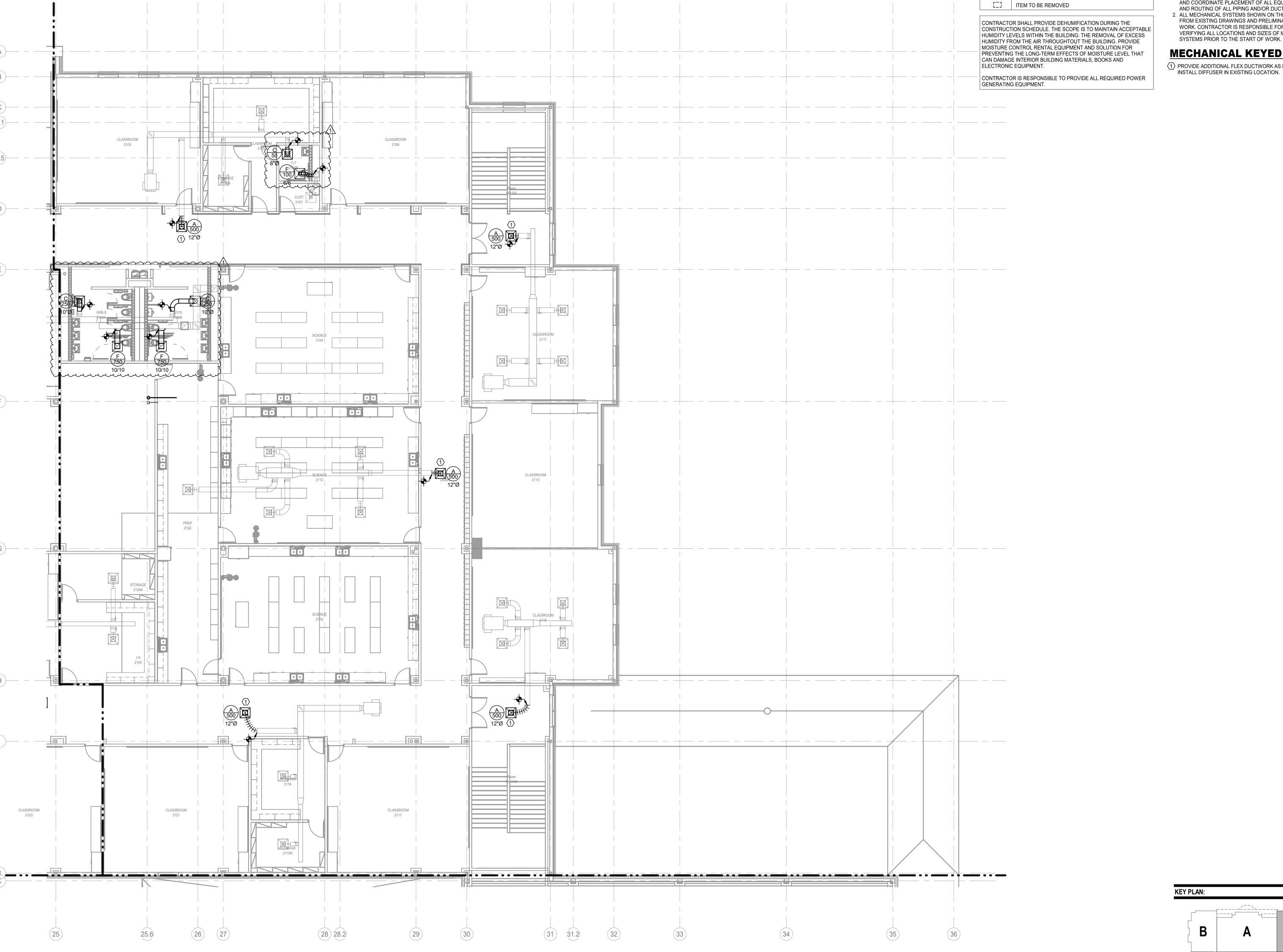
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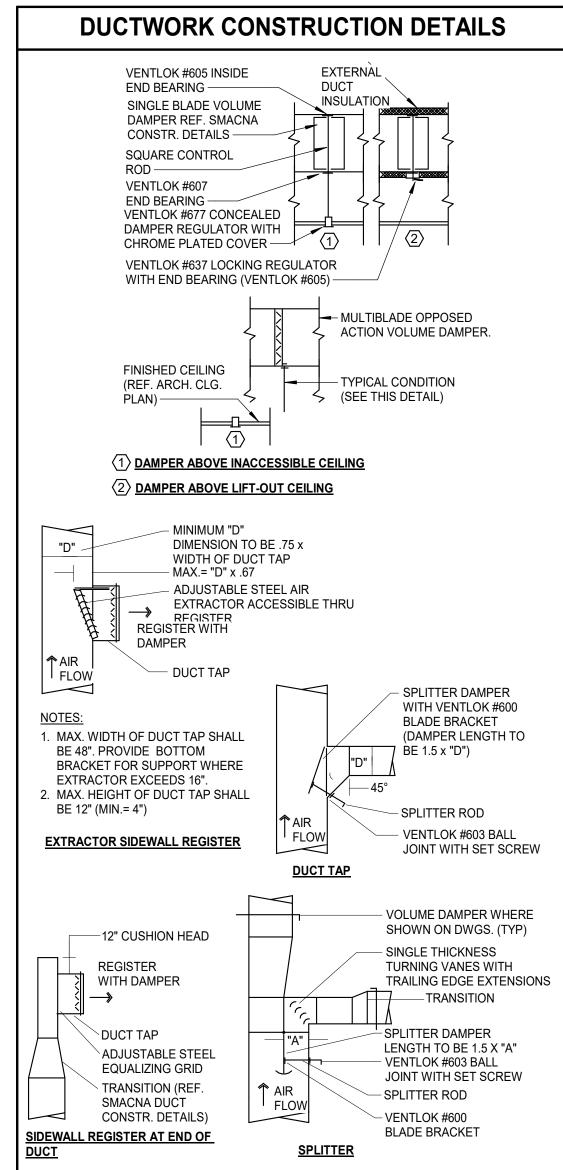
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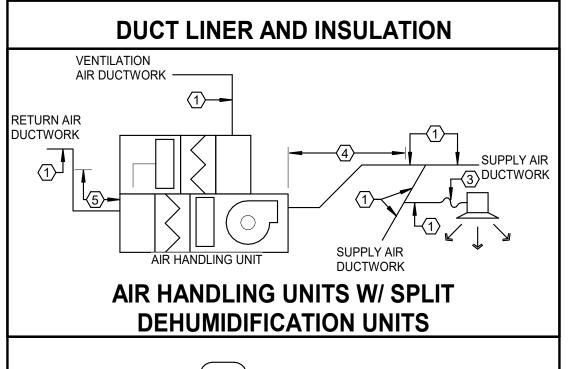
Date: 29 DECEMBER 2024 MECHANICAL SECOND FLOOR PLAN - AREA 'C'



1 MECHANICAL FLOOR PLAN - LEVEL 2 - AREA C Scale: 1/8" = 1'-0"

GRILLE SIZE DESIGNATION	GRILLE NECK SIZE	GRILLE SIZE DESIGNATION	GRILLE NECK SIZ
1	6" x 6"	7	15" x 15"
2	8" x 8"	8	16" x 16"
3	9" x 9"	9	18" x 18"
4	10" x 10"	10	20" x 20"
5	12" x 12"	11	22" x 22"
6	14" x 14"	12	24" x 24"





ROOF MOUNTED EXHAUST FAN
EXHAUST EXHAUST FAN EXHAUST FAN

EXHAUST AIR SYSTEMS

KEYED NOTES:

(1) SHEETMETAL DUCTWORK WITH EXTERNAL DUCTWORK INSULATION AS SPECIFIED. 2 SHEETMETAL DUCTWORK RETURN AIR PLENUM WITH EXTERNAL DUCTWORK INSULATION AS SPECIFIED.

(3) FLEXIBLE DUCTWORK WITH EXTERNAL DUCTWORK INSULATION AS 4 SHEETMETAL DUCTWORK WITH EXTERNAL DUCTWORK INSULATION SPECIFIED AND 1" THICK 1-1/2 LB LINER AS SPECIFIED FROM AIR HANDLING UNIT DISCHARGE TO 10'-0" DOWNSTREAM. 5 SHEETMETAL DUCTWORK WITH EXTERNAL DUCTWORK INSULATION

SPECIFIED AND 1" THICK 1-1/2 LB LINER AS SPECIFIED FROM AIR HAN UNIT INLET TO 10'-0" UPSTREAM. (6) EXHAUST DUCTWORK AS SPECIFIED WITH FIREBOARD INSULATION

(7) SHEETMETAL DUCTWORK ONLY. NO INSULATION REQUIRED.

AILS		SYMBOL LEGEND
AILO	SYMBOL	DESCRIPTION (DISREGARD ITEMS NOT SHOWN ON PLANS)
	GENERAL	
	(#)	KEY NOTE TAG REVISION TAG
		NEW EQUIPMENT
	DUCTWOR	K
		SUPPLY AIR DUCTWORK
		RETURN AIR AND OUTSIDE AIR DUCTWORK EXHAUST AIR DUCTWORK
	+++++	FLEXIBLE DUCTWORK
SED		SUPPLY AIR DUCTWORK THROUGH HORIZONTAL PARTITION
MPER.		RETURN AIR DUCTWORK THROUGH HORIZONTAL PARTITION EXHAUST AIR DUCTWORK THROUGH HORIZONTAL PARTITION
	A	FIRE DAMPER (VERTICAL)
l l	♦	FIRE DAMPER (HORIZONTAL)
	<u>∠Ŝ\</u> ⟨Ŝ⟩	SMOKE DAMPER (VERTICAL) SMOKE DAMPER (HORIZONTAL)
	∠FS_	COMBINATION FIRE & SMOKE DAMPER (VERTICAL)
	FŜ	COMBINATION FIRE & SMOKE DAMPER (HORIZONTAL)
	[M]	MANUAL BALANCING DAMPER (SEE DAMPER SCHEDULE) MOTORIZED DAMPER (SEE DAMPER SCHEDULE)
	SENSORS	,
	T	THERMOSTAT AND TEMPERATURE SENSOR
	(H) (SD)	HUMIDISTAT SMOKE DETECTOR
	(ĤD)	HEAT DETECTOR
R DAMPER	AIR DEVIC	
NTLOK #600 RACKET		GRILLE SIZE TAG (REFER TO GRILLE SIZE LEGEND) SUPPLY AIR GRILLE WITH FOUR-WAY THROW
LENGTH TO D")		SUPPLY AIR GRILLE WITH THREE-WAY THROW
		SUPPLY AIR GRILLE WITH TWO-WAY THROW
ROD		SUPPLY AIR GRILLE WITH TWO-WAY CORNER THROW SUPPLY AIR GRILLE WITH ONE-WAY THROW
#603 BALL TH SET SCREW		RETURN AIR GRILLE
		RETURN AIR GRILLE WITH SOUND BOOT
MPER WHERE	 	SUPPLY AIR SIDEWALL GRILLE
DWGS. (TYP) CKNESS	<u>↓</u>	RETURN AIR SIDEWALL GRILLE
NES WITH OGE EXTENSIONS	2 <u>0X12</u>	RETURN AIR OPENING ABOVE CEILING
SITION	PIPING	CONDENSER WATER SUPPLY & RETURN (TOTAL OF TWO
MPER BE 1.5 X "A"	-CWS&R-	PIPES, ONLY ONE PIPE SHOWN FOR DRAWING CLARITY)
DE 1.5 A A D3 BALL SET SCREW	-CWS-	CONDENSER WATER SUPPLY CONDENSER WATER RETURN
D	-CHWS&R-	CHILLED WATER SUPPLY & RETURN (TOTAL OF TWO
00 KET	-CHWS-	PIPES, ONLY ONE PIPE SHOWN FOR DRAWING CLARITY) CHILLED WATER SUPPLY
	-CHWR-	CHILLED WATER SUPPLY CHILLED WATER RETURN
	-HWS&R-	HOT WATER FOR HYDRONIC HEATING SUPPLY & RETURN (TOTAL OF TWO PIPES, ONLY ONE PIPE SHOWN FOR DRAWING CLARITY)
	-HWS-	HOT WATER FOR HYDRONIC HEATING SUPPLY
N	-HWR-	HOT WATER FOR HYDRONIC HEATING RETURN
	—D—	CONDENSATE DRAIN LINE
	—AD—	AUXILLARY CONDENSATE DRAIN LINE REFRIGERANT LIQUID & GAS RECIRCULATION LINE (TOTAL OF
<u> </u>	—RLR—	TWO PIPES, ONLY ONE PIPE SHOWN FOR DRAWING CLARITY)
SUPPLY AIR DUCTWORK	—RL— —HG—	REFRIGERANT LIQUID LINE REFRIGERANT HOT GAS LINE
	—RS—	REFRIGERANT SUCTION LINE
		ELBOW UP
	+	90° ELBOW
т	<u></u>	45° ELBOW
		TEE DOWN
	-101-	TEE DOWN TEE UP
	− ₽	TOP BRANCH CONNECTION
		BOTTOM BRANCH CONNECTION ELANGE
		FLANGE CAP
	<u>-</u>	CONTINUATION
ST /ICE		FLOOR DRAIN (REFER TO PLUMBING DRAWINGS)
		GATE VALVE GLOBE VALVE
	1	CHECK VALVE
	<u>ф-</u>	BUTTERFLY VALVE
	<u> </u>	BUTTERFLY VALVE WITH OPERATOR PLUG VALVE
	- □ ∑ -	TWO-WAY CONTROL VALVE
	<u></u> ————————————————————————————————————	THREE-WAY CONTROL VALVE
PECIFIED.	——Ф — (RЪ	PRESSURE REDUCING VALVE PRESSURE RELIEF VALVE
AS	-ф-	BALL VALVE
AS	 	STRAINER
DLING		UNION PETE'S PLUG
S SPECIFIED.	<u> </u>	PRESSURE GAUGE
	<u> </u>	TEMPERATURE SENSOR IN PIPE
	(FM)—	FLOW MEASURING STATION EXPANSION JOINT
	<u> </u>	FLEXIBLE CONNECTION
	<u>4</u> G.C.	GAUGE COCK
	—⊗— SUBSCRIP	DIFFERENTIAL PRESSURE SENSOR TS AND ABREVIATIONS
	AFF	ABOVE FINISHED FLOOR
	BBS	BELOW BOTTOM OF STRUCTURE
	BOD BOP	BOTTOM OF DUCT BOTTOM OF PIPE
	CA	COMBUSTION AIR
	CFM	CUBIC FEET PER MINUTE
	EA	EXHAUST AIR
	FPM NC	NORMALLY CLOSED
	NO	NORMALLY OPEN
	OA	OUTSIDE AIR
	RA SA	RETURN AIR SUPPLY AIR
		OULLIAIN

ITEM TO REMAIN []] ITEM TO BE REMOVED

POINT OF CONNECTION FROM NEW TO EXISTING

										FAN						
MARK	LOCA	TION	CFM	EXT. STATIC PRESSURE	MAX. FAN RPM	HORSE POWER		JRREN HARAC		LOCALLY SWITCHED	INTERLOCKED WITH	FAN TYPE	DRIVE TYPE	MANUFACTURER	MODEL NUMBER	REMARKS
	NAME	NUMBER		(IN. W.C.)	TXI IVI	TOWER	V	Р	F	BY	*******				NOMBER	
EF-G1			2,400	0.50	1,800	0.75	480	3	60	-	-	ROOF MOUNTED	BELT	COOK	ACEB	1,2,5
EF-H1			2,400	0.50	1,800	0.75	480	3	60	-	-	ROOF MOUNTED	BELT	COOK	ACEB	1,2,5
EF-SB-1	ATHLETIC STORAGE	S1000	1,100	0.55	1,500	0.5	120		60	H-STAT	-	INLINE	DIRECT	СООК	SQND	(1,2,3,4,6,7)
SF-D1	MECH	1412A	850	0.60	1,350	0.5	120		60	-	AHU-D1	INLINE	DIRECT	COOK	SQND	(1,2,3,4)

. EXTERNAL STATIC PRESSURE INCLUDES LOSSES DUE TO DUCTWORK, AIR DEVICES, DAMPERS, AND DUCT

MOUNTED HOT WATER COILS WHERE APPLICABLE. DIRTY FILTER AND UNIT CASING MUST BE ADDED TO EXTERNAL STATIC PRESSURE TO OBTAIN TOTAL PRESSURE LOSS. INCREASE HORSEPOWER AS REQUIRED TO MEET YOUR TOTAL PRESSURE LOSS. COORDINATE WITH ELECTRICIAN. 2. MINIMUM RECOMMENDED CLEARANCE AROUND UNIT IS 12 INCHES ON NON-SERVICE SIDES AND 30 INCHES ON SERVICE SIDES. MAINTAIN MINIMUM CLEARANCE AS REQUIRED TO OPEN ACCESS AND CONTROL DOORS ON

UNIT FOR SERVICE, MAINTENANCE, AND INSPECTION. MAINTAIN MINIMUM ELECTRICAL CLEARANCE AS

REMARKS:

1. PROVIDE WITH DISCONNECT

4. SUSPEND UNIT WITH FOUR THREADED HANGER RODS ATTACHED TO TWO UNISTRUT RUNNERS SECURED TO STRUCTURE. PROVIDE SPRING ISOLATION. REFER TO MANUFACTURER FOR MORE DETAILS. 5. PROVIDE WITH ROOF CURB AND BIRD SCREEN.

7. PROVIDE WITH LINE VOTLAGE MOTORIZED DAMPER FOR EXHAUST AND MAKEUP AIR

salasobrien.co	m	281-
Houston		
10930 W. Sam	Houston Pkwy Nor	th, Sui
Houston, TX 7	7064	
Houston, TX 7 Registration:	7064 F-4111	

AIR HANDLING UNIT PIPE SIZE TO COIL (IN.) SUPPLY OUTSIDE EXT. STATIC AIR TEMPERATURE (° REMARKS ENTERING AIR MIN. | ENTERING | DRY BULB | WET BULB | DRY BULB | WET BULB | TEMP (°F) | S1.0 | 62.5 | 53.0 | 52.5 | 66,400 | 45 | 19.9 | 12.0 | 62.4 | 81,330 | 180.0 | 8.2 | 6.0 | 2" | 11/4" | POWER V PH F 81,330 180.0 8.2 6.0 2" 1 1/4" 1,3,4,5,6,7,9,10,11 60 75.0 62.5 98.0 79.0 53.0 52.5 79,200 45 13.2 12.0 27.0 62,424 180.0 6.3 6.0 1 1/2" 1" 2,3,4,6,7,8,10,12

. EXTERNAL STATIC PRESSURE INCLUDES LOSSES DUE TO DUCTWORK, AIR DEVICES, DAMPERS, AND DUCT MOUNTED HOT WATER COILS WHERE APPLICABLE. DIRTY FILTER AND UNIT CASING MUST BE ADDED TO

MARK

EXTERNAL STATIC PRESSURE TO OBTAIN TOTAL PRESSURE LOSS. INCREASE HORSEPOWER AS REQUIRED TO MEET YOUR TOTAL PRESSURE LOSS. COORDINATE WITH ELECTRICIAN.

. MAINTAIN MINIMUM CLEARANCE FOR COIL PULL AS RECOMMENDED BY UNIT MANUFACTURER. MAINTAIN MINIMUM CLEARANCE AS REQUIRED TO OPEN ACCESS AND CONTROL DOORS ON UNIT FOR SERVICE. MAINTENANCE, AND INSPECTION. MAINTAIN MINIMUM ELECTRICAL CLEARANCE AS REQUIRED BY NEC.

REMARKS:

1. VELOCITY NOT TO EXCEED 500 FPM ON COOLING COIL. 2. VELOCITY NOT TO EXCEED 450 FPM ON COOLING COIL.

7. PROVIDE TWO-WAY HEATING CONTROL VALVES.

2. INTERLOCK WITH MOTORIZED DAMPER (BMCS).

6. PROVIDE WITH LINE VOLTAGE HUMIDITY SENSOR.

3. PROVIDE WITH FAN SPEED CONTROLLER.

3. PROVIDE HORIZONTAL UNIT. 4. PROVIDE CONSTANT VOLUME UNIT WITH VARIABLE FREQUENCY DRIVE. 5. PROVIDE TOP DISCHARGE. 6. PROVIDE TWO-WAY COOLING CONTROL VALVES.

9. PROVIDE HOT WATER COIL IN REHEAT POSITION. 10. PROVIDE UNIT WITH ANGLED FILTER SECTION.

8. PROVIDE HOT WATER COIL IN PRE-HEAT POSITION.

11. SPLIT DEHUMIDIFICATION UNIT TO BE MOUNTED ON TOP OF AHU. 12. INDICATED SHALL BE STACKED OAU FURNISHED WITH ASSOCIATED AHU (LISTED ABOVE). UNIT INCLUDES ANGLED FILTER MIXING BOX. PREHEAT COIL, ACCESS SPACE, COOLING COIL AND DISCHARGE PLENUM. UNIT DOES DONT HAVE FAN SECTION.

		DU	CTI	LE	SS	MINI	SPLIT	- INDO	OR UNIT	Γ	
		FAN									
MARK	SUPPLY AIR CFM	WATTS		RREN ARA		AIR TEMPER	RATURE (°F)	MIN. TOTAL CAPACITY	MIN. SENS. CAPACITY	MINIMUM	REMARKS
		WATTS	V	PH	F	ENTERING DRY BULB	ENTERING WET BULB	(BTUH)	(BTUH)	SEER	
DMS-1	375	40.0	208		60	75.0	62.5	18,000	14,400	15	(1,2,3,4,5,6)
DMS-2	375	40.0	208		60	75.0	62.5	18,000	14,400	15	(1,2,3,4,5,6)
DMS-3	375	40.0	208		60	75.0	62.5	18,000	14,400	15	(1,2,3,4,5,6)
DMS-4	375	40.0	208		60	75.0	62.5	18,000	14,400	15	(1,2,3,4,5,6)
DMS-5	375	40.0	208		60	75.0	62.5	18,000	14,400	15	(1,2,3,4,5,6)
DMS-6	900	70.0	208		60	75.0	62.5	36,000	28,800	15	(1,2,3,4,5,6)
GENERAL NOTE 1. MAINTAIN MI RECOMMEN MINIMUM CL CONTROL DE AND INSPEC CLEARANCE	NIMUM CLEA DED BY UNI EARANCE A OORS ON UI TION. MAIN	T MANUFA S REQUIR NIT FOR S TAIN MINII	CTURE ED TO ERVICE MUM E	ER. I OPE E, MA	MAINT N AC	TAIN CESS AND NANCE,	INSTRUC 2. CONTROL 3. REFRIGEL REQUIRE 4. INDOOR L 5. PROVIDE OVERFLC CONDITIO	LED BY PROGRA RANT LINES TO B MENTS. JNIT IS POWEREI	MMABLE WIRED E SIZED PER MA D FROM OUTDOC A PUMP TO BE IN	THERMOSTAT NUFACTURER'S OR UNIT. STALLED UNDI	S ER THE UNIT WITH

						GRILL	.E	
MARK	SERVICE	TYPE	DAMPER	CONSTRUCTION MATERIAL	FINISH COLOR	MANUFACTURER	MODEL NUMBER	DESCRIPTION
Α	SUPPLY AIR	DIFFUSER	-	STEEL	BY ARCH	TITUS	TMS	EXPOSED T-BAR CEILING FRAME STYLE WITH 24"X24" FACE. SQUARE CONE DIFFUSER. ROUND NECK.
В	RETURN AIR	DIFFUSER	-	STEEL	BY ARCH	TITUS	350RL	EXPOSED T-BAR CEILING FRAME STYLE WITH 24"X24" FACE. LOUVERED FACE
С	SUPPLY AIR	DIFFUSER	-	STEEL	BY ARCH	TITUS	TMS	SURFACE MOUNT CEILING FRAME STYLE WITH 24"X24" OR 12"X12" FACE.
D	RETURN AIR	DIFFUSER	-	STEEL	BY ARCH	TITUS	350RL	EXPOSED T-BAR CEILING FRAME STYLE WITH 24"X24" FACE. LOUVERED FACE
E	EXHAUST AIR	DIFFUSER	-	STEEL	BY ARCH	TITUS	PAR	EXPOSED T-BAR CEILING FRAME STYLE WITH A 24"X24" OR 12"X12" FACE. PERFORATED FACE.
ER	RETURN AIR	-	-	-	-	-	-	EXISTING RETURN AIR DEVICE SHALL REMAIN AND REUSE.
ES	SUPPLY AIR	-	-	-	-	-	-	EXISTING AIR DEVICE SHALL REMAIN. REUSE AND BALANCE TO INDICATED CFM.
F	EXHAUST AIR	DIFFUSER	-	STEEL	BY ARCH	TITUS	PAR	SURFACE MOUNT CEILING FRAME STYLE WITH 18"X18" OR 12"X12" FACE. PERFERATED FACE.
G	GRILLE	SUPPLY AIR	-	STEEL	BY ARCH	TITUS	300RL	DOUBLE DEFLECTION SIDEWALL GRILLE WITH HORIZONTAL FRONT BARS. SURFACE MOUNTED (1)
Н	SUPPLY AIR	DIFFUSER	-	STEEL	BY ARCH	TITUS	TMR	EXPOSED ROUND FRAME STYLE WITH ADJUSTABLE POSITION DAMPER.
I	GRILLE	EXHAUST AIR	-	STEEL	WHITE	TITUS	350RL	DOUBLE DEFLECTION SIDEWALL GRILLE WITH HORIZONTAL FRONT BARS. SURFACE MOUNTED (1)

ľ	1. DAMPERS NOTED AS U.L. SHALLBE A 'U.L.' CLASSIFIED CEILING RADIATION DAMPER WITH THERMAL BLANKET.
Ŀ	2. COORDINATE FINAL AIR DEVICE LOCATION AND FINISH COLOR WITH ARCHITECT.
U	REMARKS:
ľ	1. N/A
•	

				DAMP	ED	
				DAIVIE		
MARK	ACTUATOR	DUTY	BLADE ACTION	MANUFACTURER	MODEL NUMBER	REMARKS
D-1	MANUAL BALANCING	UNDER 9" WIDE	N/A	N/A	N/A	SEE SMACNA CONSTRUCTION DETAILS REFERENCED "TYPICAL CONSTRUCTION DETAILS FOR LOW VELOCITY DUCTS."
D-2	MANUAL BALANCING	OVER 9" WIDE	OPPOSED	RUSKIN	MD-35	MANUAL DAMPER WITH STANDARD CONSTRUCTION FEATURES AND VENTLOCK #639 LOCKING REGULATOR.
D-3	MOTORIZED	OVER 9" WIDE	OPPOSED	RUSKIN	CD-60	LOW LEAKAGE DAMPER WITH BLADE SEALS
NOTES:						

	AIR CC	OLED	COND	EN	SI	NG	UNIT	
MARK	MIN. TOTAL CAPACITY	OUTDOOR AIR	MINIMUM EER/		RREI IARA		RELATED UNIT	REMARKS
	(BTUH)	TEMP (°F)	SEER	V	PH	F	MARK	
DMSCU-1	18,000	95	15	208		60	DMS-1	(1,2,3)
DMSCU-2	18,000	95	15	208		60	DMS-2	(1,2,3)
DMSCU-3	18,000	95	15	208		60	DMS-3	(1,2,3)
DMSCU-4	18,000	95	15	208		60	DMS-4	(1,2,3)
DMSCU-5	18,000	95	15	208		60	DMS-5	(1,2,3)
DMSCU-6	36,000	95	15	208		60	DMS-6	(1,2,3)

MINIMUM RECOMMENDED CLEARANCE AROUND UNIT IS 12 INCHES ON NON-SERVICE SIDES AND 30 INCHES ON SERVICE SIDES. MAINTAIN MINIMUM CLEARANCE FOR CONDENSER AIR FLOW AS RECOMMENDED BY UNIT MANUFACTURER. MAINTAIN MINIMUM CLEARANCE AS REQUIRED TO OPEN ACCESS AND CONTROL DOORS ON UNIT FOR SERVICE, MAINTENANCE, AND INSPECTION. MAINTAIN MINIMUM ELECTRICAL CLEARANCE AS REQUIRED BY NEC.

1. PROVIDE WITH LOW AMBIENT CONTROL DOWN TO 20°F. 2. PROVIDE WITH DISCONNECT SWITCH. 3. REFRIGERANT LINES TO BE SIZED PER MANUFACTURER'S REQUIREMENTS.

		COOLII		HEA	TING		
MARK	MAX.	MIN.	INLET DIAMETER SIZE (IN.)	MAXIMUM CFM	INLET DIAMETER SIZE (IN.)	REMARKS	
DDB-D5-1	200	200	6	160	4	-	
DDB-D5-2	900	900	10	720	9	-	
DDB-D5-3	550	550	8	440	7	-	
H1	1,080	865	10	865	9	-	
SHALL BE	1 STATIC 0.2" W.C	3.	JRE DROP OF				

3. SUSPEND UNIT WITH FOUR THREADED HANGER RODS ATTACHED TO TWO UNISTRUT RUNNERS SECURED TO STRUCTURE. REFER TO MANUFACTURER FOR MORE DETAILS. . UNITS TO BE MOUNTED BETWEEN BEAMS AND 18" MAXIMUM ABOVE CEILING. AVOID MOUNTING OVER LIGHTS WHEREVER POSSIBLE.

	DUST COLLECTOR											
MARK			HORSE POWER	C	JRRE HARA		MANUFACTURER	MODEL#	REMARKS			
		(IIV. VV.G.)	FOWER	V	PH	F						
DC-1	4,500	{ 2.5 }	25	480	3	60	DONALDSON	DC	1,2,3			
CENED	AL NOTE	0. 1										

GENERAL NOTES: 1. N/A . PROVIDE OUTLET SILENCER. . PROVIDE TWO 55 GALLON STORAGE DRUMS.

PROVIDE WITH VARIABLE FREQUENCY DRIVE.

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Project Number: 23072 Date: 29 DECEMBER 2024

> MECHANICAL SCHEDULES

Registration: F-4111 Project No: 2024-00211-00

LINETYPE LEGEND

PROVIDE NEW LIGHTING DEVICES AND SWITCH BOX EXTENSIONS IN ALL AREAS WHERE GYPSUM BOARD OR OTHER WALL COVERING ADDS TO THE THICKNESS OF WALLS. SEE

EXISTING RACEWAYS AND LOCATION OF ELECTRICAL OUTLETS ON EXISTING WALLS TO REMAIN SHALL BE RE-USED AS PRACTICAL FOR NEW DEVICES AS PART OF NEW WORK.

PROVIDE (1) MOMENTARY BMCS OVERRIDE TIME-OUT SWITCH FOR BUILDING OCCUPIED/UNOCCUPIED ADJACENT TO OR IN THE BMCS MASTER PANEL.

CONNECT NEW LIGHT FIXTURES TO EXISTING NORMAL POWER CIRCUITS LEFT IN PLACE AFTER DEMOLITION OR NEW AS SHOWN. PROVIDE EMERGENCY CIRCUIT FOR HATCHED FIXTURES AND/OR EXIT SIGNS. EXTEND WIRING WITH MATCHING CONDUCTORS/CONDUIT TO EXISTING LOCATION AND/OR NEW FIXTURES. FIELD VERIFY CONNECTED LOAD NOT TO EXCEED 3500 W @ 277V. TYPICAL. LOCATION OF NEW / REPLACEMENT LIGHT FIXTURES SHALL RE-USE EXISTING

J-BOX AND EXISTING LIGHT FIXTURE WHIPS AS PRACTICAL. EXTEND WIRING WITH MATCHING CONDUCTORS/CONDUIT AND PROVIDE NEW J-BOX ABOVE ACCESIBLE CEILING WITH 1/2-INCH FLEXIBLE STEEL CONDUIT OR STEEL MC CABLE, LENGTH NOT TO EXCEED 6-FEET, "DAISY CHAINING" LIGHT FIXTURES INSTALLED FOR LAY-IN CEILING AREAS IS NOT ALLOWED. FOR NON-ACCESIBLE CEILINGS, LIGHT FIXTURE WHIPS SHALL BE 1/2-INCH FLEXIBLE STEEL CONDUIT, LENGTH AS REQUIRED TO MAKE A TAP AT AN ACCESSIBLE J-BOX. RECESSED

LIGHT FIXTURES IN NON-ACCESSIBLE CEILINGS MAY BE DAISY CHAINED USING THE LIGHT FIXTURE'S INTEGRAL, UL LISTED J-BOX OR INTERNAL WIRE WAY THAT IS ACCESSIBLE THROUGH FIXTURE FROM BELOW THE CEILING. REFER TO 26 05 33 CONDUIT SYSTEMS. PROVIDE NEW LIGHTING CONTROLS, SENSORS AND ASSOCIATED DEVICES, 20A EMERGENCY LOAD CONTROL RELAYS AND/OR TRANSFER SWITCHES. REFER TO SPECIFICATIONS AND DETAIL SHEETS. LOCATE DIGITAL LIGHTING CONTROLLER AND/OR EMERGENCY LOAD CONTROL RELAY ABOVE ACCESSIBLE CEILING 12-FEET AFF OR BELOW ADJACENT TO

PLASTIC TAPE MACHINE TYPED NAME PLATE TO BOTTOM OF CEILING T-GRID BELOW RELAY LOCATION. WHITE LETTERS ON BLACK BACKGROUND WITH 1/4" HIGH LETTERS ON 1/2" TALL LABEL FOR DIGITAL MODULE, INDICATE AS: DLM. LOCATE DIGITAL LIGHTING CONTROLLER FOR HIGH CEILING CORRIDORS, GYM

LOCATE DIGITAL LIGHTING CONTROLLER FOR INSTRUCTIONAL SPACES AND OFFICES ABOVE ACCESSIBLE CEILING IN CORRIDOR DIRECTLY OUTSIDE OF ENTRY DOOR. PROVIDE LABEL IDENTIFYING ASSOCIATED SPACE, GRID MARKERS WITH WORDING PER SPECIFICATIONS.

INDICATE SPACE OR AREA CONTROLLED, CONTRACTOR TO PROVIDE ACTUAL QUANTITIES, TYPES, AND MOUNTING LOCATIONS AS RECOMMENDED BY MANUFACTURER AND IECC-2015 C405. SPACES WITH MULTIPLE OCCUPANCY/VACANCY SENSORS OR WHERE LINE OF

OPERATION WITHIN THE SPACE. MAINTAIN CONSTANT UNSWITCHED CIRCUITS FROM EXISTING SOURCE AND/OR NEW AS SHOWN FOR EMERGENCY FIXTURES, EMERGENCY LOAD RELAYS, TRANSFER SWITCHES AND EXIT SIGNS.

PROVIDE SEPARATE RACEWAY SYSTEMS FOR LIGHTING CONTROL SYSTEM,

ELECTRICAL KEYED NOTES

LOCATE DIGITAL LIGHTING CONTROLLER AND IF SHOWN, PLENUM RATED, EMERGENCY LOAD CONTROL RELAY / TRANSFER SWITCH ABOVE ACCESSIBLE CEILING IN CORRIDOR / ANCILLARY SPACE DIRECTLY OUTSIDE OF ENTRY DOOR. PROVIDE LABEL IDENTIFYING ASSOCIATED SPACE, GRID MARKERS WITH WORDING PER SPECIFICATIONS. REFER TO DETAILS. LOCATE DIGITAL LIGHTING CONTROLLER AND IF SHOWN, PLENUM RATED,

NORMAL POWER PANEL SERVING THE LOAD, RE-USE EXISTING NORMAL POWER CIRCUIT AND NEW EMERGENCY POWER CIRCUIT AS SHOWN. EXTEND

CONDUCTORS / CONDUIT WITH MATCHING SIZE. REFER TO SPECIFICATIONS AND DETAIL SHEETS. 4 DO NOT PENETRATE TOP OF CANOPY.

KEY PLAN:

EXISTING TO REMAIN — — — DISCONNECT AND REMOVE NEW WORK

ARCHITECTURAL DRAWINGS FOR AREAS AFFECTED.

LIGHTING GENERAL NOTES

SWITCH CONTROLLING THE SPACE. IN NON-ACCESSIBLE AND/OR HIGH CEILING AREAS, LOCATE DIGITAL LIGHTING CONTROLLER IN ADJACENT ANCILLARY AREA WITH ACCESSIBLE CEILING. IN AREAS WITH NO CEILING AND/OR IN EXTERIOR APPLICATIONS LOCATE ADJACENT TO PANEL SERVING THE LOAD. PROVIDE

AND OTHER HIGH CEILING AREAS WITH NO ADJACENT ANCILLARY AREA ADJACENT TO NORMAL POWER PANEL SERVING THE LOAD, PROVIDE LABEL WITH WORDING PER SPECIFICATIONS.

OCCUPANCY/VACANCY SENSOR AND DAYLIGHTING SENSOR LOCATIONS

SIGHT MAY BE OBSCURED, SHALL BE LINKED TOGETHER FOR SIMULTANEOUS

COORDINATE LOCATION OF LIGHT FIXTURES IN ALL MECHANICAL AND ELECTRICAL ROOMS WITH MECHANICAL EQUIPMENT, PIPING, AND ALL OTHER

CONTROLS WIRING (DIMMERS OR OTHERWISE) SHALL NOT BE INSTALLED IN THE SAME RACEWAY AS LINE VOLTAGE. REFER TO 26 05 33.

EMERGENCY LOAD CONTROL RELAY / TRANSFER SWITCH WALL MOUNTED ADJACENT TO NORMAL POWER PANEL. PROVIDE LABEL IDENTIFYING ASSOCIATED SPACE WITH WORDING PER SPECIFICATIONS. REFER TO DETAILS. INTERCEPT EXISTING NORMAL POWER CIRCUIT HOME RUN AND PROVIDE PER CIRCUIT (1) LISTED UL1008 TRANSFER SWITCH, (1) CONTACTOR WITH POLE QUANTITY AS REQUIRED CONTROLLED WITH BMCS. LOCATE ADJACENT TO

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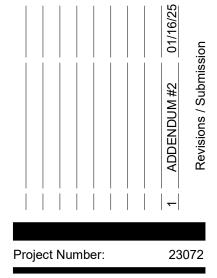
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ELECTRICAL LIGHTING 1ST FLOOR - AREA 'C'



Salas O'Brien 10930 W. Sam Houston Pkwy North, Suite 900 Houston, TX 77064

> Registration: F-4111 Project No: 2024-00211-00

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LINEITP	E LEGEND
	EXISTING TO REMAIN
	DISCONNECT AND REMOVE
	NEW WORK

PROVIDE NEW LIGHTING DEVICES AND SWITCH BOX EXTENSIONS IN ALL AREAS WHERE GYPSUM BOARD OR OTHER WALL COVERING ADDS TO THE THICKNESS OF WALLS. SEE ARCHITECTURAL DRAWINGS FOR AREAS AFFECTED.

EXISTING RACEWAYS AND LOCATION OF ELECTRICAL OUTLETS ON EXISTING WALLS TO REMAIN SHALL BE RE-USED AS PRACTICAL FOR NEW DEVICES AS PART OF NEW WORK.

PROVIDE (1) MOMENTARY BMCS OVERRIDE TIME-OUT SWITCH FOR BUILDING OCCUPIED/UNOCCUPIED ADJACENT TO OR IN

LIGHTING GENERAL NOTES

PLACE AFTER DEMOLITION OR NEW AS SHOWN. PROVIDE EMERGENCY CIRCUIT FOR HATCHED FIXTURES AND/OR EXIT SIGNS. EXTEND WIRING WITH MATCHING CONDUCTORS/CONDUIT TO EXISTING LOCATION AND/OR NEW FIXTURES. FIELD VERIFY CONNECTED LOAD NOT TO EXCEED 3500 W @ 277V. TYPICAL. LOCATION OF NEW / REPLACEMENT LIGHT FIXTURES SHALL RE-USE EXISTING J-BOX AND EXISTING LIGHT FIXTURE WHIPS AS PRACTICAL. EXTEND WIRING WITH MATCHING CONDUCTORS/CONDUIT AND PROVIDE NEW J-BOX ABOVE ACCESIBLE CEILING WITH 1/2-INCH FLEXIBLE STEEL CONDUIT OR STEEL MC CABLE, LENGTH NOT TO EXCEED 6-FEET, "DAISY CHAINING" LIGHT FIXTURES INSTALLED FOR LAY-IN CEILING AREAS IS NOT ALLOWED. FOR NON-ACCESIBLE CEILINGS, LIGHT FIXTURE WHIPS SHALL BE 1/2-INCH FLEXIBLE STEEL CONDUIT, LENGTH AS REQUIRED TO MAKE A TAP AT AN ACCESSIBLE J-BOX. RECESSED LIGHT FIXTURES IN NON-ACCESSIBLE CEILINGS MAY BE DAISY CHAINED USING THE LIGHT FIXTURE'S INTEGRAL, UL LISTED J-BOX OR INTERNAL WIRE WAY THAT

33 CONDUIT SYSTEMS. PROVIDE NEW LIGHTING CONTROLS, SENSORS AND ASSOCIATED DEVICES, 20A EMERGENCY LOAD CONTROL RELAYS AND/OR TRANSFER SWITCHES. REFER TO SPECIFICATIONS AND DETAIL SHEETS. LOCATE DIGITAL LIGHTING CONTROLLER AND/OR EMERGENCY LOAD CONTROL RELAY ABOVE ACCESSIBLE CEILING 12-FEET AFF OR BELOW ADJACENT TO SWITCH CONTROLLING THE SPACE. IN NON-ACCESSIBLE AND/OR HIGH CEILING AREAS, LOCATE DIGITAL LIGHTING CONTROLLER IN ADJACENT ANCILLARY AREA WITH ACCESSIBLE CEILING. IN AREAS WITH NO CEILING AND/OR IN EXTERIOR APPLICATIONS LOCATE ADJACENT TO PANEL SERVING THE LOAD. PROVIDE PLASTIC TAPE MACHINE TYPED NAME PLATE TO BOTTOM OF CEILING T-GRID

BELOW RELAY LOCATION. WHITE LETTERS ON BLACK BACKGROUND WITH 1/4" HIGH LETTERS ON 1/2" TALL LABEL FOR DIGITAL MODULE, INDICATE AS: DLM. LOCATE DIGITAL LIGHTING CONTROLLER FOR HIGH CEILING CORRIDORS, GYM AND OTHER HIGH CEILING AREAS WITH NO ADJACENT ANCILLARY AREA ADJACENT TO NORMAL POWER PANEL SERVING THE LOAD, PROVIDE LABEL WITH WORDING PER SPECIFICATIONS.

LOCATE DIGITAL LIGHTING CONTROLLER FOR INSTRUCTIONAL SPACES AND OFFICES ABOVE ACCESSIBLE CEILING IN CORRIDOR DIRECTLY OUTSIDE OF ENTRY DOOR. PROVIDE LABEL IDENTIFYING ASSOCIATED SPACE, GRID MARKERS WITH WORDING PER SPECIFICATIONS. OCCUPANCY/VACANCY SENSOR AND DAYLIGHTING SENSOR LOCATIONS

INDICATE SPACE OR AREA CONTROLLED, CONTRACTOR TO PROVIDE ACTUAL QUANTITIES, TYPES, AND MOUNTING LOCATIONS AS RECOMMENDED BY MANUFACTURER AND IECC-2015 C405. SPACES WITH MULTIPLE OCCUPANCY/VACANCY SENSORS OR WHERE LINE OF SIGHT MAY BE OBSCURED, SHALL BE LINKED TOGETHER FOR SIMULTANEOUS OPERATION WITHIN THE SPACE.

MAINTAIN CONSTANT UNSWITCHED CIRCUITS FROM EXISTING SOURCE AND/OR NEW AS SHOWN FOR EMERGENCY FIXTURES, EMERGENCY LOAD RELAYS, TRANSFER SWITCHES AND EXIT SIGNS. COORDINATE LOCATION OF LIGHT FIXTURES IN ALL MECHANICAL AND ELECTRICAL ROOMS WITH MECHANICAL EQUIPMENT, PIPING, AND ALL OTHER

PROVIDE SEPARATE RACEWAY SYSTEMS FOR LIGHTING CONTROL SYSTEM, CONTROLS WIRING (DIMMERS OR OTHERWISE) SHALL NOT BE INSTALLED IN THE SAME RACEWAY AS LINE VOLTAGE. REFER TO 26 05 33.

ELECTRICAL KEYED NOTES

LOCATE DIGITAL LIGHTING CONTROLLER AND IF SHOWN, PLENUM RATED, EMERGENCY LOAD CONTROL RELAY / TRANSFER SWITCH ABOVE ACCESSIBLE CEILING IN CORRIDOR / ANCILLARY SPACE DIRECTLY OUTSIDE OF ENTRY DOOR. PROVIDE LABEL IDENTIFYING ASSOCIATED SPACE, GRID MARKERS WITH WORDING PER SPECIFICATIONS. REFER TO DETAILS. LOCATE DIGITAL LIGHTING CONTROLLER AND IF SHOWN, PLENUM RATED, EMERGENCY LOAD CONTROL RELAY / TRANSFER SWITCH WALL MOUNTED ADJACENT TO NORMAL POWER PANEL. PROVIDE LABEL IDENTIFYING

ASSOCIATED SPACE WITH WORDING PER SPECIFICATIONS. REFER TO DETAILS. NORMAL POWER PANEL SERVING THE LOAD, RE-USE EXISTING NORMAL POWER

6 DO NOT PENETRATE TOP OF CANOPY.

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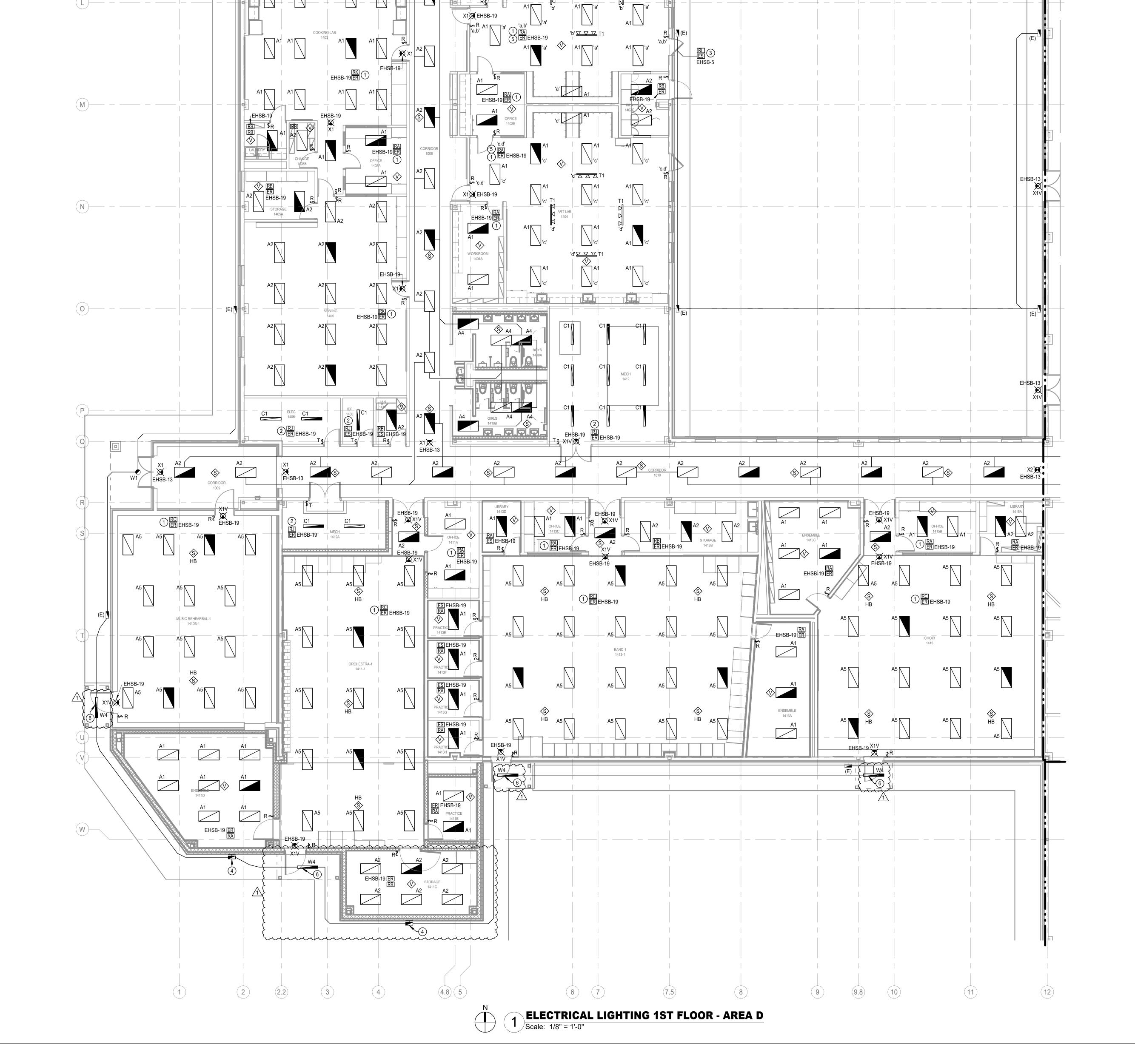
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ELECTRICAL LIGHTING 1ST FLOOR - AREA 'D'

INTERCEPT EXISTING NORMAL POWER CIRCUIT HOME RUN AND PROVIDE PER CIRCUIT (1) LISTED UL1008 TRANSFER SWITCH, (1) CONTACTOR WITH POLE QUANTITY AS REQUIRED CONTROLLED WITH BMCS. LOCATE ADJACENT TO CIRCUIT AND NEW EMERGENCY POWER CIRCUIT AS SHOWN. EXTEND CONDUCTORS / CONDUIT WITH MATCHING SIZE. REFER TO SPECIFICATIONS AND DETAIL SHEETS.

4 CONNECT EXISTING LIGHT FIXTURE SALVAGED AFTER DEMOLITION. PROVIDE 120 V REVERSE-PHASE DIMMING FOR TRACK LIGHTING.



ELECTRICAL LIGHTING 1ST FLOOR - AREA F
Scale: 1/8" = 1'-0"

salasobrien.com

Project No: 2024-00211-00

10930 W. Sam Houston Pkwy North, Suite 900 Houston, TX 77064 Registration: F-4111

LINETYPE LEGEND EXISTING TO REMAIN

NEW WORK

PROVIDE NEW LIGHTING DEVICES AND SWITCH BOX EXTENSIONS IN ALL AREAS WHERE GYPSUM BOARD OR OTHER WALL COVERING ADDS TO THE THICKNESS OF WALLS. SEE ARCHITECTURAL DRAWINGS FOR AREAS AFFECTED.

— — — DISCONNECT AND REMOVE

EXISTING RACEWAYS AND LOCATION OF ELECTRICAL OUTLETS ON EXISTING WALLS TO REMAIN SHALL BE RE-USED AS

PRACTICAL FOR NEW DEVICES AS PART OF NEW WORK.

PROVIDE (1) MOMENTARY BMCS OVERRIDE TIME-OUT SWITCH FOR BUILDING OCCUPIED/UNOCCUPIED ADJACENT TO OR IN THE BMCS MASTER PANEL.

LIGHTING GENERAL NOTES

CONNECT NEW LIGHT FIXTURES TO EXISTING NORMAL POWER CIRCUITS LEFT IN PLACE AFTER DEMOLITION OR NEW AS SHOWN. PROVIDE EMERGENCY CIRCUIT FOR HATCHED FIXTURES AND/OR EXIT SIGNS. EXTEND WIRING WITH MATCHING CONDUCTORS/CONDUIT TO EXISTING LOCATION AND/OR NEW FIXTURES. FIELD VERIFY CONNECTED LOAD NOT TO EXCEED 3500 W @ 277V. TYPICAL.

J-BOX AND EXISTING LIGHT FIXTURE WHIPS AS PRACTICAL. EXTEND WIRING WITH MATCHING CONDUCTORS/CONDUIT AND PROVIDE NEW J-BOX ABOVE ACCESIBLE CEILING WITH 1/2-INCH FLEXIBLE STEEL CONDUIT OR STEEL MC CABLE, LENGTH NOT TO EXCEED 6-FEET, "DAISY CHAINING" LIGHT FIXTURES

LOCATION OF NEW / REPLACEMENT LIGHT FIXTURES SHALL RE-USE EXISTING

INSTALLED FOR LAY-IN CEILING AREAS IS NOT ALLOWED. FOR NON-ACCESIBLE CEILINGS, LIGHT FIXTURE WHIPS SHALL BE 1/2-INCH FLEXIBLE STEEL CONDUIT, LENGTH AS REQUIRED TO MAKE A TAP AT AN ACCESSIBLE J-BOX. RECESSED LIGHT FIXTURES IN NON-ACCESSIBLE CEILINGS MAY BE DAISY CHAINED USING THE LIGHT FIXTURE'S INTEGRAL, UL LISTED J-BOX OR INTERNAL WIRE WAY THAT IS ACCESSIBLE THROUGH FIXTURE FROM BELOW THE CEILING. REFER TO 26 05 33 CONDUIT SYSTEMS.

PROVIDE NEW LIGHTING CONTROLS, SENSORS AND ASSOCIATED DEVICES, 20A EMERGENCY LOAD CONTROL RELAYS AND/OR TRANSFER SWITCHES. REFER TO SPECIFICATIONS AND DETAIL SHEETS. LOCATE DIGITAL LIGHTING CONTROLLER AND/OR EMERGENCY LOAD CONTROL RELAY ABOVE ACCESSIBLE CEILING 12-FEET AFF OR BELOW ADJACENT TO SWITCH CONTROLLING THE SPACE. IN NON-ACCESSIBLE AND/OR HIGH CEILING AREAS, LOCATE DIGITAL LIGHTING CONTROLLER IN ADJACENT ANCILLARY AREA

APPLICATIONS LOCATE ADJACENT TO PANEL SERVING THE LOAD. PROVIDE PLASTIC TAPE MACHINE TYPED NAME PLATE TO BOTTOM OF CEILING T-GRID BELOW RELAY LOCATION. WHITE LETTERS ON BLACK BACKGROUND WITH 1/4" HIGH LETTERS ON 1/2" TALL LABEL FOR DIGITAL MODULE, INDICATE AS: DLM. LOCATE DIGITAL LIGHTING CONTROLLER FOR HIGH CEILING CORRIDORS, GYM AND OTHER HIGH CEILING AREAS WITH NO ADJACENT ANCILLARY AREA ADJACENT TO NORMAL POWER PANEL SERVING THE LOAD. PROVIDE LABEL

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SPACES WITH MULTIPLE OCCUPANCY/VACANCY SENSORS OR WHERE LINE OF SIGHT MAY BE OBSCURED, SHALL BE LINKED TOGETHER FOR SIMULTANEOUS OPERATION WITHIN THE SPACE. MAINTAIN CONSTANT UNSWITCHED CIRCUITS FROM EXISTING SOURCE AND/OR

NEW AS SHOWN FOR EMERGENCY FIXTURES, EMERGENCY LOAD RELAYS, TRANSFER SWITCHES AND EXIT SIGNS.

0 COORDINATE LOCATION OF LIGHT FIXTURES IN ALL MECHANICAL AND ELECTRICAL ROOMS WITH MECHANICAL EQUIPMENT, PIPING, AND ALL OTHER

PROVIDE SEPARATE RACEWAY SYSTEMS FOR LIGHTING CONTROL SYSTEM, CONTROLS WIRING (DIMMERS OR OTHERWISE) SHALL NOT BE INSTALLED IN THE SAME RACEWAY AS LINE VOLTAGE. REFER TO 26 05 33.

ELECTRICAL KEYED NOTES

LOCATE DIGITAL LIGHTING CONTROLLER AND IF SHOWN, PLENUM RATED, EMERGENCY LOAD CONTROL RELAY / TRANSFER SWITCH WALL MOUNTED ADJACENT TO NORMAL POWER PANEL. PROVIDE LABEL IDENTIFYING ASSOCIATED SPACE WITH WORDING PER SPECIFICATIONS. REFER TO DETAILS.

4 FIELD VERIFY MOUNTING HEIGHT WITH EXISTING WALL MOUNTED FIXTURES AND

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INTERCONNECT TIMER SWITCHES FOR SIMULTANEOUS OPERATION.

INTERCEPT EXISTING NORMAL POWER CIRCUIT HOME RUN AND PROVIDE PER CIRCUIT (1) LISTED UL1008 TRANSFER SWITCH, (1) CONTACTOR WITH POLE QUANTITY AS REQUIRED CONTROLLED WITH BMCS. LOCATE ADJACENT TO NORMAL POWER PANEL SERVING THE LOAD, RE-USE EXISTING NORMAL POWER CIRCUIT AND NEW EMERGENCY POWER CIRCUIT AS SHOWN. EXTEND CONDUCTORS / CONDUIT WITH MATCHING SIZE. REFER TO SPECIFICATIONS AND DETAIL SHEETS.

5 CONNECT EXISTING LIGHT FIXTURE SALVAGED AFTER DEMOLITION.

6 DO NOT PENETRATE TOP OF CANOPY.

ELECTRICAL LIGHTING 1ST FLOOR - AREA 'F' E2.06

C1 28.2⊢

ELECTRICAL LIGHTING - MECH 2002

LIGHTING GENERAL NOTES

CONNECT NEW LIGHT FIXTURES TO EXISTING NORMAL POWER CIRCUITS LEFT IN PLACE AFTER DEMOLITION OR NEW AS SHOWN. PROVIDE EMERGENCY CIRCUIT FOR HATCHED FIXTURES AND/OR EXIT SIGNS. EXTEND WIRING WITH MATCHING CONDUCTORS/CONDUIT TO EXISTING LOCATION AND/OR NEW FIXTURES. FIELD VERIFY CONNECTED LOAD NOT TO EXCEED 3500 W @ 277V. TYPICAL. LOCATION OF NEW / REPLACEMENT LIGHT FIXTURES SHALL RE-USE EXISTING J-BOX AND EXISTING LIGHT FIXTURE WHIPS AS PRACTICAL. EXTEND WIRING WITH MATCHING CONDUCTORS/CONDUIT AND PROVIDE NEW J-BOX ABOVE ACCESIBLE CEILING WITH 1/2-INCH FLEXIBLE STEEL CONDUIT OR STEEL MC

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LOCATE DIGITAL LIGHTING CONTROLLER AND/OR EMERGENCY LOAD CONTROL RELAY ABOVE ACCESSIBLE CEILING 12-FEET AFF OR BELOW ADJACENT TO SWITCH CONTROLLING THE SPACE. IN NON-ACCESSIBLE AND/OR HIGH CEILING AREAS, LOCATE DIGITAL LIGHTING CONTROLLER IN ADJACENT ANCILLARY AREA WITH ACCESSIBLE CEILING. IN AREAS WITH NO CEILING AND/OR IN EXTERIOR APPLICATIONS LOCATE ADJACENT TO PANEL SERVING THE LOAD. PROVIDE PLASTIC TAPE MACHINE TYPED NAME PLATE TO BOTTOM OF CEILING T-GRID BELOW RELAY LOCATION. WHITE LETTERS ON BLACK BACKGROUND WITH 1/4" HIGH LETTERS ON 1/2" TALL LABEL FOR DIGITAL MODULE, INDICATE AS: DLM.

ELECTRICAL KEYED NOTES

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LOCATE DIGITAL LIGHTING CONTROLLER AND IF SHOWN, PLENUM RATED, EMERGENCY LOAD CONTROL RELAY / TRANSFER SWITCH WALL MOUNTED ADJACENT TO NORMAL POWER PANEL. PROVIDE LABEL IDENTIFYING ASSOCIATED SPACE WITH WORDING PER SPECIFICATIONS. REFER TO DETAILS.

INTERCEPT EXISTING NORMAL POWER CIRCUIT HOME RUN AND PROVIDE PER CIRCUIT (1) LISTED UL1008 TRANSFER SWITCH, (1) CONTACTOR WITH POLE QUANTITY AS REQUIRED CONTROLLED WITH BMCS. LOCATE ADJACENT TO NORMAL POWER PANEL SERVING THE LOAD, RE-USE EXISTING NORMAL POWER CIRCUIT AND NEW EMERGENCY POWER CIRCUIT AS SHOWN. EXTEND CONDUCTORS / CONDUIT WITH MATCHING SIZE. REFER TO SPECIFICATIONS AND DETAIL SHEETS.

4 WALL MOUNTED. 5 DO NOT PENETRATE TOP OF CANOPY.

LINETYPE LEGEND EXISTING TO REMAIN — — — DISCONNECT AND REMOVE NEW WORK

PROVIDE NEW LIGHTING DEVICES AND SWITCH BOX EXTENSIONS IN ALL AREAS WHERE GYPSUM BOARD OR OTHER WALL COVERING ADDS TO THE THICKNESS OF WALLS. SEE ARCHITECTURAL DRAWINGS FOR AREAS AFFECTED.

EXISTING RACEWAYS AND LOCATION OF ELECTRICAL OUTLETS ON EXISTING WALLS TO REMAIN SHALL BE RE-USED AS

PROVIDE (1) MOMENTARY BMCS OVERRIDE TIME-OUT SWITCH FOR BUILDING OCCUPIED/UNOCCUPIED ADJACENT TO OR IN THE BMCS MASTER PANEL.

PRACTICAL FOR NEW DEVICES AS PART OF NEW WORK.

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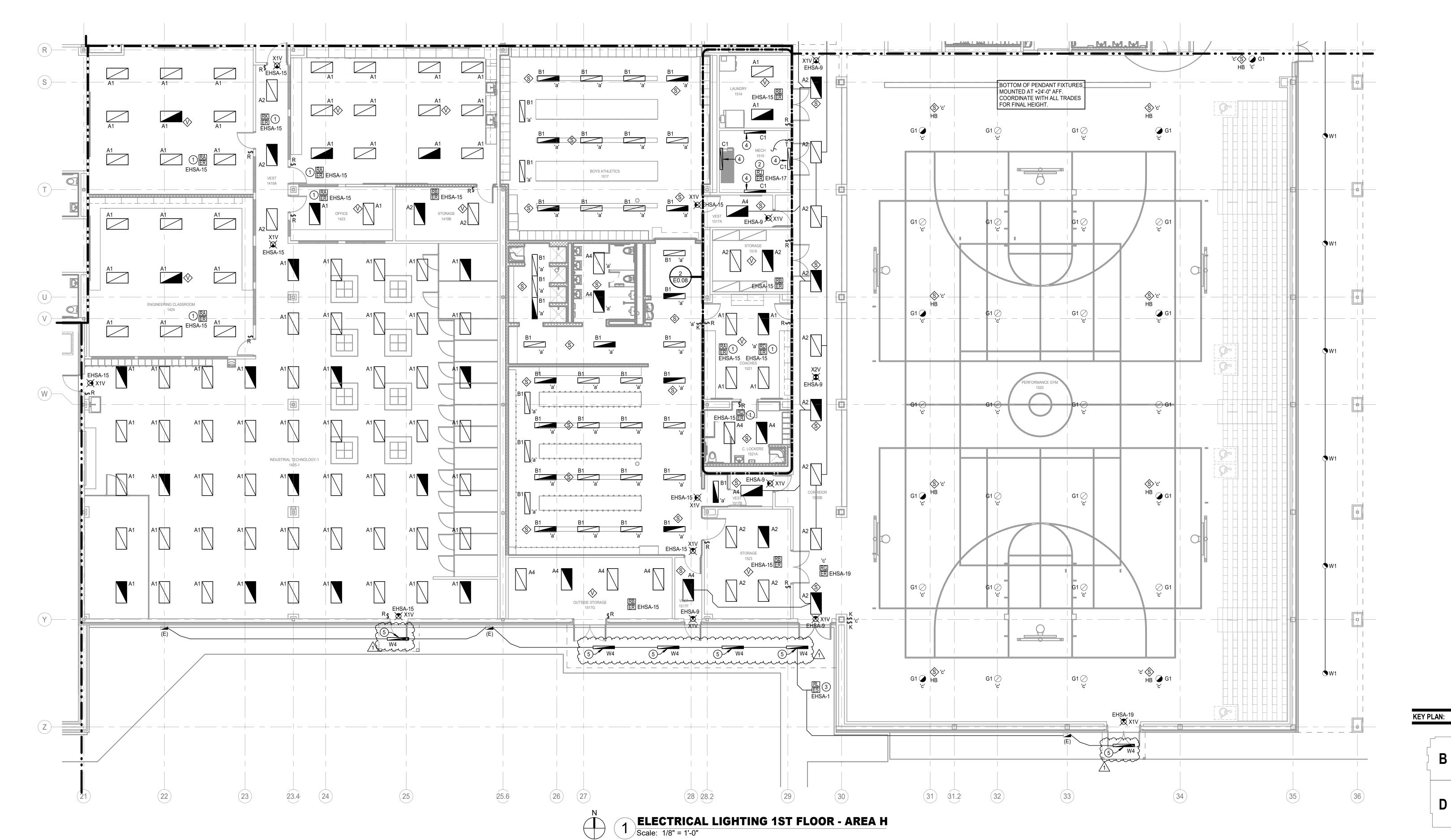
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Date: 29 DECEMBER 2024 ELECTRICAL LIGHTING 1ST FLOOR - AREA 'H'

E2.08



ELECTRICAL POWER 1ST FLOOR - AREA D
Scale: 1/8" = 1'-0"

Salas O'Brien

10930 W. Sam Houston Pkwy North, Suite 900 Houston, TX 77064

Registration: F-4111 Project No: 2024-00211-00

LINETYPE LEGEND EXISTING TO REMAIN

PROVIDE NEW POWER DEVICES AND SWITCH BOX EXTENSIONS IN ALL AREAS WHERE GYPSUM BOARD OR OTHER WALL COVERING ADDS TO THE THICKNESS OF WALLS. SEE ARCHITECTURAL DRAWINGS FOR AREAS AFFECTED.

— — — DISCONNECT AND REMOVE

EXISTING RACEWAYS AND LOCATION OF ELECTRICAL OUTLETS ON EXISTING WALLS TO REMAIN SHALL BE RE-USED AS PRACTICAL FOR NEW DEVICES AS PART OF NEW WORK.

TEMPORARILY DISCONNECT AND REMOVE ALL CEILING/WALL MOUNTED ELECTRICAL AND FIRE ALARM DEVICES FOR AREAS THAT REQUIRE CEILING/WALL REMOVALS AND/OR REPLACEMENT, INCLUDING MECHANICAL, TECHNOLOGY, FIRE ALARM, FIRE SPRINKLERS AND PLUMBING SCOPE OF WORK. AFTER COMPLETION RELOCATE TO PREVIOUS LOCATION AS

PROVIDE CONDUIT BUSHINGS ON ALL EXISTING LOW VOLTAGE RACEWAYS TO REMAIN AND BE RE-USED.

POWER GENERAL NOTES

REFER TO TECHNOLOGY DRAWINGS, DIVISION 27 AND 28 FOR TELECOMUNICATION PATHWAYS AND OTHER ADDITIONAL REQUIREMENTS TO BE PROVIDED AS SPECIFIED IN DIVISION 26.

WHERE ANY NEW WALL TERMINATES AT THE SAME LOCATION AS AN EXISTING WALL MOUNTED ELECTRICAL AND TECHNOLOGY DEVICE, CONTRACTOR SHALL RELOCATE DEVICE AND EXTEND WIRING AND CONDUIT AS INSTRUCTED BY OWNER OR ITS REPRESENTATIVE. WHERE ANY EXISTING JUNCTION BOX AND/OR PULLBOX IS LOCATED AT A NEW

NON-ACCESSIBLE CEILING AREA, CONTRACTOR SHALL RELOCATE DEVICE AND EXTEND WIRING AND CONDUIT ABOVE NEAREST ACCESSIBLE CEILING AS INSTRUCTED BY OWNER OR ITS REPRESENTATIVE. SEE ARCHITECTURAL DRAWINGS FOR AREAS AFFECTED.

ELECTRICAL KEYED NOTES

CONNECT EXISTING KILN DISCONNECT SALVAGED AFTER DEMOLITION AS SHOWN. EXTEND CONDUCTORS / CONDUIT WITH MATCHING SIZE TO NEW LOCATION AND MAKE FINAL CONNECTION TO EXISTING KILN RECEPTACLE. PROVIDE FLUSH MOUNTED JUNCTION BOX FOR CONNECTION OF ELECTRIC HAND DRYER. REFER TO ARCHITECTURAL DRAWINGS FOR FINAL MOUNTING HEIGHT AND LOCATION. CONNECT TO EXISTING 120V CIRCUIT LEFT IN PLACE AFTER DEMOLITION, EXTEND CONDUCTORS / CONDUIT WITH MATCHING SIZE TO

BREAKER. REFER TO DETAILS FOR RACK RECEPTACLES INSTALLATION. TYPICAL. 4 ROUTE 3/4"C. TO ASSOCIATED OUTDOOR UNIT ON ROOF. ROUTE PARALLEL WITH REFRIGERATION LINES.

PROVIDE NEW RECEPTACLES AS SHOWN AND CONNECT TO EXISTING CIRCUITS
LEFT IN PLACE AFTER DEMOLITION, EXTEND CONDUCTORS / CONDUIT WITH
MATCHING SIZE TO NEW LOCATION. FIELD VERIFY CONNECTED LOAD NOT TO EXCEED 1500 W @ 120 V.

KEY PLAN:

PROVIDE NEW RECEPTACLE AS SHOWN FOR REPLACEMENT ELECTRIC DRINKING FOUNTAIN. PROVIDE NEW 2#12, 1#12G. FROM EXISTING SOURCE IN EXISTING CONDUIT AND EXISTING 20A/1P BREAKER LEFT IN PLACE AFTER

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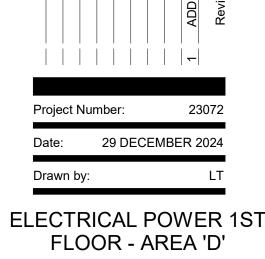
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Houston, TX 77064 Registration: F-4111

Project No: 2024-00211-00

LINETYPE LEGEND **EXISTING TO REMAIN** — — — DISCONNECT AND REMOVE NEW WORK

DEMOLITION / EXISTING DRAWINGS ARE BASED ON CASUAL FIELD OBSERVATION, AND WHEN AVAILABLE, EXISTING RECORD DOCUMENTS. REPORT DISCREPANCIES TO ARCHITECT BEFORE DISTURBING EXISTING INSTALLATION, AND IMMEDIATELY AFTER SUCH DISCREPANCIES ARE DISCOVERED. CONTRACTOR TO VERIFY EXISTING CONDITIONS ON FIELD AND NOTIFY ENGINEER IF THERE ARE ANY CONFLICTS BETWEEN EXISTING CONDITIONS AND DRAWINGS PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR SHALL REMOVE SUCH EXISTING WORK AS CALLED FOR ON THE DRAWINGS OR AS REQUIRED TO CLEAR THE AREAS OF NEW CONSTRUCTION.

OWNER OR ITS REPRESENTATIVE SHALL HAVE FIRST RIGHT OF REFUSAL ON ALL EQUIPMENT BEING REMOVED FROM THIS PROJECT. CONTRACTOR TO NOTIFY <u>CAREY RAMSEY</u> WITH DISTRICT PRIOR TO DEMOLITION WORK TO DISCUSS ALL RETURNED ITEMS TO DISTRICT.

PANELBOARD CIRCUIT DIRECTORY:

CONTRACTOR SHALL RECORD AND/OR PRESERVE THE CIRCUIT DIRECTORY.

CONSTRUCTION DOCUMENTS A NEW, NEATLY TYPED DIRECTORY. CONTRACTOR SHALL TRACE ALL EXISTING CIRCUITS AND SHALL LEGIBLY IDENTIFY AS TO ITS CLEAR, EVIDENT, AND SPECIFIC PURPOSE OR USE, LOADS SERVED AND LOCATION AND/OR THE PANELBOARD SCHEDULE ON THE DRAWINGS. THE WORD "EXISTING" SHALL NOT BE USED ON PANELBOARD DIRECTORIES. SPARE BREAKERS ARE TO BE LISTED AS "SPARE". SPACES WITH NO BREAKERS ARE TO BE LEFT BLANK. REFER TO NEC-2023: 408.4(A) FOR DETAILS.

UNLESS NOTED OTHERWISE, RETAIN IN PLACE ALL EXISTING CIRCUITS AND FEEDER FROM SOURCE FOR ALL EXISTING PANELS LABELED TO BE REPLACED AND / OR RELOCATED. EXTEND / RE-ROUTE EXISTING BRANCH CIRCUITS AND FEEDER LEFT IN PLACE AFTER DEMOLITION FROM EXISTING PANELS TO BE RELOCATED AND / OR REPLACED. CONTRACTOR TO FIELD VERIFY INTERRUPTING FAULT CURRENT CAPACITY OF EXISTING PANELS AND / OR SWITCHBOARDS AND TO PROVIDE NEW BREAKERS/FUSES TO MATCH EXISTING. TWO-HOUR FIRE RATED CABLE:

ELECTRICAL LOAD ANALYSIS

480 / 277, 3PH, 4W

GENERATOR LOAD ANALYSIS

480 / 277, 3PH, 4W

LOAD DESCRIPTION

GENERATOR CAPACITY - 125 kW / 156 kVA

NEC-2023 LOAD KVA

220.87 1,286.2

220.42(A) 2.5

215.2 164.0

220.47 25.7

220.47 10.0

220.47 7.8

220.56

220

220 128.5

220 14.7

430.24 7.1

1,290.3

LOAD KVA

39.5

49.5

10.8

109.1

4#1/0,— 1#6G. 2"C.

328.0

CRITERIA

LOAD DESCRIPTION

PEAK DEMAND 1,029.0 @125%

LOAD REMOVED 328.0 @100%

LIGHTING (CONNECTED) x 1.25

RECEPTACLES (CONNECTED)

1st 10KVA @100%

REMAINDER @50%

MISCELLANEOUS

CHILLERS

KITCHEN EQUIPMENT

HVAC - FANS, PUMPS, AHUs

25% LARGEST MOTOR (25 HP)

1,290.3 / xxx V / sqrt3 = 1,552.0 A

4,000 A EXISTING SERVICE

LIGHTING x 1.25

RECEPTACLES

MISCELLANEOUS

HVAC - FAN's, AHU's

LIGHTING (CALC.) 1,730 SqFt x 1.5 W

. TWO-HOUR FIRE RATED POWER CABLE SHALL BE APPROVED BY THE LOCAL AHJ AND INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS IN COMPLIANCE WITH UL FIRE RESISTANCE DIRECTORY, ELECTRICAL CIRCUIT PROTECTIVE SYSTEMS (FHIT), AND SYSTEM 27

. TWO-HOUR FIRE RATED POWER CABLE SHALL BE INSTALLED AS APPROVED BY THE LOCAL AHJ IN STEEL EMT OR STEEL RIGID CONDUIT WITH STEEL SET SCREW OR THREADED ITTINGS. UL LISTED FLEXIBLE METALLIC STEEL CONDUIT MAY BE USED IN LENGTHS NOT TO EXCEED 6-FEET. SUPPORT CONDUIT EVERY 5-FEET ON CONCRETE OR MASONRY WALLS OR A CONCRETE FLOOR-CEILING ASSEMBLY. THE FIRE RATING OF THE WALL OR FLOOR-CEILING ASSEMBLY MUST BE EQUAL TO OR GREATER THAN THE RATING OF THE ELECTRICAL CIRCUIT PROTECTIVE SYSTEM. PROVIDE J-BOX AT EACH END OF THE FIRE RATED CABLES IN THE FIRE RATED ROOM TO ALLOW SPLICE TO STANDARD BUILDING CABLE TO THE EQUIPMENT. PROVIDE SEALANT TO THE END OF THE RACEWAY TO PREVENT GASES FROM MIGRATING FROM THE FIRE RATED CABLE DOWN INTO THE EQUIPMENT.

NSULATION FOR TWO-HOUR FIRE RATED POWER CABLE: INSULATION SHALL MEET OR EXCEED THE REQUIREMENTS OF UL 2196 FIRE TEST FOR CIRCUIT INTEGRITY OF FIRE-RESISTIVE POWER, INSTRUMENTATION, CONTROL AND DATA CABLES, AND UL 44, THERMOSET INSULATED WIRES AND a. INSULATION FOR CONDUCTORS SHALL BE UL TYPE

RHW-2 OR RW90, 90 DEGREES C FOR WET LOCATIONS AND 90 DEGREES C FOR DRY LOCATIONS. b. ELECTRICAL CIRCUIT PROTECTIVE SYSTEMS (FHIT) -SYSTEM 27 OF THE UL FIRE RESISTANCE DIRECTORY.

EXISTING CIRCUIT DIRECTORY, IF ANY, FOR THE SOLE PURPOSE UPON COMPLETION OF NEW WORK OF PRODUCING A NEW

CONTRACTOR SHALL PERMANENTLY LABEL AS PART OF THE SWITCHGEAR AND PANELBOARDS TO INDICATE EACH POWER

447 Heights Boulevard Houston, TX 77007 Phone: 713-975-9525 Fax: 713-780-7824

CORPORATION

ARCHITECTS

www.natexarchitects.com

BID DOCUMENTS

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FOOD SERVICE EQUIPMENT

25317 INTERSTATE 45

THE WOODLANDS, TX 77380

tel: 281.350.2323

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17041 EL CAMINO REAL, STE 204

HOUSTON, TX 77058 tel: 281.486.4040

7708

01/16/2025

Coleman Partners ARCHITECTS cparch.com 3701 Kirby Drive, Suite 830 Houston,TX 77098 tel 832.947.1038 fax 225.214.5365

CONTRACTOR SHALL PROVIDE AS PART OF THE

CONSTRUCTION DOCUMENTS ALL SWITCHBOARDS, SOURCE. REFER TO NEC-2023: 408.4(B) FOR DETAILS.

(E)MAIN SWITCHBOARD 'MR' (E)MAIN SWITCHBOARD 'M' 277/480V, 3PH, 4W, 2000AF 277/480V, 3PH, 4W, 4000AF 65.000A AIC 65,000A AIC (E)CENTERPOINT **ENERGY PAD-MOUNTED** TRANSFORMER 277/480V, 3PH, 4W (E)CABLE TAP BOX 1200A / 2000A 400A 100A 400A 400A SPARE SPARE lsc: 56,600 lsc: 55,785 D 2000AF MFS 🕇 4000AF EXISTING EXISTING EXISTING EXISTING EXISTING EXISTING EXISTING EXISTING __ 100AF ₩FS (E)INTERNAL -(E)INTERNAL — **EXISTING** -EXISTING EXISTING EXISTING → EXISTING -EXISTING METER -EXISTING EXISTING-225 kVA Isc: 13,478 Isc: 19,944 -EXISTING 480-120/208V **BUS DUCT** EXISTING 3PH, 4W DO NOT BOND (E)PANEL (E)PANEL (E)PANEL NEUTRAL-TO-GROUND -EXISTING DD' 'DA' 'DC' 'HK' EXISTING --EXISTING 150A/3P LSI 150 kVA 112.5 kVA 75 kVA 75 kVA 150 kVA 150 kVA 480-120/208V 480-120/208V 7 480-120/208V 480-120/208\ 1 480-120/208V 480-120/208V NEW 3PH, 4W 3PH, 4W 3PH, 4W 3PH, 4W 3PH, 4W 3PH, 4W TO SLAB COPPERWELD – 100A/3P STEEL 3/4" x 10'-0" 4#2,1#6G. -1-1/2"C. EXISTING-EXISTING-EXISTING GROUND ROD TO ALL BUILDING -4#500kCMIL, (E)PANEL XFMR 'TLFS' 1#1/0G. 3-1/2"C. METAL SYSTEMS 3#10,-15 KVA -EXISTING EXISTING 480: 120/208V. -EXISTING -EXISTING EXISTING EXISTING lsc: 7.304 ALL GROUNDING ELECTRODE 3PH, 4W. 4#1/0,-CONDUCTOR TERMINATIONS Isc: 6,420 1#6G. TO BE CADWELD **PANEL** (E)PANEL (E)PANEL (E)PANEL (E)PANEL PANEL **PANEL** (E)PANEL (E)PANEL (E)PANEL (E)PANEL (E)PANEL LF2' 'LF3' LA2' LC' LC2' LD2' LD' LB' LB2' ` 'LE2' 'LE3' 'LE' 1#8G. 1"C. (E)PANEL (E)PANEL EXISTING REPLACEMENT **REPLACEMENT** 4#3, 1#8G. [⅃] EXISTING -EXISTING -EXISTING-EXISTING-EXISTING-1-1/2"C. (E)KITCHEN (E)KITCHEN LÒÁD CENTER LÒÁD CENTER LEXISTING (E)SWITCHBOARD 'R' PANEL (E)PANEL 277/480V, 3PH, 4W, 2000A (E)PANEL (E)PANEL 'LFS' LC3' 65,000A AIC LA4' (E)PANEL 'LK3' (E)PANEL (E)KITCHEN ↓ CB/LSI/WP 1#8G. 1#8G. 2"C. 35kAIC LOAD CENTER CB/LSI/WP EXISTING-EXISTING -400A 1200A 400A 100A 1200A 4#2/0, 1#4G. 2"C.-EXISTING-(TWO-HOUR FIRE NEMA 4XSS WIRING GUTTER | EXISTING EXISTING EXISTING EXISTING RATED) WITH INSULATED TAP BLOCKS -4#250kCMIL LIFE SAFETY 1#4G. 3"C. (E)AUTOMATIC 150A, 4P (1) 30kA WCR EXISTING EXISTING EXISTING (TWO-HOUR 30A/3P/ → (E)EMERGENCY FIRE RATED) } MTDQ CB/WP 35kAIC EXISTINGlsc: 14,214 SWITCH 4#250kCMIL, GENERATOR REFER TO SECTION 26 05 00 ELECTRICAL GENERAL PROVISIONS - 480V/400A/ Isc: 9,257 1#4G. 3"C. 125 KW / 156 KVA 4P/N3RX FOR COORDINATION STUDY, FAULT CURRENT ANALYSIS, AND (TWO-HOUR -4#1/0, ARC-FLASH STUDY REPORT FOR ALL NEW ELECTRICAL EXISTING-FIRE RATED) 1#6G. 250A/3P LSI DISTRIBUTION EQUIPMENT THAT SHALL BE PROVIDED AS PART OF CONTRACT DOCUMENTS, SELECTIVELY COORDINATE ALL (E)CH-2 (E)'MCC (E)CH-3 EQUIPMENT DEDICATED TO THE LIFE SAFETY EMERGENCY SYSTEM, INCLUDING BUT NOT LIMITED TO, PANELBOARDS TYPE AND SIZE, BRANCH AND FEEDER CIRCUIT BREAKERS, AND (E)PANEL GENERATOR WITH MANUFACTURER TO COMPLY WITH 'EHSA' EXISTING COORDINATION STUDY REQUIREMENTS PRIOR TO SUBMITTAL. EXISTING -(E)'EX2' (E)'EX' REFER TO NEC-2023:700. 30 kVA 45 kVA 480-120/208V 480-120/208V 30 KVA FEED THROUGH LUGS -3PH, 4W 3PH, 4W 480: 120/208V., 1#10G. 4#3/0, 1#2G. 2"C. EXISTING-(TWO-HOUR FIRE RATED) 4#3,----1#8G. 1-1/2"C. PANEL 'EHSB' (E)PANEL 'EL2' XFMR 'TELSB' 45 KVA 480: 120/208V. 3PH, 4W. PANEL 'ELSA'

(E)ATS

ATS-LS

REFER TO SPECIFICATIONS.

DATE OF INSTALLATION: MM/DD/YYYY

DATE OF CALCULATION: 11/12/2024

REFER TO SPECIFICATIONS.

DATE OF INSTALLATION: MM/DD/YYYY

DATE OF CALCULATION: 11/12/2024

AVAILABLE FAULT CURRENT

PROVIDE LABEL WITH LETTERING ON CONTRASTING

BACKGROUND PERMANENTLY AFFIXED TO THE SERVICE

QUIPMENT. THE LABEL SHALL INCLUDE THE DATE OF

CALCULATION SHALL BE THE DATE INDICATED BY THE

ENGINEER OF RECORD'S SEAL ON THE CONSTRUCTION

DISCONNECT / EQUIPMENT PRIOR TO ENERGIZING THE SERVICE

INSTALLATION AND THE DATE OF CALCULATION. THE DATE OF

DOCUMENT ELECTRICAL ONE-LINE DIAGRAM / RISER DRAWING.

SERVICE EQUIPMENT AVAILABLE FAULT CURRENT: 9,257 A

AVAILABLE FAULT CURRENT

PROVIDE LABEL WITH LETTERING ON CONTRASTING

BACKGROUND PERMANENTLY AFFIXED TO THE SERVICE

EQUIPMENT. THE LABEL SHALL INCLUDE THE DATE OF

CALCULATION SHALL BE THE DATE INDICATED BY THE

ENGINEER OF RECORD'S SEAL ON THE CONSTRUCTION

DISCONNECT / EQUIPMENT PRIOR TO ENERGIZING THE SERVICE

INSTALLATION AND THE DATE OF CALCULATION. THE DATE OF

DOCUMENT ELECTRICAL ONE-LINE DIAGRAM / RISER DRAWING.

SERVICE EQUIPMENT AVAILABLE FAULT CURRENT: 14,214 A

SINCE EXACT FAULT CURRENT INFORMATION IS CURRENTLY

NOT AVAILABLE FROM CENTERPOINT ENERGY, CENTERPOINT

TABLES HAVE BEEN USED TO PERFORM THE SHORT CIRCUIT

CURRENT CALCULATIONS USING POINT-TO-POINT METHOD.

ENERGY'S TRANSFORMER SECONDARY FAULT CURRENT

ELECTRICAL KEYED NOTES

2 3PH, 4W, 120/208V, 400A REVENUE GRADE SUBMETER FOR LOAD AT FEEDERS AS

SHOWN ON DIAGRAM. E-MON D-MON 3400 SERIES DEMAND METER. SUBMETER

3PH, 4W, 120/208V, 100A REVENUE GRADE SUBMETER FOR LOAD AT FEEDERS AS

SHOWN ON DIAGRAM. E-MON D-MON 3400 SERIES DEMAND METER. SUBMETER

EXTEND/RE-ROUTE ALL EXISTING BRANCH CIRCUIT AND FEEDER CONDUCTORS/

PROVIDE PHASE SEQUENCE MONITOR/BALANCE MODULE TO PROTECT AGAINST

INADVERTENT PHASE ROTATION HOOKUP AND MONITOR FOR VOLTAGE PHASE

SHALL MEASURE KWH AND DEMAND AND WITH BACK-NET COMPATIBILITY.

SHALL MEASURE KWH AND DEMAND AND WITH BACK-NET COMPATIBILITY.

CONDUIT FROM EXISTING PANEL WITH MATCHING SIZE TO REPLACEMENT/

1"C. TO ATS FOR CONTROL WIRING REFER TO SPECIFICATIONS AND

QUICK-CONNECTS IN SINGLE PACKAGE, REFER TO SPECIFICATIONS.

DOUBLE-THROW MANUAL TRANSFER SWITCH WITH INTEGRATED

PROVIDE DRY CONTACT FOR INDIVIDUAL MONITORING INTERFACE WITH

SECURITY PANEL FOR EACH ATS.

RELOCATED PANEL.

IMBALANCE BETWEEN PHASES.

COORDINATE WITH MANUFACTURER. TYPICAL.

RD,

| | | | | | | |

ELECTRICAL ONE-LINE

PARTIAL ONE LINE DIAGRAM 1 PARTIAL Scale: N.T.S.

ELECTRICAL GENERAL NOTES

- REMOVE ALL ABANDONED EQUIPMENT, WIRING AND CONDUIT BACK TO SOURCE. EXCEPT AS OTHERWISE NOTED, ALL EXISTING ELECTRICAL WORK WHICH WILL NOT BE RENDERED OBSOLETE & WHICH MAY BE DISTURBED DUE TO ANY CHANGES REQUIRED UNDER THIS CONTRACT, SHALL BE RESTORED TO ITS ORIGINAL OPERATING CONDITION. OTHER ELECTRICAL WORK OR MATERIAL RENDERED OBSOLETE SHALL BE ABANDONED WHERE CONCEALED AND REMOVED WHERE EXPOSED. OLD UNUSED WIRING AND DEVICES SHALL BE REMOVED FROM THE ABANDONED (CONCEALED) CONDUITS. OUTLETS SHALL BE PROVIDED WITH BLANK COVERS. ANY CONDUITS OUT OF MASONRY SURFACE SHALL BE CUT INTO
- WHERE EXISTING ELECTRICAL WORK INTERFERES WITH NEW WORK AND WHERE SUCH INSTALLATIONS ARE TO REMAIN IN USE, THE INSTALLATIONS SHALL BE DISCONTINUED AND RELOCATED AND/OR
- RECONNECTED TO COORDINATE WITH THE WORK INDICATED ON THE CONTRACT DRAWINGS AND AS SPECIFIED. WHERE EXISTING RACEWAYS THAT ARE NOT TO BE REUSED INTERFERE WITH NEW WORK, THESE RACEWAYS SHALL BE REMOVED BACK TO THE NEAREST JUNCTION BOX OR PULL BOX AND THE OPENINGS
- EXISTING RACEWAYS AND/OR WIRING MAY BE REUSED WHERE PRACTICABLE. EXCEPT AS OTHERWISE INDICATED. CONTRACTOR SHALL MAINTAIN CONTINUITY OF BRANCH CIRCUITS SERVING MULTIPLE ITEMS OF WHICH ONE OR MORE ARE BEING DEMOLISHED. CONDUCTORS AND CONDUITS FOR THOSE ITEMS BEING
- DEMOLISHED SHALL BE REMOVED AS FAR AS PRACTICABLE. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REMOVE ALL EXISTING ELECTRICAL EQUIPMENT NOT REUSED OR NOT NECESSARY FOR THE COMPLETION OF THIS PROJECT.
- IF ANY BRANCH CIRCUIT WIRING FEEDING EQUIPMENT TO REMAIN IN PLACE FOR REUSE IS DAMAGED DURING CONSTRUCTION, THE CONTRACTOR SHALL REPLACE WITH NEW BRANCH CIRCUIT WIRING OF THE SAME SIZE AND TYPE AS EXISTING AT NOT COST TO THE OWNER.
- COORDINATE THE REMOVAL AND REINSTALLATION (OR PROTECTION IN PLACE) OF EXISTING ELECTRICAL EQUIPMENT AND DEVICES WITH THE WORK OF OTHER TRADES TO REPLACE OR REFINISH EXISTING
- 10 DISCONNECT AND REMOVE ALL CONDUIT AND WIRE, AND DISCONNECT ASSOCIATED WITH HVAC, PLUMBING AND TECHNOLOGY EQUIPMENT BEING REMOVED.

				<u>LIGH</u>	ITING CONTROLS SCHEDULE
Туре	Sensor Operation	# of Lighting Zones	# of Plug Load Zones	# of Total Zones	Description
ER	-	-	-	-	LISTED UL924 EMERGENCY LOAD CONTROL RELAY, PLENUM RATED, 0-10V COMPATIBLE, 16A MINIMUM.
ES	-	-	-	-	LISTED UL1008 EMERGENCY TRANSFER SWITCH, PLENUM RATED, 0-10V COMPATIBLE, 16A MINIMUM.
RA	VACANCY - MANUAL ON / AUTO OFF 20 MINUTES TIMEOUT	1	0	1	ROOM CONTROLLER, 0-10V DIMMING.
RB	VACANCY - MANUAL ON / AUTO OFF 20 MINUTES TIMEOUT	1	0	1	ROOM CONTROLLER, NO DIMMING.
RC	OCCUPANCY - AUTO ON 50% / AUTO OFF 20 MINUTES TIMEOUT	1	0	1	ROOM CONTROLLER, 0-10V DIMMING.
RD	OCCUPANCY - AUTO ON 100% / AUTO OFF 20 MINUTES TIMEOUT	1	0	1	ROOM CONTROLLER, NO DIMMING.
RE	OCCUPANCY - AUTO ON 100% / AUTO OFF 20 MINUTES TIMEOUT	1	0	1	CORRIDOR ROOM CONTROLLER, NO DIMMING. BMCS ON/OFF INTERFACE FOR OCCUPIED / UNOCCUPIED BUILDING OPERATION. PROVIDE OCCUPANCY BASED SENSORS WHERE SHOWN. LOCATE (1) KEYED SWITCH AT MAIN ENTRY DOOR ADJACENT TO SECURITY KEYPAD.
RF	OCCUPANCY - AUTO ON 50% / AUTO OFF 20 MINUTES TIMEOUT	1	0	1	LIBRARY ROOM CONTROLLER, 0-10V DIMMING. BMCS ON/OFF INTERFACE FOR OCCUPIED / UNOCCUPIED BUILDING OPERATION. LOCATE DIMMING SWITCH BEHIND CIRCULATION DESK.
RG	OCCUPANCY - AUTO ON 50% / AUTO OFF 20 MINUTES TIMEOUT	1	0	1	GYM ROOM CONTROLLER, 0-10V DIMMING. BMCS ON/OFF INTERFACE FOR OCCUPIED / UNOCCUPIED BUILDING OPERATION. LOCA (2) SWITCHES AT STAGE AND (2) 0-10 V DIMMING SWITCHES AT EACH ENTRY FOR DUAL-LEVEL CONTROL WITH ALTERNATE FIXTURES
RH	OCCUPANCY - AUTO ON 50% / AUTO OFF 20 MINUTES TIMEOUT	2	0	2	CAFETERIA ROOM CONTROLLER, 0-10V DIMMING. BMCS ON/OFF INTERFACE FOR OCCUPIED / UNOCCUPIED BUILDING OPERATION LOCATE (2) SWITCHES AT STAGE AND (2) 0-10 V DIMMING SWITCHES AT EACH ENTRY FOR DUAL-LEVEL CONTROL WITH ALTERNAT FIXTURES.
RJ	NONE	1	0	1	ON/OFF SPRING WOUND MECHANICAL TIME SWITCH, 20 AMP, 12-HOUR WITH HOLD. WHERE MULTIPLE SWITCHES ARE USED, THES SHALL BE LINKED TOGETHER FOR SIMULTANEOUS OPERATION WITHIN THE SPACE.
RK	OCCUPANCY - AUTO ON 100% / AUTO OFF 20 MINUTES TIMEOUT	1	0	1	BMCS ON/OFF INTERFACE FOR OCCUPIED / UNOCCUPIED BUILDING OPERATION. LOCAL ON/OFF SWITCH. BMCS INTERFACE SHALL TURN LIGHTS OFF ONLY. PROVIDE OCCUPANCY BASED SENSOR AND/OR DIMMING ONLY WHERE SHOWN.
RL	NONE	1	0	1	CONTACTOR CONTROLLED WITH BMCS ON/OFF INTERFACE FOR PHOTOSENSOR / SCHEDULE.
RM	NONE	1	0	1	CONTACTOR CONTROLLED WITH BMCS ON/OFF INTERFACE FOR PHOTOSENSOR / SCHEDULE. EXTERIOR LIGHTING SHALL BE TURNED OFF FROM 12:00AM TO 6:00AM OR FROM 1 HOUR AFTER CLOSING TO 1 HOUR BEFORE OPENING.

- PER IECC-2015, SECTION C405, AREAS / ROOMS WHERE AUTOMATIC SHUTOFF FOR LIGHTING WOULD ENDANGER OCCUPANT SAFETY ARE EXEMPT FROM AUTOMATIC CONTROLS. PROVIDE PHOTOCELL WITHIN DAYLIGHT ZONE ONLY WHERE SHOWN ON FLOORPLANS.
- B LOCATE PHOTOSENSOR SURFACE MOUNTED ON THE NORTH SIDE OF THE BUILDING. LOCATION IS TO BE APPROVED BY ARCHITECT/OWNER REPRESENTATIVE
- CONTRACTOR TO COORDINATE EXACT PROGRAMING OF TIME-SCHEDULE WITH OWNER REPRESENTATIVE. REFER TO LIGHTING CONTROL DETAILS FOR TYPICAL INSTALLATION.

	LIGHTING FIXTURE SCHEDULE								
Туре		Catalog Number							
Mark	Manufacturer	Model	Mounting	Lamp Type	CCT	CRI	Voltage		Remarks
A1	METALUX	24CGT5540C	RECESSED	LED / 5,337 LUMENS	4000 K	80	277 V	46 VV	LED 2x4' LUMINAIRE, ACRYLIC DIFUSSER. 0-10V DIMMING DRIVER. DLC CERTIFIED.
A2	METALUX	24CGT4540C	RECESSED	LED / 4,432 LUMENS	4000 K	80	277 V	38 W	LED 2x4' LUMINAIRE, ACRYLIC DIFUSSER. 0-10V DIMMING DRIVER. DLC CERTIFIED.
A4	METALUX	24CGT4540C / DF-24W-U	RECESSED DW FRAME	LED / 4,432 LUMENS	4000 K	80	277 V	38 W	LED 2x4' LUMINAIRE, ACRYLIC DIFUSSER. 0-10V DIMMING DRIVER. DLC CERTIFIED.
A5	METALUX	24CGTX65L840	RECESSED	LED / 6,447 LUMENS	4000 K	80	277 V	53 W	LED 2x4' LUMINAIRE, ACRYLIC DIFUSSER. 0-10V DIMMING DRIVER. DLC CERTIFIED.
B1	METALUX	14CGT4040C / DF-14W-U	RECESSED DW FRAME	LED / 4,351 LUMENS	4000 K	80	277 V	39 W	LED 1x4' LUMINAIRE, ACRYLIC DIFUSSER. 0-10V DIMMING DRIVER. DLC CERTIFIED.
C1	METALUX	4SNLED-LD5-34SL-LN-UNV-L840-CD1-U / AYC-Chain/Set / WG/SNF-4FT	SURFACE / CHAIN HANG	LED / 3,500 LUMENS	4000 K	80	277 V	25 W	LED 4-FEET STRIP, ACRYLIC LENS. 0-10V DIMMING DRIVER. DLC CERTIFIED. PROVIDE WITH WIREGUARD.
C1E	METALUX	4SNLED-LD5-34SL-LN-UNV-EL14W-L840-CD1-U / AYC-Chain/Set / WG/SNF-4FT	SURFACE / CHAIN HANG	LED / 3,500 LUMENS	4000 K	80	277 V	25 W	LED 4-FEET STRIP, ACRYLIC LENS. 0-10V DIMMING DRIVER. DLC CERTIFIED. PROVIDE WITH WIREGUARD AND 90-MINUTES EMERGENCY BATTERY PACK.
C2	METALUX	4VT3-LD5-5-G-UNV-L840-CD1-SSL-U	SURFACE	LED / 5,818 LUMENS	4000 K	80	277 V	44 W	LED 4-FEET SEALED STRIP, STAINLESS STEEL LATCHES, NON-CORROSIVE HOUSING, ACRYLIC LENS. 0-10V DIMMING DRIVER. DLC CERTIFIED.
C3	METALUX	4SNLED-LD5-34SL-LN-UNV-L840-CD1-BLK-U / AYC-Chain/Set / WG/SNF-4FT	SURFACE / CHAIN HANG	LED / 3,500 LUMENS	4000 K	80	277 V	25 W	LED 4-FEET STRIP, ACRYLIC LENS, BLACK BODY. 0-10V DIMMING DRIVER. DLC CERTIFIED. PROVIDE WITH WIREGUARD.
D1	HALO	HC615D010-HM60525840-61MDH	RECESSED	LED / 1,500 LUMENS	4000 K	80	277 V	15 W	LED 6-INCH ROUND DOWNLIGHT, MEDIUM BEAM, SEMI-SPECULAR FINISH. ENERGY STAR CERTIFIED.
G1	METALUX	SSLED-LD5-24-M-UNV-L840-CD1-U	PENDANT	LED / 25,353 LUMENS	4000 K	80	277 V	191 W	LED 15-INCH ROUND HIGH BAY, MEDIUM OPTICS. 0-10V DIMMING DRIVER. IMPACT RATED LENS. DLC CERTIFIED.
PB8	ALW	LPX4BSPF0-S8-074080WSV01-074080WSV01- N-N-N-N-NN-N-N-XX-X16-1C-UNV	PENDANT	LED / 750 L/DOWN 750L/UP	4000 K	80	277 V	82 W	LED 4-INCH X 8-FEET DIRECT/INDIRECT LINEAR LED IN EXTRUDED ALUMINUM PROFILE WITH OPAL ACRYLIC LENS. 0-10V DIMMING DRIVER. DLC CERTIFIED. COORDINATE CABLE LENGTH WITH ARCHITECT.
PC8	ALW	LPX4BSPF0-S8-104080WSV01-074080WSV01- N-N-N-N-NN-N-N-XX-X16-1C-UNV	PENDANT	LED / 1000 L/DOWN 750L/UP	4000 K	80	277 V	97 W	LED 4-INCH X 8-FEET DIRECT/INDIRECT LINEAR LED IN EXTRUDED ALUMINUM PROFILE WITH OPAL ACRYLIC LENS. 0-10V DIMMING DRIVER. DLC CERTIFIED. COORDINATE CABLE LENGTH WITH ARCHITECT.
PC12	ALW	LPX4BSPF0-S12-124080WSV01-074080WSV01- N-N-N-N-NN-N-N-XX-X16-1C-UNV	PENDANT	LED / 1000 L/DOWN 750L/UP	4000 K	80	277 V	145 W	LED 4-INCH X 12-FEET DIRECT/INDIRECT LINEAR LED IN EXTRUDED ALUMINUM PROFILE WITH OPAL ACRYLIC LENS. 0-10V DIMMING DRIVER. DLC CERTIFIED. COORDINATE CABLE LENGTH WITH ARCHITECT.
PC16	ALW	LPX4BSPF0-S16-124080WSV01-074080WSV01- N-N-N-N-NN-N-N-XX-X16-1C-UNV	PENDANT	LED / 1000 L/DOWN 750L/UP	4000 K	80	277 V	194 W	LED 4-INCH X 16-FEET DIRECT/INDIRECT LINEAR LED IN EXTRUDED ALUMINUM PROFILE WITH OPAL ACRYLIC LENS. 0-10V DIMMING DRIVER. DLC CERTIFIED. COORDINATE CABLE LENGTH WITH ARCHITECT.
T1	HALO	L641-P-L941-P-DE64-1P / (1)L-812-11-NF-90-27-P / (2)L-812-11-NF-90-35-P	TRACK	LED / 1,100 LUMENS 2,700 K - 3,500 K		90	120 V	47 W	LED CYLINDERS AND 4-FEET TRACK LIGHTING SYSTEM. INCLUDES ALL ACCESORIES FOR COMPLETE INSTALLATION.
	FAIL-SAFE	TRR11-LD4-25W-40-OPL-XX-UNV-EDC1	SURFACE	LED / 1,695 LUMENS	4000 K	80	277 V	25 W	LED 11-INCH ARCHITECTURAL ROUND FIXTURE, SURFACE MOUNTED, WET LOCATION LISTED, ALUMINUM HOUSING, POLYCARBONATE LENS. COORDINATE FINISH WITH ARCHITECT DLC CERTIFIED
W4	METALÚX	LP3.5SMBWL-S4-LOW/80/4000K-V01-EXT/F-XX- UNV	SURFACE	LED / 635 L/FT	4000 K	80	277 V	25 W	3-INCH x 4-FEET LINEAR LED IN EXTRUDED ALUMINUM PROFILE WITH OPAL ACRYLIC LENS AND END FEED CONNECTION, WET LOCATION RATED. 0-10V DIMMING DRIVER. DLC CERTIFIED. PROVIDE SURFACE MOUNTING BRACKETS AND TIGHT SEAL ALL CANOPY PENETRATIONS; MOUNT IN UPPER CAVITY OF ALUMINUM CANOPY.
W6^	McGRAW EDISON	1ST-SA1B-740-U-T3-XX	WALL	LED 73,470 LUMENS	4000 K	70	2777	25 W	LED ARCHITECTURAL WALLPAK, ALUMINUM HOUSING. COORDINATE FINISH WITH
WC4	ALW	LPX4BWMF0-S4-104080SLV01-074080SLV01- N-N-N-N-NN-N-N-XX-N-1C-UNV	WALL	LED / 1000 L/DOWN 750L/UP	4000 K	80	277 V	48 W	LED 4-INCH X 4-FEET DIRECT/INDIRECT LINEAR LED IN EXTRUDED ALUMINUM PROFILE WITH OPAL ACRYLIC LENS, WALL MOUNTED. 0-10V DIMMING DRIVER. DLC CERTIFIED.
X1	SURE-LITES	EUX6	UNIVERSAL	RED LED	4000 K		277 V	3 W	SINGLE-FACED EDGE-LIT EXIT SIGN, RED LETTERING, MIRROR BACKGROUND. PROVIDE CHEVRON DIRECTIONAL ARROWS PER PLANS OR AS DIRECTED BY AHJ.
X1B	SURE-LITES	LPXB61R	UNIVERSAL	RED LED	4000 K		277 V	3 W	SINGLE-FACED VANDAL RESISTANT EXIT SIGN, BLACK HOUSING, RED LETTERING. PROVIDE CHEVRON DIRECTIONAL ARROWS PER PLANS OR AS DIRECTED BY AHJ.
X1V	SURE-LITES	LPXW61R	UNIVERSAL	RED LED	4000 K		277 V	3 W	SINGLE-FACED VANDAL RESISTANT EXIT SIGN, WHITE HOUSING, RED LETTERING. PROVIDE CHEVRON DIRECTIONAL ARROWS PER PLANS OR AS DIRECTED BY AHJ.
X2	SURE-LITES	EUX6	UNIVERSAL	RED LED	4000 K		277 V	3 W	DOUBLE-FACED EDGE-LIT EXIT SIGN, RED LETTERING, MIRROR BACKGROUND. PROVIDE CHEVRON DIRECTIONAL ARROWS PER PLANS OR AS DIRECTED BY AHJ.
X2V	SURE-LITES	LPXW62R	UNIVERSAL	RED LED	4000 K		277 V	3 W	DOUBLE-FACED VANDAL RESISTANT EXIT SIGN, WHITE HOUSING, RED LETTERING. PROVIDE CHEVRON DIRECTIONAL ARROWS PER PLANS OR AS DIRECTED BY AHJ.

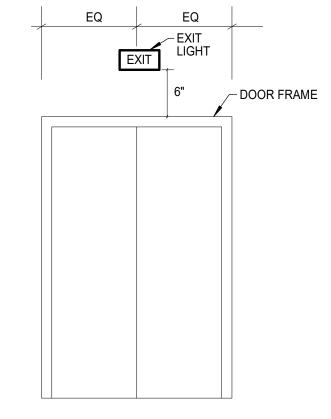
- UNLESS OTHERWISE INDICATED ON THE SCHEDULE ABOVE, THE ARCHITECT/OWNER REPRESENTATIVE SHALL SELECT ALL FINISHES, COLORS, AND TRIMS APPROVED LIGHTING MANUFACTURERS:
- SURFACE / RECESSED LIGHTING: SIGNIFY, LITHONIA, METALUX, AXIS, CURRENT, PINNACLE, H.E. WILLIAMS, CREE, NULITE, ALW DOWN / TRACK LIGHTING: GOTHAM, LIGHTOLIER, PORTFOLIO, CREE, CURRENT, INDY, H.E. WILLIAMS
- ARCHITECTURAL WALLPACK: LITHONIA. VISIONAIRE, CURRENT, GARDCO, McGRAW EDISON, HUBBELL, LSI, LUMARK, LIGMAN

SPECIFIED, THEY SHALL BE PROVIDED AS SPECIFIED WITH THE SUBSTITUION.

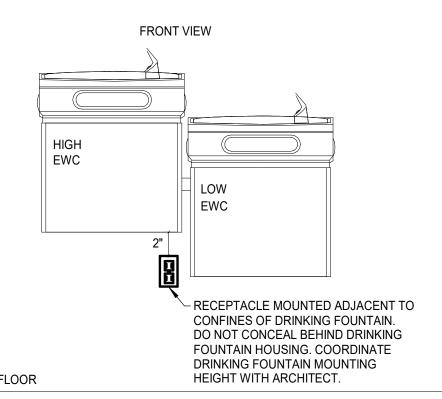
- EXIT SIGNAGE: CHLORIDE, LITHONIA, EMERGI-LITE, DUAL-LITE, SURE-LITES, EVENLITE REFER TO THE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS NOT INDICATED IN THE LIGHTING FIXTURE SCHEDULE. WHERE THERE IS AN INCONSISTENCY BETWEEN THE LIGHTING FIXTURE SCHEDULE AND THE
- SPECIFICATIONS, THE GREATER QUANTITY OR HIGHER QUALITY OF WORK SHALL BE INCLUDED IN THE PROPOSAL. THE ABOVE LIGHTING MANUFACTURERS SUBSTITUTION LIST DOES NOT GUARANTEE APPROVAL. APPROVAL WILL BE DETERMINED AFTER REVIEW OF SHOP DRAWING TO DETERMINE IF THE FIXTURE OR POLE SUBMITTED MEETS OR EXCEEDS THE DESIGN STANDARDS AND PERFORMANCE REQUIRED OF THE ACTUAL FIXTURE SPECIFIED IN THE LIGHT FIXTURE SCHEDULE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CAREFULLY SELECT SUBSTITUTIONS FOR THE SPECIFIED LIGHT FIXTURES FROM THE APPROVED LIGHTING MANUFACTURERS LISTED ABOVE. WHERE SPECIFIC OPTIONS / ACCESSORIES ARE
- DUE TO THE WIDE RANGE OF FIXTURE QUALITIES OFFERED BY EACH MANUFACTURER, THE APPROVED LIGHTING MANUFACTURERS SUBSTITUTION LIST IS NOT INTENDED TO INDICATE THAT ANY OR ALL MANUFACTURERS LISTED WILL HAVE SUITABLE SUBSTITUTIONS FOR THE LIGHT FIXTURES OR POLES SPECIFIED IN THE LIGHT FIXTURE SCHEDULE. SHOP DRAWING DELAYS AS A RESULT OF INAPPROPRIATE
- SUBSTITUTIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE ALL HARDWARE AND ACCESSORIES AS REQUIRED TO INSTALL FIXTURES IN LOCATIONS AS ILLUSTRATED WITH MOUNTING METHODS DESIRED. WHEN A UNIVERSAL (120-277V) VOLTAGE OPTION IS AVAILABLE, IT SHALL BE PROVIDED. OTHERWISE PROVIDE AS INDICATED IN SCHEDULE.
- 8 FOR ALL SUSPENDED FIXTURES, COORDINATE THE EXACT MOUNTING ELEVATION ABOVE FINISHED FLOOR WITH ARCHITECT PRIOR TO INSTALLATION. PROVIDE SUSPENSION HARDWARE IN LENGTHS AS REQUIRED.

	CONTACTOR SCHEDULE						
CONTACTOR TAG	CIRCUIT NUMBER	CONTROL SOURCE	CONTACTOR LOCATION	LOAD(S) SERVED	120 V CONTROL CIRCUIT		
C-1	LF-8, LF-10, LF-12, LF-22	LOCAL TIMER SWITCH	MECH 2002	OSCILLATING FANS	(E)120V IN THE SPACE		
C-2	LF-43, LF-45,	LOCAL TIMER SWITCH	MECH 2002	OSCILLATING FANS	(E)120V IN THE		

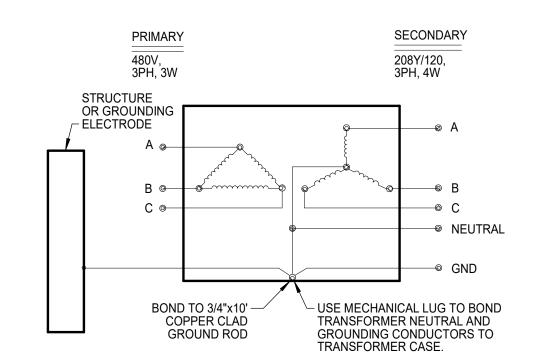
1. CONTRACTOR TO COORDINATE EXACT PROGRAMING OF TIME-SCHEDULE WITH OWNER REPRESENTATIVE.



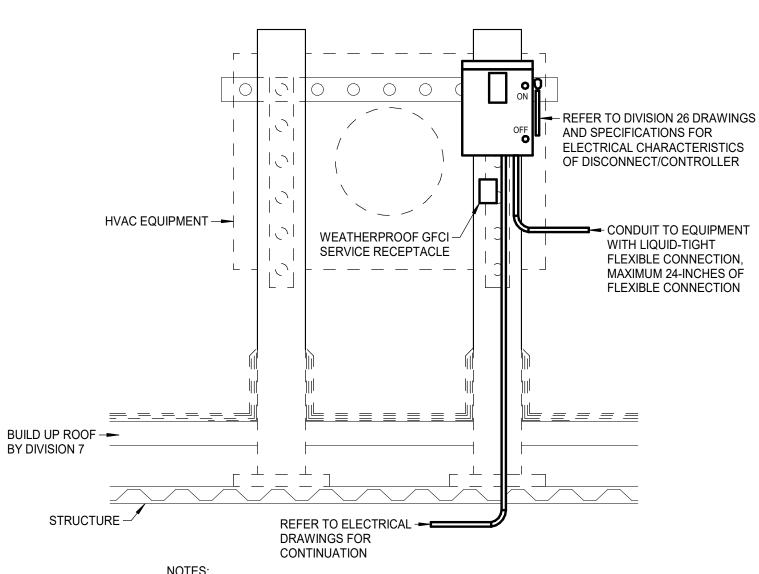
9 EXIT SIGN LOCATION



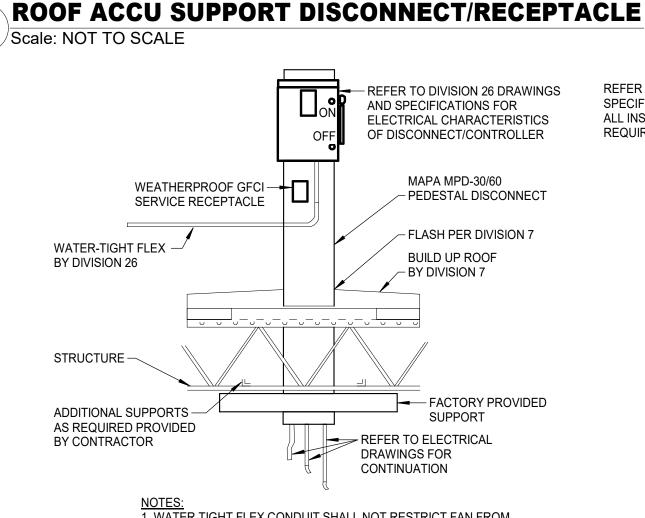
8 DRINKING FOUNTAIN WITH GFCI RECEPTACLE
Scale: NOT TO SCALE



GROUNDING FOR TRANSFORMERS



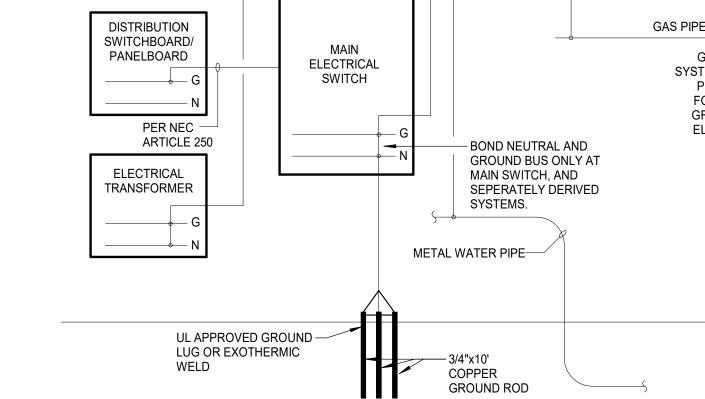
1. REFER TO ARCHITECTURAL, STRUCTURAL AND ROOFING DRAWINGS AND SPECIFICATIONS FOR HVAC EQUIPMENT SUPPORT CONSTRUCTION DETAILS.



NOTES:

1. WATER TIGHT FLEX CONDUIT SHALL NOT RESTRICT FAN FROM ROTATING ON HINGE SUB-BASE FOR SERVICE TO DAMPERS AND DUCT CONNECTION. REFER TO DIVISION 26.

PEDESTAL MOUNT DISCONNECT/RECEPTACLE

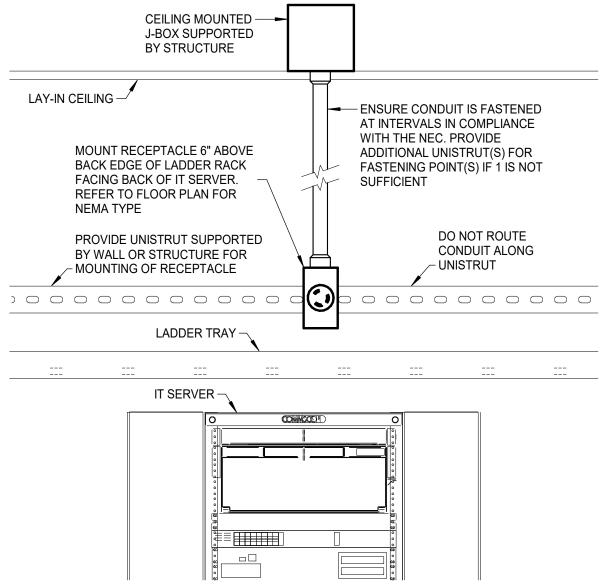


NOTES:

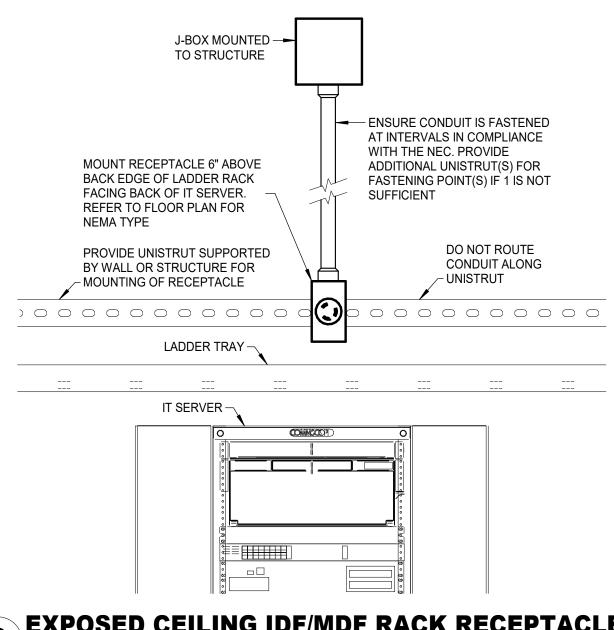
1. PROVIDE, LOCATE AND INSTALL SURGE PROTECTION DEVICE AS REQUIRED PER SPECIFICATIONS. 2. REFER TO PANEL SCHEDULES AND ONE-LINE DIAGRAM FOR QUANTITY, MODEL NUMBER, CIRCUIT BREAKER, & WIRE SIZE. 3. MOUNT DIRECTLY TO PANELBOARD SWITCHBOARD/ SWITCHBOARD ENCLOSURE VIA SPD PROVIDED PANELBOARD NIPPLE OR RGC NIPPLE. 4. TWIST PHASE CONDUCTOR UP TO CIRCUIT BREAKER TERMINATIONS. 5. TWIST NEUTRAL AND EQUIPMENT GROUND CIRCUIT BREAKER CONDUTOR AS MUCH AS POSSBILE TO BUS AS REQUIRED — TERMINATIONS. SPD - PREFERRED LOCATION CONDUIT NIPPLE. 2-INCH LENGTH MAXIMUM. — ALTERNATE —— SPD LOCATION LOCATION

SURGE PROTECTION DEVICE

рррррр



LAY-IN CEILING IDF/MDF RACK RECEPTACLE



EXPOSED CEILING IDF/MDF RACK RECEPTACLE

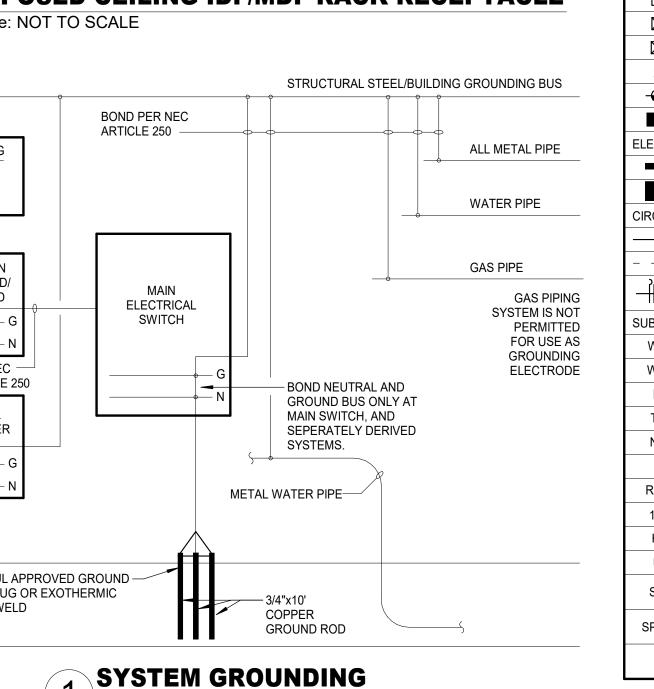
IDF/MDF

REFER TO

SPECIFICATIONS FOR

ALL INSTALLATION

REQUIREMENTS.



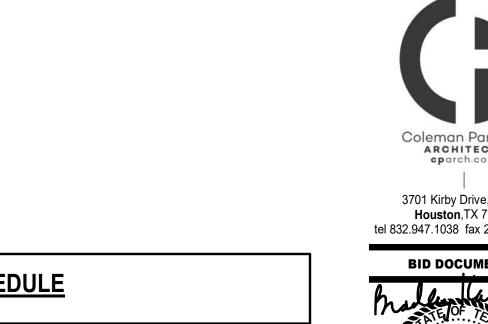
SYMBOL SCHEDULE SYMBOL DESCRIPTION (DISREGARD ITEMS NOT SHOWN ON PLANS) LIGHTING (LETTER DENOTES TYPE - SEE LIGHT FIXTURE SCHEDULE) LIGHT FIXTURE FIXTURE ON EMERGENCY CIRCUIT O DOWNLIGHT FIXTURE ⊢O LIGHT FIXTURE - WALL MOUNTED DOWNLIGHT FIXTURE ON EMERGENCY CIRCUIT LIGHT FIXTURE - WALL MOUNTED ON EMERGENCY CIRCUIT EXIT LIGHT-CEILING MTD WITH DIRECTIONAL ARROWS AS REQUIRED EXIT LIGHT-WALL MTD WITH DIRECTIONAL ARROWS AS REQUIRED SWITCHES \$ LINE VOLTAGE SINGLE POLE SWITCH \$2 LINE VOLTAGE 2-POLE SWITCH LINE VOLTAGE 3-WAY SWITCH \$4 LINE VOLTAGE 4-WAY SWITCH \$K | LINE VOLTAGE KEYED SWITCH \$3K | LINE VOLTAGE KEYED 3-WAY SWITCH \$D LINE VOLTAGE WALL DIMMER SWITCH, SIZE AND TYPE AS REQUIRED \$ VD LINE VOLTAGE WALL MOUNTED DIMMER SWITCH WITH VACANCY SENSOR. MANUAL ON / AUTO OFF \$V LINE VOLTAGE WALL MOUNTED SWITCH WITH VACANCY SENSOR. MANUAL ON / AUTO OFF \$OC | LINE VOLTAGE WALL MOUNTED SWITCH WITH VACANCY SENSOR. AUTO ON / AUTO OFF \$P LINE VOLTAGE SWITCH WITH PILOT LIGHT \$MC | MOMENTARY CONTACT SWITCH \Box \Box PUSH BUTTON SPRING WOUND MECHANICAL TIME SWITCH, 20 AMP, 12-HOUR WITH HOLD, UNLESS NOTED OTHERWISE LISTED UL924, EMERGENCY LOAD CONTROL RELAY, 0-10V DIMMING COMPATIBLE LISTED UL1008, EMERGENCY TRANSFER SWITCH, 0-10V DIMMING COMPATIBLE LOW VOLTAGE LIGHTING CONTROLS \$R LOW VOLTAGE LIGHTING CONTROLLER WALL SWITCH BMCS TIMER LOCAL OVERRIDE SWITCH CEILING MOUNTED PHOTO SENSOR. HB= HIGH-BAY SENSOR CEILING MOUNTED VACANCY SENSOR, MANUAL ON / AUTO OFF. HB= HIGH-BAY SENSOR CEILING MOUNTED OCCUPANCY SENSOR, AUTO ON TO 100% / AUTO OFF. HB= HIGH-BAY SENSOR LIGHTING CONTROLLER. X= DENOTES CONTROL SEQUENCE, REFER TO CONTROL SCHEDULE RECEPTACLES AND OUTLETS → SIMPLEX RECEPTACLE D POWER POLE DOUBLE DUPLEX IN 2-GANG BOX WITH SINGLE COVER PLATE DOUBLE DUPLEX GROUND FAULT CIRCUIT INTERRUPTER RECEPTACLE IN 2-GANG BOX WITH SINGLE COVER DUPLEX GROUND FAULT CIRCUIT INTERRUPTER RECEPTACLE CONCEALED SERVICE FLOOR BOX, DUPLEX RECEPTACLE OUTLET CONCEALED SERVICE FLOOR BOX, DOUBLE DUPLEX RECEPTACLE OUTLET CONCEALED SERVICE MULTI-ACCESS FLOOR BOX WITH WIRING DEVICES AS INDICATED ON DRAWINGS. SIZE TO MATCH DEVICE QUANTITIES MISCELLANEOUS EQUIPMENT FIRE ALARM CONTROL PANEL FIRE ALARM REMOTE ANNUCIATOR TRANSFORMER FOR DOOR BELL/BUZZER CHIME/BUZZER REMOTE BLANK FACE GFCI DEVICE MOTOR CONTROLLERS AND EQUIPMENT MOTOR, MAKE FINAL MOTOR CONNECTION ☐ DISCONNECT SWITCH AS REQUIRED COMBINATION MOTOR STARTER/DISCONNECT SWITCH AS REQUIRED MOTOR STARTER AS REQUIRED MANUAL MOTOR SWITCH AS REQUIRED PREWIRED DEVICE, MAKE ELECTRICAL FINAL CONNECTIONS VARIABLE FREQUENCY DRIVE MOTOR CONTROLLER FURNISHED BY DIVISION 23, INSTALLED BY DIVISION 26 **ELECTRICAL EQUIPMENT** ELECTRICAL DISTRIBUTION OR PANELBOARD CIRCUITING CONDUIT BELOW FLOOR, SLAB, OR GRADE 3/4"C. UNLESS OTHERWISE NOTED; LONG HATCH, NEUTRAL; SHORT HATCH, PHASE; "Z" HATCH OR HOOK, GROUND. ARROW INDICATES HOMERUN SUBSCRIPTS AND ABBREVIATIONS WP INDICATES WEATHERPROOF WG INDICATES WIREGUARD H INDICATES HORIZONTAL TL INDICATES TWIST LOCK NL LIGHT FIXTURE ON NIGHT LIGHT CIRCUIT E INDICATES EXISTING TO REMAIN REP INDICATES REPLACE EXISTING WITH NEW REFER TO ONE-LINE DIAGRAM ⊢ INDICATES WALL MOUNTED DEVICE INDICATES TO PROVIDE COMBINATION USB/RECEPTACLE DEVICE SWITCH CONTROLLED RECEPTACLE. RECEPTACLE SHALL BE PERMANENTLY FACTORY MARKED AS

X = L LOW EXPOSURE SPD; X = M MEDIUM EXPOSURE SPD; X = H HIGH EXPOSURE SPD; X = VH VERY HIGH

NEXT TO ANY SYMBOL INDICATES FINAL ROUGH-IN FIELD COORDINATION BY CONTRACTOR WITH

ARCHITECTURAL MILLWORK DRAWINGS AND OTHER TRADES

-ALL EXTERIOR BUILDING ELECTRICAL EQUIPMENT TO BE WEATHERPROOF NEMA-4X MINIMUM.



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Registration: F-4111

Project No: 2024-00211-00



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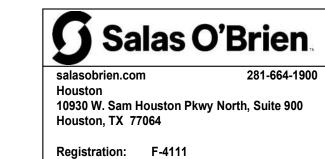
LANDSCAPE LANDSCAPE GROUP 17041 EL CAMINO REAL, STE 204 HOUSTON, TX 77058 tel: 281.486.4040

| | | | | | | |

Project Number: Date: 29 DECEMBER 2024

ELECTRICAL SCHEDULE

AND DETAILS



Project No: 2024-00211-00 CHECKED BY: AY

	TECHNOL	OGY LEGEN	ND - 27 10 00	
SYMBOL	DESCRIPTION	ELEVATION	BACK BOX/RACEWAY	NOTES
*#	WALL MOUNTED NETWORK OUTLET D#: NUMBER OF DATA DROPS IN OUTLET AP: WIRELESS ACCESS POINT	+18" AFF, UNLESS OTHERWISE NOTED	4"X4"X2 1/8" BACK BOX WITH 1-G MUD RING, 1"C	
V# ▽	COMMUNICATIONS OUTLET	FIELD COORDINATE	FIELD COORDINATE	
W	WALL MOUNTED NETWORK OUTLET	+44" AFF	4"X4"X2 1/8" BACK BOX WITH 1-G MUD RING, 1"C	
В	WALL MOUNTED BOX FOR FUTURE USE.	+18" AFF UNO	4"X4"X2 1/8" BACK BOX WITH 1-G MUD RING, 1"C	
D#	FLOOR MOUNTED NETWORK OUTLET	N/A	COORDINATE WITH ELECTRICAL CONTRACTOR	FINISHED HARDWARE PROVIDED BY DIV 27
	CEILING MOUNTED NETWORK OUTLET AP: WIRELESS ACCESS POINT D#": NETWORK OUTLET	ABOVE CEILING	CEILING BRACKET WITH BISCUIT BLOCK	
NOTES:				

i. #-G INDICATES BACK BOX SIZE. . #-C INDICATES CONDUIT SIZE. UNO: UNLESS NOTED OTHERWISE

CONDUIT STUB UP AND SLEEVES SHALL HAVE A SOLID UNCUT PLASTIC PROTECTIVE BUSHING. NO CONDUITS SHALL EXCEED FOR 40% MAXIMUM FILL RATIO. CONTRACTOR TO PROVIDE ADDITIONAL CONDUITS REQUIRED.

	AUDIO/VIDI	EO LEGEND	- 27 41 16.10	
SYMBOL	DESCRIPTION	ELEVATION	BACK BOX/RACEWAY	NOTES
WMP	WALL MOUNTED PROJECTOR AUDIO/VISUAL OUTPUT OUTLET	REFERENCE FLOOR PLANS.	4 11/16"X4 11/16"X2-1/8" BACK BOX WITH DOUBLE GANG RING, TWO(2) 1.25"C	NOTE #5
CMP	CEILING MOUNTED PROJECTOR AUDIO/VISUAL OUTPUT OUTLET	CEILING MOUNTED	N/A	NOTE #5
AV-1	WALL MOUNTED AUDIO/VIDEO INPUT OUTLET	+18" AFF UNO	4 11/16"X4 11/16"X2-1/8" BACK BOX WITH DOUBLE GANG RING, TWO(2) 1.25"C	
FSD-1	WALL MOUNTED FLAT SCREEN DISPLAY AUDIO/VISUAL OUTPUT OUTLET	REFERENCE FLOOR PLAN	4"X4"X2 1/8" BACK BOX WITH 1-G MUD RING, 1"C	NOTE #5
FSD-2	WALL MOUNTED FLAT SCREEN DISPLAY AUDIO/VISUAL OUTPUT OUTLET ASSOCIATED WITH AV-1 INPUT OUTLET	REFERENCE FLOOR PLAN	4 11/16"X4 11/16"X2-1/8" BACK BOX WITH DOUBLE GANG RING, TWO(2) 1.25"C	NOTE #5
IVD	INTERACTIVE VIDEO DISPLAY AUDIO/VISUAL OUTPUT OUTLET	REFERENCE FLOOR PLAN	4 11/16"X4 11/16"X2-1/8" BACK BOX WITH DOUBLE GANG RING, TWO(2) 1.25"C	NOTE #5
CP	AV CONTROL PANEL	+48" AFF TO TOP	4"X4"X2 1/8" BACK BOX WITH 1-G MUD RING, 1"C	
PS	LOCAL INSTRUCTIONAL SPACE PRESENTATION SPEAKER	CEILING	CONTRACTOR PROVIDED CEILING BOX	COORDINATE POWER WITH EC
\bigcirc	STREAMING CAMERA	CEILING UNO	N/A	NOTE #5

. #-G INDICATES BACK BOX SIZE. 2. #-C INDICATES CONDUIT SIZE.

THE SYSTEM INTEGRATOR SHALL COORDINATE ALL BOX AND CONDUIT SIZE REQUIREMENTS PRIOR TO ROUGH-IN BY THE PROJECTS ELECTRICAL CONTRACTOR.

PROVIDE AND INSTALL ONE (1) CATEGORY CABLE TO CONNECT DEVICE TO NETWORK

SYMBOL	DESCRIPTION	ELEVATION	BACK BOX/RACEWAY	NOTES
(S) _*	LOCAL SOUND SYSTEM SPEAKER P: POLE MOUNTED SPEAKER	CEILING MOUNT UNO	CONTRACTOR PROVIDED BACK BOX OR 4"X4"X2 1/8" J BOX WITH COVER, 1"C	
LSC	LOCAL SOUND SYSTEM CONTROL PLATE	+48" AFF TO TOP	4"X4"X2 1/8" BACK BOX WITH 1-G MUD RING, 1"C	
MI	MICROPHONE INPUT	+18" AFF UNO	4"X4"X2 1/8" BACK BOX WITH 1-G MUD RING, 1"C	
MA	COMBINATION OUTLET CONSISTING OF ONE (1) MICROPHONE INPUT AND ONE (1) AUXILIARY INPUT	+18" AFF UNO	4"X4"X2 1/8" BACK BOX WITH 1-G MUD RING, 1"C	
Al	3.5MM STEREO AUDIO AUXILIARY INPUT	+18" AFF UNO	4"X4"X2 1/8" BACK BOX WITH 1-G MUD RING, 1"C	
\bigoplus	HANGING MICROPHONE	CEILING MOUNT	N/A	
ABM	AUXILIARY INPUT AND BLUETOOTH MIXER	+48" AFF TO TOP	4"X4"X2 1/8" BACK BOX WITH 1-G MUD RING, 1"C	
RACK	VENUE SPECIFIC LOCAL SOUND SYSTEM HEAD END RACK	WALL MOUNT UNO	N/A	
WA	WIRELESS ANTENNA	WALL MOUNT UNO	4"X4"X2 1/8" BACK BOX WITH 1-G MUD RING, 1"C	
ALA	ASSISTED LISTENING ANTENNA	WALL MOUNT UNO	4"X4"X2 1/8" BACK BOX WITH 1-G MUD RING, 1"C	
SUB	SUBWOOFER	CEILING MOUNT UNO		

. #-G INDICATES BACK BOX SIZE. 2. #-C INDICATES CONDUIT SIZE. . UNO: UNLESS NOTED OTHERWISE

THE SYSTEM INTEGRATOR SHALL COORDINATE ALL BOX AND CONDUIT SIZE REQUIREMENTS PRIOR TO ROUGH-IN BY THE PROJECTS ELECTRICAL CONTRACTOR. PROVIDE AND INSTALL ONE (1) CATEGORY CABLE TO CONNECT DEVICE TO NETWORK

	INTERES	IVI EEGEIVE	D - 27 50 00	
INTERCO	M SYSTEM SHALL BE REPLACED IN ITS ENTIRETY WIT	H AN IP BASED SYSTE	M. REFERENCE SPECIFICATIONS	FOR MORE IN
SYMBOL	DESCRIPTION	ELEVATION	BACK BOX/RACEWAY	NOTE
ICS	INTERCOM COMMUNICATIONS SYSTEM HEAD END UNIT.	FLOOR MOUNTED	COORDINATE WITH EC	COORDINAT POWER WIT
S	CEILING MOUNT INTERCOM SPEAKER, LAY-IN CEILING	CEILING	CONTRACTOR PROVIDED	
<u>\$2</u>	CEILING MOUNT INTERCOM SPEAKER, HARD CEILING.	CEILING	CONTRACTOR PROVIDED	
<u>\$3</u>	WALL MOUNT INTERIOR INTERCOM SPEAKER	REFERENCE FLOOR PLANS	CONTRACTOR PROVIDED	
S 4	WALL MOUNT EXTERIOR INTERCOM SPEAKER	+10' AFF UNO	CONTRACTOR PROVIDED	
S 5	PENDANT MOUNT INTERCOM SPEAKER	REFERENCE FLOOR PLANS	CONTRACTOR PROVIDED	
S6	SURFACE MOUNT INTERCOM SPEAKER, MOUNT TO STRUCTURE	CEILING	CONTRACTOR PROVIDED	
§ 7	CEILING MOUNTED EXTERIOR INTERCOM SPEAKER.	CEILING	CONTRACTOR PROVIDED	
#IP	IP BASED SPEAKER. '#' TO BE REPLACED WITH S, S2, S3, S4 INDICATING THE SPECIFIC TYPE OF SPEAKER.	REFERENCE FLOOR PLANS	CONTRACTOR PROVIDED	NOTE #5
VC	WALL MOUNTED VOLUME CONTROL	+48" AFF	4"X4"X2 1/8" BACK BOX WITH 1-G MUD RING, 1"C	
СВ	INTERCOM CALL BUTTON	+48" AFF	4"X4"X2 1/8" BACK BOX WITH 1-G MUD RING, 1"C	
C	SINGLE FACE CLOCK	REFERENCE FLOOR PLANS	4"X4"X2 1/8" BACK BOX WITH 1-G MUD RING, 1"C	
©2)	DOUBLE FACE CLOCK	REFERENCE FLOOR PLANS	4"X4"X2 1/8" BACK BOX WITH 1-G MUD RING, 1"C	
RPS	REMOTE PROGRAM SOURCE	DESK TOP	COORDINATE WITH EC	NOTE #5
ACS	ADMINISTRATIVE CALL STATION.	DESK TOP	N/A	NOTE #5
LD	LOCKDOWN BUTTON	REF. DETAILS	4"X4"X2 1/8" BACK BOX WITH 1-G MUD RING, 1"C	
LMB	LARGE MESSAGE BOARD, POE+ POWERED	REFERENCE FLOOR PLANS	4"X4"X2 1/8" BACK BOX WITH 1-G MUD RING, 1"C	NOTE #5

2. #-C INDICATES CONDUIT SIZE.

UNO: UNLESS NOTED OTHERWISE NTS PRIOR TO ROUGH-IN BY THE

THE SYSTEM INTEGRATOR SHALL COORDINATE ALL BOX AND CONDUIT SIZE REQUIREM	ENTS
PROJECTS ELECTRICAL CONTRACTOR.	
PROVIDE AND INSTALL ONE (1) CATEGORY CABLE TO CONNECT DEVICE TO NETWORK	

SYMBOL	DESCRIPTION	ELEVATION	BACK BOX/RACEWAY	NOTES
ACP	ACCESS CONTROL SYSTEM, CONTROL PANEL.	+60" AFF TO CENTER	AS REQUIRED	COORDINATE POWER. NOTE #4.
CR *#	ACCESS CONTROL PROXIMITY CARD READER. DEFAULT SYMBOL INDICATES WALL MOUNTED *M - INDICATES MULLION MOUNTED READER	+42" A.F.F.	1-G, 3/4" C	
(CR)	DOOR MOUNTED ACCESS CONTROL PROXIMITY CARD READER THAT IS INTEGRATED INTO THE DOOR HARDWARE.	+42" AFF	N/A	
DS *#	2-WAY AUDIO/VIDEO INTERCOM DOOR STATION. *DEFAULT INDICATES WALL MOUNTED *M - INDICATES MULLION MOUNTED DEVICE	+42" AFF	*W: 1-G, 3/4" C *M: 3/4"C	COORDINATE POWER. NOTE #4.
(DS)	DOOR MOUNTED, 2-WAY AUDIO/VIDEO INTERCOM DOOR STATION.	+42" AFF, FIELD COORDINATE		COORDINATE POWER. NOTE #4
MS	2-WAY AUDIO/VIDEO INTERCOM MASTER STATION.	DESK MOUNTED UNO		COORDINATE POWER. NOTE #4
DR	DOOR RELEASE BUTTON	COORDINATE WITH GC	1-G, 3/4" C	
REX	PIR MOTION REQUEST TO EXIT DEVICE			
DP	DOOR PROP ALARM	CEILING MOUNTED UNO	N/A	N/A
{(3)	DPDT MAGNETIC DOOR CONTACT/DOOR POSITION SENSOR.	FLUSH MOUNTED IN DOOR FRAME	N/A	PROVIDED BY ACS CONTRACTOR
SS	NETWORK SIREN STROBE	CEILING MOUNTED UNO		NOTE #4

#-G INDICATES BACK BOX SIZE. . #-C INDICATES CONDUIT SIZE. . UNO: UNLESS NOTED OTHERWISE 4. PROVIDE AND INSTALL ONE (1) CATEGORY CABLE TO CONNECT DEVICE TO NETWORK

	VIDEO SURVEILLANCE LEGEND - 28 20 00						
SYMBOL	DESCRIPTION	ELEVATION	BACK BOX/RACEWAY	NOTES			
H	WALL/CORNER MOUNT 4-SENSOR CAMERA	REFERENCE FLOOR PLANS	4"X4"X2 1/8" BACK BOX WITH 1-G MUD RING, 1"C	NOTE #5			
	CEILING MOUNTED 4-SENSOR CAMERA	CEILING		NOTE #5			
	2-SENSOR CAMERA	REFERENCE FLOOR PLANS	4"X4"X2 1/8" BACK BOX WITH 1-G MUD RING, 1"C	NOTE #5			
	1-SENSOR CAMERA	REFERENCE FLOOR PLANS	4"X4"X2 1/8" BACK BOX WITH 1-G MUD RING, 1"C				
VRS	VIDEO RECORDING SERVER						
#MU	VIDEO SURVEILLANCE MAIN UNIT	ABOVE CEILING		NOTE #5			
ŀ	SYMBOL INDICATED THAT A VIDEO SURVEILLANCE DEVICE IS WALL MOUNTED						

#-G INDICATES BACK BOX SIZE. #-C INDICATES CONDUIT SIZE.

UNO: UNLESS NOTED OTHERWISE THE SYSTEM INTEGRATOR SHALL COORDINATE ALL BOX AND CONDUIT SIZE REQUIREMENTS PRIOR TO ROUGH-IN BY THE PROJECTS ELECTRICAL CONTRACTOR. PROVIDE AND INSTALL ONE (1) CATEGORY CABLE TO CONNECT DEVICE TO NETWORK

INTRUSION LEGEND - 28 31 00							
SYMBOL	DESCRIPTION	ELEVATION	BACK BOX/RACEWAY	NOTES			
IDP	INTRUSION DETECTION SYSTEM CONTROL PANEL	+60" AFF	TWO(2) - 1"C TO CONTRACTOR PROVIDED BACK BOX	COORDINATE POWER WITH EC. NOTE #5			
KP	INTRUSION DETECTION SYSTEM KEYPAD.	+48" AFF TO TOP	4"X4"X2 1/8" BACK BOX WITH 1-G MUD RING, 1"C				
M	CEILING MOUNTED MOTION DETECTOR	CEILING					
M	WALL MOUNTED MOTION DETECTOR LR: LONG RANGE	REFERENCE FLOOR PLAN	N/A				
GB	CEILING MOUNTED GLASS BREAK DETECTOR	CEILING	N/A				
(DC)	DPDT MAGNETIC DOOR CONTACT/DOOR POSITION SENSOR.	FLUSH MOUNTED IN DOOR FRAME	N/A	DEVICE PROVIDED BY ACS CONTRACTOR.			
SDC	SURFACE MOUNT MAGNETIC DOOR CONTACT.	SURFACE MOUNTED ON DOOR FRAME	N/A				
ODC	OVERHEAD DOOR MOUNT MAGNETIC DOOR CONTACT.	SURFACE MOUNTED ON DOOR FRAME	N/A				
DB	DURESS PANIC BUTTON	UNDER DESK UNO	N/A				

. #-G INDICATES BACK BOX SIZE. . #-C INDICATES CONDUIT SIZE.

3. UNO: UNLESS NOTED OTHERWISE REFERENCE DIVISION 28 SPECIFICATION FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
 PROVIDE AND INSTALL ONE (1) CATEGORY CABLE TO CONNECT DEVICE TO NETWORK

FIRE ALARM - 28 46 00					
SYMBOL	DESCRIPTION				
FACP	FIRE ALARM CONTROL				
FAA	FIRE ALARM ANNUNCIATOR PANEL				
NOTES:					
	SYSTEM IS PERFORMANCE BASED PER SPECIFICATIONS. CONTRACTOR TO REFERENCE SPECIFICATIONS FOR NFORMATION.				

A LICENSED FIRE ALARM PLANNING SUPERINTENDENT CERTIFIED TO A MINIMUM LEVEL 3, IN THE SUBFIELD OF FIRE ALARM SYSTEMS THROUGH THE NATIONAL INSTITUTE FOR CERTIFICATION IN ENGINEERING TECHNOLOGIES (NICET), SHALL PROVIDE PLANS AND CALCULATIONS FOR A MANUAL AND AUTOMATIC FIRE DETECTION AND ALARM SYSTEM TO COMPLY WITH THE BUILDING SPACE LAYOUT, BUILDING OCCUPANCY, CURRENT NFPA 72, LOCAL AND STATE CODE REQUIREMENTS, AND THE FIRE ALARM AND DETECTION SYSTEM SPECIFICATIONS.

S	SUBSCRIPTS AND ABBREVIATIONS					
TEXT	DESCRIPTION					
'WP'	DEVICE SHALL BE WEATHER PROOF AND RATED FOR EXTERIOR CONDITIONS					
•	FIELD COORDINATE ELEVATION.					
AFF	ABOVE FINISHED FLOOR					
'UC'	DEVICE IS TO BE MOUNTED ON THE UNDERSIDE OF THE ELEVATED CANOPY.					
'WM'	DEVICE IS TO BE WALL MOUNTED.					
'WG'	WIRE GUARD TO BE PROVIDED AND INSTALLED TO PROTECT ASSOCIATED DEVICE.					

SUBSCRIPTS LEGEND - EXISTING DEVICES				
TEXT	DESCRIPTION			
'E'	EXISTING TO REMAIN.			
'D'	DEVICE IS EXISTING AND IS TO BE REMOVED. CONTRACTOR TO REMOVE THE DEVICE AND RETURN TO OWNER.			
'R'	REMOVE EXISTING DEVICE AND RELOCATE TO A LOCATION INDICATED ON THE DRAWINGS.			

NOTES TO CONTRACTOR

EVERY SYMBOL SHOWN ON LEGEND MAY NOT APPEAR ON DRAWINGS.

- SYSTEM INSTALLERS SHALL COORDINATE LOCATIONS AND CONNECTIONS WITH THE PROJECT'S ELECTRICAL CONTRACTOR.
- CONTRACTOR TO PROVIDE PROPERLY GROUNDED LIGHTING PROTECTION ON ALL CABLING ENTERING AND EXITING THE BUILDING.

TECH DEMO PLAN GENERAL NOTES CONTRACTOR SHALL PROVIDE NEW CEILING TILES IN INSTANCES WHERE CEILING DEVICES ARE REMOVED, REPLACED OR ADDED. CONTRACTOR SHALL COORDINATE WITH ARCHITECT ON CORRECT MANUFACTURER AND MODEL PRIOR

CONTRACTOR SHALL HAVE EACH LOW VOLTAGE SYSTEM TESTED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. SYSTEMS SHALL INCLUDE BUT NOT BE

1) FIRE ALARM 2) INTERCOM

STRUCTURED CABLING INTRUSION DETECTION

TO REMOVAL OF EXISTING TILE.

5) ACCESS CONTROL 6) AUDIO VIDEO

7) VIDEO SURVEILLANCE TESTING SHALL INCLUDE THE FUNCTIONALITY OF ALL FIELD DEVICES AND SPECIFICATION, SHALL BE REPORTED PRIOR TO CONSTRUCTION. ANY ITEMS FOUND TO BE IMPROPERLY OR NON-FUNCTIONING UPON THE COMPLETION OF THE PROJECT, SHALL BE REPLACED AND/OR REPAIRED, BY THE CONTRACTOR, AT NO ADDITIONAL COST TO THE PROJECT OR THE OWNER.

CONTRACTOR SHALL REMOVE ANY DEVICES WHERE CONSTRUCTION OCCURS TO PREVENT POSSIBLE DAMAGE TO THE DEVICE. REMOVAL OF ANY DEVICES WHICH SUPPORT USER CONNECTION OR OTHER SYSTEMS, SHALL BE COORDINATED WITH THE OWNER PRIOR TO REMOVAL AND/OR TAKING OFF LINE. REMOVAL SHALL CONSIST OF BUT NOT BE LIMITED TO THE FOLLOWING DEVICES AND ASSOCIATED SUPPORT INFRASTRUCTURE:

1) FIRE ALARM DEVICES INTERCOM DEVICES

WIRELESS ACCESS POINTS 4) TELEPHONES

5) VIDEO SURVEILLANCE CAMERAS INTRUSION DETECTION DEVICES

ACCESS CONTROL DEVICES 8) VIDEO PROJECTION DEVICES

9) VIDEO DISPLAY DEVICES ANY DEVICES, NOT BEING REINSTALLED, SHALL BE RETURNED TO THE OWNER.

CONTRACTOR SHALL DOCUMENT THE LOCATION AND ANY ID TAG, MAC ADDRESS, IP ADDRESS, OR BAR CODE OF ANY EXISTING DEVICE THAT IS TO BE REMOVED FROM ITS CURRENT LOCATION. DEVICES THAT ARE TO REMAIN, SHALL BE REINSTALLED IN THE EXACT LOCATION THAT THEY RESIDE IN PRIOR TO CONSTRUCTION, UNLESS NOTED OTHERWISE.

ANY INDIVIDUAL THAT WILL BE REMOVING. RELOCATING, REINSTALLING, AND/OR TAMPERING WITH ANY EXISTING DEVICES; SHALL BE CERTIFIED BY THE MANUFACTURER OF THE SPECIFIC SYSTEM AND/OR LICENSED AS REQUIRED BY THE STATE TO PERFORM WORK ON THE SYSTEM. THE INDIVIDUAL SHALL BE A FULL-TIME EMPLOYEE OF THE FIRM CONTRACTED TO CONDUCT SUCH WORK ON THE PROJECT AND THAT FIRM SHALL ALSO HOLD ANY CERTIFICATIONS AND/OR LICENSES REQUIRED TO CONDUCT WORK ON THE SPECIFIC SYSTEM.

ANY INDIVIDUAL/FIRM THAT WILL BE REMOVING, RELOCATING, REINSTALLING, OR TAMPERING WITH IN ANY DEVICES; SHALL BE LICENSED BY THE STATE, AS APPLICABLE, AND CERTIFIED BY THE MANUFACTURER OF THE SYSTEM.

ALL CABLING ASSOCIATED WITH DEVICES THAT ARE TO BE DEMOLISHED, SHALL BE REMOVED FROM THE DEVICE LOCATION TO THE CABLES POINT OF ORIGIN. NO CABLE SHALL BE ABANDONED IN PLACE.

ALL EXISTING DEVICES SHOWN ARE EXISTING TO REMAIN. CONTRACTOR TO REMOVE EXISTING DEVICES DURING CONSTRUCTION AND REINSTALL THE DEVICE IN THE SAME LOCATION, UNLESS NOTED OTHERWISE. WIRELESS ACCESS POINTS SHALL BE REMOVED AND REINSTALLED BY OWNER.

REFERENCE EXISTING DEVICE SUBSCRIPT LEGEND ON THE NOTES AND LEGENDS

TOPCAT LIGHTSPEED LOCAL SOUND SPEAKERS SHALL BE BAGGED AND SUSPENDED IN THE CEILING DURING CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE WITH THE MANUFACTURER TO NOT VOID THE WARRANTY. TOPCAT LIGHTSPEED SPEAKER, BASE STATION AND ANY OTHER SYSTEM COMPONENETS SHALL BE TAGGED BY CONTRACTOR WITH ROOM NAME AND NUMBER AND BE REINSTALLED IN THE SAME ROOM IT WAS REMOVED FROM.

CONTRACTOR TO COORDINATE WITH CFISD TECHNOLOGY DEPARTMENT PRIOR TO CONSTRUCTION ON WHICH DEVICES ARE TO BE REMOVED BY THE OWNER'S VENDOR IN ORDER TO PREVENT VOID OF WARRANTY.

ALL DEMO DEVICES WITH 'D' SUBSCRIPT SHALL DISCONNECT AND REMOVE EXISTING WIRING DEVICE BACK TO SWITCH. PATCH WALL TO MATCH EXISTING.

ALL EXISTING INTERCOM SPEAKERS AND DEVICES SHALL BE DEMOLISHED IN INTERCOM SYSTEM SCOPE OF PROJECT. EXISTING CONDITIONS ARE BASED ON CASUAL FIELD OBSERVATIONS AND ARE TO BE USED AS REFERENCE ONLY.

RESPONSIBILITY MATRIX								
SCOPE ITEM	RESPONSIBILITY			NOTES				
COMMUNICATIONS - DIVISION 27	OFOI	CFCI	OFCI					
CATEGORY 6/6A STRUCTURED CABLING SYSTEM (SCS)	1							
AUDIO DISTRIBUTION SYSTEM - SPECIAL SPACE		√		SEE NOTE				
FLAT PANEL DISPLAYS	√							
FLAT PANEL DISPLAY MOUNTS	√							
INTERACTIVE DISPLAYS	√							
INTERACTIVE DISPLAY MOUNTS	√							
BUILDING INTERCOM/PA, BELL, AND CLOCK SYSTEM		√						
→NETWORK SWITCHES	√							
NETWORK EQUIPMENT								
ightarrow MDF/IDF NETWORK EQUIPMENT	√							
→ VOIP TELEPHONES	√							
→ WIRELESS ACCESS POINTS	√							
→ UNINTERRUPTIBLE POWER SUPPLIES (UPS)	√							
RACEWAY: CONDUIT, BACK BOXES, ETC.		√		SEE NOTE				
LOW VOLTAGE: RACEWAY, SLEEVES		√		SEE NOTE				
STRUCTURED CABLING: RACEWAY, SLEEVES	1			SEE NOTE				
ELECTRICAL POWER		√		SEE NOTE				
LIFE SAFETY AND SECURITY - DIVISION 28	OFOI	CFCI	OFCI					
ACCESS CONTROL SYSTEM(ACS)		√						
INTRUSION DETECTION SYSTEM		√						
DOOR ACCESS VIDEO INTERCOM SYSTEM		√						
VIDEO SURVEILLANCE SYSTEM (VSS)								
→ VSS SERVERS		√						
→ VSS CAMERAS		√						
→ VSS PROGRAMMING		√						
→ VSS CABLING	I			SEE NOTE				

OFOI - OWNER FURNISHED AND OWNER INSTALLED CFCI - CONTRACTOR FURNISHED AND CONTRACTOR INSTALLED OFCI - OWNER FURNISHED AND CONTRACTOR INSTALLED

FIRE ALARM SMOKE DETECTION WITH VOICE EVACUATION

RACEWAY: CONDUIT, BACK BOXES, SLEEVES, ETC.

RESPONSIBILITY MATRIX NOTES: . BY DIVISION 26.

ELECTRICAL POWER

2. BY DIVISION 27. BY DIVISION 11.

4. IF SYSTEM REQUIRES NETWORK SWITCH IT SHALL BE OFOI. CONTRACTOR TO COORDINATE WITH SLEEVES FOR STRUCTURED CABLING WILL BE OWNER FURNISHED, OWNER INSTALLED. NOT TO BE USED BY ANY OTHER TRADE.

SEE NOTE 1. SEE NOTE 1

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ARCHITECTS

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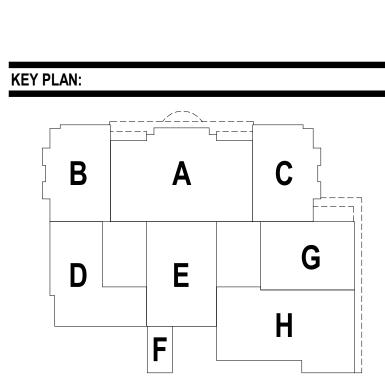
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Date: 29 DECEMBER 2024 **TECHNOLOGY LEGENDS** & SCHEDULES

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LANDSCAPE

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DEMOLITION FIRST FLOOR PLAN - AREA 'G' T0.07



Houston, TX 77064

Registration: F-4111 **Project No: 2024-00211-00** CHECKED BY: AY

TECH DEMO PLAN GENERAL NOTES

CONTRACTOR SHALL PROVIDE NEW CEILING TILES IN INSTANCES WHERE CEILING DEVICES ARE REMOVED, REPLACED OR ADDED. CONTRACTOR SHALL COORDINATE WITH ARCHITECT ON CORRECT MANUFACTURER AND MODEL PRIOR TO REMOVAL OF EXISTING TILE.

CONTRACTOR SHALL HAVE EACH LOW VOLTAGE SYSTEM TESTED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. SYSTEMS SHALL INCLUDE BUT NOT BE

- 1) FIRE ALARM INTERCOM
- 6) AUDIO VIDEO
- 7) VIDEO SURVEILLANCE TESTING SHALL INCLUDE THE FUNCTIONALITY OF ALL FIELD DEVICES AND EQUIPMENT. ANY FAILURES OR ITEMS FOUND NOT TO BE FUNCTIONING TO SPECIFICATION, SHALL BE REPORTED PRIOR TO CONSTRUCTION. ANY ITEMS FOUND TO BE IMPROPERLY OR NON-FUNCTIONING UPON THE COMPLETION OF

THE OWNER PRIOR TO REMOVAL AND/OR TAKING OFF LINE. REMOVAL SHALL

- 2) INTERCOM DEVICES

- 9) VIDEO DISPLAY DEVICES ANY DEVICES, NOT BEING REINSTALLED, SHALL BE RETURNED TO THE OWNER.

CONTRACTOR SHALL DOCUMENT THE LOCATION AND ANY ID TAG, MAC ADDRESS, REINSTALLED IN THE EXACT LOCATION THAT THEY RESIDE IN PRIOR TO

- ANY INDIVIDUAL THAT WILL BE REMOVING. RELOCATING, REINSTALLING, AND/OR TAMPERING WITH ANY EXISTING DEVICES; SHALL BE CERTIFIED BY THE MANUFACTURER OF THE SPECIFIC SYSTEM AND/OR LICENSED AS REQUIRED BY THE STATE TO PERFORM WORK ON THE SYSTEM. THE INDIVIDUAL SHALL BE A FULL-TIME EMPLOYEE OF THE FIRM CONTRACTED TO CONDUCT SUCH WORK ON THE PROJECT AND THAT FIRM SHALL ALSO HOLD ANY CERTIFICATIONS AND/OR
- BE REMOVED FROM THE DEVICE LOCATION TO THE CABLES POINT OF ORIGIN. NO CABLE SHALL BE ABANDONED IN PLACE.
- ALL EXISTING DEVICES SHOWN ARE EXISTING TO REMAIN. CONTRACTOR TO REMOVE EXISTING DEVICES DURING CONSTRUCTION AND REINSTALL THE DEVICE IN THE SAME LOCATION, UNLESS NOTED OTHERWISE. WIRELESS ACCESS POINTS

REFERENCE EXISTING DEVICE SUBSCRIPT LEGEND ON THE NOTES AND LEGENDS

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- VENDOR IN ORDER TO PREVENT VOID OF WARRANTY.

KEY PLAN:

- ALL DEMO DEVICES WITH 'D' SUBSCRIPT SHALL DISCONNECT AND REMOVE EXISTING WIRING DEVICE BACK TO SWITCH. PATCH WALL TO MATCH EXISTING.
- ALL EXISTING INTERCOM SPEAKERS AND DEVICES SHALL BE DEMOLISHED IN

- 3) STRUCTURED CABLING 4) INTRUSION DETECTION
- 5) ACCESS CONTROL
- THE PROJECT, SHALL BE REPLACED AND/OR REPAIRED, BY THE CONTRACTOR, AT

CONTRACTOR SHALL REMOVE ANY DEVICES WHERE CONSTRUCTION OCCURS TO PREVENT POSSIBLE DAMAGE TO THE DEVICE. REMOVAL OF ANY DEVICES WHICH SUPPORT USER CONNECTION OR OTHER SYSTEMS, SHALL BE COORDINATED WITH CONSIST OF BUT NOT BE LIMITED TO THE FOLLOWING DEVICES AND ASSOCIATED

- SUPPORT INFRASTRUCTURE: 1) FIRE ALARM DEVICES
-) WIRELESS ACCESS POINTS
- TELEPHONES 5) VIDEO SURVEILLANCE CAMERAS
- 6) INTRUSION DETECTION DEVICES 7) ACCESS CONTROL DEVICES 8) VIDEO PROJECTION DEVICES

IP ADDRESS, OR BAR CODE OF ANY EXISTING DEVICE THAT IS TO BE REMOVED FROM ITS CURRENT LOCATION. DEVICES THAT ARE TO REMAIN, SHALL BE CONSTRUCTION, UNLESS NOTED OTHERWISE.

- LICENSES REQUIRED TO CONDUCT WORK ON THE SPECIFIC SYSTEM.
- ANY INDIVIDUAL/FIRM THAT WILL BE REMOVING, RELOCATING, REINSTALLING, OR AMPERING WITH IN ANY DEVICES: SHALL BE LICENSED BY THE STATE AS APPLICABLE, AND CERTIFIED BY THE MANUFACTURER OF THE SYSTEM.
- ALL CABLING ASSOCIATED WITH DEVICES THAT ARE TO BE DEMOLISHED, SHALL
- SHALL BE REMOVED AND REINSTALLED BY OWNER.

- CONTRACTOR TO COORDINATE WITH CFISD TECHNOLOGY DEPARTMENT PRIOR TO CONSTRUCTION ON WHICH DEVICES ARE TO BE REMOVED BY THE OWNER'S
- INTERCOM SYSTEM SCOPE OF PROJECT. EXISTING CONDITIONS ARE BASED ON

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CASUAL FIELD OBSERVATIONS AND ARE TO BE USED AS REFERENCE ONLY.

TECHNOLOGY DEMOLITION SECOND FLOOR PLAN - AREA 'A'

T0.09

TECH DEMO PLAN GENERAL NOTES

TO REMOVAL OF EXISTING TILE.

3) STRUCTURED CABLING 4) INTRUSION DETECTION 5) ACCESS CONTROL

7) VIDEO SURVEILLANCE

SUPPORT INFRASTRUCTURE: 1) FIRE ALARM DEVICES 2) INTERCOM DEVICES) WIRELESS ACCESS POINTS

5) VIDEO SURVEILLANCE CAMERAS

6) INTRUSION DETECTION DEVICES

CONSTRUCTION, UNLESS NOTED OTHERWISE.

7) ACCESS CONTROL DEVICES

8) VIDEO PROJECTION DEVICES

9) VIDEO DISPLAY DEVICES

TELEPHONES

1) FIRE ALARM INTERCOM

6) AUDIO VIDEO

DEVICES ARE REMOVED, REPLACED OR ADDED. CONTRACTOR SHALL

COORDINATE WITH ARCHITECT ON CORRECT MANUFACTURER AND MODEL PRIOR

CONTRACTOR SHALL HAVE EACH LOW VOLTAGE SYSTEM TESTED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. SYSTEMS SHALL INCLUDE BUT NOT BE

TESTING SHALL INCLUDE THE FUNCTIONALITY OF ALL FIELD DEVICES AND EQUIPMENT. ANY FAILURES OR ITEMS FOUND NOT TO BE FUNCTIONING TO

NO ADDITIONAL COST TO THE PROJECT OR THE OWNER.

SPECIFICATION, SHALL BE REPORTED PRIOR TO CONSTRUCTION, ANY ITEMS

FOUND TO BE IMPROPERLY OR NON-FUNCTIONING UPON THE COMPLETION OF

THE PROJECT, SHALL BE REPLACED AND/OR REPAIRED, BY THE CONTRACTOR, AT

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THE PROJECT AND THAT FIRM SHALL ALSO HOLD ANY CERTIFICATIONS AND/OR

FROM ITS CURRENT LOCATION. DEVICES THAT ARE TO REMAIN, SHALL BE REINSTALLED IN THE EXACT LOCATION THAT THEY RESIDE IN PRIOR TO

TAMPERING WITH ANY EXISTING DEVICES; SHALL BE CERTIFIED BY THE

Project No: 2024-00211-00 CHECKED BY: AY CORPORATION ARCHITECTS www.natexarchitects.com 447 Heights Boulevard Houston, TX 77007 Phone: 713-975-9525 Fax: 713-780-7824 CONTRACTOR SHALL PROVIDE NEW CEILING TILES IN INSTANCES WHERE CEILING

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REFERENCE EXISTING DEVICE SUBSCRIPT LEGEND ON THE NOTES AND LEGENDS

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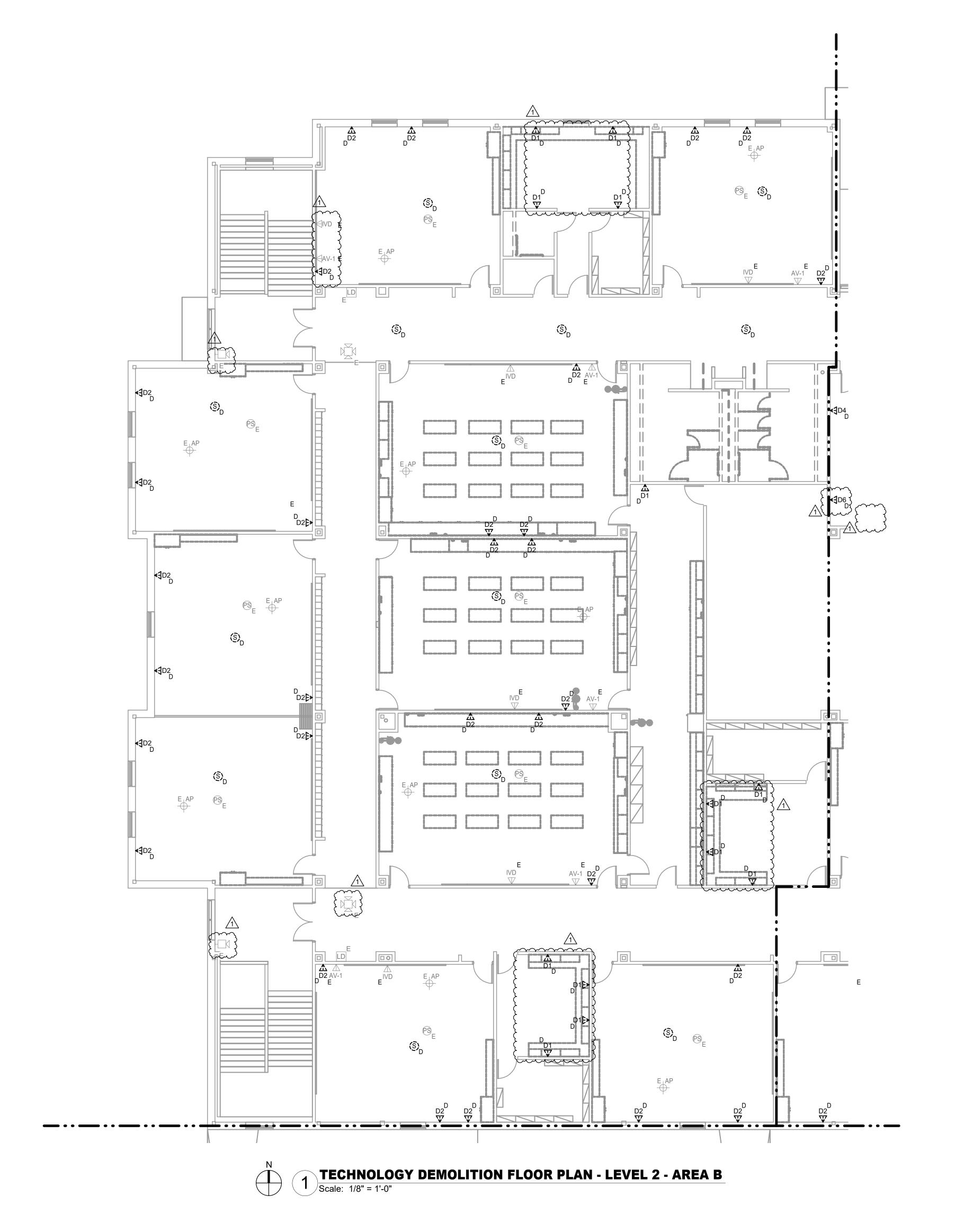
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INTERCOM SYSTEM SCOPE OF PROJECT. EXISTING CONDITIONS ARE BASED ON CASUAL FIELD OBSERVATIONS AND ARE TO BE USED AS REFERENCE ONLY.

TECHNOLOGY DEMOLITION SECOND FLOOR PLAN - AREA 'B' T0.10



TECH DEMO PLAN GENERAL NOTES

TO REMOVAL OF EXISTING TILE.

3) STRUCTURED CABLING 4) INTRUSION DETECTION 5) ACCESS CONTROL

7) VIDEO SURVEILLANCE

SUPPORT INFRASTRUCTURE: 1) FIRE ALARM DEVICES 2) INTERCOM DEVICES) WIRELESS ACCESS POINTS

5) VIDEO SURVEILLANCE CAMERAS

6) INTRUSION DETECTION DEVICES 7) ACCESS CONTROL DEVICES

8) VIDEO PROJECTION DEVICES

9) VIDEO DISPLAY DEVICES

4) TELEPHONES

1) FIRE ALARM INTERCOM

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CONSTRUCTION, UNLESS NOTED OTHERWISE. ANY INDIVIDUAL THAT WILL BE REMOVING. RELOCATING, REINSTALLING, AND/OR TAMPERING WITH ANY EXISTING DEVICES; SHALL BE CERTIFIED BY THE MANUFACTURER OF THE SPECIFIC SYSTEM AND/OR LICENSED AS REQUIRED BY THE STATE TO PERFORM WORK ON THE SYSTEM. THE INDIVIDUAL SHALL BE A FULL-TIME EMPLOYEE OF THE FIRM CONTRACTED TO CONDUCT SUCH WORK ON THE PROJECT AND THAT FIRM SHALL ALSO HOLD ANY CERTIFICATIONS AND/OR LICENSES REQUIRED TO CONDUCT WORK ON THE SPECIFIC SYSTEM.

ANY DEVICES, NOT BEING REINSTALLED, SHALL BE RETURNED TO THE OWNER.

CONTRACTOR SHALL DOCUMENT THE LOCATION AND ANY ID TAG, MAC ADDRESS, IP ADDRESS, OR BAR CODE OF ANY EXISTING DEVICE THAT IS TO BE REMOVED

FROM ITS CURRENT LOCATION. DEVICES THAT ARE TO REMAIN, SHALL BE REINSTALLED IN THE EXACT LOCATION THAT THEY RESIDE IN PRIOR TO

ANY INDIVIDUAL/FIRM THAT WILL BE REMOVING, RELOCATING, REINSTALLING, OR APPLICABLE, AND CERTIFIED BY THE MANUFACTURER OF THE SYSTEM.

ALL CABLING ASSOCIATED WITH DEVICES THAT ARE TO BE DEMOLISHED, SHALL BE REMOVED FROM THE DEVICE LOCATION TO THE CABLES POINT OF ORIGIN. NO CABLE SHALL BE ABANDONED IN PLACE.

ALL EXISTING DEVICES SHOWN ARE EXISTING TO REMAIN. CONTRACTOR TO REMOVE EXISTING DEVICES DURING CONSTRUCTION AND REINSTALL THE DEVICE IN THE SAME LOCATION, UNLESS NOTED OTHERWISE. WIRELESS ACCESS POINTS SHALL BE REMOVED AND REINSTALLED BY OWNER.

REFERENCE EXISTING DEVICE SUBSCRIPT LEGEND ON THE NOTES AND LEGENDS

TOPCAT LIGHTSPEED LOCAL SOUND SPEAKERS SHALL BE BAGGED AND SUSPENDED IN THE CEILING DURING CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE WITH THE MANUFACTURER TO NOT VOID THE WARRANTY. TOPCAT LIGHTSPEED SPEAKER, BASE STATION AND ANY OTHER SYSTEM COMPONENETS SHALL BE TAGGED BY CONTRACTOR WITH ROOM NAME AND NUMBER AND BE REINSTALLED IN THE SAME ROOM IT WAS REMOVED FROM.

CONTRACTOR TO COORDINATE WITH CFISD TECHNOLOGY DEPARTMENT PRIOR TO CONSTRUCTION ON WHICH DEVICES ARE TO BE REMOVED BY THE OWNER'S VENDOR IN ORDER TO PREVENT VOID OF WARRANTY.

ALL DEMO DEVICES WITH 'D' SUBSCRIPT SHALL DISCONNECT AND REMOVE EXISTING WIRING DEVICE BACK TO SWITCH. PATCH WALL TO MATCH EXISTING.

ALL EXISTING INTERCOM SPEAKERS AND DEVICES SHALL BE DEMOLISHED IN INTERCOM SYSTEM SCOPE OF PROJECT. EXISTING CONDITIONS ARE BASED ON CASUAL FIELD OBSERVATIONS AND ARE TO BE USED AS REFERENCE ONLY.

BROOKS AND SPARKS, INC.

DALLY + ASSOCIATES, INC. 9800 RICHMOND AVE. SUITE 460 HOUSTON, TX 77042

tel: 713.337.8881 **MEPT ENGINEER SALAS O'BRIEN** 10930 W. SAM HOUSTON PKWY. N. SUITE 900

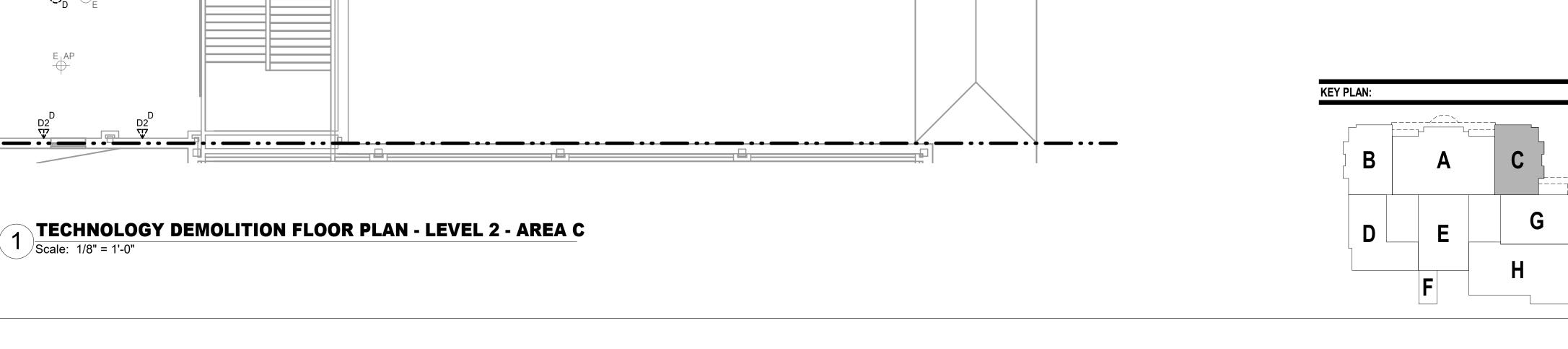
HOUSTON, TX 77064 tel: 281.664.1900 FOOD SERVICE EQUIPMENT

25317 INTERSTATE 45 THE WOODLANDS, TX 77380 tel: 281.350.2323

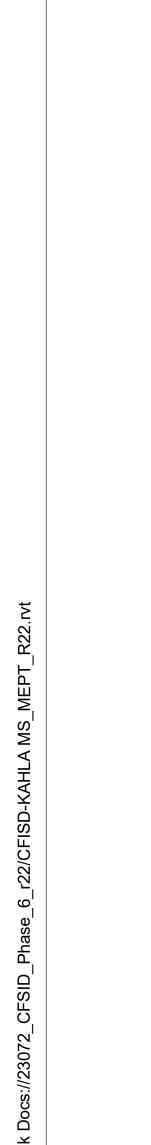
LANDSCAPE LANDSCAPE GROUP 17041 EL CAMINO REAL, STE 204 HOUSTON, TX 77058

tel: 281.486.4040

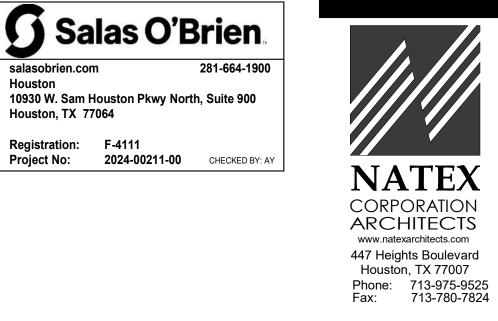
TECHNOLOGY DEMOLITION SECOND FLOOR PLAN - AREA 'C'



E AP









3701 Kirby Drive, Suite 830 Houston,TX 77098 tel 832.947.1038 fax 225.214.5365

BID DOCUMENTS 01/16/2025 CIVIL ENGINEER

> **BROOKS AND SPARKS, INC.** 21020 PARK ROW KATY, TX 77449 tel: 281.578.9595 STRUCTURAL ENGINEER

DALLY + ASSOCIATES, INC. 9800 RICHMOND AVE. SUITE 460 HOUSTON, TX 77042 tel: 713.337.8881

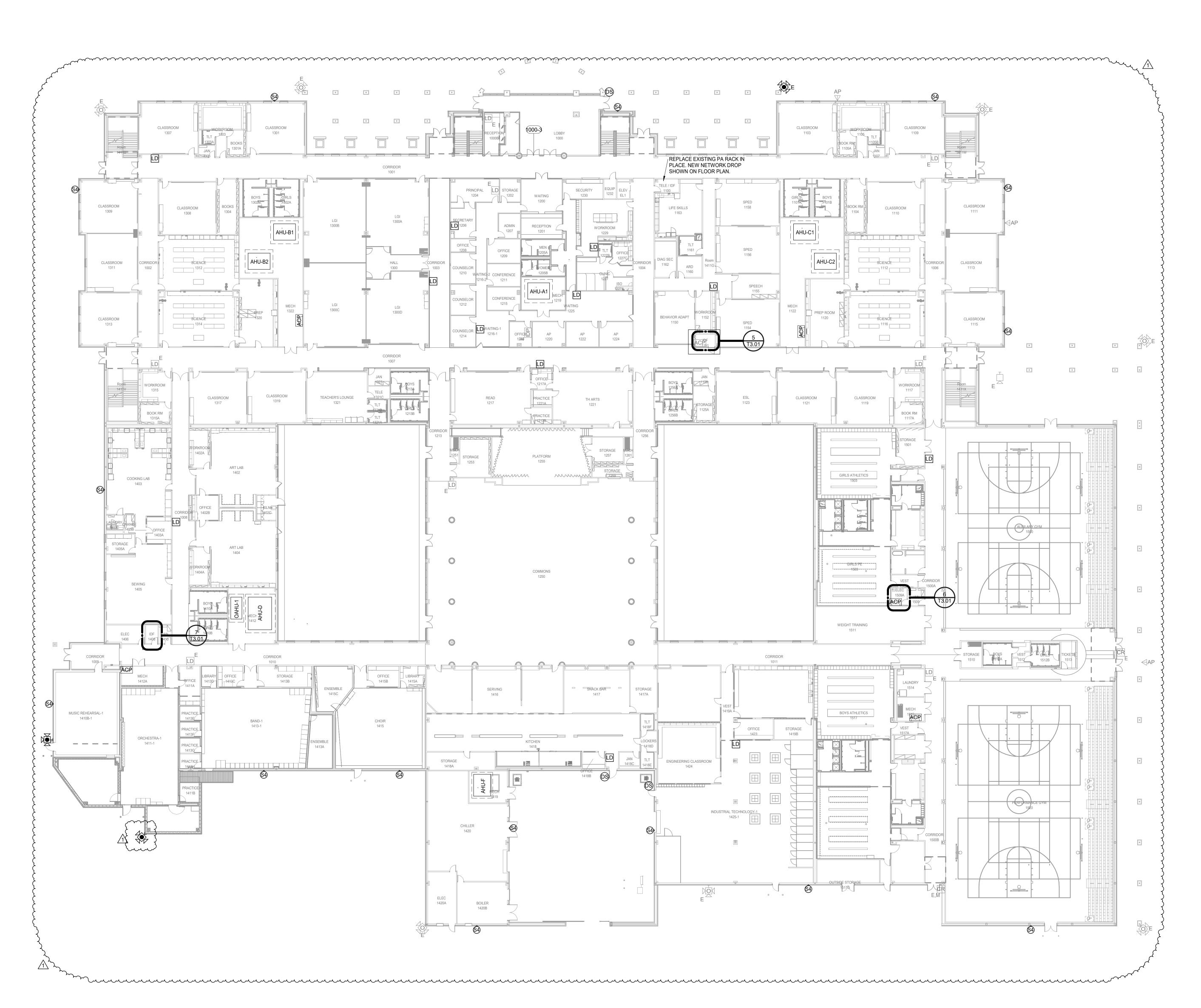
MEPT ENGINEER SALAS O'BRIEN 10930 W. SAM HOUSTON PKWY. SUITE 900 HOUSTON, TX 77064 tel: 281.664.1900

FOOD SERVICE EQUIPMENT 25317 INTERSTATE 45 THE WOODLANDS, TX 77380 tel: 281.350.2323

LANDSCAPE LANDSCAPE GROUP

17041 EL CAMINO REAL, STE 204 HOUSTON, TX 77058 tel: 281.486.4040

TECHNOLOGY COMPOSITE FIRST FLOOR PLAN



Project No: 2024-00211-00 CHECKED BY: AY

Registration: F-4111





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> 21020 PARK ROW KATY, TX 77449 tel: 281.578.9595 STRUCTURAL ENGINEER DALLY + ASSOCIATES, INC.

BROOKS AND SPARKS, INC.

9800 RICHMOND AVE. SUITE 460 HOUSTON, TX 77042 tel: 713.337.8881 **MEPT ENGINEER**

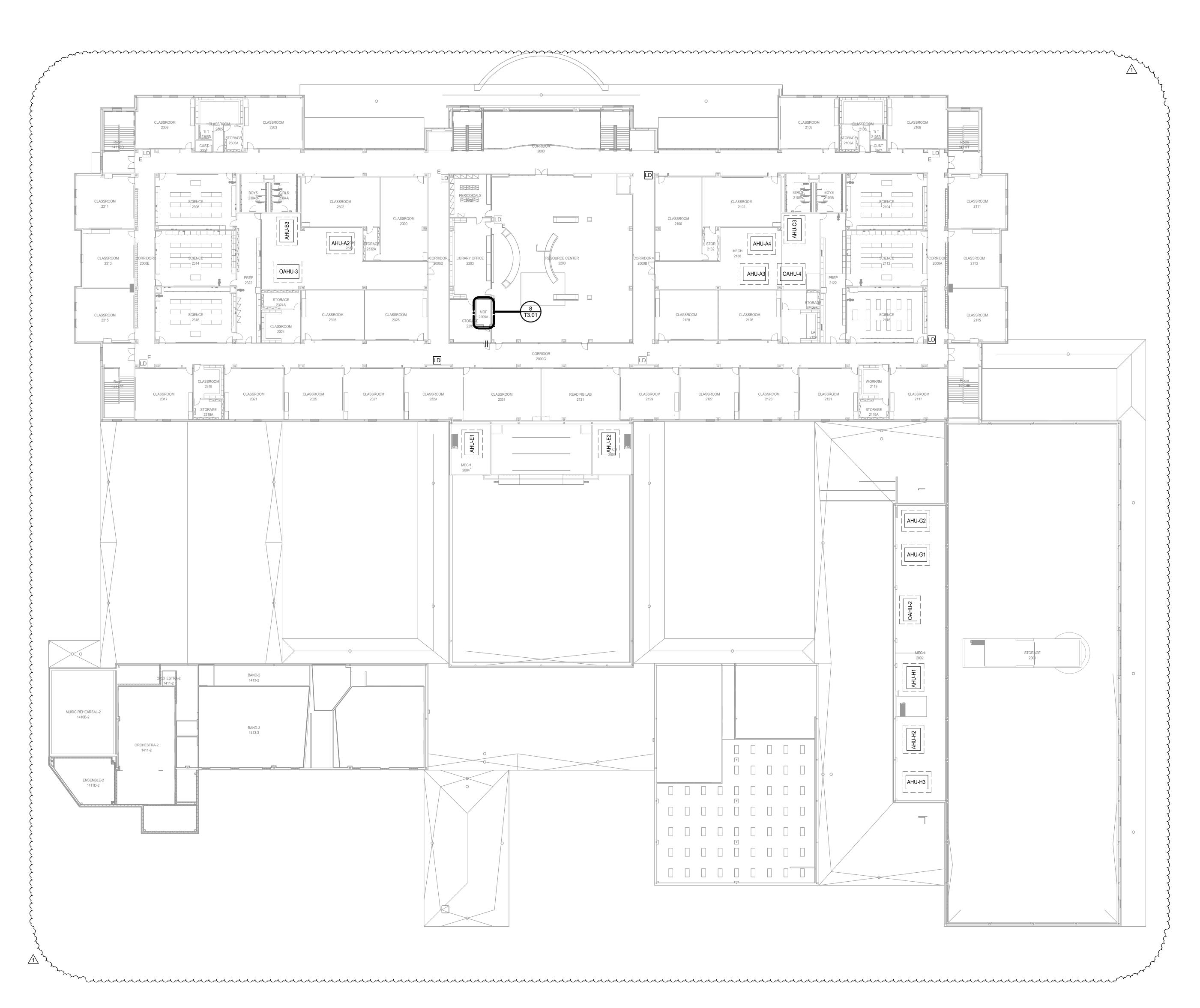
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FOOD SERVICE EQUIPMENT FDP 25317 INTERSTATE 45 THE WOODLANDS, TX 77380 tel: 281.350.2323

LANDSCAPE LANDSCAPE GROUP

17041 EL CAMINO REAL, STE 204 HOUSTON, TX 77058 tel: 281.486.4040

16212 W LITTLE YORK RD, HOUSTON, TEXAS 77084 CFISD PROJECT NO: 24-02-5750-R-RFP



Salas O'Brien. Houston 10930 W. Sam Houston Pkwy North, Suite 900 Houston, TX 77064

Registration: F-4111
Project No: 2024-00211-00 CHECKED BY: AY

CORPORATION ARCHITECTS www.natexarchitects.com 447 Heights Boulevard Houston, TX 77007 Phone: 713-975-9525 Fax: 713-780-7824



3701 Kirby Drive, Suite 830 Houston,TX 77098 tel 832.947.1038 fax 225.214.5365

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tel: 713.337.8881

MEPT ENGINEER SALAS O'BRIEN 10930 W. SAM HOUSTON PKWY. N SUITE 900 HOUSTON, TX 77064

FOOD SERVICE EQUIPMENT

tel: 281.664.1900

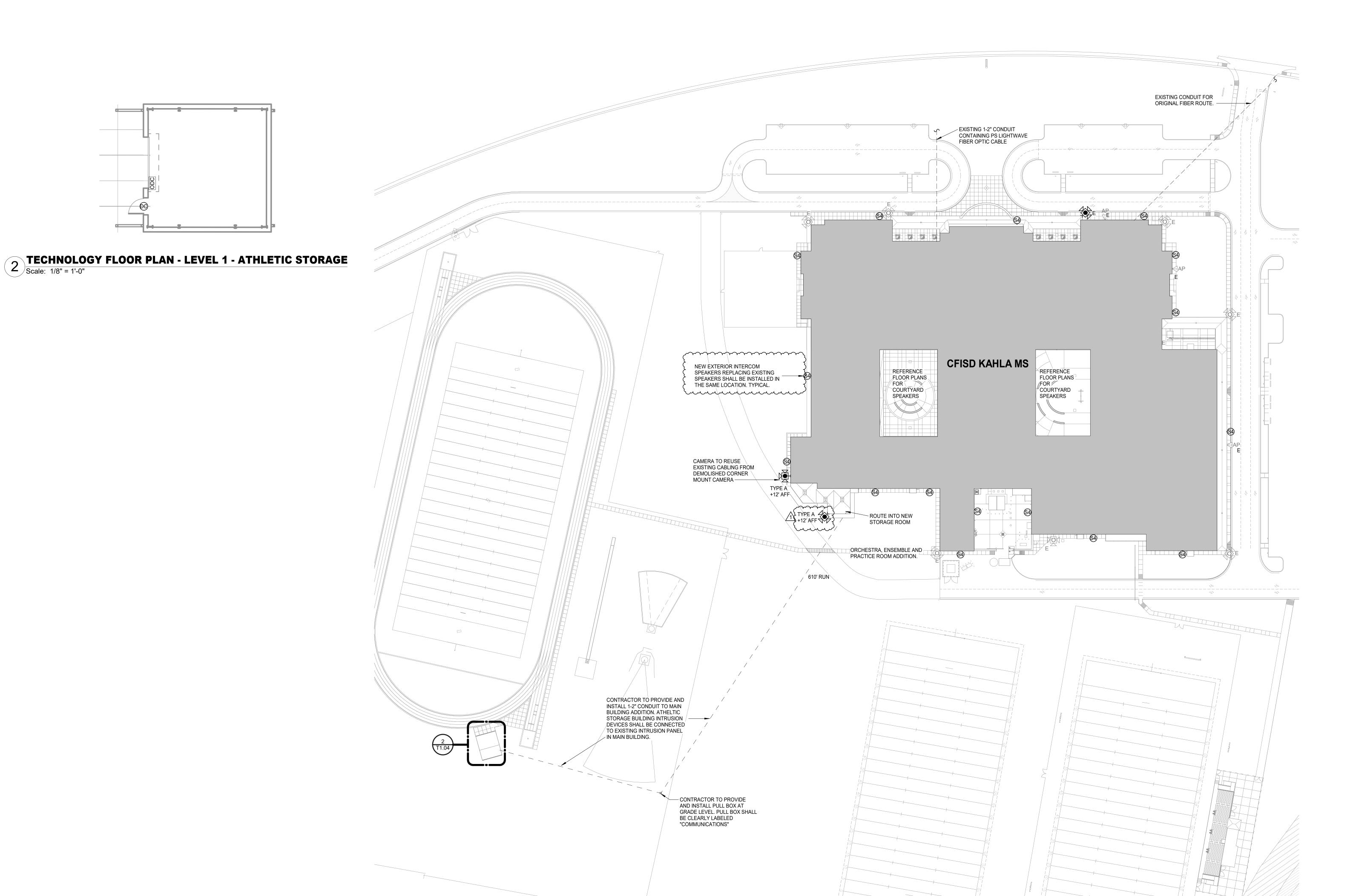
25317 INTERSTATE 45 THE WOODLANDS, TX 77380 tel: 281.350.2323 LANDSCAPE LANDSCAPE GROUP

17041 EL CAMINO REAL, STE 204 HOUSTON, TX 77058 tel: 281.486.4040

| | | | | | | |

Date: 29 DECEMBER 2024

TECHNOLOGY SITE PLAN - NEW



TECHNOLOGY SITE PLAN
Scale: 1" = 50'-0"



Salas O'Brien 10930 W. Sam Houston Pkwy North, Suite 900 Houston, TX 77064

Project No: 2024-00211-00 CHECKED BY: AY

Registration: F-4111

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3701 Kirby Drive, Suite 830 Houston,TX 77098 tel 832.947.1038 fax 225.214.5365 **BID DOCUMENTS**

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BROOKS AND SPARKS, INC. 21020 PARK ROW KATY, TX 77449 tel: 281.578.9595 STRUCTURAL ENGINEER

9800 RICHMOND AVE. SUITE 460 HOUSTON, TX 77042 tel: 713.337.8881 **MEPT ENGINEER SALAS O'BRIEN**

DALLY + ASSOCIATES, INC.

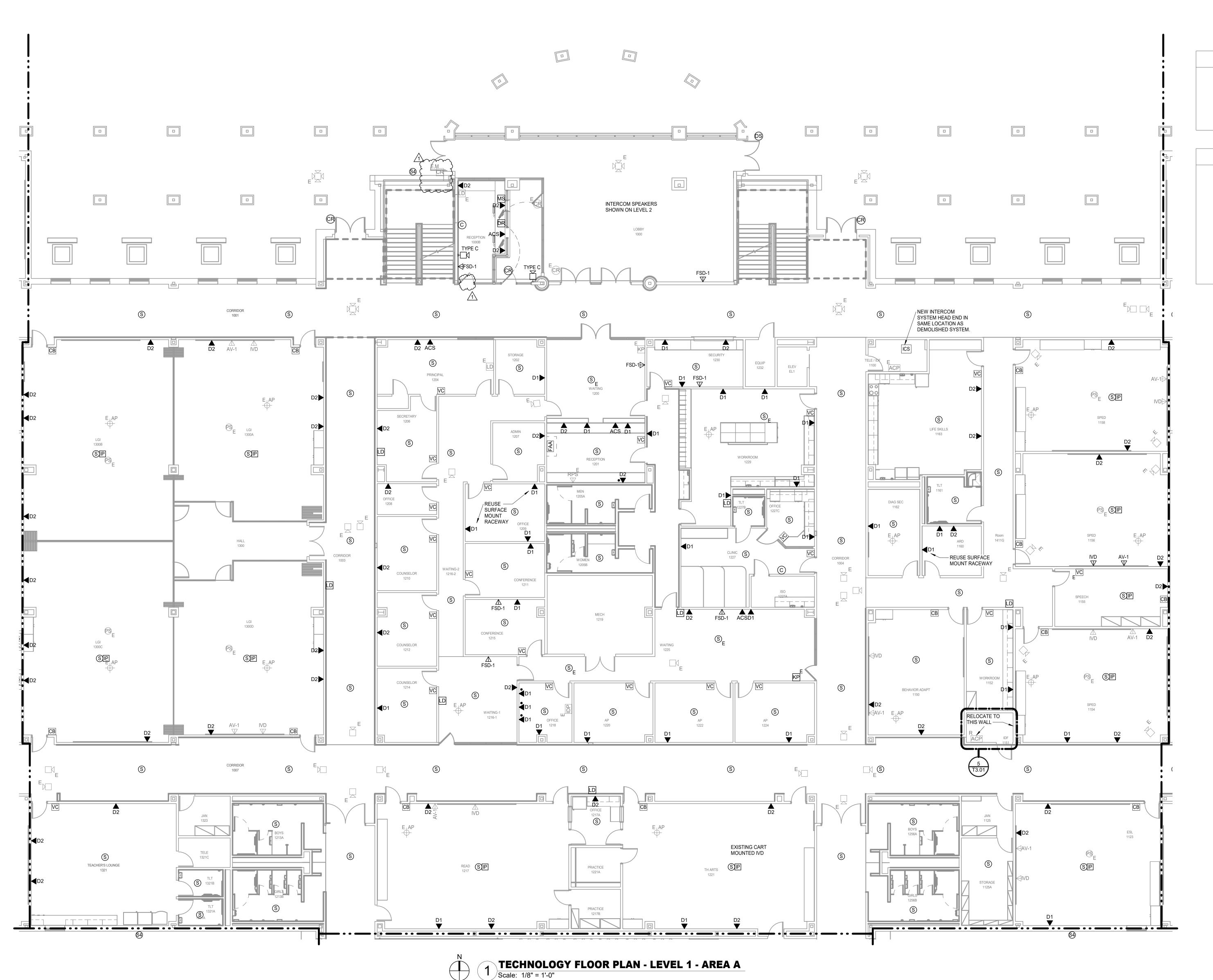
10930 W. SAM HOUSTON PKWY. N SUITE 900 HOUSTON, TX 77064 tel: 281.664.1900

FOOD SERVICE EQUIPMENT 25317 INTERSTATE 45 THE WOODLANDS, TX 77380 tel: 281.350.2323

LANDSCAPE

17041 EL CAMINO REAL, STE 204 HOUSTON, TX 77058 tel: 281.486.4040

TECHNOLOGY FIRST FLOOR PLAN - AREA 'A'



FIRE ALARM

FIRE ALARM SYSTEM IS A PERFORMANCE BASED PER SPECIFICATIONS 28 46 00. CONTRACTOR TO REFERENCE SPECIFICATIONS FOR ADDITIONAL INFORMATION.

A LICENSED FIRE ALARM PLANNING SUPERINTENDENT CERTIFIED TO A MINIMUM LEVEL 3, IN THE SUBFIELD OF FIRE ALARM SYSTEMS THROUGH THE NATIONAL INSTITUTE FOR CERTIFICATION IN ENGINEERING TECHNOLOGIES (NICET), SHALL PROVIDE PLANS AND CALCULATIONS FOR A MANUAL AND AUTOMÀTIC FIRE DETECTION AND ALARM SYSTEM TO COMPLY WITH THE BUILDING SPACE LAYOUT, BUILDING OCCUPANCY, CURRENT NFPA 72, LOCAL AND STATE CODE REQUIREMENTS, AND THE FIRE ALARM AND DETECTION SYSTEM SPECIFICATIONS.

TECHNOLOGY PLAN GENERAL NOTES

COORDINATE ALL FINAL MOUNTING HEIGHTS, FOR WALL MOUNTED DEVICES, PRIOR TO ROUGH-IN. COORDINATE WITH ARCHITECT, OWNER AND ENGINEER.

REFERENCE TECHNOLOGY SITE PLAN, COMPOSITE/ROUTING PLANS, NOTES & LEGENDS, DETAILS AND SCHEDULES FOR ADDITIONAL INFORMATION AND

INTERIOR DESIGN CONSULTANT(IF APPLICABLE) PRIOR TO ROUGH-IN.

COORDINATE ALL CEILING DEVICE LOCATIONS WITH ARCHITECTURAL DRAWINGS AND

DEVICE/OUTLET LOCATIONS. CONTRACTOR TO COORDINATE INTERCOM SPEAKER MOUNTING TYPES WITH

ARCHITECTURAL CEILING PLANS PRIOR TO FINAL SPEAKER SELECTION. COORDINATE WITH ENGINEER ON ANY DISCREPANCIES.

CONTRACTOR TO COORDINATE ALL DROP LOCATIONS WITH FURNITURE. COORDINATE WITH ARCHITECT AND OWNER FOR MORE INFORMATION.

REFERENCE DETAILS FOR LOCKDOWN BUTTON INSTALLATION INSTRUCTIONS.

Houston, TX 77064

FIRE ALARM

FIRE ALARM SYSTEM IS A PERFORMANCE BASED PER SPECIFICATIONS 28 46 00.

CONTRACTOR TO REFERENCE SPECIFICATIONS FOR ADDITIONAL INFORMATION.

A LICENSED FIRE ALARM PLANNING SUPERINTENDENT CERTIFIED TO A MINIMUM LEVEL 3, IN THE SUBFIELD OF FIRE ALARM SYSTEMS THROUGH THE NATIONAL

INSTITUTE FOR CERTIFICATION IN ENGINEERING TECHNOLOGIES (NICET), SHALL

DETECTION AND ALARM SYSTEM TO COMPLY WITH THE BUILDING SPACE LAYOUT, BUILDING OCCUPANCY, CURRENT NFPA 72, LOCAL AND STATE CODE REQUIREMENTS,

COORDINATE ALL FINAL MOUNTING HEIGHTS, FOR WALL MOUNTED DEVICES, PRIOR TO

COORDINATE ALL CEILING DEVICE LOCATIONS WITH ARCHITECTURAL DRAWINGS AND

PROVIDE PLANS AND CALCULATIONS FOR A MANUAL AND AUTOMATIC FIRE

AND THE FIRE ALARM AND DETECTION SYSTEM SPECIFICATIONS.

TECHNOLOGY PLAN GENERAL NOTES

ROUGH-IN. COORDINATE WITH ARCHITECT, OWNER AND ENGINEER.

INTERIOR DESIGN CONSULTANT(IF APPLICABLE) PRIOR TO ROUGH-IN.

DEVICE/OUTLET LOCATIONS.

WITH ENGINEER ON ANY DISCREPANCIES.

WITH ARCHITECT AND OWNER FOR MORE INFORMATION.

REFERENCE TECHNOLOGY SITE PLAN, COMPOSITE/ROUTING PLANS, NOTES &

CONTRACTOR TO COORDINATE INTERCOM SPEAKER MOUNTING TYPES WITH

REFERENCE DETAILS FOR LOCKDOWN BUTTON INSTALLATION INSTRUCTIONS.

ARCHITECTURAL CEILING PLANS PRIOR TO FINAL SPEAKER SELECTION. COORDINATE

CONTRACTOR TO COORDINATE ALL DROP LOCATIONS WITH FURNITURE. COORDINATE

LEGENDS, DETAILS AND SCHEDULES FOR ADDITIONAL INFORMATION AND

Registration: F-4111

ARCHITECTS **cp**arch.com

BID DOCUMENTS

CIVIL ENGINEER **BROOKS AND SPARKS, INC.** 21020 PARK ROW KATY, TX 77449 tel: 281.578.9595

STRUCTURAL ENGINEER DALLY + ASSOCIATES, INC. 9800 RICHMOND AVE. SUITE 460 HOUSTON, TX 77042 tel: 713.337.8881

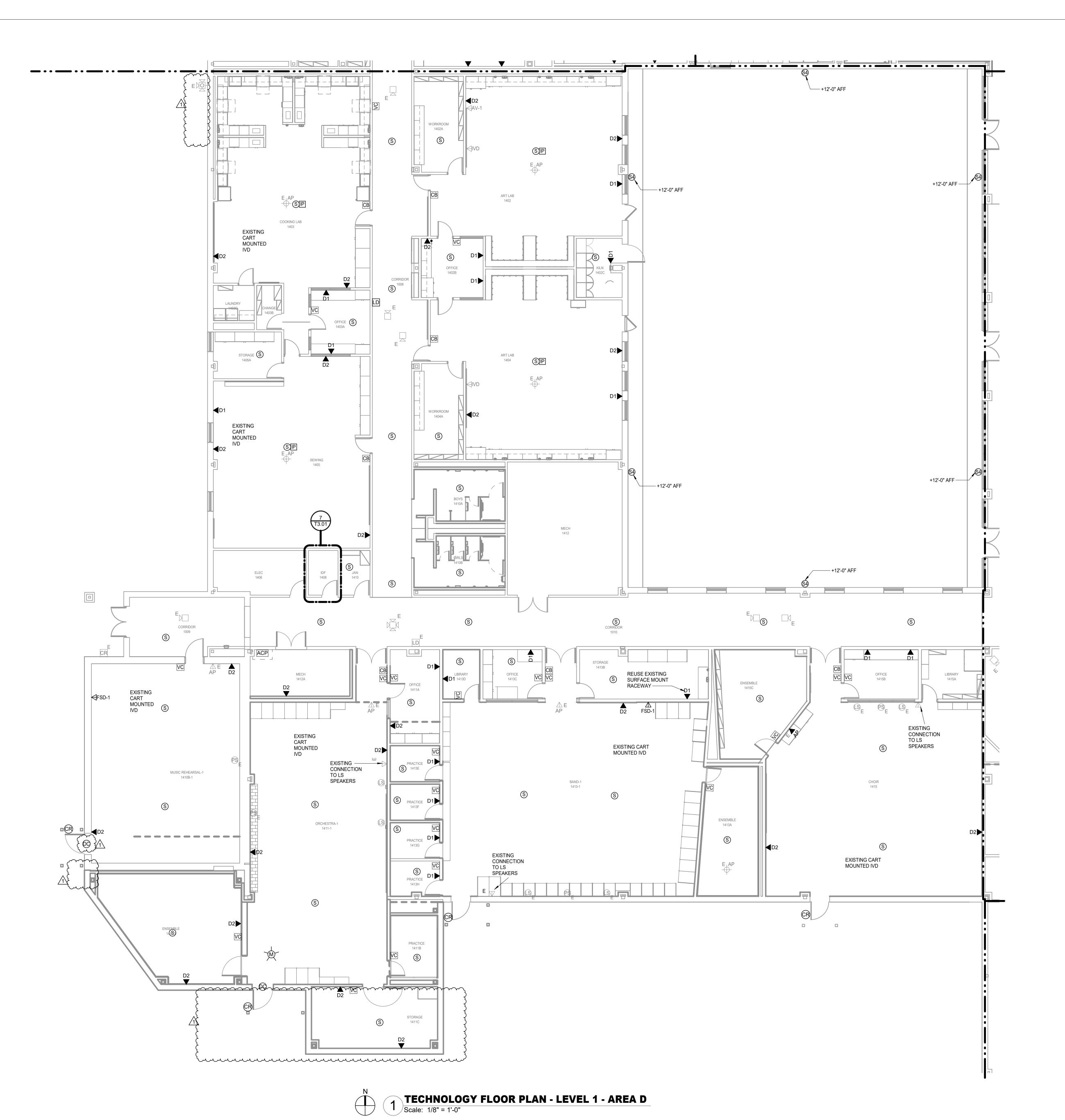
MEPT ENGINEER SALAS O'BRIEN 10930 W. SAM HOUSTON PKWY. N SUITE 900 HOUSTON, TX 77064 tel: 281.664.1900

FOOD SERVICE EQUIPMENT 25317 INTERSTATE 45 THE WOODLANDS, TX 77380 tel: 281.350.2323

LANDSCAPE LANDSCAPE GROUP

17041 EL CAMINO REAL, STE 204 HOUSTON, TX 77058 tel: 281.486.4040

Date: 29 DECEMBER 2024 TECHNOLOGY FIRST FLOOR PLAN - AREA 'D'



Project No: 2024-00211-00 CHECKED BY: AY

Registration: F-4111





3701 Kirby Drive, Suite 830 Houston,TX 77098 tel 832.947.1038 fax 225.214.5365

BID DOCUMENTS BRADLEY KALMANS 01/16/2025

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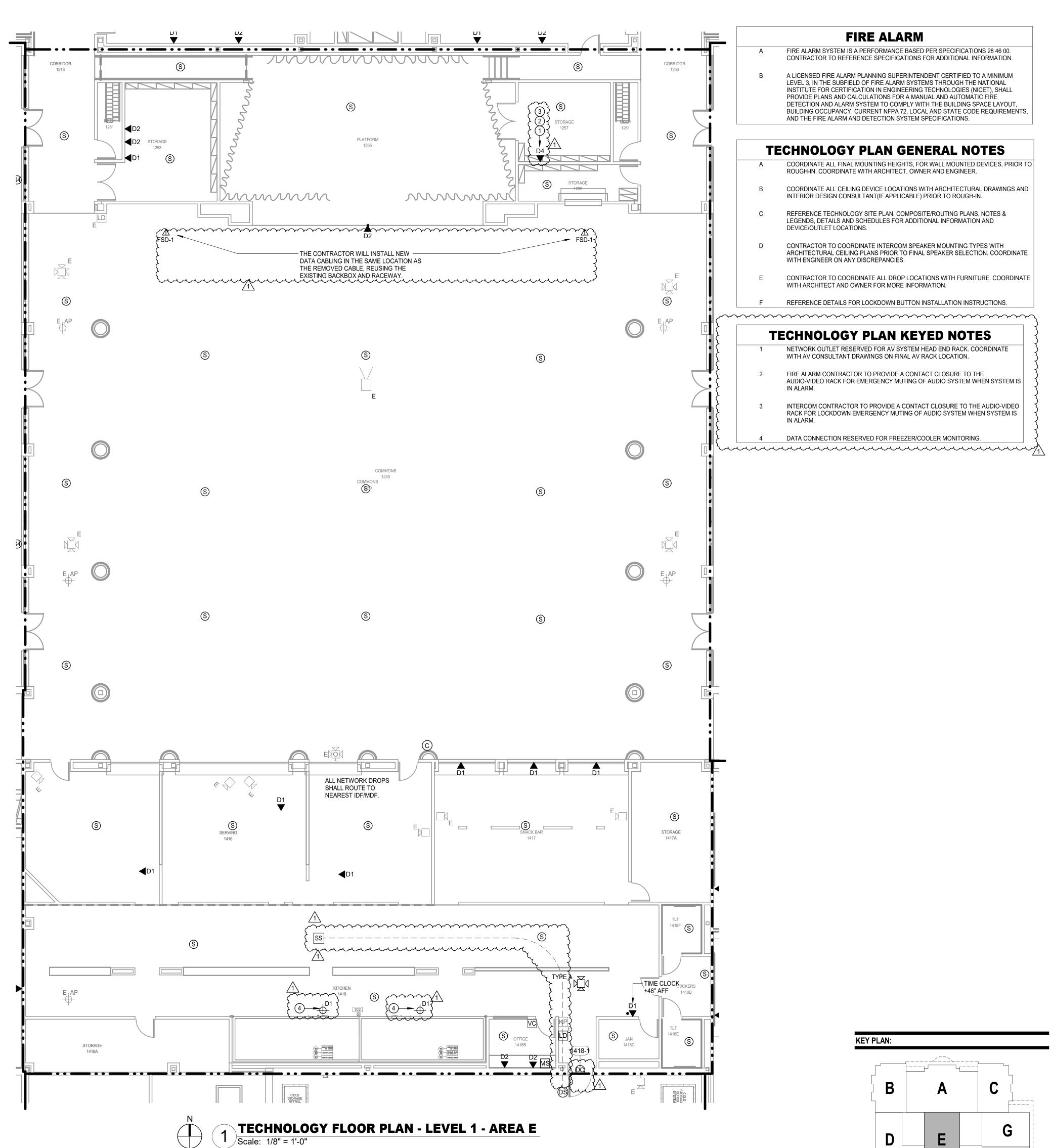
tel: 713.337.8881 **MEPT ENGINEER SALAS O'BRIEN**

10930 W. SAM HOUSTON PKWY. N SUITE 900 HOUSTON, TX 77064 tel: 281.664.1900

FOOD SERVICE EQUIPMENT 25317 INTERSTATE 45 THE WOODLANDS, TX 77380 tel: 281.350.2323

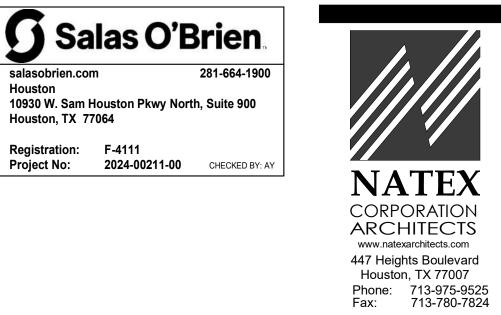
LANDSCAPE LANDSCAPE GROUP 17041 EL CAMINO REAL, STE 204 HOUSTON, TX 77058 tel: 281.486.4040

TECHNOLOGY FIRST FLOOR PLAN - AREA 'E'



10930 W. Sam Houston Pkwy North, Suite 900 Houston, TX 77064

Registration: F-4111



Coleman Partners ARCHITECTS cparch.com

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tel: 281.578.9595 STRUCTURAL ENGINEER DALLY + ASSOCIATES, INC. 9800 RICHMOND AVE.

SUITE 460

HOUSTON, TX 77042

tel: 713.337.8881 **MEPT ENGINEER SALAS O'BRIEN** 10930 W. SAM HOUSTON PKWY. N. SUITE 900

HOUSTON, TX 77064 tel: 281.664.1900 FOOD SERVICE EQUIPMENT

25317 INTERSTATE 45 THE WOODLANDS, TX 77380 tel: 281.350.2323 LANDSCAPE

LANDSCAPE GROUP 17041 EL CAMINO REAL, STE 204 HOUSTON, TX 77058 tel: 281.486.4040

TECHNOLOGY FIRST FLOOR PLAN - AREA 'F'

T2.06

KEY PLAN:

FIRE ALARM

FIRE ALARM SYSTEM IS A PERFORMANCE BASED PER SPECIFICATIONS 28 46 00. CONTRACTOR TO REFERENCE SPECIFICATIONS FOR ADDITIONAL INFORMATION.

A LICENSED FIRE ALARM PLANNING SUPERINTENDENT CERTIFIED TO A MINIMUM LEVEL 3, IN THE SUBFIELD OF FIRE ALARM SYSTEMS THROUGH THE NATIONAL INSTITUTE FOR CERTIFICATION IN ENGINEERING TECHNOLOGIES (NICET), SHALL PROVIDE PLANS AND CALCULATIONS FOR A MANUAL AND AUTOMATIC FIRE DETECTION AND ALARM SYSTEM TO COMPLY WITH THE BUILDING SPACE LAYOUT, BUILDING OCCUPANCY, CURRENT NFPA 72, LOCAL AND STATE CODE REQUIREMENTS, AND THE FIRE ALARM AND DETECTION SYSTEM SPECIFICATIONS.

TECHNOLOGY PLAN GENERAL NOTES

COORDINATE ALL FINAL MOUNTING HEIGHTS, FOR WALL MOUNTED DEVICES, PRIOR TO ROUGH-IN. COORDINATE WITH ARCHITECT, OWNER AND ENGINEER.

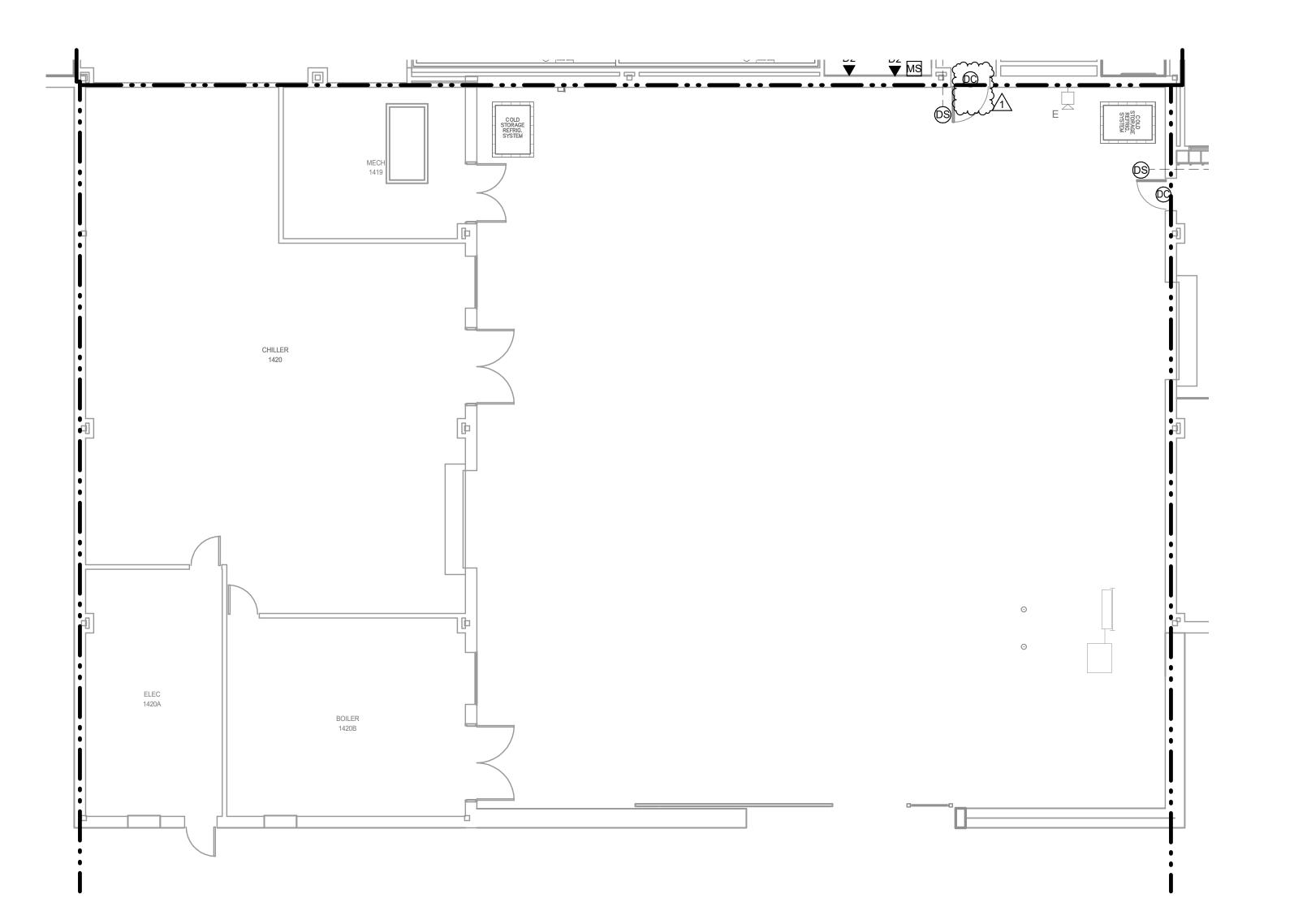
COORDINATE ALL CEILING DEVICE LOCATIONS WITH ARCHITECTURAL DRAWINGS AND INTERIOR DESIGN CONSULTANT(IF APPLICABLE) PRIOR TO ROUGH-IN.

REFERENCE TECHNOLOGY SITE PLAN, COMPOSITE/ROUTING PLANS, NOTES & LEGENDS, DETAILS AND SCHEDULES FOR ADDITIONAL INFORMATION AND DEVICE/OUTLET LOCATIONS.

CONTRACTOR TO COORDINATE INTERCOM SPEAKER MOUNTING TYPES WITH ARCHITECTURAL CEILING PLANS PRIOR TO FINAL SPEAKER SELECTION. COORDINATE WITH ENGINEER ON ANY DISCREPANCIES.

CONTRACTOR TO COORDINATE ALL DROP LOCATIONS WITH FURNITURE. COORDINATE WITH ARCHITECT AND OWNER FOR MORE INFORMATION.

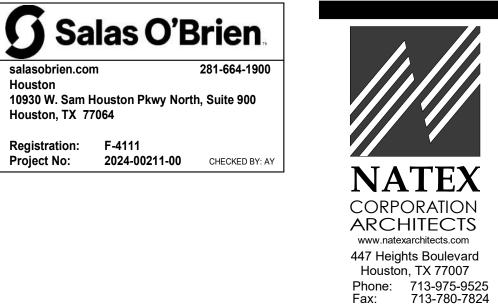
REFERENCE DETAILS FOR LOCKDOWN BUTTON INSTALLATION INSTRUCTIONS.



TECHNOLOGY FLOOR PLAN - LEVEL 1 - AREA F
Scale: 1/8" = 1'-0"

Salas O'Brien. 10930 W. Sam Houston Pkwy North, Suite 900 Houston, TX 77064

Registration: F-4111



Coleman Partners ARCHITECTS

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MEPT ENGINEER SALAS O'BRIEN 10930 W. SAM HOUSTON PKWY. N SUITE 900 HOUSTON, TX 77064 tel: 281.664.1900

FOOD SERVICE EQUIPMENT 25317 INTERSTATE 45 THE WOODLANDS, TX 77380

tel: 281.350.2323 LANDSCAPE LANDSCAPE GROUP 17041 EL CAMINO REAL, STE 204

HOUSTON, TX 77058 tel: 281.486.4040

TECHNOLOGY FIRST FLOOR PLAN - AREA 'G'



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- NETWORK OUTLET RESERVED FOR AV SYSTEM HEAD END RACK. COORDINATE WITH AV CONSULTANT DRAWINGS ON FINAL AV RACK LOCATION.
- AUDIO-VIDEO RACK FOR EMERGENCY MUTING OF AUDIO SYSTEM WHEN SYSTEM IS
- INTERCOM CONTRACTOR TO PROVIDE A CONTACT CLOSURE TO THE AUDIO-VIDEO RACK FOR LOCKDOWN EMERGENCY MUTING OF AUDIO SYSTEM WHEN SYSTEM IS

4 DATA CONNECTION RESERVED FOR FREEZER/COOLER MONITORING.

- FIRE ALARM CONTRACTOR TO PROVIDE A CONTACT CLOSURE TO THE

TECHNOLOGY PLAN GENERAL NOTES

AND THE FIRE ALARM AND DETECTION SYSTEM SPECIFICATIONS.

COORDINATE ALL FINAL MOUNTING HEIGHTS, FOR WALL MOUNTED DEVICES, PRIOR TO ROUGH-IN. COORDINATE WITH ARCHITECT, OWNER AND ENGINEER.

FIRE ALARM

FIRE ALARM SYSTEM IS A PERFORMANCE BASED PER SPECIFICATIONS 28 46 00.

CONTRACTOR TO REFERENCE SPECIFICATIONS FOR ADDITIONAL INFORMATION.

A LICENSED FIRE ALARM PLANNING SUPERINTENDENT CERTIFIED TO A MINIMUM

LEVEL 3, IN THE SUBFIELD OF FIRE ALARM SYSTEMS THROUGH THE NATIONAL

INSTITUTE FOR CERTIFICATION IN ENGINEERING TECHNOLOGIES (NICET), SHALL

DETECTION AND ALARM SYSTEM TO COMPLY WITH THE BUILDING SPACE LAYOUT,

BUILDING OCCUPANCY, CURRENT NFPA 72, LOCAL AND STATE CODE REQUIREMENTS,

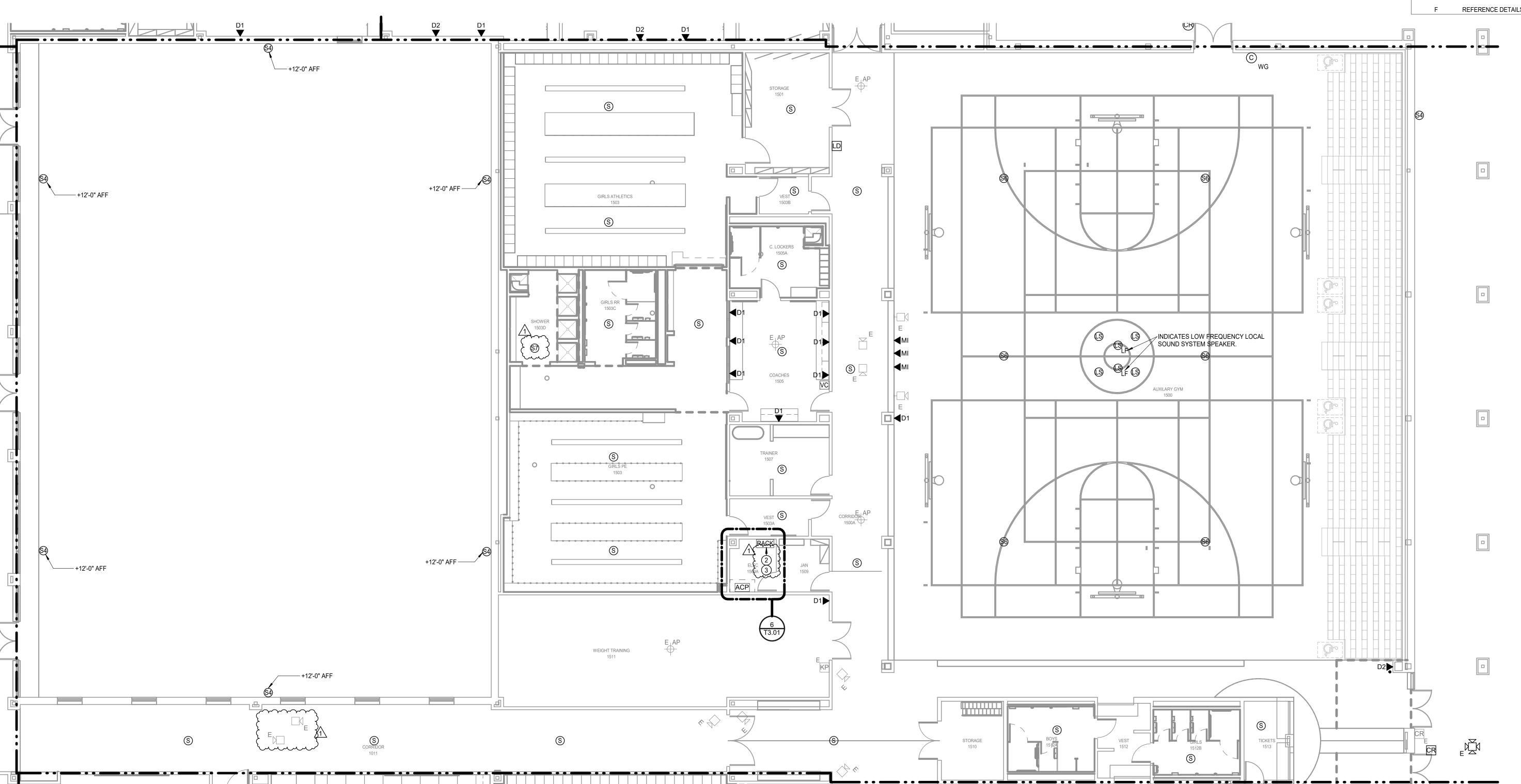
COORDINATE ALL CEILING DEVICE LOCATIONS WITH ARCHITECTURAL DRAWINGS AND

PROVIDE PLANS AND CALCULATIONS FOR A MANUAL AND AUTOMÀTIC FIRE

- INTERIOR DESIGN CONSULTANT(IF APPLICABLE) PRIOR TO ROUGH-IN. REFERENCE TECHNOLOGY SITE PLAN, COMPOSITE/ROUTING PLANS, NOTES &
- LEGENDS, DETAILS AND SCHEDULES FOR ADDITIONAL INFORMATION AND DEVICE/OUTLET LOCATIONS.
- CONTRACTOR TO COORDINATE INTERCOM SPEAKER MOUNTING TYPES WITH ARCHITECTURAL CEILING PLANS PRIOR TO FINAL SPEAKER SELECTION. COORDINATE WITH ENGINEER ON ANY DISCREPANCIES.
- CONTRACTOR TO COORDINATE ALL DROP LOCATIONS WITH FURNITURE. COORDINATE WITH ARCHITECT AND OWNER FOR MORE INFORMATION.

KEY PLAN:

REFERENCE DETAILS FOR LOCKDOWN BUTTON INSTALLATION INSTRUCTIONS.



1 TECHNOLOGY FLOOR PLAN - LEVEL 1 - AREA G
Scale: 1/8" = 1'-0"

Project No: 2024-00211-00 CHECKED BY: AY

Registration: F-4111

TECHNOLOGY PLAN KEYED NOTES

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NETWORK OUTLET RESERVED FOR AV SYSTEM HEAD END RACK. COORDINATE WITH AV CONSULTANT DRAWINGS ON FINAL AV RACK LOCATION.

UNIONAL UND BATA CONNECTION RESERVED FOR EREEZER/GOOKER WOUNTORING UNION UND CONTROL OF THE CONT

- FIRE ALARM CONTRACTOR TO PROVIDE A CONTACT CLOSURE TO THE AUDIO-VIDEO RACK FOR EMERGENCY MUTING OF AUDIO SYSTEM WHEN SYSTEM IS IN ALARM.
- INTERCOM CONTRACTOR TO PROVIDE A CONTACT CLOSURE TO THE AUDIO-VIDEO RACK FOR LOCKDOWN EMERGENCY MUTING OF AUDIO SYSTEM WHEN SYSTEM IS IN ALARM.

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TECHNOLOGY PLAN GENERAL NOTES

ROUGH-IN. COORDINATE WITH ARCHITECT, OWNER AND ENGINEER.

AND THE FIRE ALARM AND DETECTION SYSTEM SPECIFICATIONS.

- COORDINATE ALL CEILING DEVICE LOCATIONS WITH ARCHITECTURAL DRAWINGS AND INTERIOR DESIGN CONSULTANT(IF APPLICABLE) PRIOR TO ROUGH-IN.
- REFERENCE TECHNOLOGY SITE PLAN, COMPOSITE/ROUTING PLANS, NOTES & LEGENDS, DETAILS AND SCHEDULES FOR ADDITIONAL INFORMATION AND DEVICE/OUTLET LOCATIONS.
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COORDINATE ALL FINAL MOUNTING HEIGHTS, FOR WALL MOUNTED DEVICES, PRIOR TO

CONTRACTOR TO COORDINATE ALL DROP LOCATIONS WITH FURNITURE. COORDINATE

WITH ARCHITECT AND OWNER FOR MORE INFORMATION.

REFERENCE DETAILS FOR LOCKDOWN BUTTON INSTALLATION INSTRUCTIONS.

MANUFACTURING CLASSROOM COMPUTER CLASSROOM BOYS ATHLETICS D2 V• +60" AFF MOVE EXISTING CART MOUNTED IVD FROM ABOVE CLASSROOM TO THIS CLASSROOM. J. 1425-2 INDICATES LOW FREQUENCY LOCAL SOUND SYSTEM SPEAKER. _-----______ _____ _-----STORAGE -----

OUTSIDE STORAGE

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TECHNOLOGY FLOOR PLAN - LEVEL 1 - AREA H
Scale: 1/8" = 1'-0"

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B A C
D E G

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CORPORATION
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Houston, TX 77007
Phone: 713-975-9525
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BRADLEY KALMANS

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01/16/2025

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BROOKS AND SPARKS, INC.
21020 PARK ROW
KATY, TX 77449
tel: 281.578.9595

STRUCTURAL ENGINEER
DALLY + ASSOCIATES, INC.
9800 RICHMOND AVE.
SUITE 460

HOUSTON, TX 77042 tel: 713.337.8881

MEPT ENGINEER
SALAS O'BRIEN

10930 W. SAM HOUSTON PKWY. N.
SUITE 900

FOOD SERVICE EQUIPMENT
FDP

HOUSTON, TX 77064 tel: 281.664.1900

25317 INTERSTATE 45 THE WOODLANDS, TX 77380 tel: 281.350.2323

LANDSCAPE GROUP

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HOUSTON, TX 77058
tel: 281.486.4040

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MIDDLE SCHOOL

-E YORK RD, HOUSTON, TEXAS 7708

2024 AN

KAHL

KAHL

16212 W L

Project Number: 23072

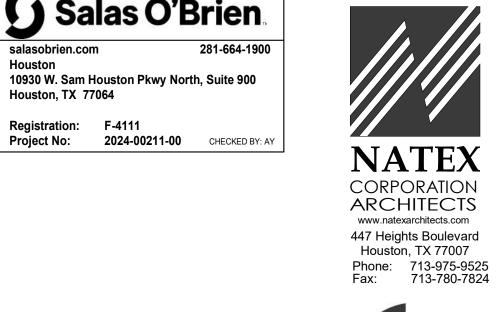
Date: 29 DECEMBER 2024

Drawn by: NY

TECHNOLOGY FIRST
FLOOR PLAN - AREA 'H'

T2.08

FIRE ALARM





3701 Kirby Drive, Suite 830 Houston,TX 77098 tel 832.947.1038 fax 225.214.5365

BID DOCUMENTS

CIVIL ENGINEER **BROOKS AND SPARKS, INC.** 21020 PARK ROW KATY, TX 77449 tel: 281.578.9595

STRUCTURAL ENGINEER DALLY + ASSOCIATES, INC. 9800 RICHMOND AVE. SUITE 460 HOUSTON, TX 77042

tel: 713.337.8881

MEPT ENGINEER SALAS O'BRIEN 10930 W. SAM HOUSTON PKWY. N SUITE 900

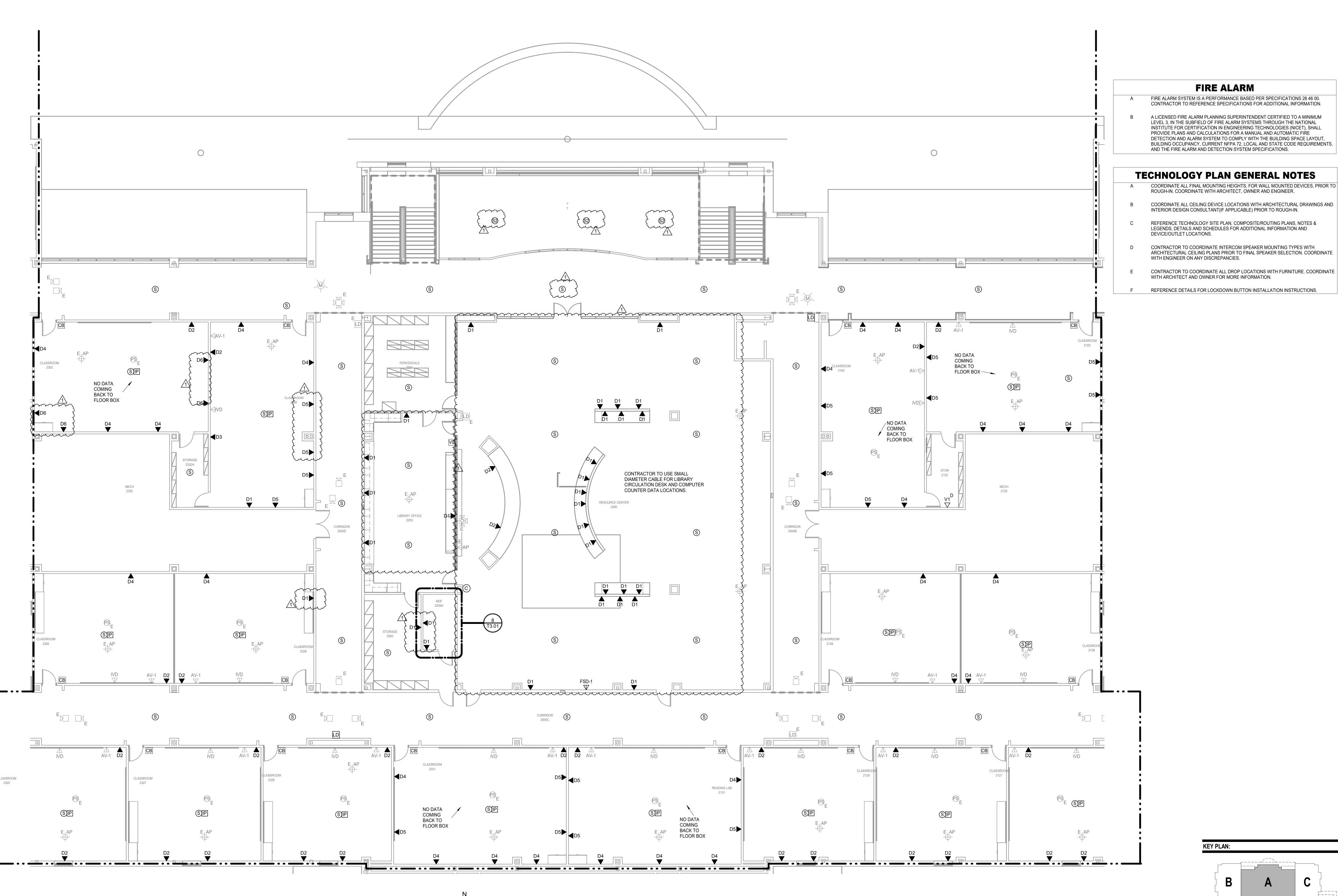
HOUSTON, TX 77064 tel: 281.664.1900 FOOD SERVICE EQUIPMENT

25317 INTERSTATE 45 THE WOODLANDS, TX 77380 tel: 281.350.2323 LANDSCAPE LANDSCAPE GROUP

17041 EL CAMINO REAL, STE 204 HOUSTON, TX 77058 tel: 281.486.4040

TECHNOLOGY SECOND FLOOR PLAN - AREA 'A'

KEY PLAN:



TECHNOLOGY FLOOR PLAN - LEVEL 2 - AREA A

Scale: 1/8" = 1'-0"

Salas O'Brien 10930 W. Sam Houston Pkwy North, Suite 900 Houston, TX 77064

Registration: F-4111

FIRE ALARM

FIRE ALARM SYSTEM IS A PERFORMANCE BASED PER SPECIFICATIONS 28 46 00. CONTRACTOR TO REFERENCE SPECIFICATIONS FOR ADDITIONAL INFORMATION.

A LICENSED FIRE ALARM PLANNING SUPERINTENDENT CERTIFIED TO A MINIMUM LEVEL 3, IN THE SUBFIELD OF FIRE ALARM SYSTEMS THROUGH THE NATIONAL INSTITUTE FOR CERTIFICATION IN ENGINEERING TECHNOLOGIES (NICET), SHALL

DETECTION AND ALARM SYSTEM TO COMPLY WITH THE BUILDING SPACE LAYOUT,

BUILDING OCCUPANCY, CURRENT NFPA 72, LOCAL AND STATE CODE REQUIREMENTS,

COORDINATE ALL FINAL MOUNTING HEIGHTS, FOR WALL MOUNTED DEVICES, PRIOR TO

COORDINATE ALL CEILING DEVICE LOCATIONS WITH ARCHITECTURAL DRAWINGS AND

PROVIDE PLANS AND CALCULATIONS FOR A MANUAL AND AUTOMATIC FIRE

AND THE FIRE ALARM AND DETECTION SYSTEM SPECIFICATIONS.

TECHNOLOGY PLAN GENERAL NOTES

ROUGH-IN. COORDINATE WITH ARCHITECT, OWNER AND ENGINEER.

INTERIOR DESIGN CONSULTANT(IF APPLICABLE) PRIOR TO ROUGH-IN.

DEVICE/OUTLET LOCATIONS.

WITH ENGINEER ON ANY DISCREPANCIES.

WITH ARCHITECT AND OWNER FOR MORE INFORMATION.

REFERENCE TECHNOLOGY SITE PLAN, COMPOSITE/ROUTING PLANS, NOTES &

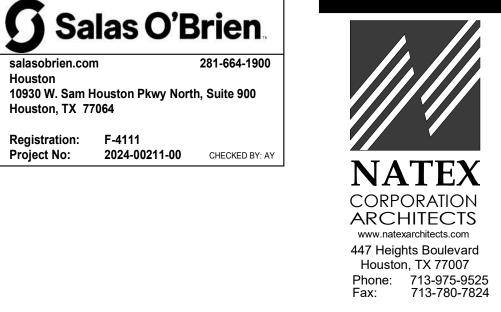
CONTRACTOR TO COORDINATE INTERCOM SPEAKER MOUNTING TYPES WITH

REFERENCE DETAILS FOR LOCKDOWN BUTTON INSTALLATION INSTRUCTIONS.

ARCHITECTURAL CEILING PLANS PRIOR TO FINAL SPEAKER SELECTION. COORDINATE

CONTRACTOR TO COORDINATE ALL DROP LOCATIONS WITH FURNITURE. COORDINATE

LEGENDS, DETAILS AND SCHEDULES FOR ADDITIONAL INFORMATION AND





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BID DOCUMENTS BRADLEY KALMANS 01/16/2025

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tel: 713.337.8881 **MEPT ENGINEER SALAS O'BRIEN** 10930 W. SAM HOUSTON PKWY. N SUITE 900

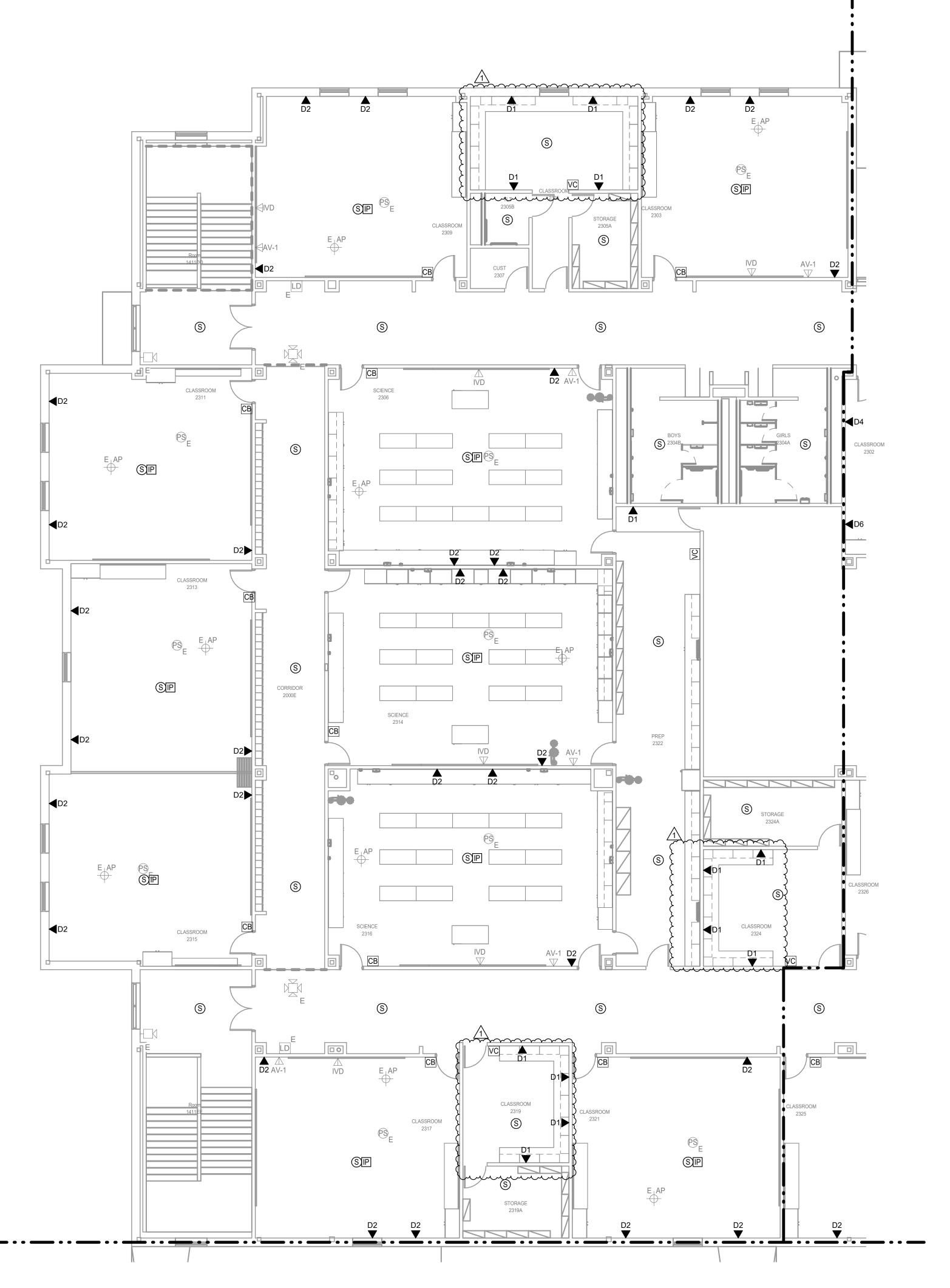
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TECHNOLOGY SECOND FLOOR PLAN - AREA 'B'



KEY PLAN:

1 TECHNOLOGY FLOOR PLAN - LEVEL 2 - AREA B
Scale: 1/8" = 1'-0"

Project No: 2024-00211-00 CHECKED BY: AY

Registration: F-4111

FIRE ALARM





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BID DOCUMENTS CIVIL ENGINEER

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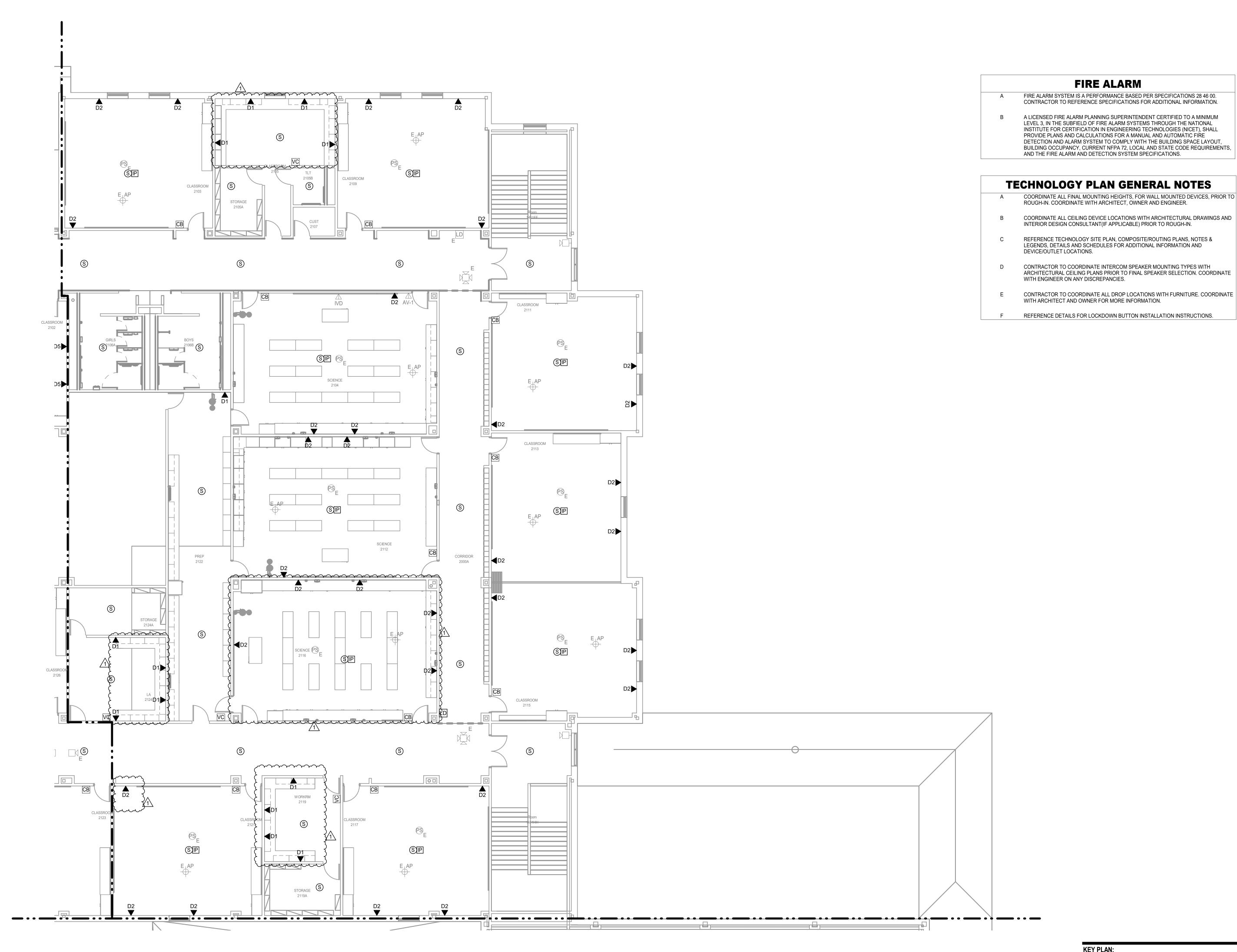
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FOOD SERVICE EQUIPMENT 25317 INTERSTATE 45 THE WOODLANDS, TX 77380 tel: 281.350.2323

LANDSCAPE LANDSCAPE GROUP

17041 EL CAMINO REAL, STE 204 HOUSTON, TX 77058 tel: 281.486.4040

TECHNOLOGY SECOND FLOOR PLAN - AREA 'C'



1 TECHNOLOGY FLOOR PLAN - LEVEL 2 - AREA C
Scale: 1/8" = 1'-0"

1 TE - 1ST FLOOR CEILING PLAN TH ARTS 1221

General Notes:

• All power conduit and fill shown on the "TE" series drawings are for diagrammatic purposes only. Refer to project electrical drawings for sizing and fill requirements.

Refer to sheet TE0.00 for cable key. All dimensions and loading shown are for diagrammatic purposes only. Verify all location dimensions with field conditions, and all loading with the structural engineer before construction or installation. Notify consultant of any changes

required. Interstitial steel shown on this drawing is to be designed by the project structural engineer and

provided by the project structural contractor. Miscellaneous steel above and beyond what is shown may be required for connection of stage lighting to roof steel. It is the responsibility of the theatrical lighting contractor to provide any miscellaneous steel and to coordinate this with the

general contractor. Theatrical Rigging contractor to verify the load capacity of the structure with the project structural

All power conduit and wire sizing per NEC and all applicable local codes.

CORPORATION ARCHITECTS www.natexarchitects.com 447 Heights Boulevard Houston, TX 77007 Phone: 713-975-9525 Fax: 713-780-7824



3701 Kirby Drive, Suite 830 Houston,TX 77098 tel 832.947.1038 fax 225.214.5365

CONSTRUCTION DOCUMENT

CIVIL ENGINEER BROOKS AND SPARKS, INC. 21020 PARK ROW

> KATY, TX 77449 tel: 281.578.9595

STRUCTURAL ENGINEER

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16212 W LITTLE YORK RD, CFISD PROJECT NO:

TE - CEILING PLAN TH ARTS 1221 TE11.12

KT.LPB.02 — 1A | 3/4" | KT.LOS.01 1M | BY EE | KT.LRP.01 KT.LPB.03 ------ 1A | 3/4" | KT.LOS.01 1M | BY EE | KT.LRP.01 KT.LPB.04 — 1A | 3/4" | KT.LOS.01 1M | BY EE | KT.LRP.01 KT.LPB.01 -- 1A | 3/4" | KT.LOS.01 1M BY EE | KT.LRP.01

General Notes:

• All power conduit and fill shown on the "TL" series drawings are for diagrammatic purposes only. Refer to project electrical drawings for sizing and fill requirements.

Refer to sheet TL0.00 for cable schedule. All dimensions and loading shown are for diagrammatic purposes only. Verify all location dimensions with field conditions, and all loading with the Structural Engineer before construction or installation. Notify Consultant of any changes

 Interstitial steel shown on this drawing is to be designed by the project Structural Engineer and provided by the project Structural Contractor. Miscellaneous steel above and beyond what is

shown may be required for connection of stage lighting to roof steel. It is the responsibility of the Theatrical Lighting Contractor to provide any miscellaneous steel and to coordinate this with the General Contractor.

Theatrical Lighting Contractor to verify the load capacity of the structure with the project Structural

All power conduit and wire sizing to be determined by EE per NEC and all applicable local codes. All cable runs for Type A cable shall not exceed 295 feet.

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CONSTRUCTION DOCUMENT

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tel: 281.578.9595 STRUCTURAL ENGINEER

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LANDSCAPE GROUP

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KAHLA MIDDLE SCHOOL 16212 W LITTLE YORK RD, HOUSTON, TEXAS 77084 CFISD PROJECT NO: 24-02-5750-R-RFP

