



2025-01-24

## ADDENDUM NO. 02

Date of Issuance: January 24, 2025

Project: **2024 Cypress Falls HS Renovation**  
Cypress-Fairbanks Independent School District

Issued by: Texas Arcadis Inc.  
P.O. Box 891209  
Houston, Texas 77289  
281-286-6605

Texas Arcadis Inc.  
Project No.: 202318

Prepared for: Prospective Proposers

### **PART A: NOTICE TO PROPOSERS:**

1. Receipt of this Addendum shall be acknowledged on the Proposal Form. Failure to do so may subject Proposers to disqualification. Each proposer shall make necessary adjustments and submit his proposal with full knowledge of all modifications, clarification, and supplemental data included therein.
2. This Addendum forms part of the Contract Documents and shall be incorporated integrally therewith. Where provisions of the following supplemental data differ from those of previously issued documents, this Addendum shall govern.
3. The following Contract Documents have been issued to date delineating the Work (Project).

|                        |                  |
|------------------------|------------------|
| Contract Documents     | January 13, 2025 |
| Addendum No. 01 (Arch) | January 21, 2025 |
4. This Addendum consists of: Eleven (11) 8-1/2x11 written pages, ten (10) 8-1/2x11 pages Spec Section(s) Form AC, 01 21 00, and forty-six (46) full-size New or Re-issued Sheets / Drawings as described in PARTS F and G below; as prepared by Texas Arcadis Inc. Total pages: Sixty-Seven (67).

### **PART B: GENERAL PROJECT CLARIFICATIONS**

*"This section is to clarify general questions/comments regarding the project."*

5. Pre-Proposal Conference
  - a. Pre-Proposal Sign-In sheet attached for information. (2 pages)

**PART C: CHANGES TO PRIOR ADDENDUM**

- 6. None

**PART D: CHANGES TO THE PROJECT MANUAL**

- 7. Table of Contents
  - a. Add Section 01 21 00 – Allowances.....1-8
  - b. Page 8, IV. Index of Drawings, add the following:

| <b>Sheet No.</b> | <b>Sheet Name</b>                               |
|------------------|---|
| A0.12            | Area 'J' 1 <sup>st</sup> Floor Demolition Plan  |
| A0.13            | Area 'T' 1 <sup>st</sup> Floor Demolition Plan  |
| A0.14            | Area 'Y2' 2 <sup>nd</sup> Floor Demolition Plan |
- 8. Form AC – Proposal Forms
  - a. Replace this section in its entirety (8 pages)
- 9. Section 01 21 00 – Allowances
  - a. Add this section in its entirety (2 pages)
- 10. Section 09 30 13 – Ceramic Tiling
  - a. Page 04, Part 2, Article 2.3, add paragraph D as follows:
    - D. Ceramic Wall Tile:
      - 01 Daltile “ColorMatch” series
        - a. Size(s): As indicated on interior finish legend
        - b. Finish: As indicated on interior finish legend
        - c. Color(s): As indicated on interior finish legend
        - d. Patterns shall consist of borders and other patterns as indicated on Drawings.
        - e. Cut tile as need to size indicated on drawings.
- 11. Section 09 61 44 – Polished Concrete (Reactive Chemical Concrete Stain)
  - a. Page 03, Part 2, Article 2.2, Paragraph B, Item 02, revise as follows: Metzger McGuire Spall Pro-RS88 **or Hi-Tech PE90M** – for cracks and spalls in excess of 1/8”.
- 12. Section 10 73 26 – Aluminum Walkway Coverings
  - a. Page 4, Part 2, Article 2.2, paragraph I, remove items 01 and 02, revise item 03 as follows:
    - 03 Super-Polyester 2-coat system - Aluminum Association Specification AAMA 2604-21/Color: ~~per color schedule~~ (provide ten (10) year finish warranty) **to be selected from manufacturer’s full range of standard colors.**
- 13. Section 12 32 16 – Manufactured Plastic-Laminate-Clad Casework
  - a. Page 13, Part 2, Article 2.8, add paragraph N to be as follows:
    - N. Countertop Support Bracket:
      - 01 EH series Countertop Support Bracket as manufactured by Rakks or approved equal.
        - a. One-piece construction
        - b. Rate 450 lb. minimum per bracket.
        - c. Size to be as required to support countertop.

- d. Color/Finish to be selected by Architect from standard line of colors.

**PART E: CHANGES TO THE DRAWINGS**

14. Sheet G0.00 - COVER SHEET
  - a. Add sheet to Sheet Index: A0.12 – Area ‘J’ 1st Floor Demolition Plan
  - b. Add sheet to Sheet Index: A0.13 – Area ‘T’ 1st Floor Demolition Plan
  - c. Add sheet to Sheet Index: A0.14 – Area ‘Y2’ 2<sup>nd</sup> Floor Demolition Plan
15. Sheet G0.01A – HC FIRE CODE REVIEW SHEET MAIN BLDG
  - a. Provide content for T.D.L.R. #, SHELL BUILDING PERMIT #, CIVIL PROJECT #
  - b. Add “2024” to project name.
  - c. Provide Seal and Signature to certify sheet
  - d. Provide updated sheet references for Fire Sprinkler plans, FDC, and Suppression System
16. Sheet G0.01B – HC FIRE CODE REVIEW SHEET VOCATIONAL BLDG
  - a. Provide content for T.D.L.R. #, SHELL BUILDING PERMIT #, CIVIL PROJECT #
  - b. Add “2024” to project name.
  - c. Provide Seal and Signature to certify sheet
  - d. Provide note stating “STUDENT POPULATION: 3,650 (UNCHANGED BY RENOVATION)” in Occupancy Type and Load chart
17. Sheet G0.01C – HC FIRE CODE REVIEW SHEET PRESSBOXES
  - a. Provide content for T.D.L.R. #, SHELL BUILDING PERMIT #, CIVIL PROJECT #
  - b. Add “2024” to project name.
  - c. Provide Seal and Signature to certify sheet
  - d. Provide note stating “STUDENT POPULATION: 3,650 (UNCHANGED BY RENOVATION)” in Occupancy Type and Load chart
18. Sheet G0.01D – HC FIRE CODE REVIEW SHEET STORAGE BLDG
  - a. Provide content for T.D.L.R. #, SHELL BUILDING PERMIT #, CIVIL PROJECT #
  - b. Add “2024” to project name.
  - c. Provide Seal and Signature to certify sheet
  - d. Provide note stating “STUDENT POPULATION: 3,650 (UNCHANGED BY RENOVATION)” in Occupancy Type and Load chart
  - e. Change occupancy type to “U” in Occupancy Type and Load chart.
  - f. Adjusted the types of construction, height and area limitations in building description.
  - g. Provide reference for where FDC is shown on CS3.04.
19. Sheet G0.01E – HC FIRE CODE REVIEW SHEET GREENHOUSE
  - a. Provide content for T.D.L.R. #, SHELL BUILDING PERMIT #, CIVIL PROJECT #
  - b. Add “2024” to project name.
  - c. Provide Seal and Signature to certify sheet

- d. Provide note stating "STUDENT POPULATION: 3,650 (UNCHANGED BY RENOVATION)" to Occupancy Type and Load chart
20. Sheet G1.02 – 1<sup>ST</sup> FLOOR LIFE SAFETY PLAN
- a. Provide missing or new type of room tags to rooms J103, J112, Q109, and M103.
  - b. Remove door capacity and OCC. Total from Door 31.
  - c. Added highlight to boxed annotation indicating new fire extinguishers in the Legend, main building, athletic storage building, greenhouse, and all three press boxes.
21. Sheet G1.04 – COMPOSITE SITE PHASING SHEET
- a. Added new curb ramp at the northwest entry near temporary kitchen equipment. Provide text that reads "NEW CURB RAMP, COMPLETED BY DEC. 2025."
22. Sheet G1.05 - 1<sup>ST</sup> FLOOR PHASING SHEET
- a. Added temporary dumpster outside current shop with text "TEMP. LOCATIONS FOR EXISTING DUMPSTER RELOCATE AT END OF SUMMER 2".
  - b. Added existing floor grates at the temporary cooler and freezer location.
23. Sheet G1.06 – 2<sup>ND</sup> FLOOR PHASING SHEET
- a. View revised to show cut off part of the building.
24. Sheet C0.04 – DEMO SITE PLAN – AREA 'S4'
- a. Revise demo keynote 6 in demo keynote legend, "EXISTING CURB AND FLATWORK TO BE DEMOLISHED."
  - b. Added dimensions to scope noted by demo keynote 6 near vocational building.
25. Sheet C0.05 – DEMO SITE PLAN – AREA 'S5'
- a. Revise demo keynote 6 in demo keynote legend, "EXISTING CURB AND FLATWORK TO BE DEMOLISHED."
  - b. Show demo scope for new curb ramp near temporary kitchen equipment at northwest entry. Add demo keynote 6 and a note, "RE: CS SHEETS FOR NEW CURB RAMP DIMENSIONS."
26. Sheet C1.00 - COMPOSITE SITE PLAN
- a. Revised to show new portable on site.
  - b. Add new curb ramp in Area S5.
27. Sheet C1.01 - SITE PLAN AREA 'S1'
- a. Revised site plan keynote 4.
  - b. Revised site plan keynote 14.
  - c. Revised site plan keynote 38.
  - d. Add keynote 4 near GATE-V to callout card reader.
28. Sheet C1.03 - SITE PLAN AREA 'S3'
- a. Revised site plan keynote 4.
  - b. Revised site plan keynote 14.
  - c. Revised site plan keynote 38.
  - d. Removed unnecessary annotations at Softball Press box.

29. Sheet C1.04 - SITE PLAN AREA 'S4'
  - a. Added dimension between existing portable and new portable.
  - b. Added dimensions between the parking stripes at the kitchen service yard.
  - c. Removed Keynote 3 from the kitchen service yard enlarged view.
  - d. Revised site plan keynote 4.
  - e. Revised site plan keynote 14.
  - f. Revised site plan keynote 38.
  - g. Relocated annotation of 8'H DEC fencing near Gate-C for legibility.
  - h. Add keynote 4 near GATE-B to callout card reader.
  
30. Sheet C1.05 - SITE PLAN AREA 'S5'
  - a. Added new curb ramp at the northwest entry.
  - b. Revised keynote 4.
  - c. Revised keynote 14.
  - d. Revised site plan keynote 38.
  
31. Sheet C1.07 - ENLARGED SITE PLAN – ATHLETIC STORAGE BUILDING
  - a. Revised column grid spacing for constructability. Provide additional dimensions.
  - b. Revise door swing of AS101-1 to swing out.
  - c. Added dimensions to elevations 23 and 24 for clarification on louver location.
  - d. Revise reference note on louvers in elevations 23 and 24 to read "24" X 22" INTAKE LOUVER, RE: C1.12 FOR LOUVER ELEVATION (2-E) AND SPECS".
  
32. Sheet C1.08 - ENLARGED SITE PLAN – GREENHOUSE
  - a. Dimensions regarding the thickness of concrete knee wall have been revised on details 1 and 6. Provide additional dimensions to paving.
  
33. Sheet C1.10 - CANOPY PLANS AND DETAILS
  - a. Details 4 and 11 were revised to include "DRAINAGE OUTLET" note.
  - b. Revise section call outs for details 7-10.
  
34. Sheet L1.00 – LANDSCAPE PLAN
  - a. Revised to show new portable on site.
  
35. Sheet A0.04 - AREA 'D' 1<sup>ST</sup> FLOOR DEMOLITION PLAN
  - a. Revise demo keynote 9.
  - b. Revise demo keynote 13.
  - c. Revise demo keynote 24.
  - d. Revise previous demo keynote 3 in rooms D100, D101, D102, D105, D110, D112, and D114 to be demo keynote 9.
  - e. Add demo keynotes 13 and 24 to room D106.
  - f. Add ceiling demo scope marked by demo keynote 42.
  
36. Sheet A0.10 - AREA 'A2' SECOND FLOOR DEMOLITION PLAN
  - a. Revise demo keynote 9.
  - b. Revise demo keynote 13.
  - c. Revise demo keynote 24.
  - d. Add demo keynotes 13 and 24 to room A221.
  
37. Sheet A2.02 – AREA 'B1' 1<sup>ST</sup> FLOOR PLAN
  - a. Added 6" CMU chase wall at the north side of secure storage room B130.
  - b. Revised reference detail on Notes – General Floor Plan, note 24.

- c. Revise keynote 4 in the keynote- floor plan legend.
  - d. Add note to "TOOTH-IN MASONRY" on corridor B100 side where G11 meets the existing brick.
38. Sheet A2.07 – AREA 'G1' 1<sup>ST</sup> FLOOR PLAN
- a. Added 6" CMU column wraps at the overhead coiling door openings of the kitchen area G120. Add "^" to indicate curb at this wall.
  - b. Removed detail 3.
  - c. Revised reference detail on Notes – General Floor Plan, note 24 to say "RE: STRUCT."
  - d. Revise keynote 4 in the keynote- floor plan legend.
  - e. Revised the 4" fur out to be 6" CMU (F10^).
39. Sheet A2.14 - AREA 'P1' 1<sup>ST</sup> FLOOR PLAN
- a. Removed keynote 29 from room P109.
  - b. Revised reference detail on Notes – General Floor Plan, note 24 to say "RE: STRUCT."
  - c. Revise keynote 4 in the keynote- floor plan legend.
40. Sheet A2.33 - DOOR SCHEDULES
- A. Doors A100-1 and A104-1, revise all info to be E.T.R. except comments section.
  - B. Revise Door A117-1 to be type-X door with G15 glass.
  - C. Doors D134-1, D135-1, D136-1, D137-1, D138-1, D139-1, D140-1, D141-1, revise comments to read New C.L. **wire mesh** door.
  - D. Revise glazing for A129-1 and A129-2 to G12.
  - E. Provide door sizing and elevation information for M100-2, M101-2, M102-1, M102-2.
  - F. Revise K110-1 and K110-2 to be aluminum doors and frames with type G12 glass. Revise frame dimensions and comments.
41. Sheet A6.01 – WALL SECTIONS
- a. Detail 2 has been removed from the sheet.
42. Sheet A6.02 – WALL SECTIONS
- a. Detail 2 – Annotation text have been revised.
  - b. Detail 3 – Annotation text have been revised.
  - c. Detail 3 – Graphics have been revised at the scheduled opening.
43. Sheet A6.03 – WALL SECTIONS
- a. Detail 7 - Annotation text have been revised.
44. Sheet A7.03 – INTERIOR ELEVATIONS
- A. Revised note on elevation 29/A7.03 to "PATCH AND MATCH TILE WITH TW-7 REINSTALL FIXTURES AS NEEDED."
45. Sheet A8.00 - CASEWORK SECTIONS
- a. Added details 18 and 19.
46. Sheet A8.01 - CASEWORK ELEVATIONS
- a. Added Countertop and casework finish (PL-3) to elevations 14 and 15.
  - b. Add detail callout 19/A8.00 to elevation 20.
  - c. Add detail callout 18/A8.00 to elevation 24.

- d. Added vertical dimensions and note for “METAL SHELVING, RE: SPECS” to elevation 26.
47. Sheet A9.01 – FRAME ELEVATIONS
- A. Revised glass type to G12 for lower 6 windows for elevation 2-E.
  - B. Added note to elevation 3-E, “G12 @ A129-B”.
48. Sheet A9.02 – FRAME OPENING DETAILS
- a. Detail 20 – Annotation text have been revised.
  - b. Detail 21 – Scheduled frame and glazing revised.
  - c. Detail 22 – Scheduled frame and glazing revised.
  - d. Detail 26 – Scheduled frame and glazing revised.
  - e. Remove detail 27.
49. Sheet A10.01 - AREA ‘A1’ 1<sup>ST</sup> FLOOR RCP
- a. Section cuts have been removed from sheet.
  - b. Dimensions were added to the cord reels marked with keynote 1.
  - c. Added note, “1-HR RATED CLG. ASSEMBLY” for rated ceilings in A116 corridor.
50. Sheet A10.02 - AREA ‘B1’ 1<sup>ST</sup> FLOOR RCP
- a. Section cuts have been removed from sheet.
  - b. Add note, “CUBICLE CURTAIN, RE: SPECS”, pointing at curtains.
  - c. Added note, “1-HR RATED CLG. ASSEMBLY” for rated ceilings in corridor.
51. Sheet A10.03 - AREA ‘D1’ 1<sup>ST</sup> FLOOR RCP
- a. Section cuts have been removed from sheet.
  - b. Dimensions were added to the cord reels marked with keynote 1.
  - c. Added note, “1-HR RATED CLG. ASSEMBLY” for rated ceilings in rooms D121, D125, D126, D127, and D129.
  - d. Adjusted Ceiling grid around exhaust hoods.
  - e. Revised Keynote 3 for exhaust hoods.
  - f. Add patch to ACT around new exhaust hoods and CMU wall. Note to reuse existing ceiling tiles. Note for “1-HR RATED CLG. ASSEMBLY”.
52. Sheet A10.04 - AREA ‘G1’ 1<sup>ST</sup> FLOOR RCP
- a. Section cuts have been removed from sheet.
  - b. Adjusted Ceiling grid around exhaust hoods and new fur out.
  - c. Revised Keynote 3 for exhaust hoods.
53. Sheet A10.05 - AREA ‘K1’ 1<sup>ST</sup> FLOOR RCP
- a. Section cuts have been removed from sheet.
  - b. Added note, “1-HR RATED CLG. ASSEMBLY” for rated ceilings in rooms K102 and K111.
54. Sheet A10.06 - AREA ‘P1’ 1<sup>ST</sup> FLOOR RCP
- a. Added note, “1-HR RATED CLG. ASSEMBLY” for rated ceilings in rooms P105, P106, P107, P108, P110, P111, P112, P113, P114, P115 and P116.
55. Sheet A11.00 – INTERIOR FINISH LEGEND
- a. Added new PL-3.
  - b. Shifted TW-1A – TW-6 to new column, added TW-7.
56. Sheet A11.04 - AREA ‘G’ 1<sup>ST</sup> FLOOR PLAN FINISH PLAN

- a. Floor finish pattern dimensions have been revised, revise floor finish around new fur out.
- b. Revised tile origin point.
- c. Revise enlarged view name to "SERVING FLOOR PATTERN DETAILS".

**PART F: RE-ISSUED SHEETS**

57. Sheet G0.00 - COVER SHEET
58. Sheet G0.01A – HC FIRE CODE REVIEW SHEET MAIN BLDG
59. Sheet G0.01B – HC FIRE CODE REVIEW SHEET VOCATIONAL BLDG
60. Sheet G0.01C – HC FIRE CODE REVIEW SHEET PRESSBOXES
61. Sheet G0.01D – HC FIRE CODE REVIEW SHEET STORAGE BLDG
62. Sheet G0.01E – HC FIRE CODE REVIEW SHEET GREENHOUSE
63. Sheet G1.02 – 1<sup>ST</sup> FLOOR LIFE SAFETY PLAN
64. Sheet G1.04 – COMPOSITE SITE PHASING SHEET
65. Sheet G1.05 - 1<sup>ST</sup> FLOOR PHASING SHEET
66. Sheet G1.06 – 2<sup>ND</sup> FLOOR PHASING SHEET
67. Sheet C0.04 – DEMO SITE PLAN – AREA 'S4'
68. Sheet C0.05 – DEMO SITE PLAN – AREA 'S5'
69. Sheet C1.00 - COMPOSITE SITE PLAN
70. Sheet C1.01 - SITE PLAN AREA 'S1'
71. Sheet C1.03 - SITE PLAN AREA 'S3'
72. Sheet C1.04 - SITE PLAN AREA 'S4'
73. Sheet C1.05 - SITE PLAN AREA 'S5'
74. Sheet C1.07 - ENLARGED SITE PLAN – ATHLETIC STORAGE BUILDING
75. Sheet C1.08 - ENLARGED SITE PLAN – GREENHOUSE
76. Sheet C1.10 - CANOPY PLANS AND DETAILS
77. Sheet L1.00 – LANDSCAPE PLAN
78. Sheet A0.04 - AREA 'D' 1<sup>ST</sup> FLOOR DEMOLITION PLAN
79. Sheet A0.10 - AREA 'A2' SECOND FLOOR DEMOLITION PLAN
80. Sheet A2.02 – AREA 'B1' 1<sup>ST</sup> FLOOR PLAN
81. Sheet A2.07 – AREA 'G1' 1<sup>ST</sup> FLOOR PLAN
82. Sheet A2.14 - AREA 'P1' 1<sup>ST</sup> FLOOR PLAN
83. Sheet A2.33 - DOOR SCHEDULES
84. Sheet A6.01 – WALL SECTIONS
85. Sheet A6.02 – WALL SECTIONS
86. Sheet A6.03 – WALL SECTIONS
87. Sheet A7.03 – INTERIOR ELEVATIONS
88. Sheet A8.00 - CASEWORK SECTIONS
89. Sheet A8.01 - CASEWORK ELEVATIONS
90. Sheet A9.01 – FRAME ELEVATIONS
91. Sheet A9.02 – FRAME OPENING DETAILS
92. Sheet A10.01 - AREA 'A1' 1<sup>ST</sup> FLOOR RCP
93. Sheet A10.02 - AREA 'B1' 1<sup>ST</sup> FLOOR RCP
94. Sheet A10.03 - AREA 'D1' 1<sup>ST</sup> FLOOR RCP
95. Sheet A10.04 - AREA 'G1' 1<sup>ST</sup> FLOOR RCP
96. Sheet A10.05 - AREA 'K1' 1<sup>ST</sup> FLOOR RCP
97. Sheet A10.06 - AREA 'P1' 1<sup>ST</sup> FLOOR RCP
98. Sheet A11.00 – INTERIOR FINISH LEGEND
99. Sheet A11.04 - AREA 'G' 1<sup>ST</sup> FLOOR PLAN FINISH PLAN



**PART G: NEW ISSUED SHEETS**

- 100. Sheet A0.12 – Area 'J' 1<sup>st</sup> Floor Demolition Plan
- 101. Sheet A0.13 – Area 'T' 1<sup>st</sup> Floor Demolition Plan
- 102. Sheet A0.14 – Area 'Y2' 2<sup>nd</sup> Floor Demolition Plan

**END OF ADDENDUM NO. 02**



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# 2024 Cy-Falls H.S Renovation Pre-Proposal Meeting Sign-In Sheet

Date: January 24, 2025

Meeting Time: 09:00 AM

Meeting Location: Cypress Fairbanks Facilities and Construction Room 147

Project Name: 2024 Cy-Falls HS Renovations

Project No.: 202318

Meeting Subject: Pre-Proposal

Project Phase: BD

| NAME             | COMPANY           | PHONE        | EMAIL                             |
|------------------|-------------------|--------------|-----------------------------------|
| Trevor Cella     | Sala Opera        | 281 664-1900 | Trevor.Cella@sala.com             |
| Greg Legg        | Brookside Sports  | 281-578-9585 | glegg@brookside.com               |
| Richelle Perry   | IC1               | 281-355-5151 | richelle@ic1construction.com      |
| Brandon Gonzalez | Patriot           |              | Brandon@Patriotllc.us             |
| ted tou          | Patriot           | 832-746-0934 | ted@patriotllc.us                 |
| Harry Giannaris  | Raba Kistner      | 713-996-8900 | hgiannaris@rklci.com              |
| Jacob Whitman    | TriStar Glass     | 409-504-5883 | TriStar409@yahoo.com              |
| Robert Snoddy    | MissinKast Supply | 832 976 4020 | RobertS@MissinKast.com            |
| Phillip Cans     | Prime Contractors | 281 999 0175 | estimator@primecontractorsinc.com |
| DAN CROSS        | CFSD              |              |                                   |



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# 2024 Cy-Falls H.S Renovation Pre-Proposal Meeting Sign-In Sheet

Date: January 24, 2025

Meeting Time: 09:00 AM

Meeting Location: Cypress Fairbanks Facilities and Construction Room 147

Project Name: 2024 Cy-Falls HS Renovations

Project No.: 202318

Meeting Subject: Pre-Proposal

Project Phase: BD

| NAME                              | COMPANY            | PHONE          | EMAIL                            |
|-----------------------------------|--------------------|----------------|----------------------------------|
| CHUDI ABARJE                      | ARCADIS            | 201. 286. 6605 | chudi.abarje@arcadis.com         |
| Lucia Paggioli                    | Arcadis            | 832 614 7267   | lucia.paggioli.pardo@arcadis.com |
| Blake Norris                      | Arcadis            | 281 286 6605   | blake.norris@arcadis.com         |
| Amy Hayes                         | CFISD              |                |                                  |
| Allen Key                         | CFISD              | 346-610-2658   | allen.key@cfisd.net              |
| Shannon Thompson                  | CFISD              |                |                                  |
| Jasun Yness                       | Millennium         |                | Estimating@mys-team.com          |
| <del>Shannon</del> Brandon Watson | PI                 | 713 688 7330   | bid@dfconstruction.com           |
| Sarah Hecober                     | SACHS DESIGN       | 281 664 1900   | Sarah.Hecober@sachsdesign.com    |
| Muriqla Gonzalez                  | E.F.H. INSIGHT TEN | 832 874 3971   | myoffice@efhten.com              |

**FORM AC**  
**COMPETITIVE SEALED PROPOSAL FORM - BASE PROPOSAL**

**2024 CY FALLS HS RENOVATION**  
**Cypress-Fairbanks Independent School District**  
**Cypress-Fairbanks I.S.D. Proposal Number: 24-02-5742-R-RFP**  
Attn: Mr. Jesse Clayburn, Asst. Superintendent of Facilities & Construction

Submitted by: \_\_\_\_\_

Date: \_\_\_\_\_ Phone No.: \_\_\_\_\_

To: Board of Trustees  
Cypress-Fairbanks Independent School District  
Facilities and Construction  
11430-B Perry Road  
Houston, Texas 77064

Having examined Proposal and Contract Documents prepared by **Texas Arcadis, Inc.** dated **January 13, 2025**, and having examined site conditions, the undersigned proposes to furnish all labor, equipment and materials and perform all work for the completion of the above-named project for the sum indicated below.

In submitting his Proposal, the undersigned agrees to the following:

1. Hold Base Proposal open for acceptance sixty (60) days.
2. Accept right of Owner to reject any or all proposals, to waive formalities and to accept proposal which Owner considers most advantageous.
3. Enter into and execute the contract, if awarded, for the Base Proposal and accepted Alternate Proposals.
4. Complete work in accordance with the Contract Documents within the stipulated contract time.
5. By signing, the undersigned affirms that, to the best of his knowledge, the Proposals have been arrived at independently and is submitted without collusion with anyone to obtain information or gain any favoritism that would in any way limit competition or give an unfair advantage over respondents in the award of this proposal.

**I. BASE PROPOSAL**

A. Undersigned agrees to complete the Work for the lump sum amount of:

\_\_\_\_\_ Dollars \$ \_\_\_\_\_  
(Amount written in words governs) (Amount in figures)

**II. ALLOWANCES**

Undersigned certifies that the allowances specified in Section 01 21 00 are included in the Base Proposal and agrees that unexpended balance of allowance sums will revert to Owner in the final settlement of the contract.

**III. CONTRACT TIME**

By submittal of this proposal, the undersigned stipulates that the Base Proposal includes all costs necessary to attain Substantial Completion of the Work on or before the date stipulated in AIA Document A101™-2017.

**THIS PAGE OF PROPOSAL FORM MUST BE SUBMITTED BY 2:00 PM, FEBRUARY 16, 2025**  
**COMPETITIVE SEALED PROPOSAL FORM - BASE PROPOSAL**

**IV. ADDENDA**

Undersigned acknowledges receipt of Addenda Nos. \_\_\_\_\_ dated \_\_\_\_\_, \_\_\_\_\_.

**V. CHANGES IN THE WORK**

Undersigned understands that changes in the work shall be performed in accordance with the Supplementary Conditions.

**VI. LIQUIDATED DAMAGES**

By submittal of this proposal, the undersigned stipulates an agreement that if Substantial Completion of the Work is not attained on or before the date stipulated in AIA Document A101™-2017, the undersigned and his Surety shall be liable for and shall pay the Owner the sums stipulated as Liquidated Damages as defined in AIA Document A201™-2017.

It is understood that the right is reserved by the Owner to reject any or all proposals, or waive any informalities in the proposal process.

\_\_\_\_\_  
Authorized Signature

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Title

\_\_\_\_\_  
Name of Contracting Firm

\_\_\_\_\_  
Address

\_\_\_\_\_  
Telephone

\_\_\_\_\_  
Date

(Seal, if a Corporation)  
State whether Corporation,  
Partnership or Individual

**FORM AC**  
**COMPETITIVE SEALED PROPOSAL FORM - ALTERNATE PROPOSALS**

**2024 CY FALLS HS RENOVATION**  
**Cypress-Fairbanks Independent School District**  
**Cypress-Fairbanks I.S.D. Proposal Number: 24-02-5742-R-RFP**  
Attn: Mr. Jesse Clayburn, Asst. Superintendent of Facilities & Construction

Submitted by: \_\_\_\_\_

Date: \_\_\_\_\_ Phone No.: \_\_\_\_\_

To: Board of Trustees  
Cypress-Fairbanks Independent School District  
Facilities and Construction  
11430-B Perry Road  
Houston, Texas 77064

Having examined Proposal and Contract Documents prepared by **Texas Arcadis Inc**, dated **January 13, 2025**, and having examined site conditions, the undersigned proposes to furnish all labor, equipment and materials and perform all work for the completion of the above-named project for the sum indicated below.

In submitting his Proposal, the undersigned agrees to the following:

1. Hold Alternate Proposal open for acceptance one hundred twenty (120) days.
2. Accept right of Owner to reject any or all proposals, to waive formalities and to accept proposal which Owner considers most advantageous.
3. Enter into and execute the contract, if awarded, for the Base Proposal and accepted Alternate Proposals.
4. Complete work in accordance with the Contract Documents within the stipulated contract time.
5. By signing, the undersigned affirms that, to the best of his knowledge, the Proposals have been arrived at independently and is submitted without collusion with anyone to obtain information or gain any favoritism that would in any way limit competition or give an unfair advantage over respondents in the award of this proposal.

**I. ALTERNATES**

If the Owner accepts any or all of the Alternates, the undersigned agrees to modify the Base Proposal as stipulated below:

A. Alternate Number 1 – **Base Bid Adjustment**

ADD/DEDUCT \_\_\_\_\_ Dollars \$ \_\_\_\_\_  
(Amount written in words governs) (Amount in figures)

B. Alternate Number 2A – **Chillers by Carrier**

ADD/DEDUCT \_\_\_\_\_ Dollars \$ \_\_\_\_\_  
(Amount written in words governs) (Amount in figures)

C. Alternate Number 2B – **Chillers by Daikin**

ADD/DEDUCT \_\_\_\_\_ Dollars \$ \_\_\_\_\_  
(Amount written in words governs) (Amount in figures)

**THIS PAGE OF PROPOSAL FORM MUST BE SUBMITTED BY 3:00 PM, FEBRUARY 16, 2025**  
**COMPETITIVE SEALED PROPOSAL FORM - ALTERNATE PROPOSAL**

D. Alternate Number 2C – *Chillers by Trane*

ADD/DEDUCT \_\_\_\_\_ Dollars \$ \_\_\_\_\_  
 (Amount written in words governs) (Amount in figures)

**II. UNIT PRICES**

If the Owner accepts any or all of the Alternates, the undersigned agrees to add or subtract the following units of work:

**UNIT PRICE 1: ELECTRICAL DUPLEX RECEPTACLE \$ \_\_\_\_\_ / each**

**UNIT PRICE 2: DATA DROP \$ \_\_\_\_\_ / each**

**UNIT PRICE 3: 4 ½” THICK CONCRETE WALK PER SQUARE FOOT \$ \_\_\_\_\_ / sq. ft**

**UNIT PRICE 4: 7” THICK CONCRETE DRIVE PER SQUARE FOOT \$ \_\_\_\_\_ /sq. ft**

**UNIT PRICE 5: CHAIN LINK FENCE**

- |    |                                |            |             |
|----|--------------------------------|------------|-------------|
| 1. | 4-foot-high fence              | \$ _____ / | linear foot |
| 2. | 4-foot-high x 3-foot-wide gate | \$ _____ / | per leaf    |
| 3. | 4-foot-high x 6-foot-wide gate | \$ _____ / | per leaf    |
| 4. | 6-foot-high fence              | \$ _____ / | linear foot |
| 5. | 6-foot-high x 3-foot-wide gate | \$ _____ / | per leaf    |
| 6. | 6-foot-high x 6-foot-wide gate | \$ _____ / | per leaf    |

**UNIT PRICE 6: LIFE SAFETY DEVICES (including all associated cabling and programming)**

- |     |                                |          |      |
|-----|--------------------------------|----------|------|
| 1.  | Exterior Horn to Speaker       | \$ _____ | each |
| 2.  | Interior Horn to Speaker       | \$ _____ | each |
| 3.  | Interior Visual Strobe         | \$ _____ | each |
| 4.  | Interior Speaker/Visual Strobe | \$ _____ | each |
| 5.  | Smoke Detector                 | \$ _____ | each |
| 6.  | Heat Detector                  | \$ _____ | each |
| 7.  | Manual Pull Station            | \$ _____ | each |
| 8.  | Stopper 2 Pull Station Cover   | \$ _____ | each |
| 9.  | Annunciator Panel              | \$ _____ | each |
| 10. | Duct Detector                  | \$ _____ | each |
| 11. | Relay                          | \$ _____ | each |
| 12. | Supervisory                    | \$ _____ | each |
| 13. | Waterflow                      | \$ _____ | each |
| 14. | Amplifier                      | \$ _____ | each |

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15 Remote Power Supply \$ \_\_\_\_\_ each

**UNIT PRICE 7: 4" RESILIENT BASE 100 LINEAR FEET \$ \_\_\_\_\_ / linear foot**

**UNIT PRICE 8: GRAPHIC SIGNS**

- 1. Sign Type A \$ \_\_\_\_\_ / each
- 2. Sign Type B \$ \_\_\_\_\_ / each
- 3. Sign Type C \$ \_\_\_\_\_ / each
- 4. Sign Type D \$ \_\_\_\_\_ / each
- 5. Sign Type E \$ \_\_\_\_\_ / each
- 6. Sign Type F \$ \_\_\_\_\_ / each
- 7. Max Occupancy Signage \$ \_\_\_\_\_ / each
- 8. FDC Connection Signage \$ \_\_\_\_\_ / each
- 9. Wayfinding Signage (2 lines text) \$ \_\_\_\_\_ / each
- 10. Wayfinding Signage (3 lines text) \$ \_\_\_\_\_ / each
- 11. Wayfinding Signage (4 lines text) \$ \_\_\_\_\_ / each

**UNIT PRICE 9: PAINTING** \$ \_\_\_\_\_ /sq. ft

**UNIT PRICE 10: EXIT SIGN** \$ \_\_\_\_\_ /each

**UNIT PRICE 11: ORNAMENTAL FENCE**

- 1. 6-foot-high fence \$ \_\_\_\_\_ / linear foot
- 2. 6-foot-high x 4-foot-wide gate \$ \_\_\_\_\_ / per leaf
- 3. 6-foot-high x 6-foot-wide gate \$ \_\_\_\_\_ / per leaf

**UNIT PRICE 12: SECURITY FILM.**

- 1. Armoured One \$ \_\_\_\_\_ / Square foot

**UNIT PRICE 13: ACCESS CONTROL/ INTRUSION DEVICES** \$ \_\_\_\_\_ / each

**UNIT PRICE 14: DATA INFRASTRUCTURE** \$ \_\_\_\_\_ / each

**UNIT PRICE 15: REPLACE UNDERREAMED FOOTINGS WITH STRAIGHT SHAFT DRILLED FOOTING**

- 1. 36-inch diameter \$ \_\_\_\_\_ / LF
- 2. 42-inch diameter \$ \_\_\_\_\_ / LF
- 3. 48-inch diameter \$ \_\_\_\_\_ / LF
- 4. 60-inch diameter \$ \_\_\_\_\_ / LF

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**UNIT PRICE 16: WALL SLEEVES**

\$ \_\_\_\_\_ / linear foot

**III. CONTRACTOR'S PROJECT TEAM MEMBERS**

The undersigned proposes the following project team members (include resumes):

Project Manager \_\_\_\_\_

Superintendent \_\_\_\_\_

Asst. Superintendent(s) \_\_\_\_\_

Project Engineer \_\_\_\_\_

**III. PROPOSED SUBCONTRACTORS**

The undersigned proposes the following subcontractors. Note – Not all trades listed below will apply to every project.

Paving: \_\_\_\_\_

Abatement: \_\_\_\_\_

Dampproofing/insulator: \_\_\_\_\_

Masonry: \_\_\_\_\_

Roofing: \_\_\_\_\_

Drywall: \_\_\_\_\_

Casework: \_\_\_\_\_

Concrete: \_\_\_\_\_

Plumbing: \_\_\_\_\_

Mechanical: \_\_\_\_\_

Electrical: \_\_\_\_\_

Fire Alarm: \_\_\_\_\_

Sprinkler: \_\_\_\_\_

Low Voltage/Security: \_\_\_\_\_

Site Utilities: \_\_\_\_\_

Earthwork/Site Prep: \_\_\_\_\_

Fencing: \_\_\_\_\_

Pre-Engineered Metal Building: \_\_\_\_\_

Glazing: \_\_\_\_\_

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It is understood that the right is reserved by the Owner to reject any or all proposals, or waive any informalities in proposal process.

(Seal, if a Corporation)  
State whether Corporation,  
Partnership or Individual

\_\_\_\_\_  
Authorized Signature

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Title

\_\_\_\_\_  
Name of Contracting Firm

\_\_\_\_\_  
Address

\_\_\_\_\_  
Telephone

\_\_\_\_\_  
Date

**END OF FORM**

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**SECTION 01 21 00**

**ALLOWANCES**

CONDITIONS OF THE CONTRACT AND DIVISION 1, as applicable, apply to the Section.

**PART 1 – GENERAL**

Refer to Document AB for Substitutions of Materials and Equipment



2025-01-24

**1.1 CONDITIONS**

- A. ALLOWANCES shall be included in the Contract sum as specified within this Specification Section in paragraph 3.1 below. These sums shall be reconciled as per AIA Document A201™-2017, as amended.
- B. Where allowances are for materials only, the cost of delivery to the job site may be funded from such allowance.
- C. Allowances are hereby established for the items in the amounts listed below. If any items exceed the amount listed, such excess cost shall be paid by the Owner. If any items cost less than the amount listed, the Owner shall be given a credit in the amount of the difference. Costs of items listed below are to be net costs to the General Contractor or Subcontractor, whichever makes the direct purchase.
- D. The Contractor shall include in the Contract Sum all allowances stated in the Contract Documents. These allowances shall cover the net cost of the materials and equipment delivered and unloaded at the site, and all applicable taxes.
  - 1. The Contractor's handling costs on site, labor, installation cost, estimating, labor burden, overhead, profit and other expenses contemplated for the original allowances shall be included in the Contractor's Sum and not in the allowance. Subcontractor and sub-subcontractor markups are allowable as provided in AIA Document A201™-2017, as amended.
  - 2. The Contractor shall cause the work covered by these allowances to be performed for such amounts and by such persons as the Architect may direct, but he will not be required to employ persons against whom he makes reasonable objection.
  - 3. The cost, when determined, is more than or less than the allowance, the Contract Sum shall be adjusted accordingly by Change Order which may include additional handling costs on the site, labor, installation costs, overhead, profit, cleaning, as-builts, standard warranty, cost to update electronic record documents and other expenses resulting to the Contractor from any increase over the original allowance if approved.
- E. Contractor shall proceed with the work in question only after receiving written directions executed by the Owner and the Architect. Owner will not be obligated to pay the cost of any work without prior authorization. This written directive shall consist of Owner's representative and Architect's signature on Change Proposal Request document submitted by General Contractor with any applicable amendments if required indicating such approval. The Architect and Owner shall respond in a timely manner to document approved Change Proposal Request (CPR) expenditures and credits from such allowances within the contract. The Contractor may request payment for such approved expenditures only upon completion of the work and the completion of a fully executed CPR formally documenting allowance expenditure credits. The Contractor's overhead and profit relative to these allowance sums and work performed in accordance herewith, shall be included in the total Proposal prices, thus not included in the allowance sum. Unexpended balance of allowance sums shall revert to the Owner by Change Order in the final settlement of the contract.

## **PART 2 - PRODUCTS**

Not Used

## **PART 3 - EXECUTION**

### **3.1 ALLOWANCES**

- A. Owner's Betterment Allowance: \$2,745,000.00
1. Contractor shall include the amount indicated above in his Base Proposal as a contingency to cover the cost of additional scope of work. Contractor shall proceed with the work in question only after receiving written directions executed by the Owner and the Architect. Owner will not be obligated to pay the cost of any work performed without prior written authorization. The Contractor's overhead and profit relative to this contingency sum and work performed in accordance herewith, shall be included in the total Base Proposal price, but not included in the contingency sum. Unexpended balance of contingency sums shall revert to the Owner via Change Order during project closeout. Other scopes to be funded from this allowance may include, but are not limited to:

- Betterment
- Controls (HVAC)
- Relocation Services
- Artificial Turf Football Field Replacement @ 5%
- MUD/ Utility
- Emergency Radio Amplification
- TDLR
- Video Surveillance License Upgrade
- Fire Marshall items
- Promethean Board Move

**END OF SECTION**

# 2024 CYPRESS FALLS HIGH SCHOOL RENOVATION

2024 CYPRESS FALLS HIGH SCHOOL RENOVATIONS  
 CYPRESS-FAIRBANKS INDEPENDENT SCHOOL DISTRICT  
 CYPRESS-FAIRBANKS I.S.D. PROPOSAL NUMBER.: 24-02-5742-R-RFP



## BOARD OF TRUSTEES

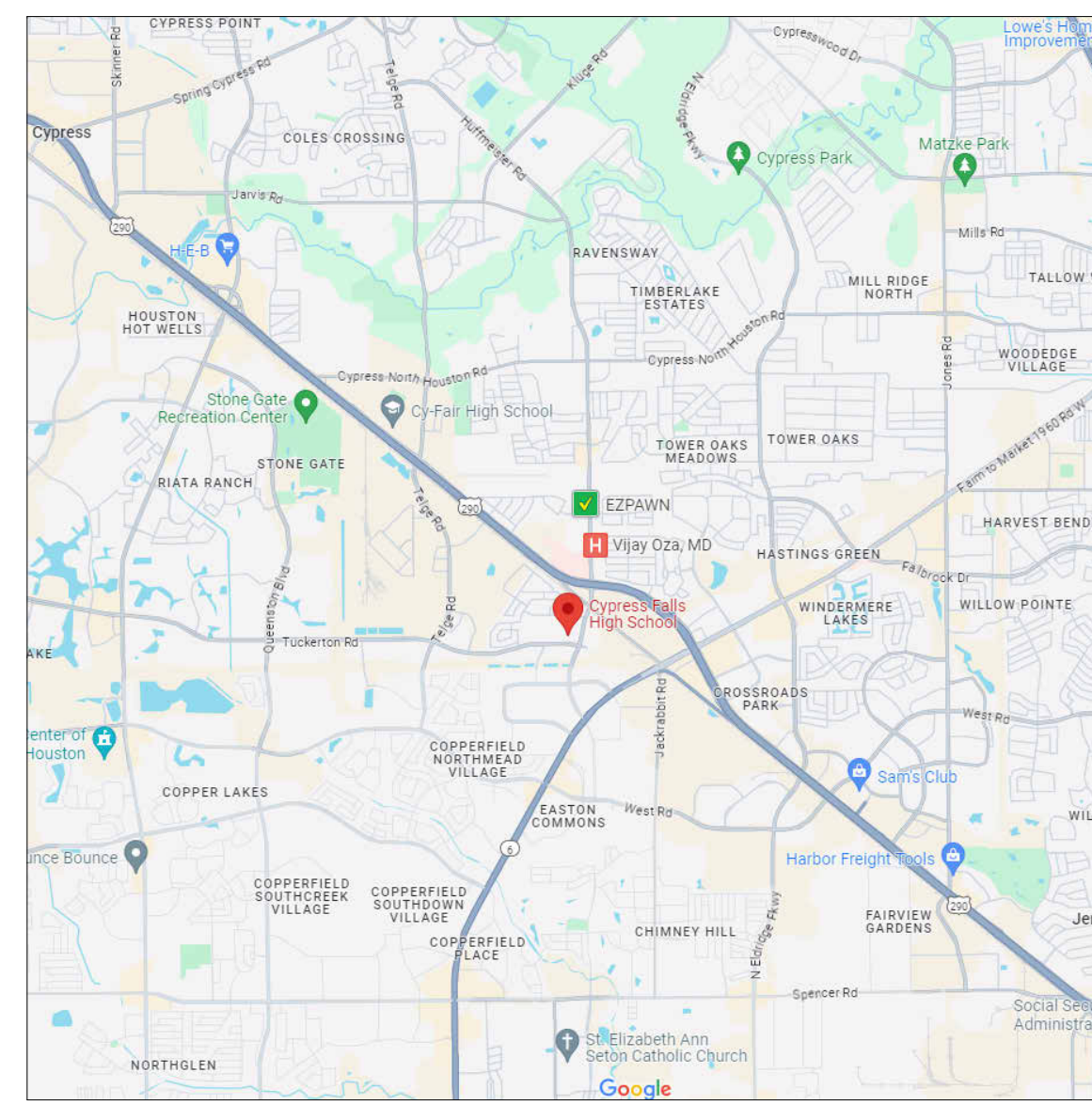
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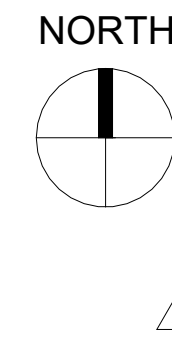
## ADMINISTRATIVE STAFF

Dr. Douglas Killian  
 Linda Macias, Ed. D.  
 Karen Smith  
 Dr. Deborah Stewart, Ed. D.  
 Teresa Hull  
 Christina Cole  
 Matt Morgan  
 Marney Collins Sims  
 Jesse Clayburn  
 Dan Grosz, ALEP  
 Amy Hayes  
 Shannon Thompson  
 Steven Bryan

Superintendent  
 Chief Academic Officer/Associate Superintendent  
 Chief Financial Officer/Associate Superintendent  
 Chief of Employee & Student Services/Associate Superintendent  
 Chief of Staff/Associate Superintendent  
 Chief Officer for School Leadership/Associate Superintendent  
 Chief Operations Officer/Associate Superintendent  
 General Council  
 Assistant Superintendent of Facilities & Construction  
 Director of Design & Facilities Planning  
 Director of Contract Management  
 Director of Project Management  
 Director of Construction Field Services



SITE LOCATION MAP



| SHEET INDEX |   | SHEET INDEX |   | SHEET INDEX |  |
|-------------|---|-------------|---|-------------|--|
| SHEET #     | SHEET NAME  | SHEET #     | SHEET NAME                                      | SHEET #     | SHEET NAME   |
| G0.00       | COVER SHEET   | A2.19       | AREA 'U' 1ST FLOOR PLAN                         | E6.01       | ELECTRICAL PARTIAL DEMOLITION ONE-LINE DIAGRAM         |
| G0.01A      | HC FIRE CODE REVIEW SHEET MAIN BLDG                                   | A2.20       | AREA 'W' 1ST FLOOR PLAN                         | E6.02       | ELECTRICAL PARTIAL DEMOLITION ONE-LINE DIAGRAM         |
| G0.01B      | HC FIRE CODE REVIEW SHEET VOCATIONAL BLDG                             | A2.21       | AREA 'X' 1ST FLOOR PLAN                         | E7.01       | ELECTRICAL PANEL SCHEDULES                             |
| G0.01C      | HC FIRE CODE REVIEW SHEET PRESSBOXES                                  | A2.22       | AREA 'Y' 1ST FLOOR PLAN                         | E7.02       | ELECTRICAL PANEL SCHEDULES                             |
| G0.01D      | HC FIRE CODE REVIEW SHEET STORAGE BLDG                                | A2.23       | AREA 'Z' 2ND FLOOR PLAN                         | E7.03       | ELECTRICAL PANEL SCHEDULES                             |
| G0.01E      | HC FIRE CODE REVIEW SHEET GREENHOUSE                                  | A2.24       | AREA '2' 2ND FLOOR PLAN                         | E7.04       | ELECTRICAL PANEL SCHEDULES                             |
| G1.00       | GENERAL CODE INFORMATION  | A2.25       | AREA '2' 2ND FLOOR PLAN                         | E7.05       | ELECTRICAL PANEL SCHEDULES                             |
| G1.01A      | UL DESIGN SHEET 1 OF 6  | A2.26       | AREA 'L' 2ND FLOOR PLAN                         | E7.06       | ELECTRICAL PANEL SCHEDULES                             |
| G1.01B      | UL DESIGN SHEET 2 OF 6  | A2.27       | AREA 'M' 2ND FLOOR PLAN                         | E7.07       | ELECTRICAL SYMBOL LEGEND & DETAILS                     |
| G1.01C      | UL DESIGN SHEET 3 OF 6  | A2.28       | AREA 'U' 2ND FLOOR PLAN                         | E8.01       | ELECTRICAL LIGHTING CONTROL DETAILS                    |
| G1.01D      | UL DESIGN SHEET 4 OF 6  | A2.29       | AREA 'Z' 2ND FLOOR PLAN                         | E8.03       | ELECTRICAL SCHEDULES                                   |
| G1.01E      | UL DESIGN SHEET 5 OF 6  | A2.30       | AREA '2' 2ND FLOOR PLAN                         | P0.01       | PLUMBING DEMOLITION 1ST FLOOR PLAN - AREA 'X'          |
| G1.01F      | UL DESIGN SHEET 6 OF 6  | A2.31       | WINDOW SCHEDULES                                | P0.02       | PLUMBING DEMOLITION 1ST FLOOR PLAN - AREA 'B'          |
| G1.02       | 1ST FLOOR LIFE SAFETY PLAN  | A2.32       | ROOM FINISH SCHEDULES                           | P0.03       | PLUMBING DEMOLITION 1ST FLOOR PLAN - AREA 'D'          |
| G1.03       | 2ND FLOOR LIFE SAFETY PLAN  | A2.33       | DOOR SCHEDULES                                  | P0.04       | PLUMBING DEMOLITION 1ST FLOOR PLAN - AREA 'G'          |
| G1.04       | COMPOSITE SITE PHASING SHEET  | A2.34       | DOOR SCHEDULES                                  | P0.05       | PLUMBING DEMOLITION 1ST FLOOR PLAN - AREA 'H'          |
| G1.05       | 1ST FLOOR PHASING SHEET   | A3.01       | PLAN DETAILS                                    | P0.06       | PLUMBING DEMOLITION 1ST FLOOR PLAN - AREA 'P'          |
| G1.06       | 2ND FLOOR PHASING SHEET   | A3.02       | PLAN DETAILS                                    | P0.07       | PLUMBING DEMOLITION 1ST FLOOR PLAN - AREA 'R'          |
| C0.00       | COMPOSITE DEMO SITE PLAN  | A4.00       | ROOF DETAILS                                    | P1.01       | PLUMBING SITE PLAN                                     |
| C0.01       | DEMO SITE PLAN - AREA 'S1'  | A4.01       | ROOF PLAN ENLARGED                              | P1.02       | PLUMBING SITE ENLARGED PLANS                           |
| C0.02       | DEMO SITE PLAN - AREA 'S2'  | A4.02       | ROOF PLAN ENLARGED                              | P2.01       | PLUMBING UNDERFLOOR 1ST FLOOR PLAN - AREA 'A'          |
| C0.03       | DEMO SITE PLAN - AREA 'S3'  | A6.00       | PARTITION TYPES                                 | P2.02       | PLUMBING UNDERFLOOR 1ST FLOOR PLAN - AREA 'B'          |
| C0.04       | DEMO SITE PLAN - AREA 'S4'  | A6.01       | WALL SECTIONS                                   | P2.03       | PLUMBING UNDERFLOOR 1ST FLOOR PLAN - AREA 'C'          |
| C0.05       | DEMO SITE PLAN - AREA 'S5'  | A6.02       | WALL SECTIONS                                   | P2.04       | PLUMBING UNDERFLOOR 1ST FLOOR PLAN - AREA 'G'          |
| C0.06       | DEMO SITE PLAN - AREA 'S6'  | A6.03       | WALL SECTIONS                                   | P2.05       | PLUMBING UNDERFLOOR 1ST FLOOR PLAN - AREA 'H'          |
| C1.00       | COMPOSITE SITE PLAN   | A6.04       | WALL SECTIONS                                   | P2.06       | PLUMBING UNDERFLOOR 1ST FLOOR PLAN - AREA 'K'          |
| C1.01       | SITE PLAN - AREA 'S1'   | A7.01       | EXTERIOR ELEVATIONS                             | P3.01       | PLUMBING 1ST FLOOR PLAN - AREA 'A'                     |
| C1.02       | SITE PLAN - AREA 'S2'   | A7.02       | EXTERIOR ELEVATIONS                             | P3.02       | PLUMBING 1ST FLOOR PLAN - AREA 'B'                     |
| C1.03       | SITE PLAN - AREA 'S3'   | A7.03       | INTERIOR ELEVATIONS                             | P3.03       | PLUMBING 1ST FLOOR PLAN - AREA 'C'                     |
| C1.04       | SITE PLAN - AREA 'S4'   | A7.04       | INTERIOR ELEVATIONS                             | P3.04       | PLUMBING 1ST FLOOR PLAN - AREA 'D'                     |
| C1.05       | SITE PLAN - AREA 'S5'   | A8.00       | CASEWORK SECTIONS                               | P3.05       | PLUMBING 1ST FLOOR PLAN - AREA 'E'                     |
| C1.06       | SITE PLAN - AREA 'S6'   | A8.00       | CASEWORK SECTIONS                               | P3.06       | PLUMBING 1ST FLOOR PLAN - AREA 'F'                     |
| C1.07       | ENLARGED SITE PLAN - ATHLETIC STORAGE BUILDING                        | A9.01       | FRAME ELEVATIONS                                | P3.07       | PLUMBING 1ST FLOOR PLAN - AREA 'I'                     |
| C1.08       | ENLARGED SITE PLAN - GREENHOUSE                                       | A9.02       | FRAME OPENING DETAILS                           | P3.08       | PLUMBING 1ST FLOOR PLAN - AREA 'K'                     |
| C1.09       | ENLARGED SITE PLAN - PRESSBOXES                                       | A10.01      | AREA 'A' 1ST FLOOR RCP                          | P3.09       | PLUMBING 1ST FLOOR PLAN - AREA 'N'                     |
| C1.10       | CANOPY PLANS AND DETAILS  | A10.02      | AREA 'B' 1ST FLOOR RCP                          | P3.10       | PLUMBING 1ST FLOOR PLAN - AREA 'P'                     |
| C1.11       | SITE DETAILS  | A10.03      | AREA 'D' 1ST FLOOR RCP                          | P3.11       | PLUMBING 1ST FLOOR PLAN - AREA 'R'                     |
| C1.12       | GATE SCHEDULES AND DETAILS  | A10.04      | AREA 'G' 1ST FLOOR RCP                          | P3.12       | PLUMBING 1ST FLOOR PLAN - AREA 'T'                     |
| I.1.01      | SITE IRRIGATION UPDATES   | A10.05      | AREA 'K' 1ST FLOOR RCP                          | P3.13       | PLUMBING 1ST FLOOR PLAN - AREA 'U'                     |
| I.1.02      | IRRIGATION DETAILS  | A10.06      | AREA 'P' 1ST FLOOR RCP                          | P3.14       | PLUMBING 1ST FLOOR PLAN - AREA 'W'                     |
| L1.00       | LANDSCAPING PLAN  | A10.07      | AREA 'M' 1ST FLOOR RCP                          | P3.15       | PLUMBING 2ND FLOOR PLAN - AREA 'A'                     |
| SW.01       | TOPOGRAPHIC SURVEY (SHEET 1 OF 6)                                     | A11.00      | INTERIOR FINISH LEGEND                          | P3.16       | PLUMBING 2ND FLOOR PLAN - AREA 'B'                     |
| SW.02       | TOPOGRAPHIC SURVEY (SHEET 2 OF 6)                                     | A11.01      | AREA 'A' 1ST FLOOR FINISH PLAN                  | P3.17       | PLUMBING 2ND FLOOR PLAN - AREA 'N'                     |
| SW.03       | TOPOGRAPHIC SURVEY (SHEET 3 OF 6)                                     | A11.02      | AREA 'B' 1ST FLOOR FINISH PLAN                  | P3.18       | PLUMBING 2ND FLOOR PLAN - AREA 'U'                     |
| SW.04       | TOPOGRAPHIC SURVEY (SHEET 4 OF 6)                                     | A11.03      | AREA 'D' 1ST FLOOR FINISH PLAN                  | P3.19       | PLUMBING 2ND FLOOR PLAN - AREA 'X'                     |
| SW.05       | TOPOGRAPHIC SURVEY (SHEET 5 OF 6)                                     | A11.04      | AREA 'G' 1ST FLOOR FINISH PLAN                  | P3.20       | PLUMBING 2ND FLOOR PLAN - AREA 'Y'                     |
| SW.06       | TOPOGRAPHIC SURVEY (SHEET 6 OF 6)                                     | A11.05      | AREA 'K' 1ST FLOOR FINISH PLAN                  | P3.21       | PLUMBING COMPOSITE FLOOR PLANS                         |
| CS1.01      | GENERAL NOTES   | A12.00      | AREA 'P' 1ST FLOOR FINISH PLAN                  | P3.22       | PLUMBING ROOF PLAN - AREA 'A'                          |
| CS1.02      | OVERALL CIVIL SITE PLAN   | A12.01      | GRAPHIC SIGNAGE                                 | P3.23       | PLUMBING ROOF PLAN - AREA 'B'                          |
| CS1.03      | DEMOLITION PLAN (SHEET 1 OF 2)  | A12.02      | ROOM GRAPHICS PLAN - 1ST FLOOR (1 of 3)         | P3.24       | PLUMBING ROOF PLAN - AREA 'C' WEST                     |
| CS1.04      | DEMOLITION PLAN (SHEET 2 OF 2)  | A12.03      | ROOM GRAPHICS PLAN - 1ST FLOOR (2 of 3)         | P3.25       | PLUMBING ROOF PLAN - AREA 'C'                          |
| CS1.05      | FIRE ACCESS PLAN  | A12.04      | ROOM GRAPHICS PLAN - 2ND FLOOR (1 of 3)         | P3.26       | PLUMBING ROOF PLAN - AREA 'G'                          |
| CS2.01      | GRADING PLAN (SHEET 1 OF 4)   | A12.05      | ROOM GRAPHICS PLAN - 2ND FLOOR (2 of 3)         | P3.27       | PLUMBING ROOF PLAN - AREA 'H'                          |
| CS2.02      | GRADING PLAN (SHEET 2 OF 4)   | A12.06      | ROOM GRAPHICS PLAN - 2ND FLOOR (3 of 3)         | P3.28       | PLUMBING ROOF PLAN - AREA 'K'                          |
| CS2.03      | GRADING PLAN (SHEET 3 OF 4)   | A12.07      | GRAPHIC SCHEDULE AND EXTERIOR DOOR GRAPHICS     | P3.29       | PLUMBING ROOF PLAN - AREA 'Q'                          |
| CS2.04      | GRADING PLAN (SHEET 4 OF 4)   | A12.08      |   | P3.30       | PLUMBING ROOF PLAN - AREA 'R'                          |
| CS2.05      | TRACK AND FIELD   | M0.00       | MECHANICAL DEMOLITION COMPOSITE 1ST FLOOR PLAN  | P3.31       | PLUMBING ROOF PLAN - AREA 'T'                          |
| CS3.01      | UTILITY PLAN (SHEET 1 OF 4)   | M0.01       | MECHANICAL DEMOLITION FLOOR PLANS - AREA A & H  | P3.32       | PLUMBING ROOF PLAN - AREA 'W'                          |
| CS3.02      | UTILITY PLAN (SHEET 2 OF 4)   | M0.02       | MECHANICAL DEMOLITION FLOOR PLAN - AREA D       | P3.33       | PLUMBING ROOF PLAN - AREA 'X'                          |
| CS3.03      | UTILITY PLAN (SHEET 3 OF 4)   | M0.03       | MECHANICAL DEMOLITION FLOOR PLAN - AREA G       | P3.34       | PLUMBING ROOF PLAN - AREA 'Y'                          |
| CS3.04      | UTILITY PLAN (SHEET 4 OF 4)   | M0.04       | MECHANICAL DEMOLITION FLOOR PLANS - AREA P & K  | P4.01       | PLUMBING ENLARGED KITCHEN PLAN - UNDERFLOOR            |
| CS3.05      | DETENTION POND PLAN   | M0.05       | MECHANICAL DEMOLITION 2ND FLOOR PLAN - AREA A   | P4.02       | PLUMBING ENLARGED KITCHEN PLAN - FLOOR PLAN            |
| CS3.06      | STORM WATER POLLUTION PREVENTION PLAN (SHEET 1 OF 2)                  | M0.06       | MECHANICAL DEMOLITION 2ND FLOOR PLANS - AREA N  | P5.01       | PLUMBING DETAILS                                       |
| CS3.07      | STORM WATER POLLUTION PREVENTION PLAN (SHEET 2 OF 2)                  | M0.07       | MECHANICAL DEMOLITION 2ND FLOOR PLANS - AREA Y  | P5.02       | PLUMBING DETAILS                                       |
| CS5.01      | PAVEMENT & JOINT PLAN (SHEET 1 OF 4)                                  | M2.01       | MECHANICAL 1ST FLOOR PLAN - AREA 'A'            | P5.03       | PLUMBING DETAILS                                       |
| CS5.02      | PAVEMENT & JOINT PLAN (SHEET 2 OF 4)                                  | M2.02       | MECHANICAL 1ST FLOOR PLAN - AREA 'B'            | P6.01       | PLUMBING SCHEDULES                                     |
| CS5.03      | PAVEMENT & JOINT PLAN (SHEET 3 OF 4)                                  | M2.03       | MECHANICAL 1ST FLOOR PLAN - AREA 'C'            | P6.02       | PLUMBING LEGEND AND SCHEDULE                           |
| CS5.04      | PAVEMENT & JOINT PLAN (SHEET 4 OF 4)                                  | M2.04       | MECHANICAL 1ST FLOOR PLAN - AREA 'D'            |             |  |
| CS5.05      | JOINT SEALANT PLAN (SHEET 1 OF 2)                                     | M2.07       | MECHANICAL 1ST FLOOR PLAN - AREA 'G'            | T0.00       | TECHNOLOGY NOTES AND LEGENDS                           |
| CS5.06      | JOINT SEALANT PLAN (SHEET 2 OF 2)                                     | M2.08       | MECHANICAL 1ST FLOOR PLAN - AREA 'H'            | T0.01       | TECHNOLOGY DEMOLITION COMPOSITE 1ST FLOOR PLAN         |
| CS6.01      | TENNIS COURT SLABS STRUCTURAL NOTES AND SPECIFICATIONS                | M2.09       | MECHANICAL 1ST FLOOR PLAN - AREA 'J'            | T1.01       | TECHNOLOGY SITE PLAN                                   |
| CS6.02      | TENNIS COURT SLABS STRUCTURAL NOTES AND SPECIFICATIONS                | M2.10       | MECHANICAL 1ST FLOOR PLAN - AREA 'K'            | T1.11       | TECHNOLOGY COMPOSITE 1ST FLOOR PLAN                    |
| CS6.03      | TENNIS COURTS OVERALL PLAN  | M2.12       | MECHANICAL 1ST FLOOR PLAN - AREA 'M'            | T1.21       | TECHNOLOGY COMPOSITE 2ND FLOOR PLAN                    |
| CS6.04      | TENNIS COURT SLAB POST-TENSIONING TENDON LAYOUT PLAN                  | M2.14       | MECHANICAL 1ST FLOOR PLAN - AREA 'P'            | T2.01       | TECHNOLOGY 1ST FLOOR PLAN - AREA 'A'                   |
| CS6.05      | TENNIS COURT FENCING PLAN ELEVATIONS AND DETAILS                      | M2.18       | MECHANICAL 1ST FLOOR PLAN - AREA 'T'            | T2.02       | TECHNOLOGY 1ST FLOOR PLAN - AREA 'B'                   |
| CS6.06      | TENNIS COURT SLAB SECTION AND DETAILS                                 | M2.21       | MECHANICAL 1ST FLOOR PLAN - AREA 'W'            | T2.03       | TECHNOLOGY 1ST FLOOR PLAN - AREA 'C'                   |
| CS6.07      | TENNIS COURT SLAB SECTIONS AND DETAILS                                | M2.24       | MECHANICAL 2ND FLOOR PLAN - AREA 'A'            | T2.04       | TECHNOLOGY 1ST FLOOR PLAN - AREA 'D'                   |
| CS6.08      | TYPICAL TENNIS COURT STRIPING PLAN, NET ELEVATION AND NET POST DETAIL | M2.26       | MECHANICAL 2ND FLOOR PLAN - AREA 'F'            | T2.05       | TECHNOLOGY 1ST FLOOR PLAN - AREA 'E'                   |
| CS7.01      | PAVING DETAILS  | M2.31       | MECHANICAL 2ND FLOOR PLAN - AREA 'N'            | T2.06       | TECHNOLOGY 1ST FLOOR PLAN - AREA 'F'                   |
| CS7.02      | STORM SEWER DETAILS   | M2.36       | MECHANICAL 2ND FLOOR PLAN - AREA 'X'            | T2.07       | TECHNOLOGY 1ST FLOOR PLAN - AREA 'G'                   |
| CS7.03      | WATER DETAILS   | M2.37       | MECHANICAL 2ND FLOOR PLAN - AREA 'Y'            | T2.08       | TECHNOLOGY 1ST FLOOR PLAN - AREA 'H'                   |
| CS7.04      | STORM WATER POLLUTION PREVENTION DETAILS                              | M3.01       | MECHANICAL ENLARGED FLOOR PLANS - PRESSBOXES    | T2.09       | TECHNOLOGY 1ST FLOOR PLAN - AREA 'I'                   |
| CS7.05      | ATHLETIC DETAILS  | M4.01       | MECHANICAL ENLARGED FLOOR PLANS - KITCHEN       | T2.10       | TECHNOLOGY 1ST FLOOR PLAN - AREA 'K'                   |
| CS7.06      | STORM WATER QUALITY FEATURE DETAIL                                    | M4.01       | MECHANICAL PIPING DIAGRAM                       | T2.11       | TECHNOLOGY 1ST FLOOR PLAN - AREA 'L'                   |
| S0.00       | GENERAL NOTES   | M5.01       | MECHANICAL DETAILS AND LEGENDS                  | T2.12       | TECHNOLOGY 1ST FLOOR PLAN - AREA 'M'                   |
| S0.01       | GENERAL NOTES   | M5.02       | MECHANICAL DETAILS AND LEGENDS                  | T2.13       | TECHNOLOGY 1ST FLOOR PLAN - AREA 'N'                   |
| S0.02       | TESTING NOTES   | M5.03       | MECHANICAL SCHEDULES                            | T2.14       | TECHNOLOGY 1ST FLOOR PLAN - AREA 'P'                   |
| S0.03       | TYPICAL FOUNDATION DETAILS  | E0.01       | ELECTRICAL DEMOLITION 1ST FLOOR PLAN - AREA 'A' | T2.15       | TECHNOLOGY 1ST FLOOR PLAN - AREA 'Q'                   |
| S0.04       | TYPICAL FRAMING DETAILS   | E0.02       | ELECTRICAL DEMOLITION 1ST FLOOR PLAN - AREA 'B' | T2.16       | TECHNOLOGY 1ST FLOOR PLAN - AREA 'R'                   |
| S0.05       | LIFT KEY MAPS   | E0.03       | ELECTRICAL DEMOLITION 1ST FLOOR PLAN - AREA 'D' | T2.17       | TECHNOLOGY 1ST FLOOR PLAN - AREA 'S'                   |
| S1.01       | AREA 'A' FOUNDATION AND FRAMING PLANS                                 | E0.04       | ELECTRICAL DEMOLITION 1ST FLOOR PLAN - AREA 'E' | T2.18       | TECHNOLOGY 1ST FLOOR PLAN - AREA 'T'                   |
| S2.01       | AREA 'B' AND 'P' FOUNDATION AND FRAMING PLANS                         | E0.05       | ELECTRICAL DEMOLITION 1ST FLOOR PLAN - AREA 'F' | T2.20       | TECHNOLOGY 1ST FLOOR PLAN - AREA 'V'                   |
| S3.01       | AREA 'G' AND 'K' FOUNDATION AND FRAMING PLANS                         | E0.06       | ELECTRICAL DEMOLITION 1ST FLOOR PLAN - AREA 'H' | T2.21       | TECHNOLOGY 1ST FLOOR PLAN - AREA 'W'                   |
| S4.01       | FOUNDATION DETAILS  | E0.07       | ELECTRICAL DEMOLITION 1ST FLOOR PLAN - AREA 'K' | T2.22       | TECHNOLOGY 1ST FLOOR PLAN - AREA 'X'                   |
| S4.02       | FOUNDATION DETAILS  | E0.08       | ELECTRICAL DEMOLITION 1ST FLOOR PLAN - AREA 'M' | T2.23       | TECHNOLOGY 1ST FLOOR PLAN - AREA 'Y'                   |
| S5.01       | ROOF FRAMING DETAILS  | E0.09       | ELECTRICAL DEMOLITION 1ST FLOOR PLAN - AREA 'N' | T3.01       | TECHNOLOGY ENLARGED PLAN                               |
| S6.01       | BRACING ELEVATIONS & DETAILS  | E0.10       | ELECTRICAL DEMOLITION 1ST FLOOR PLAN - AREA 'P' | T3.02       | TECHNOLOGY ENLARGED PLAN                               |
| SD1.01      | FOUNDATION DEMO PLANS   | E0.11       | ELECTRICAL DEMOLITION 2ND FLOOR PLAN - AREA 'A' | T5.01       | TECHNOLOGY DETAILS                                     |
| SD2.02      | FOUNDATION DEMO PLANS   | E0.12       | ELECTRICAL DEMOLITION 2ND FLOOR PLAN - AREA 'D' | T5.02       | TECHNOLOGY DETAILS                                     |
| A0.00       | 1ST FLOOR DEMOLITION COMPOSITE PLAN                                   | E0.13       | ELECTRICAL DEMOLITION 2ND FLOOR PLAN - AREA 'U' | T5.03       | TECHNOLOGY DETAILS                                     |
| A0.01       | 2ND FLOOR DEMOLITION COMPOSITE PLAN                                   | E1.01       | ELECTRICAL ENLARGED SITE PLANS                  | T5.04       | TECHNOLOGY DETAILS                                     |
| A0.02       | AREA 'A' - 1ST FLOOR DEMOLITION PLAN                                  | E1.02       | ELECTRICAL ENLARGED SITE PLANS - PRESSBOXES     | A0.01       | AUDIOVISUAL LEGEND, NOTES, AND COORDINATION ADVISORIES |
| A0.03       | AREA 'B' - 1ST FLOOR DEMOLITION PLAN                                  | E1.03       | ELECTRICAL ENLARGED FLOOR PLANS - PRESSBOXES    | A0.02       | AUDIOVISUAL DETAILS AND CONDUIT RISER                  |
| A0.04       | AREA 'D' - 1ST FLOOR DEMOLITION PLAN                                  | E2.01       | ELECTRICAL POWER 1ST FLOOR PLAN - AREA 'A'      | A0.03       | AREA 'K' 1ST FLOOR AUDIOVISUAL PLAN                    |
| A0.05       | AREA 'G' - 1ST FLOOR DEMOLITION PLAN                                  | E3.01       | ELECTRICAL POWER 1ST FLOOR PLAN - AREA 'A'      | A0.04       | AREA 'K' 1ST FLOOR AUDIOVISUAL RCP                     |
| A0.06       | AREA 'K' - 1ST FLOOR DEMOLITION PLAN                                  | E3.02       | ELECTRICAL POWER 1ST FLOOR PLAN - AREA 'B'      | A0.05       | AUDIOVISUAL BUILDING SECTIONS                          |
| A0.07       | AREA 'M' - 1ST FLOOR DEMOLITION PLAN                                  | E3.03       | ELECTRICAL POWER 1ST FLOOR PLAN - AREA 'B'      | A0.06       | AUDIOVISUAL CONNECTOR LEGEND AND PLATE NOTES           |
| A0.08       | AREA 'P' - 1ST FLOOR DEMOLITION PLAN                                  | E3.04       | ELECTRICAL POWER 1ST FLOOR PLAN - AREA 'E'      | A0.07       | AUDIOVISUAL PLATE DETAILS                              |
| A0.09       | AREA 'Z' - 2ND FLOOR DEMOLITION PLAN                                  | E3.05       | ELECTRICAL POWER 1ST FLOOR PLAN - AREA 'G'      | A0.08       | AUDIOVISUAL ONE-LINE DIAGRAM - AUDIO                   |
| A0.10       | AREA '2' - 2ND FLOOR DEMOLITION PLAN                                  | E3.06       | ELECTRICAL POWER 1ST FLOOR PLAN - AREA 'H'      | A0.09       | AUDIOVISUAL ONE-LINE DIAGRAM - PRODUCTION INTERCOM     |
| A0.11       | ROOF DEMOLITION PLAN  | E3.07       | ELECTRICAL POWER 1ST FLOOR PLAN - AREA 'K'      | FS-100      | FS FACILITY MODEL                                      |
| A0.12       | AREA '2' - 1ST FLOOR DEMOLITION PLAN                                  | E3.08       | ELECTRICAL POWER 1ST FLOOR PLAN - AREA 'M'      | FS-101      | FS EQUIPMENT MODEL                                     |
| A0.13       | AREA 'T' - 1ST FLOOR DEMOLITION PLAN                                  | E3.09       | ELECTRICAL POWER 1ST FLOOR PLAN - AREA 'P'      | FS-102      | FS EQUIPMENT PLAN                                      |
| A0.14       | AREA 'U' - 2ND FLOOR DEMOLITION PLAN                                  | E3.10       | ELECTRICAL POWER 1ST FLOOR PLAN - AREA 'T'      | FS-103      | FS EQUIPMENT SCHEDULES                                 |
| A1.00       | 1ST FLOOR COMPOSITE PLAN  | E3.11       | ELECTRICAL POWER 2ND FLOOR PLAN - AREA 'A'      | FS-104      | FS SPECIAL CONDITIONS                                  |
| A1.01       | 2ND FLOOR COMPOSITE PLAN  | E3.12       | ELECTRICAL POWER 2ND FLOOR PLAN - AREA 'D'      | FS-105      | FS PLUMBING PLAN                                       |
| A2.01       | AREA 'A' 1ST FLOOR PLAN   | E3.13       | ELECTRICAL POWER 2ND FLOOR PLAN - AREA 'G'      | FS-106      | FS ELECTRICAL PLAN                                     |
| A2.02       | AREA 'B' 1ST FLOOR PLAN   | E3.14       | ELECTRICAL POWER ROOF PLAN - AREA 'U'           | FS-107      | FS REFRIGERATION                                       |
| A2.03       | AREA 'C' 1ST FLOOR PLAN   | E3.22       | ELECTRICAL POWER ROOF PLAN                      | FS-108      | FS ELEVATIONS  |
| A2.04       | AREA 'D' 1ST FLOOR PLAN   | E4.01       | ELECTRICAL LIGHTING 1ST FLOOR PLAN - AREA 'A'   | FS-109      | FS SECTIONS  |
| A2.05       | AREA 'E' 1ST FLOOR PLAN   | E4.02       | ELECTRICAL LIGHTING 1ST FLOOR PLAN - AREA 'B'   | FS-108      | FS DETAILS   |
| A2.06       | AREA 'F' 1ST FLOOR PLAN   | E4.03       | ELECTRICAL LIGHTING 1ST FLOOR PLAN - AREA 'D'   | T0.00       | GENERAL NOTES AND LEGENDS                              |
| A2.07       | AREA 'G' 1ST FLOOR PLAN   | E4.04       | ELECTRICAL LIGHTING 1ST FLOOR PLAN - AREA 'H'   | TL.09       | AREA 'J' 1ST FLOOR PLAN                                |
| A2.08       | AREA 'H' 1ST FLOOR PLAN   | E4.05       | ELECTRICAL LIGHTING 1ST FLOOR PLAN - AREA 'K'   | TL.19       | AREA 'J' 2ND FLOOR PLAN                                |
| A2.09       | AREA 'I' 1ST FLOOR PLAN   | E4.06       | ELECTRICAL LIGHTING 1ST FLOOR PLAN - AREA 'P'   | TL.29       | ENLARGED FLOOR PLANS & SCHEDULES                       |
| A2.10       | AREA 'K' 1ST FLOOR PLAN   | E5.01       | ELECTRICAL ENLARGED PLANS                       | TL.6.01     | THEATRICAL LIGHTING CONTROL RISER                      |
| A2.11       | AREA 'L' 1ST FLOOR PLAN   | E5.02       | ELECTRICAL ENLARGED PLANS                       | TL.16.10    | DETAILS  |
| A2.12       | AREA 'M' 1ST FLOOR PLAN   | E5.04       | ELECTRICAL DEMOLITION KITCHEN PLANS             | T0.00       | GENERAL NOTES AND LEGENDS                              |
| A2.13       | AREA 'N' 1ST FLOOR PLAN   | E5.05       | ELECTRICAL POWER KITCHEN PLANS                  | TR2.09      | AREA 'J' 1ST FLOOR PLAN                                |
| A2.14       | AREA 'P' 1ST FLOOR PLAN   | E5.06       | ELECTRICAL LIGHTING KITCHEN PLANS               |             | SECTIONS   |
| A2.15       | AREA 'Q' 1ST FLOOR PLAN   | E5          |   |             |  |

# 1 BUILDING PLANNING & DESCRIPTION

NEW CONSTRUCTION     SHELL BUILDING  
 LEASE SPACE BUILD-OUT (LSBO)     CHANGE OF OCCUPANCY  
 SUBSTANTIAL IMPROVEMENT     OTHER: RENOVATION

SINGLE OCCUPANCY     MIXED OCCUPANCY  
 SEPARATED USE     NON-SEPARATED USE

(SECTION 508.3 OR 508.4 IBC 2018)  
 TYPE OF CONSTRUCTION: IB (CHAPTER 6 IBC 2018)  
 HEIGHT LIMITATION: 160' AREA LIMITATION: UL (TABLE 504.3 IBC 2018)  
 FRONTAGE INCREASE CALCULATIONS ARE SHOWN ON SHEET: -

## BUILDING VALUATION

BUILDING NUMBER: 1 OF 5  
 ADDRESS: 9811 HUFFMEISTER RD.  
 CITY, ST: HOUSTON, TX ZIP CODE: 77095 SUITE:  
 CALL CENTERPOINT ENERGY AHEAD OF TIME, AT 713-207-4460, TO OBTAIN AN ADDRESS  
 HCAD # OR PROPERTY TAX #: 11749900001  
 (http://www.head.org)

BUILDING LOCATED IN FLOODPLAIN: YES  NO   
 GROSS SQUARE FOOTAGE: 596,634 (INCLUDES 983 SQ FT ROTC) #OF FLOORS: 2 HEIGHT: 29'-9"  
 ESTIMATED COST OF CONSTRUCTION: \$ 516,781,533 (TOTAL SCOPE)

T.D.L.R. #: TABS202509384 (REQUIRED FOR CONSTRUCTION OVER \$50,000)  
 TEXAS DEPARTMENT OF LICENSING AND REGULATIONS  
 (https://www.tdlr.texas.gov/ab/ab.htm)  
 TELEPHONE: (512) 463-6599 TOLL FREE (IN TEXAS): 800-803-9202  
 FAX: (512) 475-2871 RELAY TEXAS TDD: 800-735-2989

SHELL BUILDING PERMIT #: 181280021-RENO-001 CIVIL PROJECT #: 241120023  
 PUBLIC UTILITIES: YES  NO   
 OSSF: YES  NO  PROJECT/PERMIT #:

LIST BELOW THE PURPOSE/USE OF THE BUILDING OR AREA BEING REVIEWED. INCLUDE DETAILS ON THE PRODUCTS/MATERIALS BEING STORED/FABRICATED AND NOTE HOW THEY ARE BEING PACKAGED.

THE EXISTING BUILDING IS RECEIVING A ROTC STORAGE ADDITION AND AN ART ADDITION THAT INCLUDES TWO NEW CLASSROOM LABS TO BE ADDED TO THE FIRST FLOOR. THE PRODUCTION SYSTEMS WOOD SHOP, BLACKBOX, KITCHEN, AND ORCHESTRA SPACES ARE ALSO BEING RENOVATED ON THE FIRST FLOOR TO ACCOMMODATE CHANGES TO PROGRAM REQUIREMENTS. WE ALSO HAVE COSMETIC OR MAINTENANCE REPAIRS WITHIN THE BUILDING SUCH AS REPLACING THE NATATORIUM FLOORING, REPLACING ROOF FLASHING, REPLACE CHILLER, REPLACE BOILER, ADD CO2 MONITORING SYSTEM, AND ADD HVAC CONTROLS TO DF ROOMS. THE BUILDING IS ALSO RECEIVING SECURITY IMPROVEMENTS SUCH AS NEW DOOR HARDWARE, IMPACT RESISTANT FILM ON SELECT GLAZING, AND LOCKDOWN BUTTONS REGARDING THE SITE. SCOPE INCLUDES RECOATING THE EXISTING TRACK, REPLACING TURF ON FOOTBALL FIELD, NEW LIGHTS AT TRACK, ADDITION OF TWO NEW TENNIS COURTS WITH LIGHTS, RENOVATION OF TRACK FIELD EVENTS IMPACTED BY TENNIS COURTS, RESTRIPE FRONT PARKING LOT, AND MISC PAVEMENT REPAIRS.

# 2 OCCUPANCY TYPE AND LOAD

CHAPTER 2, 3 & TABLE 1004.5 IBC 2018

| OCCUPANCY CLASSIFICATION TYPES |     |     |     |     |     |     |
|--------------------------------|-----|-----|-----|-----|-----|-----|
| A-1                            | A-2 | A-3 | A-4 | A-5 | B   | E   |
| F-1                            | F-2 | H-1 | H-2 | H-3 | H-4 | H-5 |
| I-1                            | I-2 | I-3 | I-4 | M   | R-1 | R-2 |
|                                | R-3 | R-4 | S-1 | S-2 | U   |     |

RESIDENTIAL BOARD & CARE OCCUPANCIES (REFER TO THE HARRIS COUNTY CODEWORD OF THE SAME NAME & ALSO COMPLETE THE RESIDENTIAL BOARD & CARE CERTIFICATION FORM)

|  | RBC-8A | RBC-8B | RBC-16A | RBC-16B |
|--|--------|--------|---------|---------|
|  |        |        |         |         |

## BREAK DOWN AREAS AND OCCUPANT LOADS PER FLOOR

| OCCUPANCY CLASSIFICATION | SPECIFIC USE                   | SQUARE FOOTAGE                                      | SF PER OCCUPANT | DESIGN OCCUPANTS |
|--------------------------|--------------------------------|---|-----------------|------------------|
| E                        | 1ST FLOOR EDUCATION (EXISTING) | 381,278   |                 |                  |
| E                        | ART LAB (ADDITION)             | 4,823   | 201             | 120              |
| E                        | ROTC STORAGE (ADDITION)        | 983   | 3001            | 4                |
| E                        | 2ND FLOOR EDUCATION (EXISTING) | 209,550   |                 |                  |
|                          | TOTAL ADDITION SQFT            | 5,806 S.F.  |                 |                  |
|                          | TOTAL RENOVATION SQFT          | 590,828 S.F.  |                 |                  |
|                          |                                | STUDENT POPULATION: 3,650 (UNCHANGED BY RENOVATION) |                 |                  |
| TOTAL                    |                                | 596,634 S.F.  |                 |                  |

# 3 MEANS OF EGRESS

CHAPTER 10 IBC 2018

| MEANS OF EGRESS         | # OF REQUIRED EXITS     | # OF EXITS PROVIDED     | SHEET # |
|-------------------------|-------------------------|-------------------------|---------|
| STAIRWAYS (PER FLOOR)   | -                       | -                       | -       |
| EGRESS @ 1ST FL OR LSBO | Addressing additions: 3 | Addressing additions: 4 | G1.02   |

PANIC HARDWARE ON EXIT DOORS? YES  NO  (SECTION 1008.1.9 IBC 2018)  
 STAIRWAYS (SECTION 1011 IBC 2018)  
 MINIMUM CLEAR WIDTH SHOWN ON: N/A (EACH STAIRWELL)  
 EGRESS WIDTHS ARE SHOWN ON: N/A  
 ACCESSIBLE AREAS OF REFUGE & 2-WAY COMMUNICATIONS SHOWN ON: N/A  
 (SECTION 1009.3 TO 1009.8 IBC 2018)

EXIT SIGNS/EGRESS ILLUMINATION (SECTION 1008 & 1013 IBC 2018)  
 REQUIRED AND SHOWN ON: E4.01, E4.02, E4.03, E4.05, AND E5.06 (HIGHLIGHT ON PLANS)  
 EXTERIOR MEANS OF EGRESS LIGHTING PROVIDED? YES  (SECTION 1008 IBC 2018)  
 EXIT TRAVEL DISTANCE (TABLE 1017.2 IBC 2018)

| OCCUPANCY TYPE | MAX TRAVEL DISTANCE | PROVIDE TRAVEL DISTANCE | SHEET # |
|----------------|---------------------|-------------------------|---------|
| E              | 250 FT              | -                       | G1.02   |

**ELEVATORS**  
 NEW  EXISTING  ELEVATOR KEYBOX LOCATED IN LOBBY? YES  NO   
 (MUST BE WITHIN 20' OF THE CALL BUTTON)

# 4 FIRE PROTECTION & LIFE SAFETY SYS

CHAPTER 9 IBC & IFC 2018

ALL FIRE PROTECTION PLANS SHALL BE SUBMITTED FOR REVIEW AFTER BUILDING PERMIT HAS BEEN ISSUED (I.E. UNDERGROUND FIRE LINE, SPRINKLER SYSTEM, FIRE ALARM SYSTEM, STANDPIPE, FIRE PUMP ROOM, AND FIRE PROTECTION WATER SUPPLY SYSTEMS)  
 AUTOMATIC FIRE SPRINKLER SYSTEM/ALTERNATIVE AUTOMATIC FIRE EXTINGUISHING SYSTEM  
 ALL SPRINKLERS SHALL COMPLY WITH MONITORING AND OCCUPANT NOTIFICATION PER 903.4.2.1 (SECTION 903 HC FICODE AMENDMENTS & SECTION 903.4 IFC 2018)  
 PROVIDED AS NOTED ON: P3.01 & P3.07  NOT REQUIRED PER SECTION 903

SYSTEM PROVIDED:  NFPA 13  STANDARD  YES  NO  
 NFPA 13R  ELO  YES  NO  
 NFPA 13D  ESFR  YES  NO  
 OTHER:  QUICK RESPONSE

FIRE DEPARTMENT ACCESS TO SPRINKLER CONTROLS:  
 SPRINKLER RISER ROOM OR POST INDICATOR VALVE SHOWN ON: P3.01 & P3.07 (SECTION 901.4.6 IFC AMENDMENTS IFC 2018)

FDC SHOWN ON: CS3.03 & P3.07 (FDC SHALL COMPLY WITH SECTION 912 IFC 2018)

**SUPPRESSION SYSTEM PROVIDED (SECTION 904 IFC 2018)**  
 REQUIRED AND SHOWN ON: P3.03  NOT REQUIRED

**STANDPIPE SYSTEM & HOSE CONNECTIONS (SECTION 905 IFC 2018)**  
 (I.E. IN STAIRWAYS, STAGES, MALLS)  
 PROVIDED AS NOTED ON: \_\_\_\_\_, TYPE OF SYSTEM PROVIDED: \_\_\_\_\_ (CLASS I, II OR III)  
 NOT REQUIRED PER SECTION 905

**PORTABLE FIRE EXTINGUISHERS (SECTION 906 IFC 2018)**  
 PROVIDED AS NOTED ON: S1.02, NUMBER PROVIDED: 33 EXISTING (HIGHLIGHT ON PLANS)

**FIRE ALARM & DETECTION SYSTEMS (SECTION 907 & IFC AMENDMENTS IFC 2018)**  
 FIRE ALARM SYSTEM (DEFERRED SUBMITTAL)  DEDICATED FUNCTION (SPRINKLER MONITORING, ELEVATOR RECALL, PRE-ACTION, EMERGENCY ALARM, SMOKE CONTROL)  
 NOT REQUIRED PER SECTION 907  
 EMERGENCY VOICE EVACUATION  
 OTHER:

**HVAC & AIR DISTRIBUTION SYSTEM CONTROLS (SECTION 606 IMC 2018)**  
 SMOKE DETECTORS PROVIDED TO SHUT DOWN UNITS OVER 2,000 CFM PROVIDED ON: M2.01 & M3.02  
 NO HVAC UNITS OVER 2,000 CFM  
 FIRE/SMOKE DAMPERS IN THE BUILDING SHOWN ON: M2.01  
 NO FIRE/SMOKE DAMPERS IN THE BUILDING

**SMOKE CONTROL SYSTEMS (SECTION 909 IFC 2018) (I.E. FOR HIGH RISE, ATRIUMS OR STAIRWAY PRESSURIZATION)**  
 PROVIDED AS NOTED ON: \_\_\_\_\_  
 NOT REQUIRED PER SECTION 909

**SMOKE & HEAT VENTILATION (SECTION 910 IFC 2018)**  
 CALCULATIONS PROVIDED AS NOTED ON: \_\_\_\_\_  
 NOT REQUIRED PER SECTION 910

NOTE: WHERE AREAS OF THE BUILDING ARE EQUIPPED WITH EARLY SUPPRESSION FAST-RESPONSE (ESFR) SPRINKLERS, AUTOMATIC SMOKE AND HEAT VENTS SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS, MEETING LOCAL JURISDICTION REQUIREMENTS.

# 5 FIRE-RESISTANCE RATED CONSTRUCTION

CHAPTER 6, 7 AND 10 IBC 2018

SHOW DETAILS OF FIRE WALLS OR FIRE BARRIERS MEETING HORIZONTAL WALLS AND ROOF DECKS (SEE SECTION 706.5, 706.6 & 707.5 IBC 2018)  
**FIRE-RESISTANCE RATING REQUIREMENTS (TABLES 601 & 602 IBC 2018)**

| BUILDING ELEMENTS                     | HOURS REQUIRED | HOURS PROVIDED | UL OR IBC STANDARD USED & DESIGN DETAIL SHOWN ON              |
|---------------------------------------|----------------|----------------|---|
| STRUCTURAL FRAME                      | 2              |                | 2 HRS: X790   |
| EXTERIOR BEARING WALLS                | 2              |                | NO LOAD BEARING WALLS. ADDITION SUPPORTED BY STRUCTURAL FRAME |
| EXTERIOR NON-BEARING WALLS            | 0              |                | -   |
| INTERIOR BEARING WALLS                | 2              |                | NO LOAD BEARING WALLS. ADDITION SUPPORTED BY STRUCTURAL FRAME |
| INTERIOR NON-BEARING WALLS            | 0              |                | -   |
| FLOOR CONSTRUCTION                    | 2              |                | NO SECOND FLOOR ADDITIONS                                     |
| ROOF CONSTRUCTION                     | 1              |                | PS22, PS21  |
| STAIRWELLS (SECTION 1023)             |                |                |   |
| ELEVATOR SHAFTS (SECTION 713)         |                |                |   |
| CORRIDORS (SECTION 1020)              |                |                |   |
| FIRE RATED DOORS (TABLE 716.1(2))     | 1.5 HR         | 1.5 HR         | -   |
| DEMISING/PARTITION WALL (SECTION 708) |                |                |   |
| FIRE BARRIER (SECTION 707)            | 2              | 2              | U906, U905  |
| FIRE WALL (SECTION 706)               |                |                |   |

DRAFTSTOPS:  YES, SHOWN ON: \_\_\_\_\_  NO (SPRINKLED ATTIC)  N/A (SECTION 718.4)  
 HAVE YOU CHECKED WIDTH OF OPENINGS IN FIRE RATED WALLS? YES  NO   
 (TABLE 705.8, SECTION 706.8 & 707.6 IBC 2018)

| FIRE SEPARATION DISTANCE (FEET) | ART LAB ROTC ADD | 194" 0" | 88" 0" | 68" 0" | 0" 0" | 174" 8" |
|---------------------------------|------------------|---------|--------|--------|-------|---------|
| (SECTION 602 IBC 2018)          |                  | NORTH   | SOUTH  | EAST   | WEST  | 390" 0" |
|                                 |                  |         |        |        |       |         |

ROOF COVERING CLASSIFICATION PROVIDED: A  B  C   
 (TABLE 1505.1 IBC 2018)

# 6 WATER SUPPLY (FOR FIREFIGHTING)

CHAPTER 5, APPENDIX B & C IFC 2018

596,634 SF GROSS SIZE OF BUILDING IN SQUARE FEET (INCLUDE ALL OVERHANGS UNDER ROOF)  
**PUBLIC WATER SUPPLY WITH FIRE HYDRANTS (FOR PROPOSED AND EXISTING FIRE HYDRANTS ONLY)**

NAME OF THE MUNICIPAL UTILITY DISTRICT: HCFWSD #61  
 NUMBER OF HYDRANTS WITHIN 400 FT (NON-SPRINKLED) OR 600 FT (SPRINKLED) OF BUILDING: 11  
 SHOWN ON: CS1.05  
 REQUIRED GPM: - DURATION: - (TABLE B105.1 IFC 2018)

75% REDUCTION? YES  NO  (MUST MAINTAIN MINIMUM PER TABLE B105.1(1) OR B105.1(2))

**WATER SOURCE FOR RURAL AREAS WITHOUT FIRE HYDRANTS (COMPLETE THE FIRE FLOW CALCULATOR)**  
 \*\*\*DRY HYDRANT  UNDERGROUND STORAGE  
 ABOVEGROUND STORAGE  OTHER:

DESIGN SPECIFICATIONS AND LOCATIONS SHOULD MEET MINIMUM REQUIRED WATER SUPPLY FROM THE FIRE FLOW CALCULATOR NFPA 1142 (AVAILABLE ON THE WEBSITE).  
 \*\*\*SUBMIT DRY HYDRANT DESIGN PLANS & CALCULATIONS TO FIRE PROTECTION FOR REVIEW & APPROVAL (AVAILABLE ON THE WEBSITE)

# 7 FIRE LANE ACCESS

CHAPTER 5 & APPENDIX D IFC 2018

FIRE LANE LAYOUT PLAN, WHICH SHALL INCLUDE THE SITE PLAN, THE FIRE LANE & FIRE HYDRANTS, IS SHOWN ON: CS1.05 (HIGHLIGHT THE FIRE HYDRANT LOCATIONS ON THE PLANS) AERIAL ACCESS LAYOUT, FOR BUILDINGS OVER 30 FT, IS SHOWN ON: N/A

FIRE LANES WILL BE APPROVED CONCEPTUALLY DURING THE CIVIL REVIEW PROCESS. HOWEVER THE FIRE CODE PLAN REVIEWER MAY CHANGE THE FIRE LANE LAYOUT BASED ON THE BUILDING SPECIFICATIONS

PROVIDING A REMOTE FIRE HOSE CONNECTION TO COMPLY WITH FIRE LANE HOSE COVERAGE. SUBMIT PLANS TO FIRE PROTECTION FOR REVIEW (SECTION 918.1 IFC AMENDMENTS)

# 8 INTERIOR FINISH

CHAPTER 8 & TABLE 803.13 IBC 2018

| OCCUPANCY GROUP | EXIT ENCLOSURES AND EXIT PASSAGEWAYS | CORRIDORS | ROOMS & ENCLOSED SPACES | SHEET # |
|-----------------|--------------------------------------|-----------|-------------------------|---------|
| E               | B                                    | C         | C                       | A11.00  |

# 9 STORAGE: STANDARD & HIGH PILED

CHAPTER 32 IFC 2018 (REFER TO REGULATIONS FOR REQUIREMENT FOR CONSULTANT ENGINEER SECTION 3201.5 IFC AMENDMENTS)

YES  NO  PRODUCTS BEING STORED:  
 YES  NO  STORAGE PACKAGING (I.E. PALLETS, RACKS, SOLID-PILED, DRUMS, CARDBOARD BOXES, WRAPPED IN PLASTIC, ETC.).

YES  NO  MAXIMUM HEIGHT OF COMMODITY:  
 YES  NO  \*\*\*THIS BUILDING IS DESIGNED FOR THE INTENT OF HIGH-PILED STORAGE. IF YES, THEN PROVIDE HIGH PILED STORAGE FORM (http://www.eng.hctx.net/Portals/23/Publications/FC\_high\_piled\_storage\_form.pdf)

YES  NO  FIRE DEPARTMENT ACCESS DOORS  
 YES  NO  HIGH PILED STORAGE RACK LAYOUT/ELEVATIONS, CODE ANALYSIS, ETC. SHOWN ON:

# 10 HAZARDOUS MATERIALS

CHAPTER 50 IFC 2018

YES  NO  DOES THE BUILDING HAVE HAZARDOUS MATERIAL USE OR STORAGE? IF YES, THEN PROVIDE ALL HMIS SUMMARY AND MSDS REPORTS.  
 YES  NO  IF YES, DO THE QUANTITIES EXCEED THE MAXIMUM ALLOWABLE PER IFC 2018?

IF YES, YOU WILL BE REQUIRED TO PROVIDE THE FOLLOWING:  
 CODE ANALYSIS BY FIRE PROTECTION ENGINEER TO SHOW COMPLIANCE WITH IFC 2018, CODES AND REFERENCED STANDARDS SHOWN ON SHEET(S)

# 11 SPECIAL CONDITIONS

PROPERTIES WITH FENCE AND GATES SHALL PROVIDE A 911 KEY BOX AT ENTRY GATE

YES  NO  ATRIUM(S) PER 404 IBC 2018? YES  NO  PAINT SPRAY BOOTHS, COATINGS, DIPPING OR INDUSTRIAL OVENS USED PER 2404, 2405, 2406 AND CHAPTER 30 IFC 2018?

YES  NO  CRITICAL FACILITIES (HARRIS COUNTY REGULATIONS AND AMENDMENTS) HEALTH DEPARTMENT APPROVAL? REQUIRED FOR ALL ESTABLISHMENTS THAT SERVE/PREPARE FOOD AND BEVERAGES FOR THE PUBLIC OR HAVE REFRIGERATED FOOD STORAGE.

# COMMENTS & NOTES

A COPY OF THESE APPROVED CONSTRUCTION PLANS MUST BE KEPT AT PROJECT SITE FOR THE FINAL INSPECTION OF THE BUILDING

PROJECT NUMBER: IFC 2018 REVIEWER'S STAMP

**THE PROJECT KNOWN AS**  
 (MUST BE THE NAME OF BUSINESS/DBA IF BLDG. IS FOR A SPECIFIC COMPANY)  
 2024 CYPRESS FALLS HIGH SCHOOL RENOVATION  
 WAS ACCEPTED BY HARRIS COUNTY FOR THE PURPOSES LISTED BELOW:

**REVIEWER'S SIGNATURE BLOCK**  
**PERMIT OFFICE**  
 HCED REVIEW:

THE PROJECT WAS REVIEWED, HOWEVER, THIS DOES NOT MEAN THE ENTIRE PROJECT, INCLUDING ALL SUPPORTING DATA AND CALCULATIONS HAVE BEEN COMPLETELY CHECKED AND VERIFIED. THESE DRAWINGS ARE SIGNED, DATED AND SEALED BY A PROFESSIONAL ENGINEER / ARCHITECT LICENSED TO PRACTICE IN THE STATE OF TEXAS, WHICH THEREFORE CONVEYS THE PROFESSIONAL'S RESPONSIBILITY AND ACCOUNTABILITY. THIS ACCEPTANCE DOES NOT RELIEVE ANY PARTY FROM COMPLYING WITH ANY OTHER LEGALLY ADOPTED REGULATION OR ORDINANCE RELATED TO LAND DEVELOPMENT.

# CERTIFICATION

I, LAURA J. CARROLL, A LICENSED PROFESSIONAL ARCHITECT IN THE STATE OF TEXAS DO HEREBY CERTIFY THAT THE INFORMATION PRESENTED ON THIS SHEET IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AM A DESIGNER OF RECORD FOR THIS PROJECT. THE PROJECT CONSISTS OF DRAWING SHEETS G0.01A THROUGH TR6.09 FIRM# ARCADIS FIRM#

SEAL 01-13-2025 SIGNATURE DATE 01-13-2025

# HARRIS COUNTY (IFC 2018)

## FIRE CODE DESIGN AND COMPLIANCE REVIEW SHEET VERSION 8.0 (SEP 2019)

(http://www.eng.hctx.net/permits/Fire/Fire-Code/Fire-Code-Review)

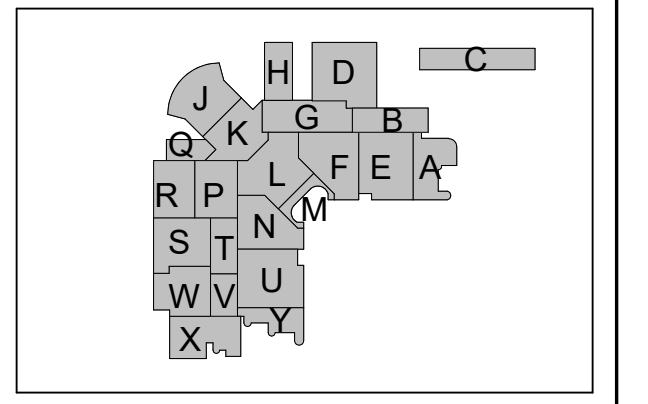
### REVISIONS (DO NOT USE THIS BLOCK UNTIL AFTER PERMIT IS ISSUED)

| DATE | SHEET NO.(S) | DESCRIPTION | REVIEWER | COUNTY P.E. |
|------|--------------|-------------|----------|-------------|
|      |              |             |          |             |

### FIRE CODE REVIEW

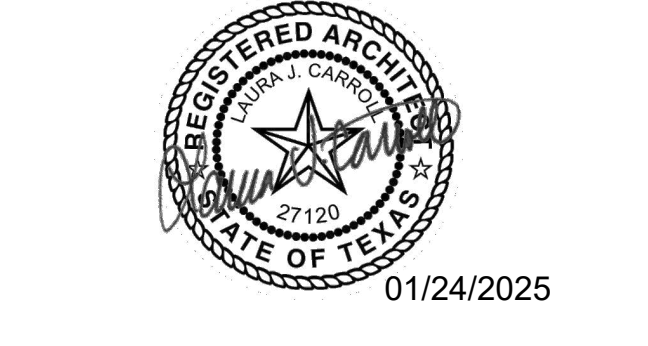
SHEET NUMBER  
 1 OF 5

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**LANDSCAPE & IRRIGATION**  
 LANDESIGN Group  
 1401 El Camino Real, Suite 204  
 Houston, TX 77058  
 Tel: 281.486.4040



**2024 CYPRESS FALLS HIGH SCHOOL RENOVATION**  
 CYPRESS-FAIRBANKS ISD  
 9811 Huffmeister Rd, Houston, TX 77095

**ARCADIS**  
**TEXAS ARCADIS INC.**  
 1330 POST OAK BOULEVARD, SUITE 2250  
 HOUSTON, TX 77056  
 tel 281.286.6605, fax 713.977.4620



|            |                     |
|------------|---------------------|
| PROJECT #: | 202318              |
| DATE:      | 2025-01-13          |
| DRAWN:     | BN                  |
| CHECKED:   | CA                  |
| DATE:      | ISSUE               |
| 2025-01-13 | PERMIT AND PROPOSAL |
| 2025-01-24 | ADDENDUM No. 02 A   |

**G0.01A**  
 HC FIRE CODE REVIEW SHEET MAIN BLDG











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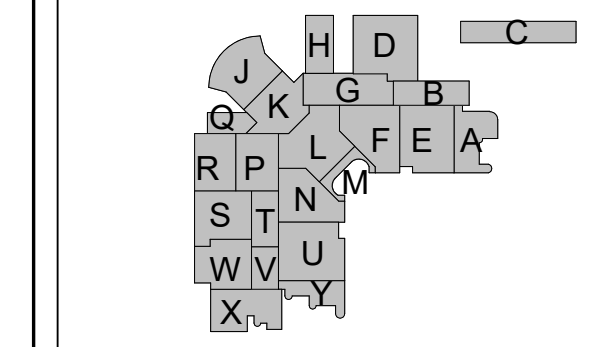
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# 2024 CYPRESS FALLS HIGH SCHOOL RENOVATION

CYPRESS-FAIRBANKS ISD  
 9811 Huffmeister Rd, Houston, TX 77095

**ARCADIS**  
**TEXAS ARCADIS INC.**  
 1330 Post Oak Boulevard, Suite 2250  
 Houston, TX 77056  
 tel 281.286.6605, fax 713.977.4620

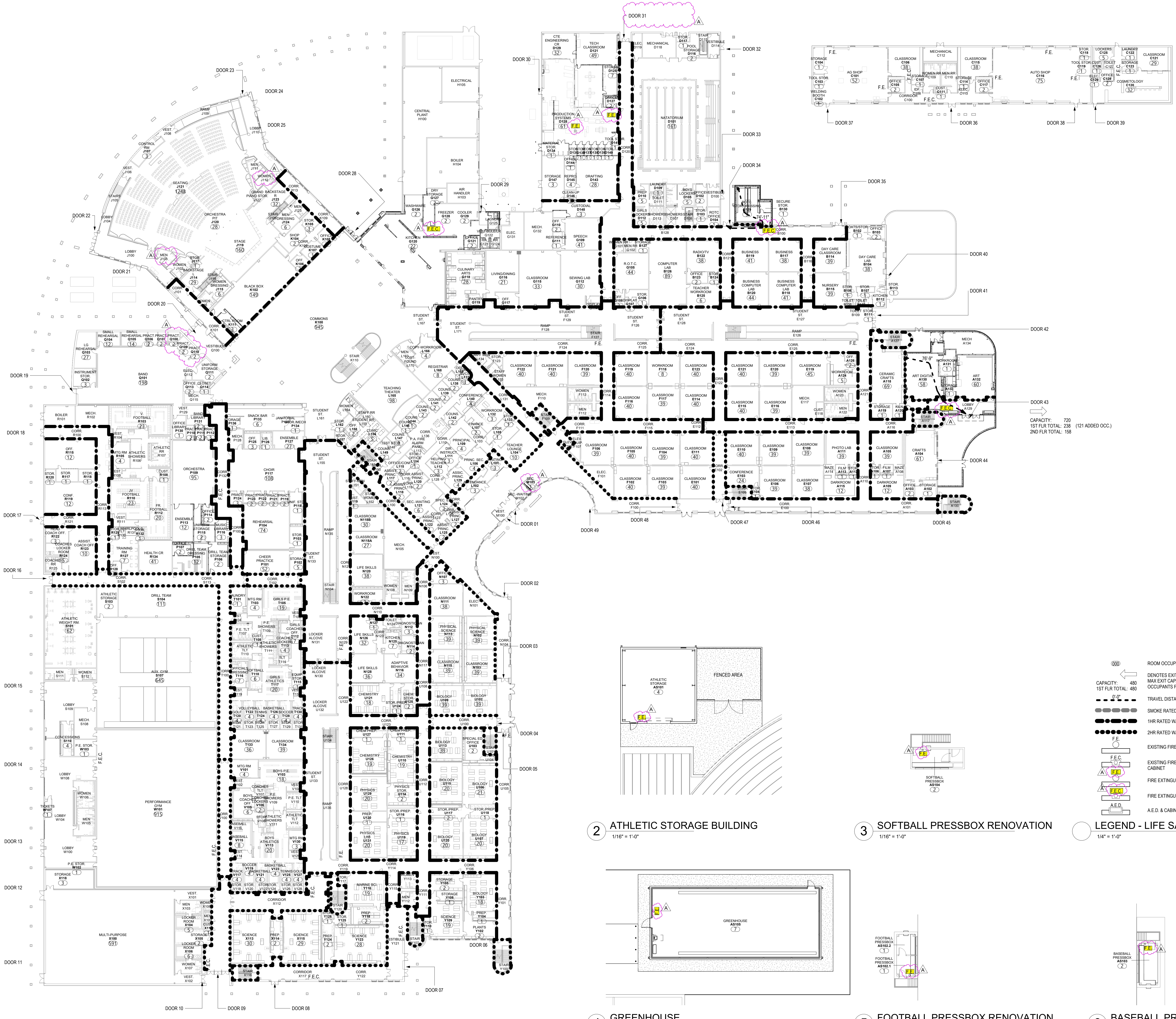


PROJECT #: 202318  
 DATE: 2025-01-13  
 DRAWN: BN  
 CHECKED: CA

DATE: 2025-01-13  
 ISSUE: PERMIT AND PROPOSAL ADDENDUM No. 02 A

## G1.02

1ST FLOOR LIFE SAFETY PLAN

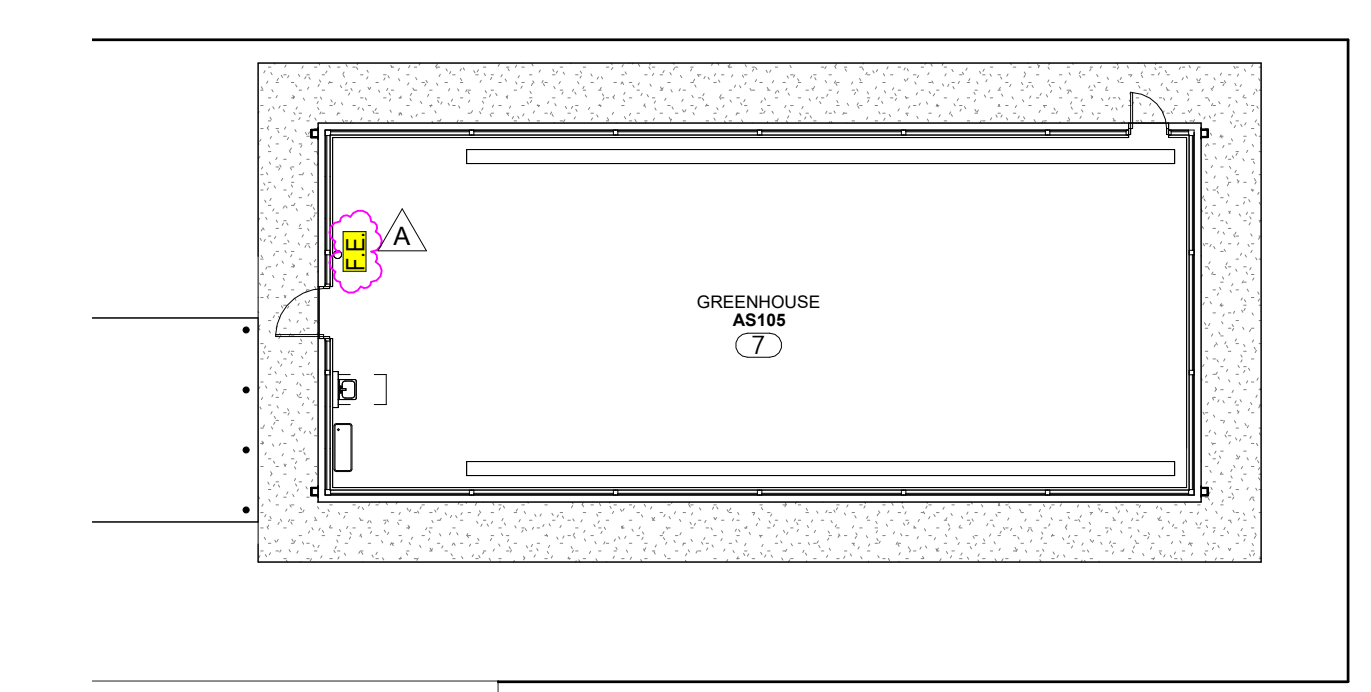


CAPACITY: 720  
 1ST FLR TOTAL: 238 (121 ADDED OCC.)  
 2ND FLR TOTAL: 158

- LEGEND - LIFE SAFETY PLAN**  
 1/4" = 1'-0"
- (000) ROOM OCCUPANCY LOAD
  - ← DENOTES EXIT DIRECTION, MAX EXIT CAPACITY & # OF OCCUPANTS PER FLOOR
  - CAPACITY: 480  
1ST FLR TOTAL: 480
  - TRAVEL DISTANCE TO EXIT
  - SMOKE RATED WALL
  - 1HR RATED WALL
  - 2HR RATED WALL
  - EXISTING FIRE EXTINGUISHER
  - △ EXISTING FIRE EXTINGUISHER & CABINET
  - △ FIRE EXTINGUISHER
  - △ FIRE EXTINGUISHER & CABINET
  - △ A.E.D. & CABINET

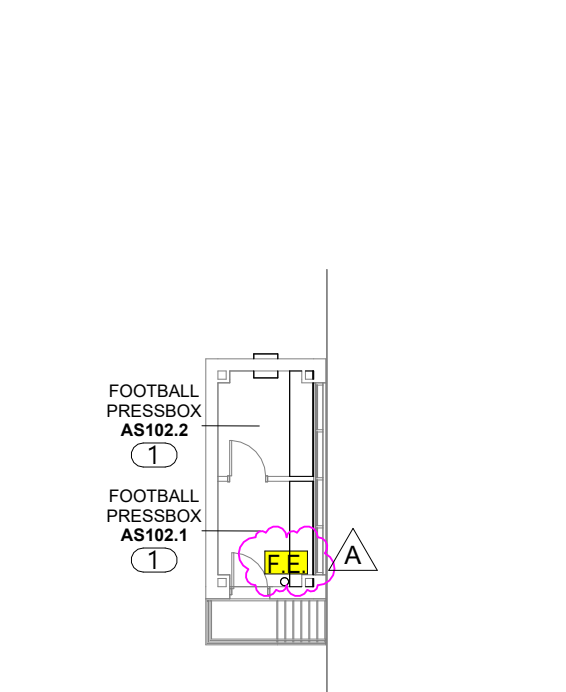
**1 LIFE SAFETY PLAN - 1ST FLOOR**  
 1/32" = 1'-0"

**2 ATHLETIC STORAGE BUILDING**  
 1/16" = 1'-0"



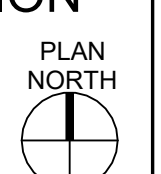
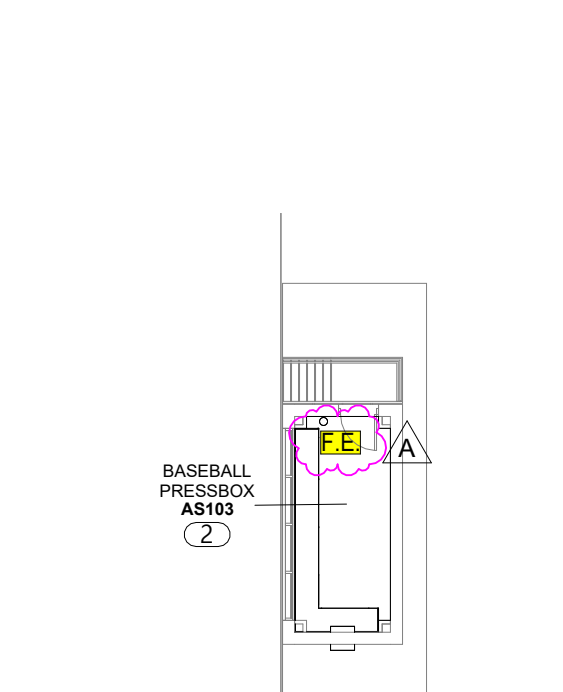
**4 GREENHOUSE**  
 1/16" = 1'-0"

**3 SOFTBALL PRESSBOX RENOVATION**  
 1/16" = 1'-0"



**5 FOOTBALL PRESSBOX RENOVATION**  
 1/16" = 1'-0"

**6 BASEBALL PRESSBOX RENOVATION**  
 1/16" = 1'-0"



**PHASE PLAN:**

| PHASE      | START DATE             | COMPLETION DATE      |
|------------|------------------------|----------------------|
| PHASE I:   | START OF SUMMER 1      | END OF SUMMER 1      |
| PHASE II:  | START OF SUMMER 1      | END OF SUMMER 2      |
| PHASE III: | START OF DECEMBER 2025 | END OF DECEMBER 2025 |
| PHASE IV:  | JANUARY 2026           | END OF SUMMER 2      |
| PHASE V:   | START OF SUMMER 2      | END OF SUMMER 2      |

NOTE: THE TIMELINES LISTED ARE AN ESTIMATE. THE CONTRACTOR WILL NEED TO EVALUATE THE SCOPE AND COORDINATE WITH THE DISTRICT AND THE OWNER TO FINALIZE THE SCHEDULE.

**LEGEND - PHASE PLAN**  
1/4" = 1'-0"

- ALTERNATE EGRESS PATH
- SUGGESTED CONSTRUCTION FENCING
- TEMPORARY WALL BARRIER

**LEGEND - PHASING ANNOTATIONS**  
1/4" = 1'-0"

- GENERAL NOTES:**
- PHASING PLANS ARE SCHEMATIC IN NATURE TO PROVIDE GENERAL INTENT OF THE CONSTRUCTION ACTIVITIES, TIME FRAMES AND/OR TIME RESTRICTIONS AND REQUIRED COMPLETION TIMELINES.
  - FOR A PHASE TO BE TURNED OVER TO THE OWNER AS COMPLETE, ALL PROJECT SCOPE ITEMS IN THAT PHASE ARE INTENDED TO BE SUBSTANTIALLY COMPLETE UNLESS NOTED SPECIFICALLY OTHERWISE, INCLUDING BUT NOT LIMITED TO ALL CASEWORK AND ROOM FINISHES, TECHNOLOGY, AV SYSTEMS, PIA SYSTEMS, MECHANICAL SYSTEMS, BUILDING CONTROLS, LIGHTING CONTROLS, LIFE SAFETY SYSTEMS AND FIRE SPRINKLERS SYSTEMS.
  - ALL COSTS REQUIRED FOR CONSTRUCTION PHASING SHALL BE INCLUDED IN THE BASE PROPOSAL, INCLUDING BUT NOT LIMITED TO TEMPORARY CONNECTIONS OF UTILITIES AND BUILDING SYSTEMS AS REQUIRED FOR EACH PHASE TO BE OPERATIONAL FOR ITS INTENDED PURPOSE AT THE TIME OF COMPLETION FOR THAT PHASE.
  - MODIFICATIONS OR ADJUSTMENTS TO THE PHASING TO AID THE CONTRACTOR IN THE EXECUTION OF THE WORK CAN BE DISCUSSED WITH THE SUCCESSFUL PROPOSER BUT ANY COSTS ASSOCIATED WITH ANY APPROVED PHASING CHANGES SHALL BE BORNE SOLELY BY THE CONTRACTOR AND MUST BE APPROVED IN ADVANCE BY ALL GOVERNING AUTHORITIES/AGENCIES, AS NEEDED, BEFORE COMMENCING WORK. GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL WORK ASSOCIATED TO THE PERMIT UPDATES NEEDED.
  - CONTRACTOR SHALL COORDINATE AND PROVIDE SAFE PASSAGE AND EXIT FROM EXISTING BUILDING AREAS DURING CONSTRUCTION, IN COMPLIANCE WITH ALL APPLICABLE CODES AND REQUIREMENTS OF OWNER.
  - NOISE CONTROL: CONTRACTOR SHALL COORDINATE EQUIPMENT LOCATIONS AND TIMING OF WORK ACTIVITIES SO AS TO AVOID CONFLICT WITH THE BUILDING OCCUPANTS AND/OR AVOID INTERFERENCE WITH FACILITY MEETINGS, EVENTS, OR OTHER ACTIVITIES.
  - CONTRACTOR NOT TO DRIVE OR BRING EQUIPMENT ON THE FIELDS.
  - IF THERE ARE ANY DELAYS WITH THE KITCHEN RENOVATION THAT REQUIRES THE TEMPORARY COOLER AND FREEZER TO EXTEND THEIR TIME ON CAMPUS, THE CONTRACTOR WILL BE RESPONSIBLE FOR COVERING THE RENTAL COST UNTIL WORK IS COMPLETE.

**NOTE FOR FIRE ALARM:**  
FIRE ALARM CAN BE COMPLETE IN 3 PHASES TO MATCH THE PHASES LISTED ON THIS SHEET. THE CONTRACTOR MAY BE REQUIRED TO CREATE REDUNDANCY TO MAINTAIN THE EXISTING SYSTEM WHILE CONSTRUCTION IS OCCURRING FOR THE NEW SYSTEM. REFER TO T SERIES DRAWINGS TO SEE THE SCOPE WORK.

**NOTES - GENERAL PHASING PLAN**  
1/4" = 1'-0"

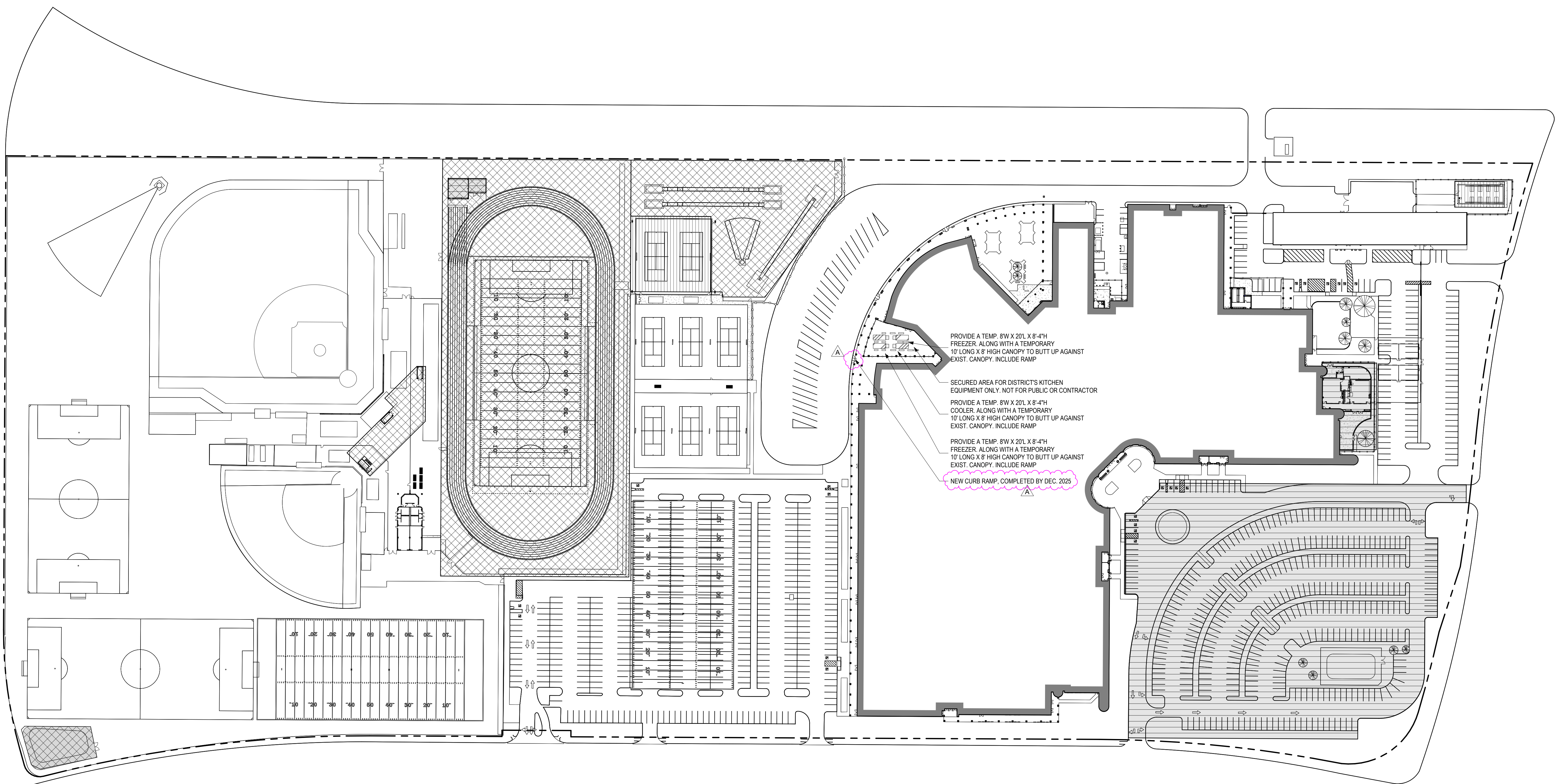
**SUMMARY OF WORK (FOR REFERENCE ONLY)**

THE SCOPE OF WORK REFLECTS THE HIGHLIGHTED AREAS ON THE PLANS. THE TIMELINES LISTED BELOW ARE AN ESTIMATE. THE CONTRACTOR WILL NEED TO EVALUATE THE SCOPE AND COORDINATE WITH THE ARCHITECT AND THE OWNER TO FINALIZE THE SCHEDULE. THE ITEMS LISTED BELOW IS A GENERALIZATION AND NOT AN EXHAUSTIVE LIST. THE CONTRACTOR WILL NEED TO EVALUATE THE ENTIRE SET OF DOCUMENTS AND COORDINATE WITH THE ARCHITECT AND THE OWNER. THE CONTRACTOR WILL NOT BE ABLE TO DISRUPT ANY INSTRUCTIONAL SPACES DURING CONSTRUCTION. ANY WORK THAT OCCURS DURING THE SCHOOL YEAR MUST BE DONE AFTER HOURS, ON THE WEEKENDS, OR DURING DISTRICT HOLIDAYS UNLESS AGREED UPON OTHERWISE BY THE DISTRICT AND OR THE ARCHITECT.

**COST ESTIMATE:**

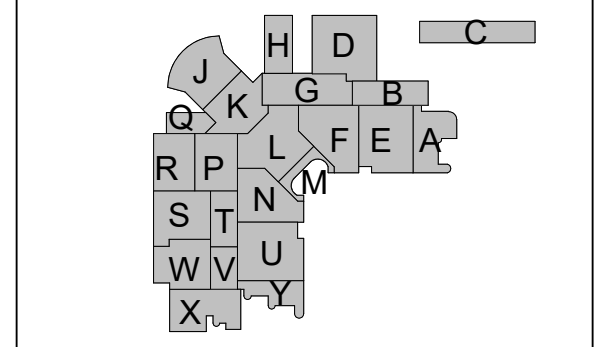
|                            |  |
|----------------------------|--|
| \$73,200                   | PHASE I START AND COMPLETE IN SUMMER 1   |
| \$360,000                  | RECOAT EXISTING SYNTHETIC TRACK SURFACE (TO BE SUBSTANTIALLY COMPLETE BY JULY, 11 2025)        |
| \$1,100,000                | REPLACE EXISTING SYNTHETIC TURF FOOTBALL FIELD (TO BE SUBSTANTIALLY COMPLETE BY JULY, 11 2025) |
| \$49,400                   | FENCING OF REAR PARKING LOT  |
| \$11,800                   | FENCING OF EXTERIOR VESTIBULE AT THE FRONT OF THE BUILDING                                     |
| \$494,300                  | RENOVATE ORCHESTRA REHEARSAL HALL AND PRACTICE ROOMS   |
| \$464,300                  | RENOVATE DRILL TEAM LOCKER ROOM AND STORAGE  |
| \$13,200                   | HARDEN MAIN FRONT DESK   |
| \$234,363                  | IMPACT RESISTANT GLASS ON DOORS AND HIGH TRAFFIC AREAS   |
| \$219,300                  | ADDITION TO REPLACE ROTC STORAGE   |
| \$153,360                  | PROVIDE OUTDOOR STORAGE BUILDING FOR ATHLETICS   |
| \$490,323                  | PROVIDE DETENTION  |
| \$1,548,000                | PHASE II START IN SUMMER 1 AND MAY EXTEND INTO THE SCHOOL YEAR                                 |
| \$580,375                  | RENOVATE EXISTING FOOTBALL PRESS BOX (TO BE SUBSTANTIALLY COMPLETE BY JULY, 11 2025)           |
| \$92,000                   | REMOVE AND REPLACE ALL EXISTING THRU-WALL FLASHING WITH STAINLESS STEEL                        |
| \$120,000                  | PROVIDE GENERATOR BACKED POWER FOR ALL RACKS IN ALL TELECOMMUNICATION ROOMS                    |
| \$107,500                  | ADD DEDICATED HVAC UNIT TO SECONDARY TELECOMMUNICATION ROOMS (IDF)                             |
| \$1,094,780                | ADDITIONAL LOCKDOWN BUTTONS  |
| \$50,000                   | CLASSROOM AND EXTERIOR DOOR HARDWARE   |
| \$122,500                  | ENHANCED VIDEO INTERCOMS   |
| \$35,000                   | ADDITIONAL CARD READERS ON EXTERIOR DOORS  |
|                            | PROVIDE CO MONITORING SYSTEM   |
| \$37,000                   | PHASE III: DECEMBER 2025   |
|                            | PROVIDE TEMPORARY COLD STORAGE ON SITE (COMPLETED BY JAN. 2026)                                |
| \$4,518,300                | PHASE IV: START IN JANUARY 2026 COMPLETED SUMMER 2   |
|                            | RENOVATE AND EXPAND KITCHEN AND SERVERY ALONG WITH WORK IN CAFETERIA AND COURTYARD             |
| \$1,365,000                | PHASE V: START AND COMPLETED IN SUMMER 2   |
| \$85,000                   | RENOVATE SHOP AREA TO MEET DISTRICT STANDARDS  |
| \$66,000                   | PROVIDE 6 RECIRCULATING WELDING BOOTHS   |
| \$340,800                  | RENOVATE BLACKBOX THEATER  |
| \$250,000                  | REPLACE EXISTING TRACK AND FIELD LIGHTING SYSTEM WITH LED LIGHTING SYSTEM                      |
| \$110,500                  | REPLACE R-22 125 TON AIR COOLED CHILLER  |
| \$5,000                    | REPLACE BOILER   |
| \$55,068                   | EXTERIOR DOOR NUMBERING  |
| \$8,612                    | STRIP DOWN AND REFINISH FLOORS IN THE NATATORIUM   |
| \$568,948                  | FLOOR TO BE STRIPPED DOWN IN THE NATATORIUM LOCKER ROOM  |
| \$170,000                  | PROVIDE 2 ADDITIONAL TENNIS COURTS. INCLUDE LED LIGHTING                                       |
| \$108,800                  | REPLACE TRACK EVENT AREAS  |
| \$120,000                  | RE-STRIP PAVEMENT MARKINGS AT FRONT PARKING LOT  |
| \$134,414                  | REMOVE AND REPLACE PAVING JOINT SEALANT  |
|                            | MISCELLANEOUS CONCRETE REPAIRS   |
| \$146,400                  | ITEMS COULD OCCUR IN PHASE I OR PHASE V ONLY   |
| \$415,300                  | RENOVATE EXISTING BASEBALL AND SOFTBALL PRESS BOXES  |
| \$75,000                   | PROVIDE NEW GREENHOUSE   |
|                            | REPLACE REFRIGERANT MONITORING SYSTEM  |
| <b>TOTAL: \$16,781,533</b> |  |

**NOTES - GENERAL PHASING SCOPE SUMMARY**  
1/4" = 1'-0"



**1 COMPOSITE SITE PLAN PHASING**  
1" = 80'-0"

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- THEATRE**  
WJHW, INC.  
2000 W. Loop South, Suite 1340  
Houston, TX 77027  
Tel: 210.561.9800
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LANDESIGN Group  
1401 El Camino Real, Suite 204  
Houston, TX 77058  
Tel: 281.486.4040



**2024 CYPRESS FALLS HIGH SCHOOL RENOVATION**

CYPRESS-FAIRBANKS ISD

9811 Huffmeister Rd, Houston, TX 77095

**ARCADIS**

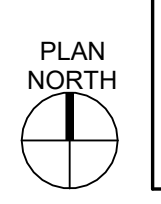
**TEXAS ARCADIS INC.**  
1330 POST OAK BOULEVARD, SUITE 2250  
HOUSTON, TX 77056  
tel 281.286.6605, fax 713.977.4620



|            |                     |
|------------|---------------------|
| PROJECT #: | 202318              |
| DATE:      | 2025-01-13          |
| DRAWN:     | VP                  |
| CHECKED:   | CA                  |
| DATE       | ISSUE               |
| 2025-01-13 | PERMIT AND PROPOSAL |
| 2025-01-24 | ADDENDUM No. 02 A   |

**G1.04**

COMPOSITE SITE PHASING SHEET



**PHASE PLAN:**

| PHASE     | START DATE             | COMPLETION DATE      |
|-----------|------------------------|----------------------|
| PHASE I   | START OF SUMMER 1      | END OF SUMMER 1      |
| PHASE II  | START OF SUMMER 1      | END OF SUMMER 2      |
| PHASE III | START OF DECEMBER 2025 | END OF DECEMBER 2025 |
| PHASE IV  | JANUARY 2026           | END OF SUMMER 2      |
| PHASE V   | START OF SUMMER 2      | END OF SUMMER 2      |

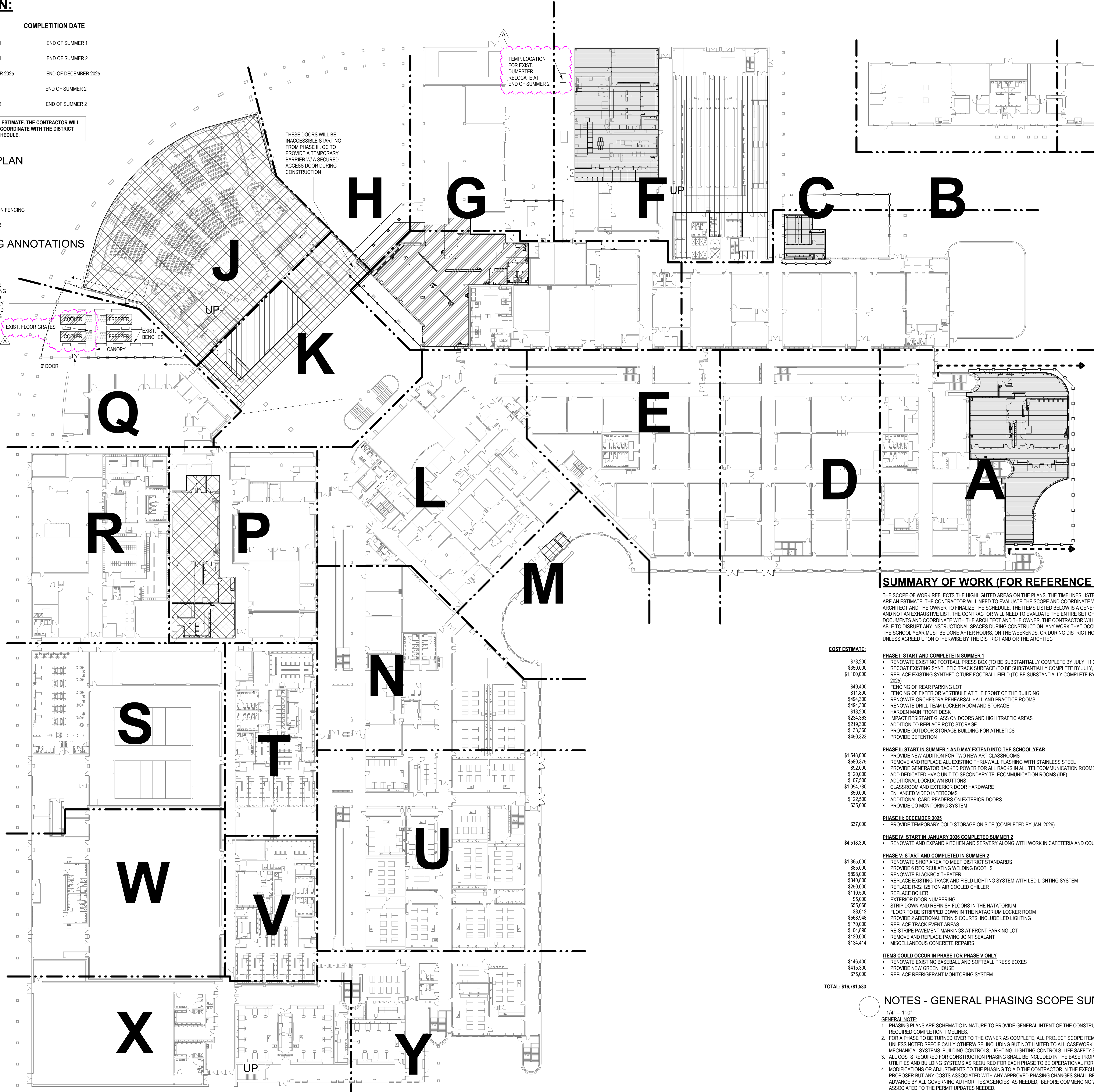
NOTE: THE TIMELINES LISTED ARE AN ESTIMATE. THE CONTRACTOR WILL NEED TO EVALUATE THE SCOPE AND COORDINATE WITH THE DISTRICT AND THE OWNER TO FINALIZE THE SCHEDULE.

**LEGEND - PHASE PLAN**

- 1/4" = 1'-0"
- ALTERNATE EGRESS PATH
- SUGGESTED CONSTRUCTION FENCING
- TEMPORARY WALL BARRIER

**LEGEND - PHASING ANNOTATIONS**

- 1/4" = 1'-0"



**SUMMARY OF WORK (FOR REFERENCE ONLY)**

THE SCOPE OF WORK REFLECTS THE HIGHLIGHTED AREAS ON THE PLANS. THE TIMELINES LISTED BELOW ARE AN ESTIMATE. THE CONTRACTOR WILL NEED TO EVALUATE THE SCOPE AND COORDINATE WITH THE ARCHITECT AND THE OWNER TO FINALIZE THE SCHEDULE. THE ITEMS LISTED BELOW IS A GENERALIZATION AND NOT AN EXHAUSTIVE LIST. THE CONTRACTOR WILL NEED TO EVALUATE THE ENTIRE SET OF DOCUMENTS AND COORDINATE WITH THE ARCHITECT AND THE OWNER. THE CONTRACTOR WILL NOT BE ABLE TO DISRUPT ANY INSTRUCTIONAL SPACES DURING CONSTRUCTION. ANY WORK THAT OCCURS DURING THE SCHOOL YEAR MUST BE DONE AFTER HOURS, ON THE WEEKENDS, OR DURING DISTRICT HOLIDAYS UNLESS AGREED UPON OTHERWISE BY THE DISTRICT AND/OR THE ARCHITECT.

| PHASE                                 | START AND COMPLETE                                    | DESCRIPTION  | ESTIMATE            |
|---------------------------------------|---|--|---------------------|
| PHASE I                               | START AND COMPLETE IN SUMMER 1                        | RENOVATE EXISTING FOOTBALL PRESS BOX (TO BE SUBSTANTIALLY COMPLETE BY JULY, 11 2025)           | \$73,200            |
|                                       |   | RECOAT EXISTING SYNTHETIC TRACK SURFACE (TO BE SUBSTANTIALLY COMPLETE BY JULY, 11 2025)        | \$350,000           |
|                                       |   | REPLACE EXISTING SYNTHETIC TURF FOOTBALL FIELD (TO BE SUBSTANTIALLY COMPLETE BY JULY, 11 2025) | \$1,100,000         |
|                                       |   | FENCING OF REAR PARKING LOT  | \$49,400            |
|                                       |   | FENCING OF EXTERIOR VESTIBULE AT THE FRONT OF THE BUILDING                                     | \$11,800            |
|                                       |   | RENOVATE ORCHESTRA REHEARSAL HALL AND PRACTICE ROOMS   | \$494,300           |
|                                       |   | RENOVATE DRILL TEAM LOCKER ROOM AND STORAGE  | \$494,300           |
|                                       |   | HARDEN MAIN FRONT DESK   | \$13,200            |
|                                       |   | IMPACT RESISTANT GLASS ON DOORS AND HIGH TRAFFIC AREAS   | \$234,363           |
|                                       |   | ADDITION TO REPLACE ROTG STORAGE   | \$219,300           |
| PHASE II                              | START IN SUMMER 1 AND MAY EXTEND INTO THE SCHOOL YEAR | PROVIDE NEW ADDITION FOR TWO NEW ART CLASSROOMS  | \$1,548,000         |
|                                       |   | REMOVE AND REPLACE ALL EXISTING THRU-WALL FLASHING WITH STAINLESS STEEL                        | \$550,375           |
|                                       |   | PROVIDE GENERATOR BACKUP POWER FOR ALL BACKS IN ALL TELECOMMUNICATION ROOMS                    | \$52,000            |
|                                       |   | ADD DEDICATED HVAC UNIT TO SECONDARY TELECOMMUNICATION ROOMS (IDF)                             | \$120,000           |
|                                       |   | ADDITIONAL LOCKDOWN BUTTONS  | \$107,500           |
|                                       |   | CLASSROOM AND EXTERIOR DOOR HARDWARE   | \$1,094,780         |
|                                       |   | ENHANCED VIDEO INTERCOMS   | \$50,000            |
|                                       |   | ADDITIONAL CARD READERS ON EXTERIOR DOORS  | \$122,500           |
|                                       |   | PROVIDE CCTV MONITORING SYSTEM   | \$35,000            |
|                                       |   | PHASE III  | DECEMBER 2025       |
| PHASE IV                              | START IN JANUARY 2026 COMPLETED SUMMER 2              | RENOVATE AND EXPAND KITCHEN AND SERVEYRY ALONG WITH WORK IN CAFETERIA AND COURTYARD            | \$4,518,300         |
|                                       |   |  |                     |
| PHASE V                               | START AND COMPLETED IN SUMMER 2                       | RENOVATE SHOP AREA TO MEET DISTRICT STANDARDS  | \$1,365,000         |
|                                       |   | PROVIDE 6 RECIRCULATING WELDING BOOTHS   | \$85,000            |
|                                       |   | RENOVATE BLACKBOX THEATER  | \$899,000           |
|                                       |   | REPLACE EXISTING TRACK AND FIELD LIGHTING SYSTEM WITH LED LIGHTING SYSTEM                      | \$340,000           |
|                                       |   | REPLACE R-22 125 TON AIR COOLED CHILLER  | \$250,000           |
|                                       |   | REPLACE BOILER   | \$110,500           |
|                                       |   | EXTERIOR DOOR NUMBERING  | \$5,000             |
|                                       |   | STRIP DOWN AND REFINISH FLOORS IN THE NATATORIUM   | \$55,068            |
|                                       |   | FLOOR TO BE STRIPPED DOWN IN THE NATATORIUM LOCKER ROOM  | \$8,612             |
|                                       |   | PROVIDE 2 ADDITIONAL TENNIS COURTS. INCLUDE LED LIGHTING                                       | \$658,948           |
|                                       |   | REPLACE TRACK EVENT AREAS  | \$170,000           |
|                                       |   | RE-STRIPE PAVEMENT MARKINGS AT FRONT PARKING LOT   | \$104,490           |
|                                       |   | REMOVE AND REPLACE PAVING JOINT SEALANT  | \$120,000           |
|                                       |   | MISCELLANEOUS CONCRETE REPAIRS   | \$134,414           |
|                                       |   | ITEMS COULD OCCUR IN PHASE I OR PHASE V ONLY   |                     |
| PROVIDE NEW GREENHOUSE                | \$415,300   |  |                     |
| REPLACE REFRIGERANT MONITORING SYSTEM | \$75,000  |  |                     |
| <b>TOTAL</b>                          |   |  | <b>\$16,781,533</b> |

**NOTES - GENERAL PHASING SCOPE SUMMARY**

- 1/4" = 1'-0"
- GENERAL NOTE:
- PHASING PLANS ARE SCHEMATIC IN NATURE TO PROVIDE GENERAL INTENT OF THE CONSTRUCTION ACTIVITIES, TIME FRAMES AND/OR TIME RESTRICTIONS AND REQUIRED COMPLETION TIMELINES.
  - FOR A PHASE TO BE TURNED OVER TO THE OWNER AS COMPLETE, ALL PROJECT SCOPE ITEMS IN THAT PHASE ARE INTENDED TO BE SUBSTANTIALLY COMPLETE UNLESS NOTED SPECIFICALLY OTHERWISE, INCLUDING BUT NOT LIMITED TO ALL CASEWORK AND ROOM FINISHES, TECHNOLOGY, AV SYSTEMS, PIA SYSTEMS, MECHANICAL SYSTEMS, BUILDING CONTROLS, LIGHTING CONTROLS, LIFE SAFETY SYSTEMS AND FIRE SPRINKLERS SYSTEMS.
  - ALL COSTS REQUIRED FOR CONSTRUCTION PHASING SHALL BE INCLUDED IN THE BASE PROPOSAL, INCLUDING BUT NOT LIMITED TO TEMPORARY CONNECTIONS OF UTILITIES AND BUILDING SYSTEMS AS REQUIRED FOR EACH PHASE TO BE OPERATIONAL FOR ITS INTENDED PURPOSE AT THE TIME OF COMPLETION FOR THAT PHASE.
  - MODIFICATIONS OR ADJUSTMENTS TO THE PHASING TO AID THE CONTRACTOR IN THE EXECUTION OF THE WORK CAN BE DISCUSSED WITH THE SUCCESSFUL PROPOSER. ANY COSTS ASSOCIATED WITH ANY APPROVED PHASING CHANGES SHALL BE BORNE SOLELY BY THE CONTRACTOR AND MUST BE APPROVED IN ADVANCE BY ALL GOVERNING AUTHORITIES/AGENCIES, AS NEEDED, BEFORE COMMENCING WORK. GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL WORK ASSOCIATED TO THE PERMIT UPDATES NEEDED.
  - CONTRACTOR SHALL COORDINATE AND PROVIDE SAFE PASSAGE AND EXIT FROM EXISTING BUILDING AREAS DURING CONSTRUCTION, IN COMPLIANCE WITH ALL APPLICABLE CODES AND REQUIREMENTS OF OWNER.
  - NOISE CONTROL: CONTRACTOR SHALL COORDINATE EQUIPMENT LOCATIONS AND TIMING OF WORK ACTIVITIES SO AS TO AVOID CONFLICT WITH THE BUILDING OCCUPANTS AND/OR AVOID INTERFERENCE WITH FACILITY MEETINGS, EVENTS, OR OTHER ACTIVITIES.
  - CONTRACTOR NOT TO DRIVE OR BRING EQUIPMENT ON THE FIELDS.
  - IF THERE ARE ANY DELAYS WITH THE KITCHEN RENOVATION THAT REQUIRES THE TEMPORARY COOLER AND FREEZER TO EXTEND THEIR TIME ON CAMPUS, THE CONTRACTOR WILL BE RESPONSIBLE FOR COVERING THE RENTAL COST UNTIL WORK IS COMPLETE.
- NOTE FOR FIRE ALARM:
- FIRE ALARM CAN BE COMPLETE IN 3 PHASES TO MATCH THE PHASING LISTED ON THIS SHEET. THE CONTRACTOR MAY BE REQUIRED TO CREATE REDUNDANCY TO MAINTAIN THE EXISTING SYSTEM WHILE CONSTRUCTION IS OCCURRING FOR THE NEW SYSTEM. REFER TO T SERIES DRAWINGS TO SEE THE SCOPE WORK.

**NOTES - GENERAL PHASING PLAN**

- 1/4" = 1'-0"

**CONSULTANTS**

**STRUCTURAL**  
CJG Engineers  
6051 North Course Dr. Suite 375  
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Tel: 713.780.3345

**MEP**  
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10930 W. Sam Houston Pkwy. N.  
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Tel: 281.664.1900

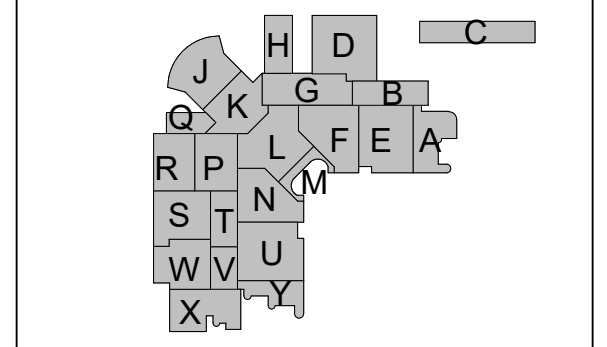
**CIVIL**  
Brooks and Sparks, Inc.  
21020 Park Row Dr.  
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Tel: 281.578.9595

**FOODSERVICE**  
Surcana Foodservice Design  
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Tel: 281.224.1230

**ACOUSTICAL & AV**  
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| 2025-01-13 | PERMIT AND PROPOSAL |
| 2025-01-24 | ADDENDUM No. 02 A   |

**G1.05**

1ST FLOOR PHASING SHEET



**PHASE PLAN:**

| PHASE      | START DATE             | COMPLETION DATE      |
|------------|------------------------|----------------------|
| PHASE I:   | START OF SUMMER 1      | END OF SUMMER 1      |
| PHASE II:  | START OF SUMMER 1      | END OF SUMMER 2      |
| PHASE III: | START OF DECEMBER 2025 | END OF DECEMBER 2025 |
| PHASE IV:  | JANUARY 2026           | END OF SUMMER 2      |
| PHASE V:   | START OF SUMMER 2      | END OF SUMMER 2      |

- PHASE I: START OF SUMMER 1 END OF SUMMER 1
- PHASE II: START OF SUMMER 1 END OF SUMMER 2
- PHASE III: START OF DECEMBER 2025 END OF DECEMBER 2025
- PHASE IV: JANUARY 2026 END OF SUMMER 2
- PHASE V: START OF SUMMER 2 END OF SUMMER 2

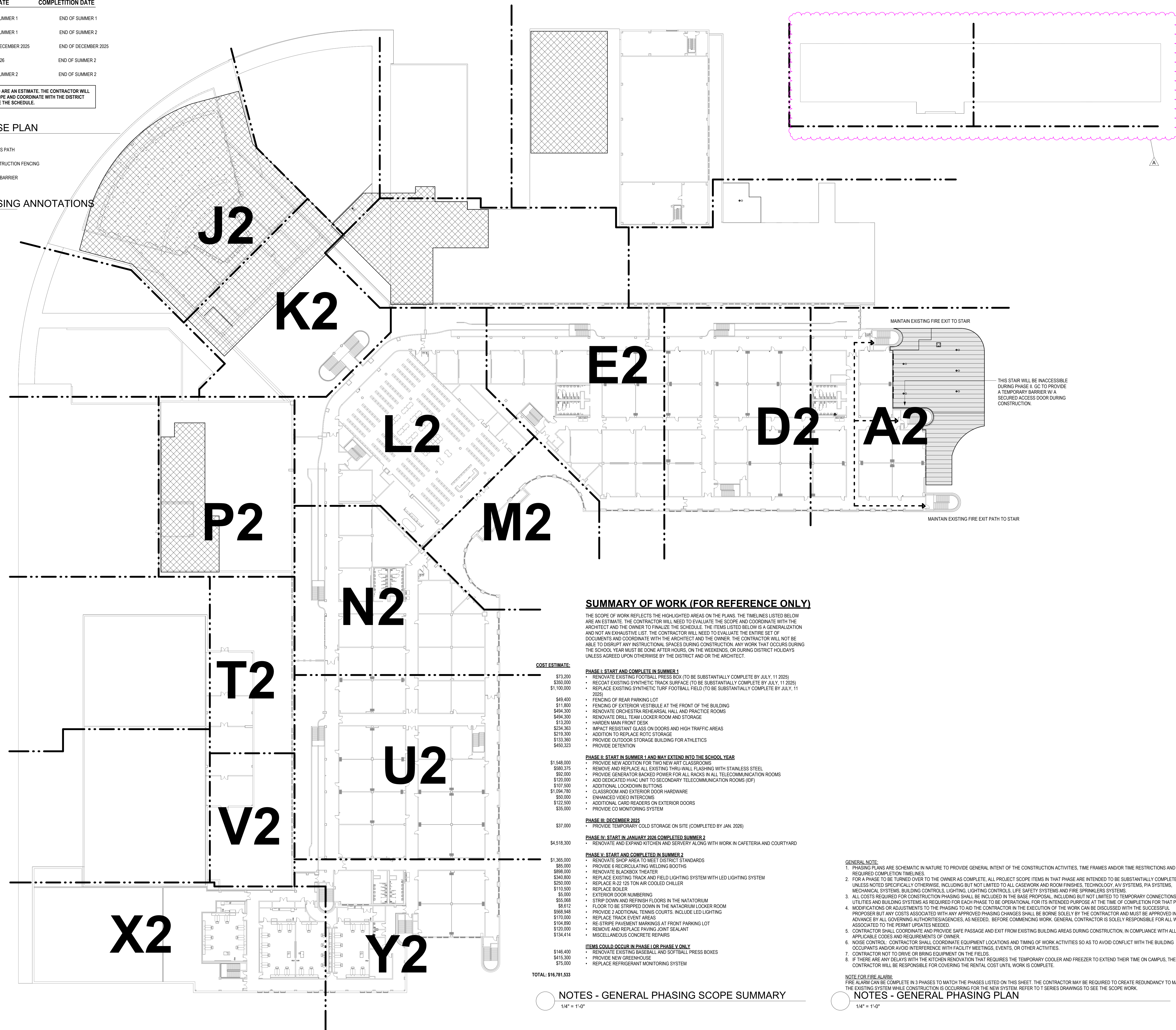
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**LEGEND - PHASE PLAN**

- 1/4" = 1'-0"
- ALTERNATE EGRESS PATH
- SUGGESTED CONSTRUCTION FENCING
- TEMPORARY WALL BARRIER

**LEGEND - PHASING ANNOTATIONS**

- 1/4" = 1'-0"



**SUMMARY OF WORK (FOR REFERENCE ONLY)**

THE SCOPE OF WORK REFLECTS THE HIGHLIGHTED AREAS ON THE PLANS. THE TIMELINES LISTED BELOW ARE AN ESTIMATE. THE CONTRACTOR WILL NEED TO EVALUATE THE SCOPE AND COORDINATE WITH THE ARCHITECT AND THE OWNER TO FINALIZE THE SCHEDULE. THE ITEMS LISTED BELOW IS A GENERALIZATION AND NOT AN EXHAUSTIVE LIST. THE CONTRACTOR WILL NEED TO EVALUATE THE ENTIRE SET OF DOCUMENTS AND COORDINATE WITH THE ARCHITECT AND THE OWNER. THE CONTRACTOR WILL NOT BE ABLE TO DISRUPT ANY INSTRUCTIONAL SPACES DURING CONSTRUCTION. ANY WORK THAT OCCURS DURING THE SCHOOL YEAR MUST BE DONE AFTER HOURS, ON THE WEEKENDS, OR DURING DISTRICT HOLIDAYS UNLESS AGREED UPON OTHERWISE BY THE DISTRICT AND/OR THE ARCHITECT.

| COST ESTIMATE:             | PHASE I: START AND COMPLETE IN SUMMER 1  |
|----------------------------|--|
| \$73,200                   | RENOVATE EXISTING FOOTBALL PRESS BOX (TO BE SUBSTANTIALLY COMPLETE BY JULY, 11 2025)           |
| \$350,000                  | RECOAT EXISTING SYNTHETIC TRACK SURFACE (TO BE SUBSTANTIALLY COMPLETE BY JULY, 11 2025)        |
| \$1,100,000                | REPLACE EXISTING SYNTHETIC TURF FOOTBALL FIELD (TO BE SUBSTANTIALLY COMPLETE BY JULY, 11 2025) |
| \$49,400                   | FENCING OF REAR PARKING LOT  |
| \$11,800                   | FENCING OF EXTERIOR VESTIBULE AT THE FRONT OF THE BUILDING                                     |
| \$494,300                  | RENOVATE ORCHESTRA REHEARSAL HALL AND PRACTICE ROOMS   |
| \$494,300                  | RENOVATE DRILL TEAM LOCKER ROOM AND STORAGE  |
| \$13,200                   | HARDEN MAIN FRONT DESK   |
| \$234,963                  | IMPACT RESISTANT GLASS ON DOORS AND HIGH TRAFFIC AREAS   |
| \$219,300                  | ADDITION TO REPLACE ROTC STORAGE   |
| \$133,360                  | PROVIDE OUTDOOR STORAGE BUILDING FOR ATHLETICS   |
| \$450,923                  | PROVIDE DETENTION  |
| \$1,548,000                | PHASE II: START IN SUMMER 1 AND MAY EXTEND INTO THE SCHOOL YEAR                                |
| \$680,375                  | PROVIDE NEW ADDITION FOR TWO NEW ART CLASSROOMS  |
| \$82,000                   | REMOVE AND REPLACE ALL EXISTING THRU-WALL FLASHING WITH STAINLESS STEEL                        |
| \$120,000                  | PROVIDE GENERATOR BACKED POWER FOR ALL RACKS IN ALL TELECOMMUNICATION ROOMS                    |
| \$107,500                  | ADD DEDICATED HVAC UNIT TO SECONDARY TELECOMMUNICATION ROOMS (IDF)                             |
| \$1,094,780                | ADDITIONAL LOCKDOWN BUTTONS  |
| \$50,000                   | CLASSROOM AND EXTERIOR DOOR HARDWARE   |
| \$122,500                  | ENHANCED VIDEO INTERCOMS   |
| \$35,000                   | ADDITIONAL CARD READERS ON EXTERIOR DOORS  |
|                            | PROVIDE CO MONITORING SYSTEM   |
| \$37,000                   | PHASE III: DECEMBER 2025   |
|                            | PROVIDE TEMPORARY COLD STORAGE ON SITE (COMPLETED BY JAN. 2026)                                |
| \$4,518,300                | PHASE IV: START IN JANUARY 2026 COMPLETED SUMMER 2   |
|                            | RENOVATE AND EXPAND KITCHEN AND SERVERY ALONG WITH WORK IN CAFETERIA AND COURTYARD             |
| \$1,365,000                | PHASE V: START AND COMPLETED IN SUMMER 2   |
| \$95,000                   | RENOVATE SHOP AREA TO MEET DISTRICT STANDARDS  |
| \$898,000                  | PROVIDE 6 RECIRCULATING WELDING BOOTHS   |
| \$340,800                  | RENOVATE BLACKBOX THEATER  |
| \$250,000                  | REPLACE EXISTING TRACK AND FIELD LIGHTING SYSTEM WITH LED LIGHTING SYSTEM                      |
| \$110,500                  | REPLACE R-22 125 TON AIR COOLED CHILLER  |
| \$5,000                    | REPLACE COOLER   |
| \$55,986                   | EXTERIOR DOOR NUMBERING  |
| \$6,612                    | STRIP DOWN AND REFINISH FLOORS IN THE NATATORIUM   |
| \$568,948                  | FLOOR TO BE STRIPPED DOWN IN THE NATATORIUM LOCKER ROOM  |
| \$170,000                  | PROVIDE 2 ADDITIONAL TENNIS COURTS. INCLUDE LED LIGHTING                                       |
| \$104,880                  | REPLACE TRACK EVENT AREAS  |
| \$120,000                  | RE-STRIPE PAVEMENT MARKINGS AT FRONT PARKING LOT   |
| \$134,414                  | REMOVE AND REPLACE PAVING JOINT SEALANT  |
|                            | MISCELLANEOUS CONCRETE REPAIRS   |
| \$146,400                  | ITEMS COULD OCCUR IN PHASE I OR PHASE V ONLY   |
| \$415,300                  | RENOVATE EXISTING BASEBALL AND SOFTBALL PRESS BOXES  |
| \$75,000                   | PROVIDE NEW GREENHOUSE   |
|                            | REPLACE REFRIGERANT MONITORING SYSTEM  |
| <b>TOTAL: \$16,781,533</b> |  |

**NOTES - GENERAL PHASING SCOPE SUMMARY**

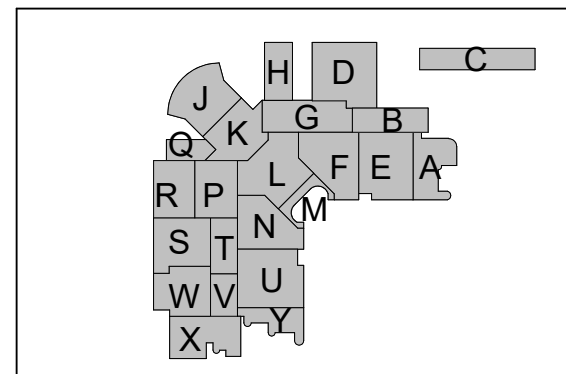
1/4" = 1'-0"

- GENERAL NOTE:**
- PHASING PLANS ARE SCHEMATIC IN NATURE TO PROVIDE GENERAL INTENT OF THE CONSTRUCTION ACTIVITIES, TIME FRAMES AND/OR TIME RESTRICTIONS AND REQUIRED COMPLETION TIMELINES.
  - FOR A PHASE TO BE TURNED OVER TO THE OWNER AS COMPLETE, ALL PROJECT SCOPE ITEMS IN THAT PHASE ARE INTENDED TO BE SUBSTANTIALLY COMPLETE UNLESS NOTED SPECIFICALLY OTHERWISE, INCLUDING BUT NOT LIMITED TO ALL CASEWORK AND ROOM FINISHES, TECHNOLOGY, AV SYSTEMS, PIA SYSTEMS, MECHANICAL SYSTEMS, BUILDING CONTROLS, LIGHTING, LIGHTING CONTROLS, LIFE SAFETY SYSTEMS AND FIRE SPRINKLERS SYSTEMS.
  - ALL COSTS REQUIRED FOR CONSTRUCTION PHASING SHALL BE INCLUDED IN THE BASE PROPOSAL, INCLUDING BUT NOT LIMITED TO TEMPORARY CONNECTIONS OF UTILITIES AND BUILDING SYSTEMS AS REQUIRED FOR EACH PHASE TO BE OPERATIONAL FOR ITS INTENDED PURPOSE AT THE TIME OF COMPLETION FOR THAT PHASE.
  - MODIFICATIONS OR ADJUSTMENTS TO THE PHASING TO AID THE CONTRACTOR IN THE EXECUTION OF THE WORK CAN BE DISCUSSED WITH THE SUCCESSFUL PROPOSER BUT ANY COSTS ASSOCIATED WITH ANY APPROVED PHASING CHANGES SHALL BE BORNE SOLELY BY THE CONTRACTOR AND MUST BE APPROVED IN ADVANCE BY ALL GOVERNING AUTHORITIES/AGENCIES, AS NEEDED, BEFORE COMMENCING WORK. GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL WORK ASSOCIATED TO THE PERMIT UPDATES NEEDED.
  - CONTRACTOR SHALL COORDINATE AND PROVIDE SAFE PASSAGE AND EXIT FROM EXISTING BUILDING AREAS DURING CONSTRUCTION, IN COMPLIANCE WITH ALL APPLICABLE CODES AND REQUIREMENTS OF OWNER.
  - NOISE CONTROL: CONTRACTOR SHALL COORDINATE EQUIPMENT LOCATIONS AND TIMING OF WORK ACTIVITIES SO AS TO AVOID CONFLICT WITH THE BUILDING OCCUPANTS AND/OR AVOID INTERFERENCE WITH FACILITY MEETINGS, EVENTS, OR OTHER ACTIVITIES.
  - CONTRACTOR NOT TO DRIVE OR BRING EQUIPMENT ON THE FIELDS.
  - IF THERE ARE ANY DELAYS WITH THE KITCHEN RENOVATION THAT REQUIRES THE TEMPORARY COOLER AND FREEZER TO EXTEND THEIR TIME ON CAMPUS, THE CONTRACTOR WILL BE RESPONSIBLE FOR COVERING THE RENTAL COST UNTIL WORK IS COMPLETE.

**NOTES - GENERAL PHASING PLAN**

1/4" = 1'-0"

- CONSULTANTS**
- STRUCTURAL**  
CJG Engineers  
6051 North Course Dr. Suite 375  
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Tel: 713.780.3345
- MEP**  
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Tel: 281.224.1230
- ACOUSTICAL & AV**  
BAI, LLC  
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**2024 CYPRESS FALLS HIGH SCHOOL RENOVATION**

CYPRESS-FAIRBANKS ISD

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**ARCADIS**

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1330 POST OAK BOULEVARD, SUITE 2250  
HOUSTON, TX 77056  
tel 281.286.6605, fax 713.977.4620



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| DATE       | ISSUE               |
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| 2025-01-24 | ADDENDUM No. 02 A   |

**G1.06**

**2ND FLOOR PHASING SHEET**

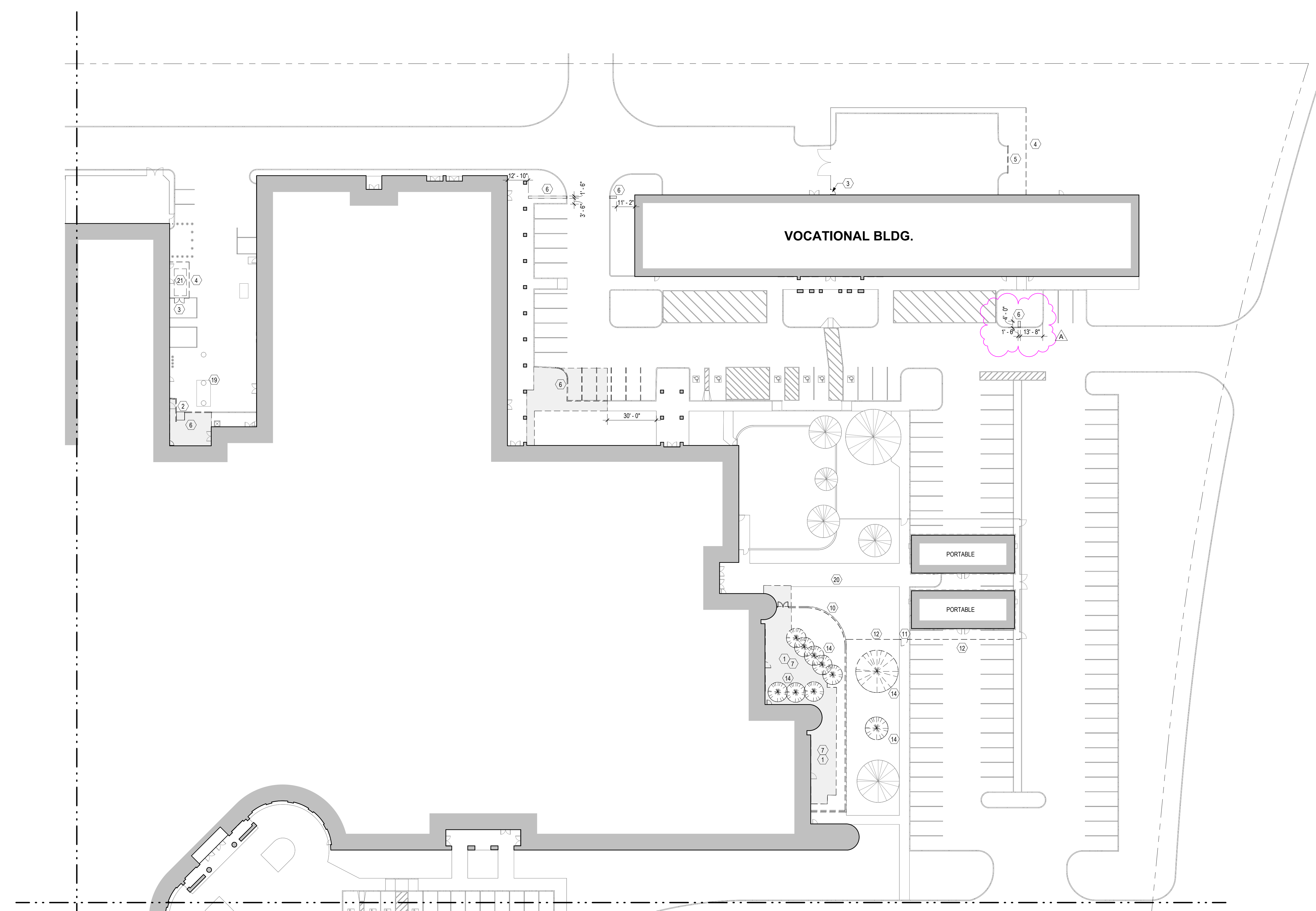


- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING SITE CONDITIONS, DIMENSIONS, UTILITIES, ETC. WHERE NEW CONSTRUCTION JOINS EXISTING CONDITIONS, THE EXISTING CONDITIONS SHALL CONTROL. ALL DISCREPANCIES SHALL BE SUBMITTED TO THE ARCHITECT FOR CONSIDERATION BEFORE PROCEEDING W/ THE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING & MODIFYING EXISTING UTILITY LINES ABOVE & BELOW GRADE DURING THE ENTIRE CONSTRUCTION PERIOD INCLUDING ALL NECESSARY TIE-INS & ELEVATION ADJUSTMENTS, RELOCATION OF ALL UTILITY POLES, LINES & OTHER EXISTING SERVICES. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED W/ THE WORK INCLUDING VERIFICATION & COORDINATION W/ THE APPROPRIATE AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING UTILITIES IMMEDIATELY TO INSURE NO INTERRUPTION OF SERVICE. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING W/ APPROPRIATE AGENCIES ALL BURIED LINES THAT APPROACH THE CONSTRUCTION AREA.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN & IMPLEMENTATION OF THE STORM WATER POLLUTION PREVENTION PLAN & SHALL ACQUIRE ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL VEGETATION, SHRUBS, TREES, ETC. NOT INDICATED TO BE REMOVED ALL CONSTRUCTION ACTIVITIES. DAMAGED LANDSCAPING SHALL BE REPLACED W/ LIKE MATERIALS & SIZE(S) AT THE DIRECTION OF THE ARCHITECT.
- THE OWNER HAS NEED TO OCCUPY THE FACILITIES DURING THE ENTIRE CONSTRUCTION PROCESS. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING W/ THE OWNER AND ARCHITECT AND TAKE ALL NECESSARY MEANS TO ISOLATE OCCUPANTS FROM CONSTRUCTION AREA. NO DISRUPTIVE WORK WILL BE PERMITTED INSIDE THE FACILITY DURING SCHOOL HOURS. CONTRACTOR SHALL PROVIDE ALL MEANS NECESSARY TO PROTECT ALL EXISTING WORK TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE CONSTRUCTION AREA CLEAN OF DEBRIS & EXCESSIVE DUST. CONTRACTOR SHALL BE RESPONSIBLE FOR IMMEDIATELY CORRECTING ANY INTERRUPTED USE TO THE FACILITY AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF ANY DAMAGE TO EXISTING FACILITY MATERIALS AT THE DIRECTION OF THE ARCHITECT & AT NO COST TO THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY & ALL MEANS OF SECURITY FOR THE PORTION OF THE FACILITY UNDER CONSTRUCTION OR BEING RENOVATED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY & ALL MEANS OF ACCESSING THE CONSTRUCTION AREA REQUIRED. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND RESTORATION OF THE EXISTING AREA(S) UPON COMPLETION OF THE CONSTRUCTION. THE OWNER RESERVES THE RIGHT TO APPROVE ALL CROSSINGS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EXISTING UNDERGROUND STORM LINES DURING ALL CONSTRUCTION INCLUDING NEW TIE-INS. CONTRACTOR SHALL REPAIR DAMAGE TO EXISTING SYSTEM (PIPE, GRATES, ETC.) IMMEDIATELY TO INSURE NO INTERRUPTION. CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT AGAINST SEDIMENT INFILTRATION AND SHALL JET CLEAN ALL LINES AS NECESSARY & UPON COMPLETION OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MODIFYING EXISTING SWALES AND/OR CREATING NEW TEMPORARY SWALES OR BERMS AS REQUIRED TO PROVIDE POSITIVE DRAINAGE AWAY FROM NEW AND EXISTING WORK AND FACILITIES. NO FLOODING OF ADJACENT AREAS WILL BE ALLOWED.
- THE IRRIGATION CONTRACTOR SHALL REVIEW THE IRRIGATION PLANS AND VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING IRRIGATION EQUIPMENT AND LAYOUT BEFORE CONSTRUCTION BEGINS. CONFIRM AUTOMATIC OPERATION OF EXISTING ZONES, AND NOTIFY THE OWNER IN WRITING IF ANY DAMAGE OR INOPERABLE ZONES ARE FOUND. THE CONTRACTOR SHALL RE-ROUTE, REPAIR OR RE-INSTALL EXISTING MAINLINE PIPE AND CONTROL WIRES AS REQUIRED TO MAINTAIN CONTINUED OPERATION OF ADJACENT ZONES DURING CONSTRUCTION. RE-INSTALL OR REPAIR LATERAL PIPE, VALVES, AND HEADS TO MATCH EXISTING EQUIPMENT TO PROVIDE A COMPLETE A SYSTEM EQUAL TO THE EXISTING EQUIPMENT. THE CONTRACTOR SHALL DEMONSTRATE COMPLETE OPERATION OF THE SYSTEM TO THE OWNER UPON COMPLETION OF WORK.

**NOTES - GENERAL SITE PLAN - DEMO**  
1/4" = 1'-0"

- EXISTING FLATWORK TO BE DEMOLISHED
- EXISTING CURB RAMP TO BE DEMOLISHED
- EXISTING GATE TO BE REMOVED
- EXISTING FENCING TO BE REMOVED
- EXISTING CURB TO BE DEMOLISHED
- EXISTING CURB AND FLATWORK TO BE DEMOLISHED
- CONTRACTOR TO REMOVE EXISTING OUTDOOR TABLES AND STORE AT THE OWNER'S REQUEST
- EXISTING TRACK AND FIELD EVENT SPACES TO BE REMOVED
- DEMO CASWORK IN ITS ENTIRETY
- EXISTING SCREEN WALL AND FOUNDATION TO BE DEMOLISHED
- CAREFULLY REMOVE EGRESS GATE FOR REINSTALLATION
- CAREFULLY REMOVE DECORATIVE FENCE PANELS FOR REINSTALLATION
- EXISTING CONEX TO BE RELOCATED. REFER TO THE DISTRICT FOR NEW LOCATION
- EXISTING TREE TO BE REMOVED
- SAW CUT AND PATCH EXISTING CONCRETE TO ROUTE NEW CONDUIT. RE: MEP
- REMOVE EXISTING FLOORING AND BASE IN ITS ENTIRETY. CLEAN/PREP/FINISH REMAINING SURFACES TO RECEIVE NEW FLOORING
- REMOVE EXISTING CEILING IN ITS ENTIRETY. CLEAN/PREP/FINISH REMAINING SURFACES TO RECEIVE NEW FLOORING
- REMOVE EXISTING WINDOW UNIT. PREP CONDITIONS FOR INSTALL OF NEW UNIT
- DEMO EXISTING GREASE TRAP AND IMPACTED PAVEMENT. PREPARE SURROUNDING CONDITIONS TO RECEIVE NEW GREASE TRAP. RE: PLUMBING AND CIVIL SHEETS
- CONTRACTOR TO PROTECT EXISTING CANOPY TO PORTABLES. NO DEMO SCOPE
- REMOVE EXISTING CHILLER AND CHILLER PAD. RE: MEP
- REMOVE BRICK INSET INTO CONCRETE
- DEMO FLATWORK, RELOCATE AND PROTECT BENCHES DURING CONSTRUCTION

**KEYNOTES - SITE PLAN - DEMO**  
1/4" = 1'-0"



**1 DEMO SITE PLAN - S4**  
1" = 30'-0"

|  |  |  |
|--|--|--|
| <b>CONSULTANTS</b>   |  |  |
| <b>STRUCTURAL</b>  |  |  |
| CJG Engineers<br>6051 North Course Dr. Suite 375<br>Houston, TX 77072<br>Tel: 713.780.3345               |  |  |
| <b>MEP</b>   |  |  |
| Salas O'Brien<br>10930 W. Sam Houston Pkwy. N.<br>Suite 900<br>Houston, TX 77064<br>Tel: 281.664.1900    |  |  |
| <b>CIVIL</b>   |  |  |
| Brooks & Sparks, Inc.<br>21020 Park Row Dr.<br>Katy, TX 77449<br>Tel: 281.578.9595                       |  |  |
| <b>FOODSERVICE</b>   |  |  |
| Surcana Foodservice Design<br>7430 Fairbanks N. Houston Rd.<br>Houston, Texas 77009<br>Tel: 281.224.1230 |  |  |
| <b>ACOUSTICAL &amp; A/V</b>  |  |  |
| BAI, LLC<br>4006 Speedway<br>Austin, Texas 78751<br>Tel: 512.476.3464                                    |  |  |
| <b>THEATRE</b>   |  |  |
| WJHW, INC.<br>2000 W. Loop South, Suite 1340<br>Houston, TX 77027<br>Tel: 210.561.9800                   |  |  |
| <b>LANDSCAPE &amp; IRRIGATION</b>  |  |  |
| LANDESIGN Group<br>1401 El Camino Real, Suite 204<br>Houston, TX 77058<br>Tel: 281.486.4040              |  |  |

|    |    |    |
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| S6 | S5 | S4 |
| S3 | S2 | S1 |

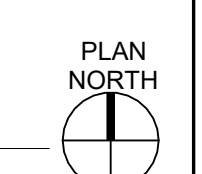
**2024 CYPRESS FALLS HIGH SCHOOL RENOVATION**  
CYPRESS-FAIRBANKS ISD  
9811 Huffmeister Rd, Houston, TX 77095

**ARCADIS**  
TEXAS ARCADIS INC.  
1330 POST OAK BOULEVARD, SUITE 2250  
HOUSTON, TX 77056  
tel 281.286.6605, fax 713.977.4620

REGISTERED ARCHITECT  
STATE OF TEXAS  
27120  
01/24/2025

|            |                     |
|------------|---------------------|
| PROJECT #: | 202318              |
| DATE:      | 2025-01-13          |
| DRAWN:     | BN                  |
| CHECKED:   | CA                  |
| DATE       | ISSUE               |
| 2025-01-13 | PERMIT AND PROPOSAL |
| 2025-01-24 | ADDENDUM No. 02 A   |

**C0.04**  
DEMO SITE PLAN  
- AREA 'S4'



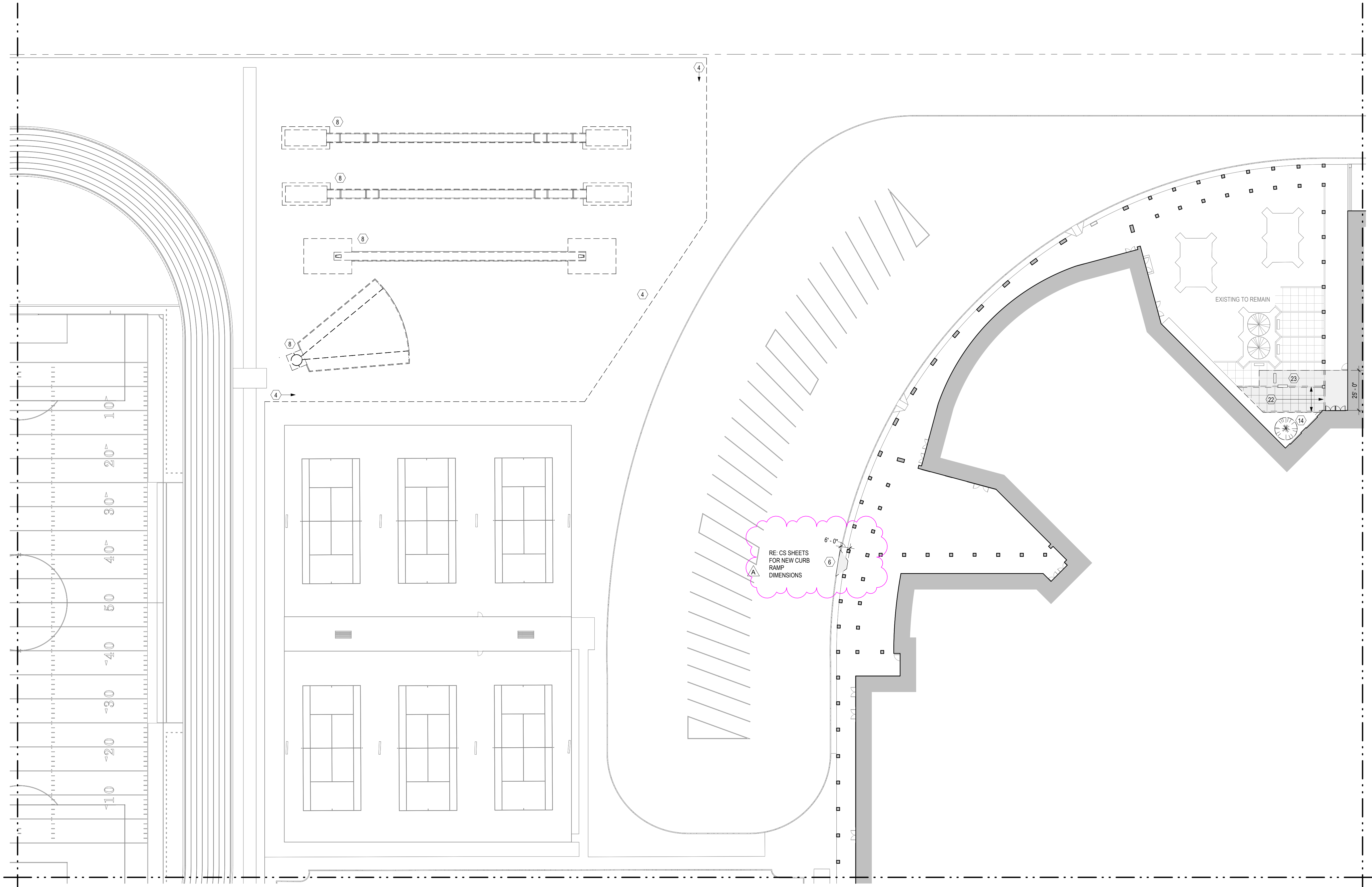


- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING SITE CONDITIONS, DIMENSIONS, UTILITIES, ETC. WHERE NEW CONSTRUCTION JOINS EXISTING CONDITIONS, THE EXISTING CONDITIONS SHALL CONTROL. ALL DISCREPANCIES SHALL BE SUBMITTED TO THE ARCHITECT FOR CONSIDERATION BEFORE PROCEEDING W/ THE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING & MODIFYING EXISTING UTILITY LINES ABOVE & BELOW GRADE DURING THE ENTIRE CONSTRUCTION PERIOD INCLUDING ALL NECESSARY TIE-INS, ELEVATION ADJUSTMENTS, RELOCATION OF ALL UTILITY POLES, LINES & OTHER EXISTING SERVICES. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED W/ THE WORK INCLUDING VERIFICATION & COORDINATION W/ THE APPROPRIATE AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING UTILITIES IMMEDIATELY TO INSURE NO INTERRUPTION OF SERVICE. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING W/ APPROPRIATE AGENCIES ALL BURIED LINES THAT APPROACH THE CONSTRUCTION AREA.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN & IMPLEMENTATION OF THE STORM WATER POLLUTION PREVENTION PLAN & SHALL ACQUIRE ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL VEGETATION, SHRUBS, TREES, ETC. NOT INDICATED TO BE REMOVED ALL CONSTRUCTION ACTIVITIES. DAMAGED LANDSCAPING SHALL BE REPLACED W/ LIKE MATERIALS & SIZE(S) AT THE DIRECTION OF THE ARCHITECT.
- THE OWNER HAS NEED TO OCCUPY THE FACILITIES DURING THE ENTIRE CONSTRUCTION PROCESS. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING W/ THE OWNER AND ARCHITECT AND TAKE ALL NECESSARY MEANS TO ISOLATE OCCUPANTS FROM CONSTRUCTION AREA. NO DISRUPTIVE WORK WILL BE PERMITTED INSIDE THE FACILITY DURING SCHOOL HOURS. CONTRACTOR SHALL PROVIDE ALL MEANS NECESSARY TO PROTECT ALL EXISTING WORK TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE CONSTRUCTION AREA CLEAN OF DEBRIS & EXCESSIVE DUST. CONTRACTOR SHALL BE RESPONSIBLE FOR IMMEDIATELY CORRECTING ANY INTERRUPTED USE TO THE FACILITY AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF ANY DAMAGE TO EXISTING FACILITY MATERIALS AT THE DIRECTION OF THE ARCHITECT & AT NO COST TO THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY & ALL MEANS OF SECURITY FOR THE PORTION OF THE FACILITY UNDER CONSTRUCTION OR BEING RENOVATED.
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**NOTES - GENERAL SITE PLAN - DEMO**  
1/4" = 1'-0"

- EXISTING FLATWORK TO BE DEMOLISHED
- EXISTING CURB RAMP TO BE DEMOLISHED
- EXISTING GATE TO BE REMOVED
- EXISTING FENCING TO BE REMOVED
- EXISTING CURB TO BE DEMOLISHED
- EXISTING CURB AND FLATWORK TO BE DEMOLISHED
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- DEMO FLATWORK, RELOCATE AND PROTECT BENCHES DURING CONSTRUCTION

**KEYNOTES - SITE PLAN - DEMO**  
1/4" = 1'-0"



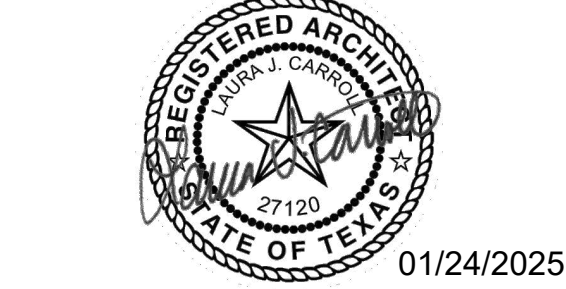
**1 DEMO SITE PLAN - S5**  
1" = 30'-0"

- CONSULTANTS**
- STRUCTURAL**  
CJG Engineers  
6051 North Course Dr. Suite 375  
Houston, TX 77072  
Tel: 713.780.3345
- MEP**  
Sales O'Brien  
10930 W. Sam Houston Pkwy. N.  
Suite 900  
Houston, TX 77064  
Tel: 281.664.1900
- CIVIL**  
Brooks & Sparks, Inc.  
21020 Park Row Dr.  
Katy, TX 77449  
Tel: 281.578.9595
- FOODSERVICE**  
Surcana Foodservice Design  
7430 Fairbanks N. Houston Rd.  
Houston, Texas 77009  
Tel: 281.224.1230
- ACOUSTICAL & A/V**  
BAI, LLC  
4006 Speedway  
Austin, Texas 78751  
Tel: 512.476.3464
- THEATRE**  
WJHW, INC.  
2000 W. Loop South, Suite 1340  
Houston, TX 77027  
Tel: 210.561.9800
- LANDSCAPE & IRRIGATION**  
LANDESIGN Group  
1401 El Camino Real, Suite 204  
Houston, TX 77058  
Tel: 281.486.4040

|    |    |    |
|----|----|----|
| S6 | S5 | S4 |
| S3 | S2 | S1 |

**2024 CYPRESS FALLS HIGH SCHOOL RENOVATION**  
CYPRESS-FAIRBANKS ISD  
9811 Huffmeister Rd, Houston, TX 77095

**ARCADIS**  
TEXAS ARCADIS INC.  
1330 POST OAK BOULEVARD, SUITE 2250  
HOUSTON, TX 77056  
tel 281.286.6605, fax 713.977.4620



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| 2025-01-13 | PERMIT AND PROPOSAL |
| 2025-01-24 | ADDENDUM No. 02 A   |

**C0.05**  
DEMO SITE PLAN  
- AREA 'S5'



**CONSULTANTS**

**STRUCTURAL**  
CJG Engineers  
6051 North Course Dr. Suite 375  
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**MEP**  
Salas O'Brien  
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Tel: 281.664.1900

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4006 Speedway  
Austin, Texas 78751  
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2000 W. Loop South, Suite 1340  
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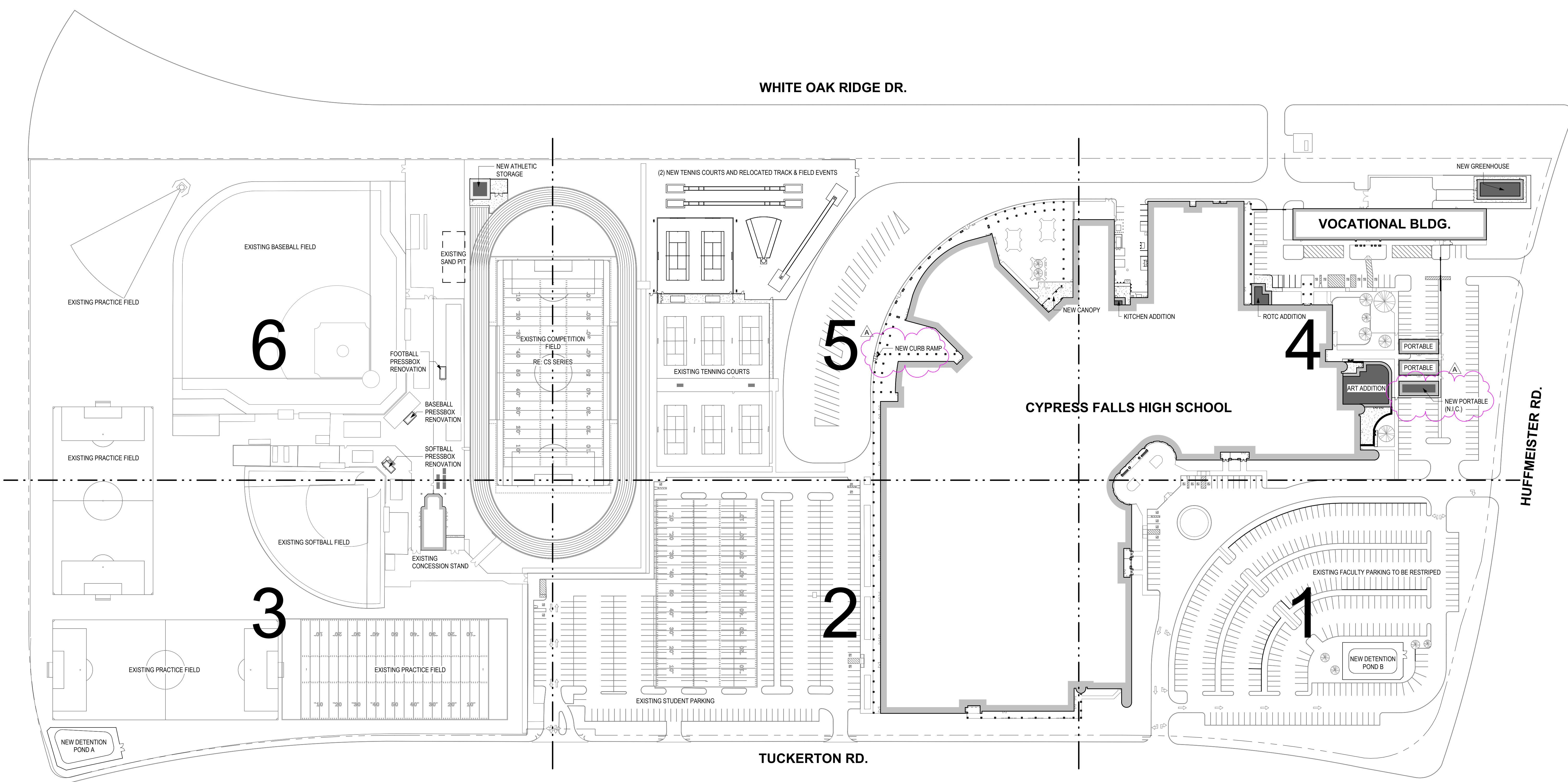
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| S3 | S2 | S1 |

**2024 CYPRESS FALLS HIGH SCHOOL RENOVATION**

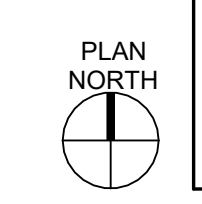
CYPRESS-FAIRBANKS ISD  
9811 Huffmeister Rd, Houston, TX 77095

**ARCADIS**

**TEXAS ARCADIS INC.**  
1330 POST OAK BOULEVARD, SUITE 2250  
HOUSTON, TX 77056  
tel 281.286.6605, fax 713.977.4620



**1** COMPOSITE SITE PLAN  
1" = 80'-0"



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| 2025-01-13 | PERMIT AND PROPOSAL |
| 2025-01-24 | ADDENDUM No. 02 A   |

**C1.00**

COMPOSITE SITE PLAN

# GENERAL SITE PLAN NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING SITE CONDITIONS, DIMENSION, UTILITIES, ETC. WHERE NEW CONSTRUCTION JOINS EXISTING CONDITIONS, THE EXISTING CONDITIONS SHALL CONTROL. ALL DISCREPANCIES SHALL BE SUBMITTED TO THE ARCHITECT FOR CONSIDERATION BEFORE PROCEEDING WITH THE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND MODIFYING EXISTING UTILITY LINES ABOVE AND BELOW GRADE DURING THE ENTIRE CONSTRUCTION PERIOD, INCLUDING ALL NECESSARY TIES AND ELEVATION ADJUSTMENTS, RELOCATION OF ALL UTILITY POLES, LINES AND OTHER EXISTING SERVICES. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE WORK INCLUDING VERIFICATION AND COORDINATION WITH THE APPROPRIATE AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING UTILITIES IMMEDIATELY TO INSURE NO INTERRUPTION OF SERVICE. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH APPROPRIATE AGENCIES ALL BURIED LINES THAT APPROACH THE CONSTRUCTION AREA.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, ACQUISITION OF ALL NECESSARY PERMITS, ETC. AND IMPLEMENTATION OF THE STORM WATER POLLUTION PREVENTION PLAN WITH THE APPROPRIATE AGENCIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL VEGETATION, SHRUBS, TREES, ETC. INDICATED TO REMAIN FROM ALL CONSTRUCTION ACTIVITIES. DAMAGED LANDSCAPING SHALL BE REPLACED WITH LIKE MATERIALS AND SIZE(S) AT THE DIRECTION OF THE ARCHITECT.
- THE OWNER HAS NEED TO OCCUPY THE FACILITIES DURING THE ENTIRE CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE OWNER AND ARCHITECT WITH REGARD TO THE CONSTRUCTION AREA. NO DISRUPTIVE WORK WILL BE PERMITTED AT THE FACILITY DURING SCHOOL HOURS. CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE CONSTRUCTION AREA CLEAN OF DEBRIS AND EXCESSIVE DUST. CONTRACTOR SHALL BE RESPONSIBLE FOR IMMEDIATELY CORRECTING ANY INTERRUPTED USE TO THE FACILITY AT NO COST TO THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF ANY DAMAGE TO EXISTING FACILITY MATERIALS AT THE DIRECTION OF THE ARCHITECT AND AT NO COST TO THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY AND ALL MEANS OF SECURITY INSIDE AND OUTSIDE REQUIRED AND APPROVED BY THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY AND ALL MEANS OF ACCESSING THE CONSTRUCTION AREA REQUIRED AND APPROVED BY THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND RESTORATION OF THE EXISTING AREAS UPON COMPLETION OF THE CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EXISTING UNDERGROUND STORM LINES DURING ALL CONSTRUCTION, INCLUDING NEW TIES-INS. CONTRACTOR SHALL REPAIR DAMAGE TO EXISTING SYSTEM PIPE, GRATES, ETC. IMMEDIATELY TO INSURE NO INTERRUPTION. CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT SEDIMENT INFILTRATION AND SHALL JET CLEAN ALL LINES AS NECESSARY UPON COMPLETION OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MODIFYING EXISTING SWALES AND/OR CREATING NEW TEMPORARY SWALES OR BERMS AS REQUIRED TO PROVIDE POSITIVE DRAINAGE AWAY FROM CONSTRUCTION AREA(S).
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE FOLLOWING AMERICANS WITH DISABILITIES ACT (A.D.A.) AND TEXAS ACCESSIBILITIES STANDARDS (T.A.S.) ACCESSIBLE ROUTE REQUIREMENTS:  
 \*ACCESSIBLE ROUTE (PARKING LOT AND WALKS):  
 SLOPE SHALL NOT EXCEED 5% (9/171 FOOT).  
 CROSS-SLOPE SHALL NOT EXCEED 2% (1/471 FOOT).  
 \*ACCESSIBLE APPROACH TO EXTERIOR DOORS(S)  
 IMMEDIATELY OUTSIDE OF DOOR AND FOR A DISTANCE OF 5'-0" MIN. SHALL NOT EXCEED A SLOPE OF 1% (1/471 FOOT).  
 MAXIMUM RISE AT THRESHOLD SHALL NOT EXCEED 1/2", INCLUDING DOOR THRESHOLD.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CONCRETE WALKS AS INDICATED ON THE SITE PLAN AND DETAILED ON THE DETAIL SHEET(S). (EXPANSION JOINTS AT 20'-0" MAX. WITH CONTROL JOINTS AT 5'-0" MAX. AND EQUAL SPACES). CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING JOINT LAYOUT WITH ARCHITECT IN THE FIELD PRIOR TO FORMING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING HYDROMULCH AT ALL LANDSCAPE AND PLANTING AREA, ETC. DISTURBED DURING CONSTRUCTION AND AT ALL AREAS NOTED AS FILL AND GRADE UNLESS NOTED OTHERWISE ON PLANS. PROVIDE TEMPORARY BARRICADE ALONG MAIN ACCESS PATHS TO BUILDING UNTIL SUCH TIME THE GRASS HAS STABILIZED THE FINISH GRADE.
- CONTRACTOR SHALL PROVIDE EXPANSION JOINTS AT THE PROPERTY LINE AT ALL DRIVES.
- CONTRACTOR SHALL GRADE ALL LANDSCAPE ISLAND TO AVOID WATER PONDING INSIDE OF CURBS.
- CONTRACTOR SHALL PROVIDE FILL AND SOLID SOD AT 5'-0" MIN. FROM ALL CONSTRUCTION AREAS INCLUDING NEW FOUNDATIONS, SIDEWALKS, FLATWORK, AND PAVING UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL REFER TO CIVIL DRAWINGS FOR ALL SITE GRADING AND SUB-SURFACE DRAINAGE SYSTEMS, MODIFICATIONS TO EXISTING SYSTEMS AND UTILITIES.
- CONTRACTOR SHALL REFER TO PAVING SCHEDULE FOR THICKNESS OF SURFACES.
- ALL DIMENSIONS ARE TO EDGE OF WALK OR PAVING, BACK OF CURB, FACE OF BUILDING OR PROPERTY LINE, UNLESS NOTED OTHERWISE.
- PARKING LOT PAINTING STANDARDS:  
 \*TYPICAL PARKING LINE SHALL BE 4" WIDE x 18'-0" LONG PER STALL, UNLESS NOTED OTHERWISE.  
 \*TYPICAL A.D.A. SYMBOL AND LOADING AREA SHALL BE PER DETAIL ON DETAIL SHEET.  
 \*TYPICAL FIRE LANE CURB SHALL BE OF APPROVED COLOR WITH STENCILED CONTRASTING GRAPHICS AT 50'-0" SPACING THAT READS:  
 "FIRE LANE - NO PARKING - TOW AWAY ZONE"
- AT ALL FIRE LANE CURBS, PROVIDE FIRE LANE SIGNS, SIMILAR TO ACCESSIBLE SIGN ON 26/C1.00, EXCEPT LOCATION EVERY 50'-0" O.C. ALONG FIRE LANE CURBS. SIGN TO READ, "FIRE LANE", "NO PARKING", "TOW AWAY ZONE". COORDINATE THE LOCATIONS IN THE FIELD WITH ARCHITECT.
- REFER TO CS SHEETS FOR ALL PAVEMENT JOINT SEALANT REMOVAL AND REPLACEMENT SCOPE.

## GENERAL SITE PLAN NOTES

1/4" = 1'-0"

- 
- 
- 
- NEW CARD READER, RE: SPECS
- REMOVABLE BOLLARD, RE: 1 / C1.11
- FIXED BOLLARD, RE: 2 / C1.11
- 
- REPLACE MECHANICAL YARD FENCING TO INSTALL CHILLER
- 
- NEW ACCESSIBLE RAMP, RE: CS SHEETS
- NEW CONCRETE CURB, RE: 6 / C1.11
- 
- NEW CURB RAMP, RE: CS SHEETS
- NEW KNOX BOX
- TYPE 2 BRICK SOLIDER COURSE PAVER, TYP. RE: 3 / C1.05
- EXISTING BENCHES RELOCATED AND REINSTALLED
- NEW DETENTION POND, RE: CIVIL
- NEW TENNIS LIGHT POLE, RE: ELEC. & RE: 13 / C1.11
- TENNIS BLEACHER AND CANOPY, RE: SPECS & RE: 11 / C1.10
- NEW FLATWORK, RE: CS SHEETS
- NEW PAVING, RE: CS SHEETS
- NEW ALUMINUM CANOPY, RE: C1-10 SHEET, SPECS
- 
- REPLACE SIDEWALK IMPACTED BY UTILITY LINES, RE: CS SHEETS
- EXISTING CAN WASH TO REMAIN
- NEW GREASE TRAP TO REPLACE EXISTING, RE: MEP, CS SHEETS
- TRAFFIC GRADE GRATES FOR GREASE TRAP
- NEW REFRIDGERATION UNIT AND HOUSEKEEPING PAD, RE: FOODSERVICE SHEETS AND SPECS
- 
- NEW BRICK SCREEN WALL, RE: 14 / C1.11
- TENNIS LIGHTS CONTROL PANEL, RE: MEP
- TEAM BENCH, RE: SPECS
- NEW LONG JUMP/TRIPLE JUMP, RE: CS SHEETS
- NEW SHOT PUT, RE: CS SHEETS
- NEW POLE VAULT, RE: CS SHEETS
- TWO NEW TENNIS COURTS, RE: CS SHEETS
- 4" PARKING STRIPING
- NEW CHILLER, RE: MEP AND HOUSEKEEPING PAD, RE: STRUCTURE
- NEW FLATWORK WITH INSET TYPE II BRICK, RE: 2 / C1.05 & CS SHEETS
- PROVIDE PROTECTIVE COVER ON FIXED BOLLARD, RE: SPECS & RE: 9 / C1.12
- 
- NEW LAYDOWN CURB, RE: CS SHEETS
- REUSE EXISTING DEC. FENCE PANELS WITH NEW POSTS, IF POSSIBLE. PROVIDE NEW FENCING AS NEEDED.
- NEW FENCING WITH REMOVABLE POSTS, RE: 9 / C1.11
- 8" CMU 12" TALL BEAT WALL, RE: CS SHEETS

## SITE PLAN KEYNOTES

1/4" = 1'-0"

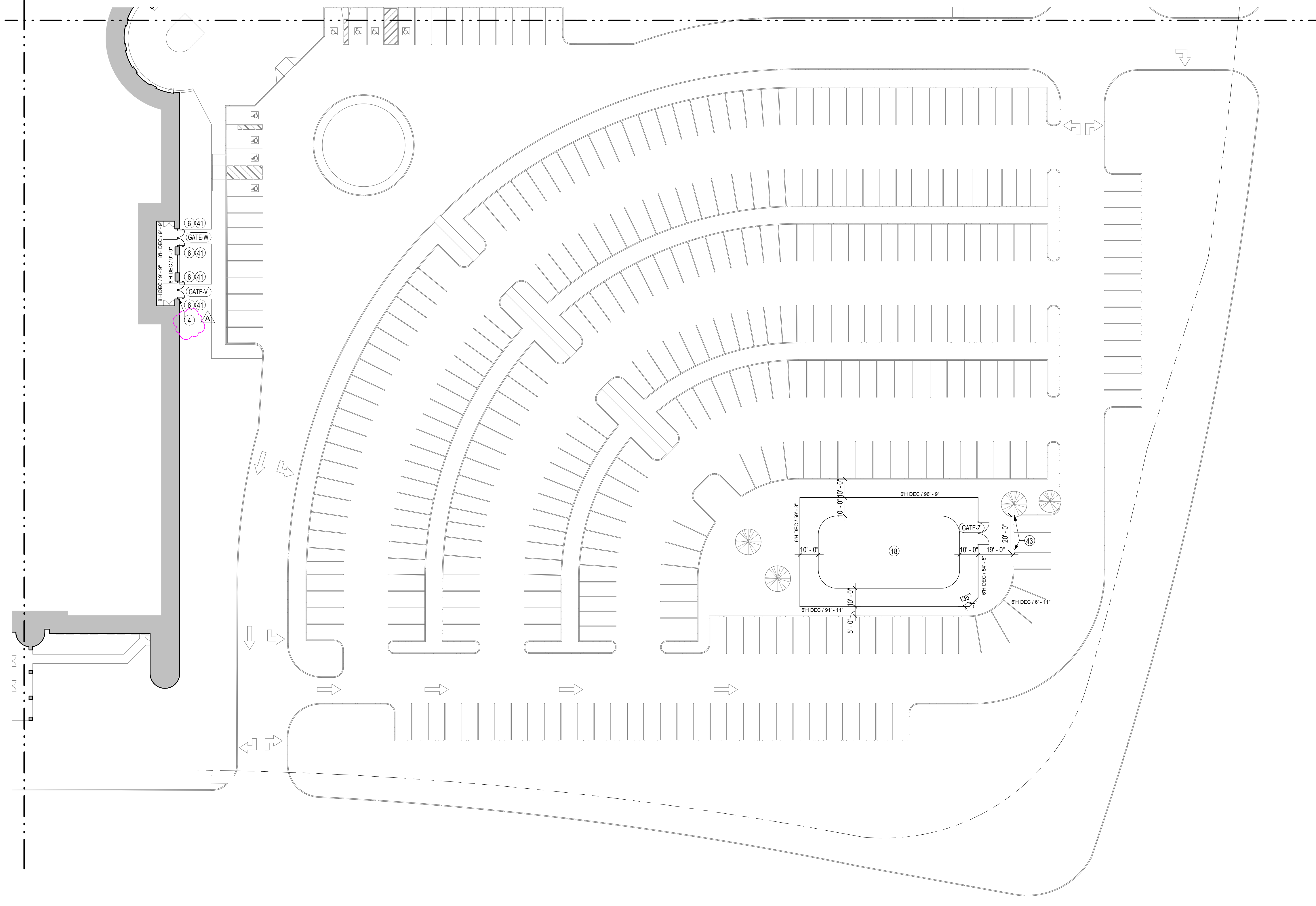
| PAVING/ WALK SCHEDULE  |      |                     |                     |
|------------------------|------|---------------------|---------------------|
| PAVING                 | PLAN | MATERIAL THICKNESS  | REINFORCING         |
| SIDEWALKS AND FLATWORK |      | REFER TO CS SERIES. | REFER TO CS SERIES. |

NOTE: PROVIDE SOIL STABILIZATION BELOW AND TO 36" BEYOND THE LIMITS OF ALL NEW CONCRETE FOR PARKING AREAS AND DRIVES. PROVIDE STABILIZATION WITH LIME-FLY ASH AT 6" STABILIZED DEPTH WITH 2-3% LIME AND 7-8% FLY ASH BY DRY WEIGHT.

NOTE: ALL PAVING EXPANSION JOINTS TO BE REPLACED WITH NEW AT ALL EXISTING JOINTS WITH SEALANT CAP, REMOVE AND REPLACE BACKER ROD AND SEALANT IN PAVING AND WALKS, TYP. REFER TO CS SERIES.

## PAVING NOTES

1/4" = 1'-0"



## 1 SITE PLAN - AREA 'S1'

1/4" = 30'-0"

- CONSULTANTS**
- STRUCTURAL**  
 C/J Engineers  
 6051 North Course Dr. Suite 375  
 Houston, TX 77072  
 Tel: 713.780.3345
- MEP**  
 Salas O'Brien  
 10930 W. Sam Houston Pkwy. N.  
 Suite 900  
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 Houston, TX 77058  
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| S6 | S5 | S4 |
| S3 | S2 | S1 |

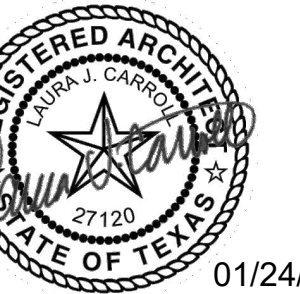
**2024 CYPRESS FALLS HIGH SCHOOL RENOVATION**

CYPRESS-FAIRBANKS ISD

9811 Huffmeister Rd, Houston, TX 77095



**TEXAS ARCADIS INC.**  
 1330 POST OAK BOULEVARD, SUITE 2250  
 HOUSTON, TX 77056  
 tel 281.286.6605, fax 713.977.4620

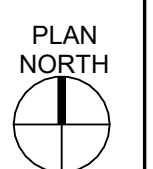


01/24/2025

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| PROJECT #: | 202318              |
| DATE:      | 2025-01-13          |
| DRAWN:     | BN                  |
| CHECKED:   | CA                  |
| DATE:      | ISSUE               |
| 2025-01-13 | PERMIT AND PROPOSAL |
| 2025-01-24 | ADDENDUM No. 02 A   |

# C1.01

SITE PLAN - AREA 'S1'



# GENERAL SITE PLAN NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING SITE CONDITIONS, DIMENSION, UTILITIES, ETC. WHERE NEW CONSTRUCTION JOINS EXISTING CONDITIONS, THE EXISTING CONDITIONS SHALL CONTROL. ALL DISCREPANCIES SHALL BE SUBMITTED TO THE ARCHITECT FOR CONSIDERATION BEFORE PROCEEDING WITH THE WORK.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND MODIFYING EXISTING UTILITY LINES ABOVE AND BELOW GRADE DURING THE ENTIRE CONSTRUCTION PERIOD, INCLUDING ALL NECESSARY TIES AND ELEVATION ADJUSTMENTS, RELOCATION OF ALL UTILITY POLES, LINES AND OTHER EXISTING SERVICES. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE WORK INCLUDING VERIFICATION AND COORDINATION WITH THE APPROPRIATE AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING UTILITIES IMMEDIATELY TO INSURE NO INTERRUPTION OF SERVICE. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH APPROPRIATE AGENCIES ALL BURIED LINES THAT APPROACH THE CONSTRUCTION AREA.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, ACQUISITION OF ALL NECESSARY PERMITS, ETC. AND IMPLEMENTATION OF THE STORM WATER POLLUTION PREVENTION PLAN WITH THE APPROPRIATE AGENCIES.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL VEGETATION, SHRUBS, TREES, ETC. INDICATED TO REMAIN FROM ALL CONSTRUCTION ACTIVITIES. DAMAGED LANDSCAPING SHALL BE REPLACED WITH LIKE MATERIALS AND SIZE(S) AT THE DIRECTION OF THE ARCHITECT.
5. THE OWNER HAS NEED TO OCCUPY THE FACILITIES DURING THE ENTIRE CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE OWNER AND ARCHITECT WITH REGARD TO THE CONSTRUCTION AREA. NO DISRUPTIVE WORK WILL BE PERMITTED AT THE FACILITY DURING SCHOOL HOURS. CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE CONSTRUCTION AREA CLEAR OF DEBRIS AND EXCESSIVE DUST. CONTRACTOR SHALL BE RESPONSIBLE FOR IMMEDIATELY CORRECTING ANY INTERRUPTED USE TO THE FACILITY AT NO COST TO THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF ANY DAMAGE TO EXISTING FACILITY MATERIALS AT THE DIRECTION OF THE ARCHITECT AND AT NO COST TO THE OWNER.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY AND ALL MEANS OF SECURITY INSIDE AND OUTSIDE REQUIRED AND APPROVED BY THE OWNER.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY AND ALL MEANS OF ACCESSING THE CONSTRUCTION AREA REQUIRED AND APPROVED BY THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND RESTORATION OF THE EXISTING AREA(S) UPON COMPLETION OF THE CONSTRUCTION.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EXISTING UNDERGROUND STORM LINES DURING ALL CONSTRUCTION, INCLUDING NEW TIES-INS. CONTRACTOR SHALL REPAIR DAMAGE TO EXISTING SYSTEM (PIPE, GRATES, ETC.) IMMEDIATELY TO INSURE NO INTERRUPTION. CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT SEDIMENT INFILTRATION AND SHALL JET CLEAN ALL LINES AS NECESSARY UPON COMPLETION OF CONSTRUCTION.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR MODIFYING EXISTING SWALES AND/OR CREATING NEW TEMPORARY SWALES OR BERMS AS REQUIRED TO PROVIDE POSITIVE DRAINAGE AWAY FROM CONSTRUCTION AREA(S).
10. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE FOLLOWING AMERICANS WITH DISABILITIES ACT (A.D.A.) AND TEXAS ACCESSIBILITIES STANDARDS (T.A.S.) ACCESSIBLE ROUTE REQUIREMENTS:  
 \*ACCESSIBLE ROUTE (PARKING LOT AND WALKS):  
 SLOPE SHALL NOT EXCEED 5% (5/101 FOOT)  
 CROSS-SLOPE SHALL NOT EXCEED 2% (1/41 FOOT)  
 \*ACCESSIBLE APPROACH TO EXTERIOR DOORS(S)  
 IMMEDIATELY OUTSIDE OF DOOR AND FOR A DISTANCE OF 5'-0" MIN. SHALL NOT EXCEED A SLOPE OF 2% (1/41 FOOT)  
 MAXIMUM RISE AT THRESHOLD SHALL NOT EXCEED 1/2", INCLUDING DOOR THRESHOLD.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CONCRETE WALKS AS INDICATED ON THE SITE PLAN AND DETAILED ON THE DETAIL SHEET(S) (EXPANSION JOINTS AT 20'-0" MAX. WITH CONTROL JOINTS AT 5'-0" MAX. AND EQUAL SPACES). CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING JOINT LAYOUT WITH ARCHITECT IN THE FIELD PRIOR TO FORMING.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING HYDROMULCH AT ALL LANDSCAPE AND PLANTING AREA, ETC. DISTURBED DURING CONSTRUCTION AND AT ALL AREAS NOTED AS FILL AND GRADE UNLESS NOTED OTHERWISE ON PLANS. PROVIDE TEMPORARY BARRICADE ALONG MAIN ACCESS PATHS TO BUILDING UNTIL SUCH TIME THE GRASS HAS STABILIZED THE FINISH GRADE.
13. CONTRACTOR SHALL PROVIDE EXPANSION JOINTS AT THE PROPERTY LINE AT ALL DRIVES.
14. CONTRACTOR SHALL GRADE ALL LANDSCAPE ISLAND TO AVOID WATER PONDING INSIDE OF CURBS.
15. CONTRACTOR SHALL PROVIDE FILL AND SOLID SOD AT 5'-0" MIN. FROM ALL CONSTRUCTION AREAS INCLUDING NEW FOUNDATIONS, SIDEWALKS, FLATWORK, AND PAVING UNLESS NOTED OTHERWISE.
16. CONTRACTOR SHALL REFER TO CIVIL DRAWINGS FOR ALL SITE GRADING AND SUB-SURFACE DRAINAGE SYSTEMS, MODIFICATIONS TO EXISTING SYSTEMS AND UTILITIES.
17. CONTRACTOR SHALL REFER TO PAVING SCHEDULE FOR THICKNESS OF SURFACES.
18. ALL DIMENSIONS ARE TO EDGE OF WALK OR PAVING, BACK OF CURB, FACE OF BUILDING OR PROPERTY LINE, UNLESS NOTED OTHERWISE.
19. PARKING LOT PAINTING STANDARDS:  
 \*TYPICAL PARKING LINE SHALL BE 4" WIDE x 18'-0" LONG PER STALL, UNLESS NOTED OTHERWISE.  
 \*TYPICAL A.D.A. SYMBOL AND LOADING AREA SHALL BE PER DETAIL ON DETAIL SHEET.  
 \*TYPICAL FIRE LANE CURBS SHALL BE OF APPROVED COLOR WITH STENCILED CONTRASTING GRAPHICS AT 5'-0" SPACING THAT READS:  
 "FIRE LANE - NO PARKING - TOW AWAY ZONE"
20. AT ALL FIRE LANE CURBS, PROVIDE FIRE LANE SIGNS, SIMILAR TO ACCESSIBLE SIGN ON 26/C1.00, EXCEPT LOCATION EVERY 50'-0" O.C. ALONG FIRE LANE CURBS. SIGN TO READ, "FIRE LANE, NO PARKING, TOW AWAY ZONE". COORDINATE THE LOCATIONS IN THE FIELD WITH ARCHITECT.
21. REFER TO CS SHEETS FOR ALL PAVEMENT JOINT SEALANT REMOVAL AND REPLACEMENT SCOPE.

## GENERAL SITE PLAN NOTES

1/4" = 1'-0"

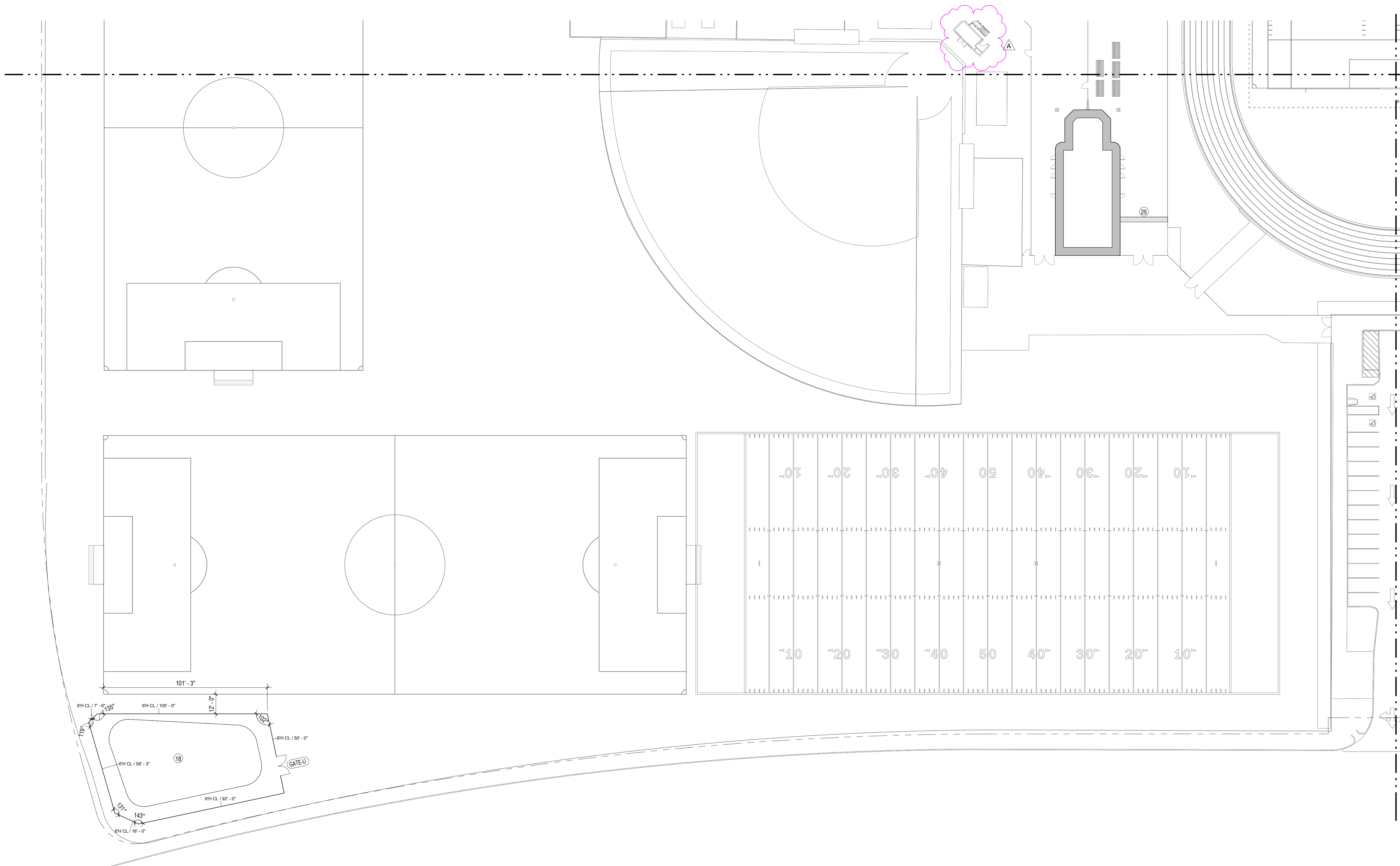
- 1 -
- 2 -
- 3 -
- 4 - NEW CARD READER, RE: SPECS
- 5 - REMOVABLE BOLLARD, RE: 1 / C1.11
- 6 - FIXED BOLLARD, RE: 2 / C1.11
- 7 -
- 8 - REPLACE MECHANICAL YARD FENCING TO INSTALL CHILLER
- 9 -
- 10 - NEW ACCESSIBLE RAMP, RE: CS SHEETS
- 11 - NEW CONCRETE CURB, RE: 6 / C1.11
- 12 -
- 13 -
- 14 - NEW CURB RAMP, RE: CS SHEETS
- 15 - NEW KNOX BOX
- 16 - TYPE 2 BRICK SOLIDER COURSE PAVER, TYP. RE: 3 / C1.05
- 17 - EXISTING BENCHES RELOCATED AND REINSTALLED
- 18 - NEW DETENTION POND, RE: CIVIL
- 19 - NEW TENNIS LIGHT POLE, RE: ELEC. & RE: 13 / C1.11
- 20 - TENNIS BLEACHER AND CANOPY, RE: SPECS & RE: 11 / C1.10
- 21 - NEW FLATWORK, RE: CS SHEETS
- 22 - NEW PAVING, RE: CS SHEETS
- 23 - NEW ALUMINUM CANOPY, RE: C1.10 SHEET, SPECS
- 24 -
- 25 - REPLACE SIDEWALK IMPACTED BY UTILITY LINES, RE: CS SHEETS
- 26 - EXISTING CAN WASH TO REMAIN
- 27 - NEW GREASE TRAP TO REPLACE EXISTING, RE: MEP, CS SHEETS
- 28 - TRAFFIC GRADE GRATES FOR GREASE TRAP
- 29 - NEW REFRIDGERATION UNIT AND HOUSEKEEPING PAD, RE: FOODSERVICE SHEETS AND SPECS
- 30 -
- 31 - NEW BRICK SCREEN WALL, RE: 14 / C1.11
- 32 - TENNIS LIGHTS CONTROL PANEL, RE: MEP
- 33 - TEAM BENCH, RE: SPECS
- 34 - NEW LONG JUMP/TRIPLE JUMP, RE: CS SHEETS
- 35 - NEW SHOT PUT, RE: CS SHEETS
- 36 - NEW POLE VAULT, RE: CS SHEETS
- 37 - TWO NEW TENNIS COURTS, RE: CS SHEETS
- 38 - 4" PARKING STRIPING
- 39 - NEW CHILLER, RE: MEP AND HOUSEKEEPING PAD, RE: STRUCTURE
- 40 - NEW FLATWORK WITH INSET TYPE II BRICK, RE: 2 / C1.05 & CS SHEETS
- 41 - PROVIDE PROTECTIVE COVER ON FIXED BOLLARD, RE: SPECS & RE: 9 / C1.12
- 42 -
- 43 - NEW LAYDOWN CURB, RE: CS SHEETS
- 44 - REUSE EXISTING DEC. FENCE PANELS WITH NEW POSTS, IF POSSIBLE. PROVIDE NEW FENCING AS NEEDED.
- 45 - NEW FENCING WITH REMOVABLE POSTS. RE: 9 / C1.11
- 46 - 8" CMU 12" TALL BEAT WALL, RE: CS SHEETS

## SITE PLAN KEYNOTES

1/4" = 1'-0"

## 1 SITE PLAN - AREA 'S3'

1" = 30'-0"



| CONSULTANTS  |  |  |
|--|--|--|
| STRUCTURAL   |  |  |
| CJG Engineers<br>6051 North Course Dr. Suite 375<br>Houston, TX 77072<br>Tel: 713.780.3345               |  |  |
| MEP  |  |  |
| Salas O'Brien<br>10930 W. Sam Houston Pkwy. N.<br>Suite 900<br>Houston, TX 77064<br>Tel: 281.664.1900    |  |  |
| CIVIL  |  |  |
| Brooks & Sparks, Inc.<br>21020 Park Row Dr.<br>Katy, TX 77449<br>Tel: 281.578.9595                       |  |  |
| FOODSERVICE  |  |  |
| Surcana Foodservice Design<br>7430 Fairbanks N. Houston Rd.<br>Houston, Texas 77009<br>Tel: 281.224.1230 |  |  |
| ACOUSTICAL & A/V   |  |  |
| BAI, LLC<br>4008 Speedway<br>Austin, Texas 78751<br>Tel: 512.476.3464                                    |  |  |
| THEATRE  |  |  |
| WJHW, INC.<br>2000 W. Loop South, Suite 1340<br>Houston, TX 77027<br>Tel: 210.561.9800                   |  |  |
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|    |    |    |
|----|----|----|
| S6 | S5 | S4 |
| S3 | S2 | S1 |

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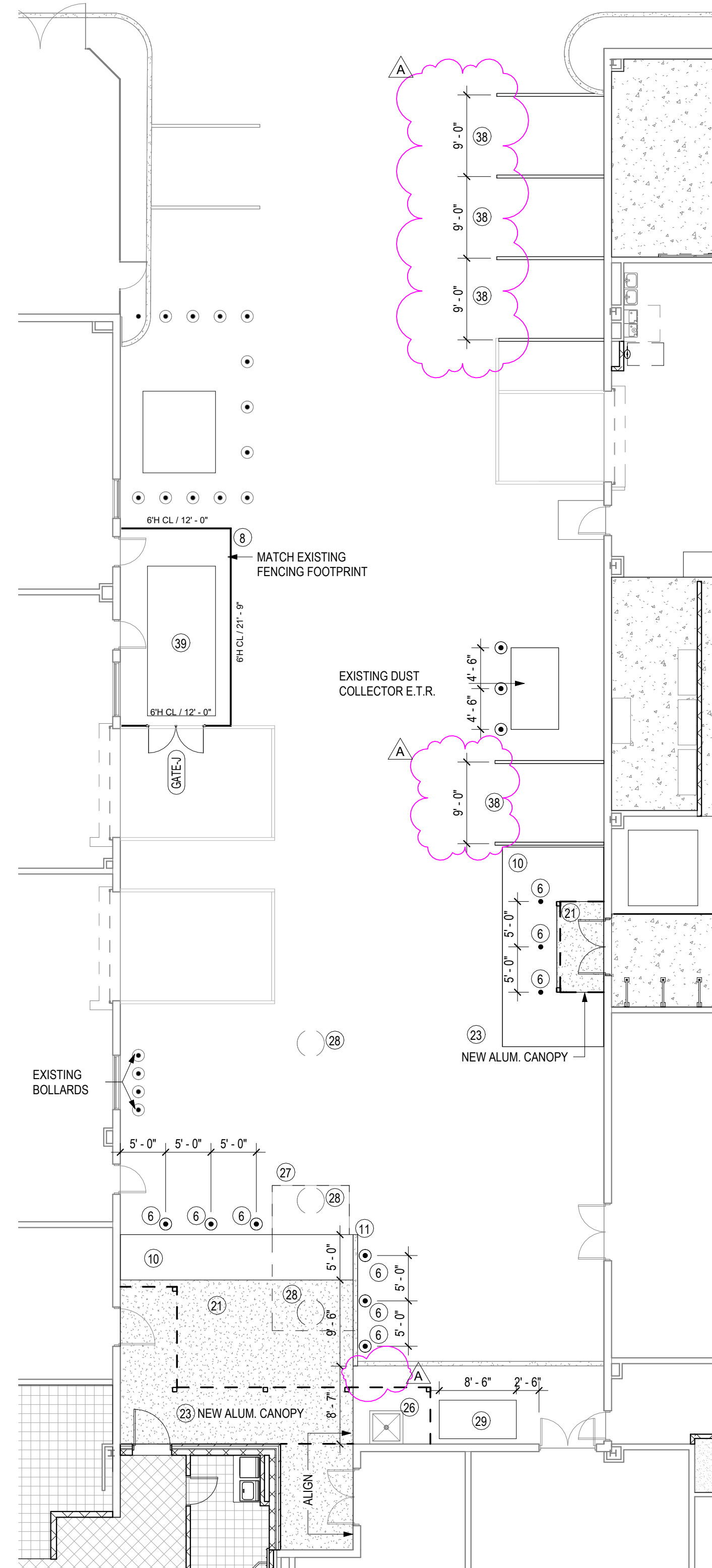


01/24/2025

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| 2025-01-24 | ADDENDUM No. 02 A   |

**C1.03**  
 SITE PLAN - AREA 'S3'





**2 AREA S4 - KITCHEN SERVICE YARD ENLARGED VIEW**  
3/32" = 1'-0"

- 1 .
- 2 .
- 3 .
- 4 NEW CARD READER, RE: SPECS
- 5 REMOVABLE BOLLARD, RE: 1 / C1.11
- 6 FIXED BOLLARD, RE: 2 / C1.11
- 7 .
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- 22 NEW PAVING, RE: CS SHEETS
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- 25 REPLACE SIDEWALK IMPACTED BY UTILITY LINES, RE: CS SHEETS
- 26 EXISTING CAN WASH TO REMAIN
- 27 NEW GREASE TRAP TO REPLACE EXISTING, RE: MEP, CS SHEETS
- 28 TRAFFIC GRADE GRATES FOR GREASE TRAP
- 29 NEW REFRIDGERATION UNIT AND HOUSEKEEPING PAD, RE: FOODSERVICE SHEETS AND SPECS
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**SITE PLAN KEYNOTES**  
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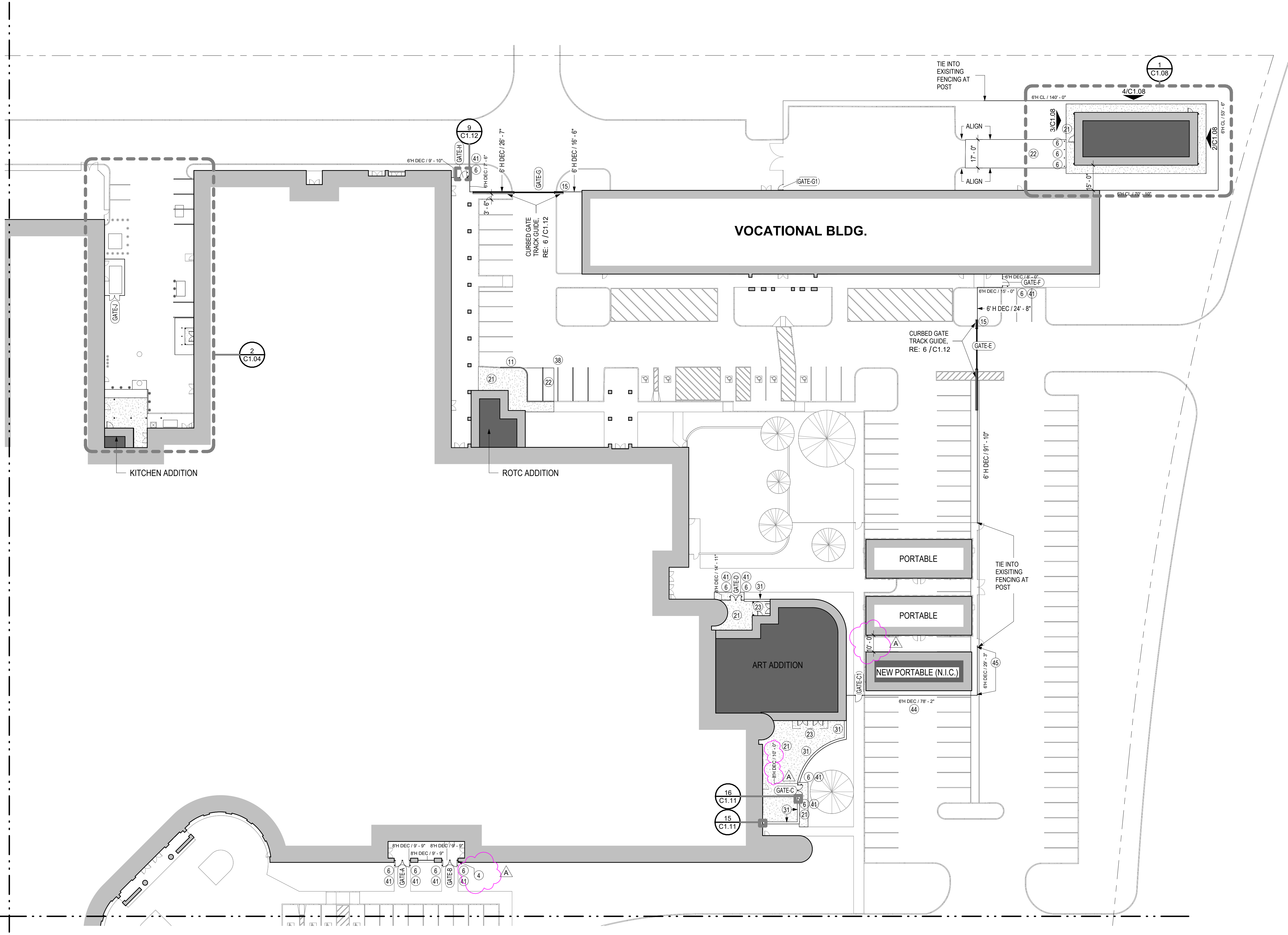
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 "ACCESSIBLE ROUTE (PARKING LOT AND WALKS):  
 SLOPE SHALL NOT EXCEED 5% (9/11" FOOT)  
 CROSS-SLOPE SHALL NOT EXCEED 2% (1/4"1" FOOT)  
 "ACCESSIBLE APPROACH TO EXTERIOR DOOR(S):  
 IMMEDIATELY OUTSIDE OF DOOR AND FOR A DISTANCE OF 5'-0" MIN. SHALL NOT EXCEED A SLOPE OF 2% (1/4"1" FOOT)  
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**PAVING NOTES**  
1/4" = 1'-0"

**GENERAL SITE PLAN NOTES SPLIT**  
1/4" = 1'-0"



**1 SITE PLAN - AREA 'S4'**  
1" = 30'-0"

**CONSULTANTS**  
**STRUCTURAL**  
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 Tel: 281.224.1230

**ACOUSTICAL & A/V**  
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 Tel: 512.476.3464

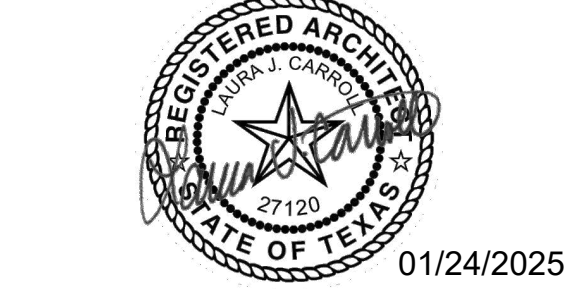
**THEATRE**  
 WJHW, INC.  
 2000 W. Loop South, Suite 1340  
 Houston, TX 77027  
 Tel: 210.561.9800

**LANDSCAPE & IRRIGATION**  
 LANDESIGN Group  
 1401 El Camino Real, Suite 204  
 Houston, TX 77058  
 Tel: 281.486.4040

|    |    |    |
|----|----|----|
| S6 | S5 | S4 |
| S3 | S2 | S1 |

**2024 CYPRESS FALLS HIGH SCHOOL RENOVATION**  
 CYPRESS-FAIRBANKS ISD  
 9811 Huffmeister Rd, Houston, TX 77095

**ARCADIS**  
**TEXAS ARCADIS INC.**  
 1330 POST OAK BOULEVARD, SUITE 2250  
 HOUSTON, TX 77056  
 tel 281.286.6605, fax 713.977.4620



|                 |                     |
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| PROJECT #:      | 202318              |
| DATE:           | 2025-01-13          |
| DRAWN:          | BN                  |
| CHECKED:        | CA                  |
| DATE:           | 2025-01-13          |
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| DATE:           | 2025-01-24          |
| ADDENDUM No. 02 | A                   |

**C1.04**  
 SITE PLAN - AREA 'S4'



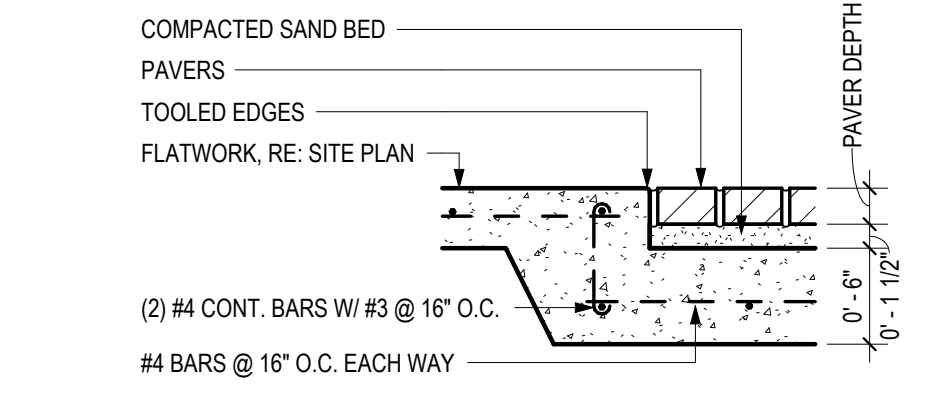
# GENERAL SITE PLAN NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING SITE CONDITIONS, DIMENSION, UTILITIES, ETC. WHERE NEW CONSTRUCTION JOINS EXISTING CONDITIONS, THE EXISTING CONDITIONS SHALL CONTROL. ALL DISCREPANCIES SHALL BE SUBMITTED TO THE ARCHITECT FOR CONSIDERATION BEFORE PROCEEDING WITH THE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND MODIFYING EXISTING UTILITY LINES ABOVE AND BELOW GRADE DURING THE ENTIRE CONSTRUCTION PERIOD, INCLUDING ALL NECESSARY TIES AND ELEVATION ADJUSTMENTS, RELOCATION OF ALL UTILITY POLES, LINES AND OTHER EXISTING SERVICES. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE WORK INCLUDING VERIFICATION AND COORDINATION WITH THE APPROPRIATE AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING UTILITIES IMMEDIATELY TO INSURE NO INTERRUPTION OF SERVICE. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH APPROPRIATE AGENCIES ALL BURIED LINES THAT APPROACH THE CONSTRUCTION AREA.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, ACQUISITION OF ALL NECESSARY PERMITS, ETC. AND IMPLEMENTATION OF THE STORM WATER POLLUTION PREVENTION PLAN WITH THE APPROPRIATE AGENCIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL VEGETATION, SHRUBS, TREES, ETC. INDICATED TO REMAIN FROM ALL CONSTRUCTION ACTIVITIES. DAMAGED LANDSCAPING SHALL BE REPLACED WITH LIKE MATERIALS AND SIZE(S) AT THE DIRECTION OF THE ARCHITECT.
- THE OWNER HAS NEED TO OCCUPY THE FACILITIES DURING THE ENTIRE CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE OWNER AND ARCHITECT WITH REGARD TO THE CONSTRUCTION AREA. NO DISRUPTIVE WORK WILL BE PERMITTED AT THE FACILITY DURING SCHOOL HOURS. CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE CONSTRUCTION AREA CLEAN OF DEBRIS AND EXCESSIVE SOIL. CONTRACTOR SHALL BE RESPONSIBLE FOR IMMEDIATELY CORRECTING ANY INTERRUPTED USE TO THE FACILITY AT NO COST TO THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF ANY DAMAGE TO EXISTING FACILITY MATERIALS AT THE DIRECTION OF THE ARCHITECT AND AT NO COST TO THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY AND ALL MEANS OF SECURITY INSIDE AND OUTSIDE REQUIRED AND APPROVED BY THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY AND ALL MEANS OF ACCESSING THE CONSTRUCTION AREA REQUIRED AND APPROVED BY THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND RESTORATION OF THE EXISTING AREAS UPON COMPLETION OF THE CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EXISTING UNDERGROUND STORM LINES DURING ALL CONSTRUCTION, INCLUDING NEW TIES-INS. CONTRACTOR SHALL REPAIR DAMAGE TO EXISTING SYSTEM (PIPE, GRATES, ETC.) IMMEDIATELY TO INSURE NO INTERRUPTION. CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT SEDIMENT INFILTRATION AND SHALL JET CLEAN ALL LINES AS NECESSARY UPON COMPLETION OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MODIFYING EXISTING SWALES AND/OR CREATING NEW TEMPORARY SWALES OR BERMS AS REQUIRED TO PROVIDE POSITIVE DRAINAGE AWAY FROM CONSTRUCTION AREA(S).
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE FOLLOWING AMERICANS WITH DISABILITIES ACT (A.D.A.) AND TEXAS ACCESSIBILITY STANDARDS (T.A.S.) ACCESSIBLE ROUTE REQUIREMENTS:
  - ACCESSIBLE ROUTE (PARKING LOT AND WALKS): SLOPE SHALL NOT EXCEED 5% (5/100 FOOT)
  - CROSS-SLOPE SHALL NOT EXCEED 2% (2/100 FOOT)
  - ACCESSIBLE APPROACH TO EXTERIOR DOORS(S)
  - IMMEDIATELY OUTSIDE OF DOOR AND FOR A DISTANCE OF 5'-0" MIN. SHALL NOT EXCEED A SLOPE OF 1% (1/100 FOOT)
  - MAXIMUM RISE AT THRESHOLD SHALL NOT EXCEED 1/2", INCLUDING DOOR THRESHOLD.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CONCRETE WALKS AS INDICATED ON THE SITE PLAN AND DETAILED ON THE DETAIL SHEET(S). EXPANSION JOINTS AT 20'-0" MAX. WITH CONTROL JOINTS AT 5'-0" MAX. AND EQUAL SPACES). CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING JOINT LAYOUT WITH ARCHITECT IN THE FIELD PRIOR TO FORMING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING HYDROMULCH AT ALL LANDSCAPE AND PLANTING AREA, ETC. DISTURBED DURING CONSTRUCTION AND AT ALL AREAS NOTED AS FILL AND GRADE UNLESS NOTED OTHERWISE ON PLANS. PROVIDE TEMPORARY BARRICADE ALONG MAIN ACCESS PATHS TO BUILDING UNTIL SUCH TIME THE GRASS HAS STABILIZED THE FINISH GRADE.
- CONTRACTOR SHALL PROVIDE EXPANSION JOINTS AT THE PROPERTY LINE AT ALL DRIVES.
- CONTRACTOR SHALL GRADE ALL LANDSCAPE ISLAND TO AVOID WATER PONDING INSIDE OF CURBS.
- CONTRACTOR SHALL PROVIDE FILL AND SOLID SOD AT 5'-0" MIN. FROM ALL CONSTRUCTION AREAS INCLUDING NEW FOUNDATIONS, SIDEWALKS, FLATWORK, AND PAVING UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL REFER TO CIVIL DRAWINGS FOR ALL SITE GRADING AND SUB-SURFACE DRAINAGE SYSTEMS, MODIFICATIONS TO EXISTING SYSTEMS AND UTILITIES.
- CONTRACTOR SHALL REFER TO PAVING SCHEDULE FOR THICKNESS OF SURFACES.
- ALL DIMENSIONS ARE TO EDGE OF WALK OR PAVING, BACK OF CURB, FACE OF BUILDING OR PROPERTY LINE, UNLESS NOTED OTHERWISE.
- PARKING LOT PAINTING STANDARDS:
  - TYPICAL PARKING LINE SHALL BE 4" WIDE x 18'-0" LONG PER STALL, UNLESS NOTED OTHERWISE.
  - TYPICAL A.D.A. SYMBOL AND LOADING AREA SHALL BE PER DETAIL ON DETAIL SHEET.
  - TYPICAL FIRE LANE CURBS SHALL BE OF APPROVED COLOR WITH STENCILLED CONTRASTING GRAPHICS AT 50'-0" SPACING THAT READS: "FIRE LANE - NO PARKING - TOW AWAY ZONE"
- AT ALL FIRE LANE CURBS, PROVIDE FIRE LANE SIGNS, SIMILAR TO ACCESSIBLE SIGN ON 26/C1.00, EXCEPT LOCATION EVERY 50'-0" O.C. ALONG FIRE LANE CURBS. SIGN TO READ, "FIRE LANE - NO PARKING - TOW AWAY ZONE". COORDINATE THE LOCATIONS IN THE FIELD WITH ARCHITECT.
- REFER TO CS SHEETS FOR ALL PAVEMENT JOINT SEALANT REMOVAL AND REPLACEMENT SCOPE.

**NOTE:** ALL PAVING EXPANSION JOINTS TO BE REPLACED WITH NEW, AT ALL EXISTING JOINTS WITH SEALANT CAP. REMOVE AND REPLACE BACKER ROD AND SEALANT IN PAVING AND WALKS, TYP. REFER TO CS SERIES.

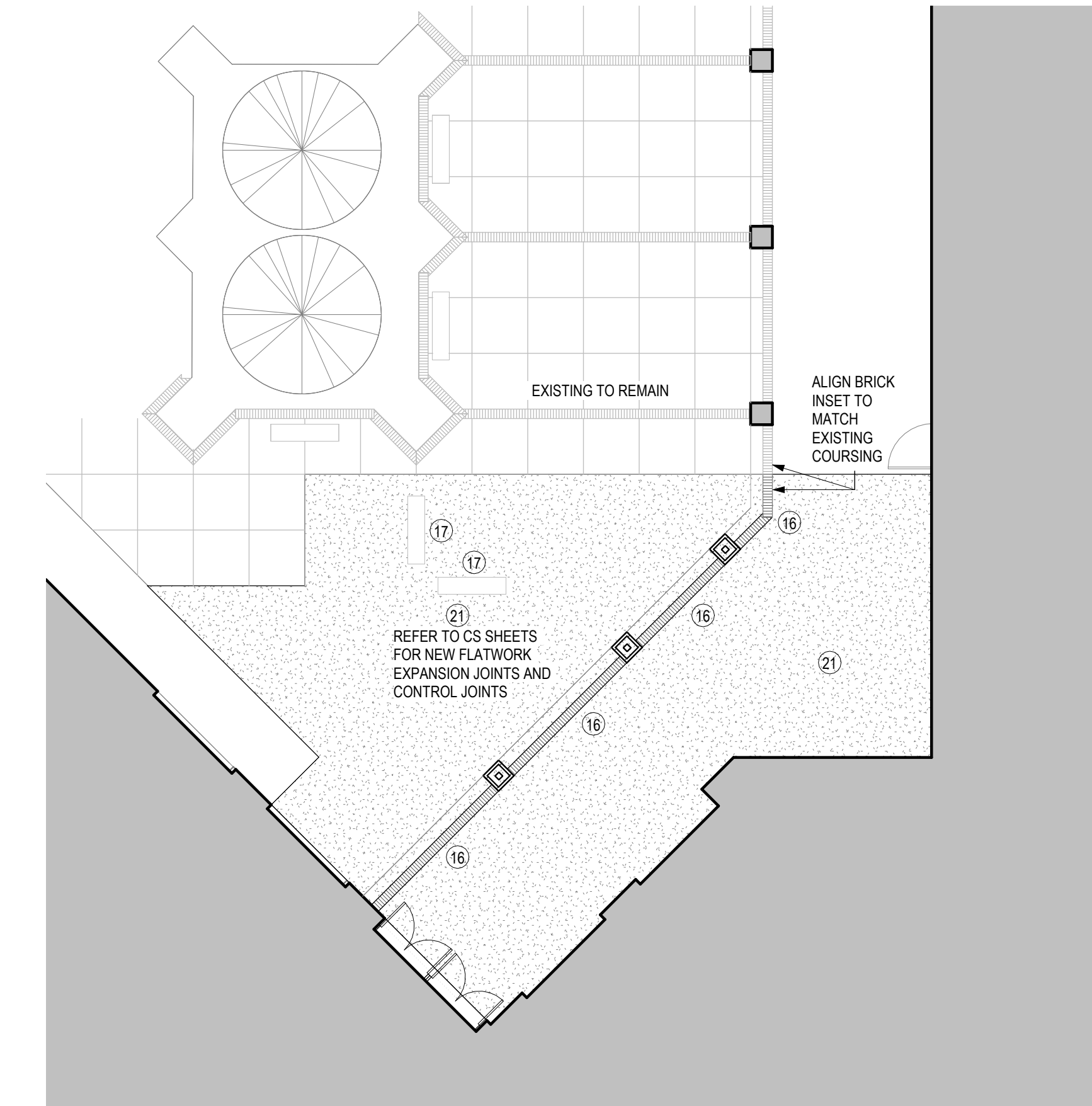
## PAVING NOTES

1/4" = 1'-0"



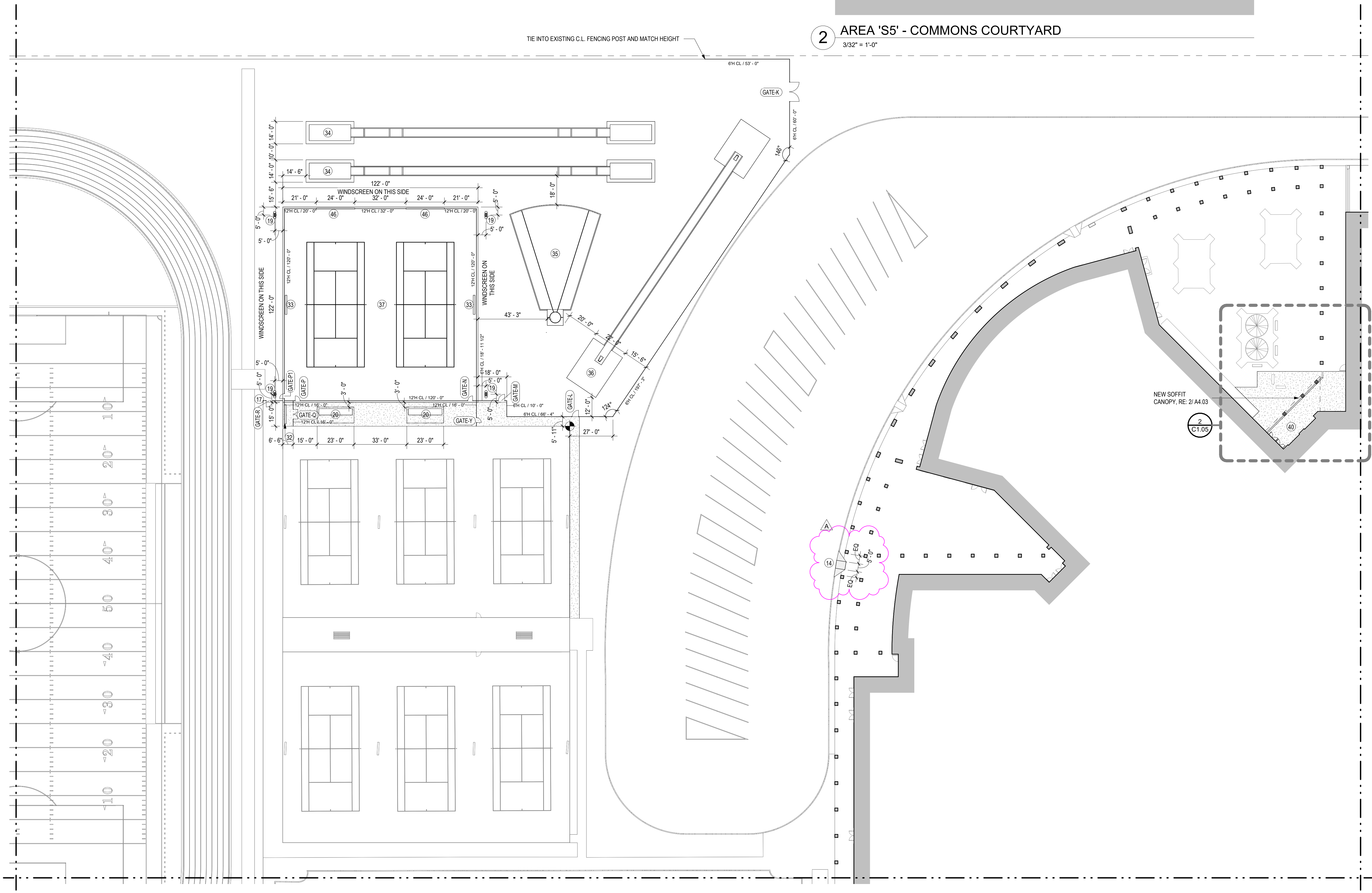
## 3 PAV'G - PAVER @ CONC EDGE

1" = 1'-0"



## 2 AREA 'S5' - COMMONS COURTYARD

3/32" = 1'-0"



## 1 SITE PLAN - AREA 'S5'

1/4" = 1'-0"

## GENERAL SITE PLAN NOTES

1/4" = 1'-0"

- 
- 
- 
- NEW CARD READER, RE: SPECS
- REMOVABLE BOLLARD, RE: 1 / C1.11
- FIXED BOLLARD, RE: 2 / C1.11
- 
- REPLACE MECHANICAL YARD FENCING TO INSTALL CHILLER
- 
- NEW ACCESSIBLE RAMP, RE: CS SHEETS
- NEW CONCRETE CURB, RE: 6 / C1.11
- 
- NEW CURB RAMP, RE: CS SHEETS
- NEW WNOX BOX
- TYPE 2 BRICK SOLIDER COURSE PAVER, TYP. RE: 3 / C1.05
- EXISTING BENCHES RELOCATED AND REINSTALLED
- NEW DETENTION POND, RE: CIVIL
- NEW TENNIS LIGHT POLE, RE: ELEC. & RE: 13 / C1.11
- TENNIS BLEACHER AND CANOPY, RE: SPECS & RE: 11 / C1.10
- NEW FLATWORK, RE: CS SHEETS
- NEW PAVING, RE: CS SHEETS
- NEW ALUMINUM CANOPY, RE: C1.10 SHEET, SPECS
- 
- REPLACE SIDEWALK IMPACTED BY UTILITY LINES, RE: CS SHEETS
- EXISTING CAN WASH TO REMAIN
- NEW GREASE TRAP TO REPLACE EXISTING, RE: MEP, CS SHEETS
- TRAFFIC GRADE GRATES FOR GREASE TRAP
- NEW REFRIDGERATION UNIT AND HOUSEKEEPING PAD, RE: FOODSERVICE SHEETS AND SPECS
- 
- NEW BRICK SCREEN WALL, RE: 14 / C1.11
- TENNIS LIGHTS CONTROL PANEL, RE: MEP
- TEAM BENCH, RE: SPECS
- NEW LONG JUMP/TRIPLE JUMP, RE: CS SHEETS
- NEW SHOT PUT, RE: CS SHEETS
- NEW POLE VAULT, RE: CS SHEETS
- TWO NEW TENNIS COURTS, RE: CS SHEETS
- 4' PARKING STRIPING
- 
- NEW CHILLER, RE: MEP AND HOUSEKEEPING PAD, RE: STRUCTURE
- NEW FLATWORK WITH INSET TYPE II BRICK, RE: 2 / C1.05 & CS SHEETS
- PROVIDE PROTECTIVE COVER ON FIXED BOLLARD, RE: SPECS & RE: 9 / C1.12
- 
- NEW LAYDOWN CURB, RE: CS SHEETS
- REUSE EXISTING DEC. FENCE PANELS WITH NEW POSTS, IF POSSIBLE. PROVIDE NEW FENCING AS NEEDED
- NEW FENCING WITH REMOVABLE POSTS RE: 9 / C1.11
- 8' CMU 12' TALL BEAT WALL, RE: CS SHEETS

## SITE PLAN KEYNOTES

1/4" = 1'-0"

| CONSULTANTS  |  |  |
|--|--|--|
| <b>STRUCTURAL</b>  |  |  |
| CJG Engineers<br>6051 North Course Dr. Suite 375<br>Houston, TX 77072<br>Tel: 713.780.3345               |  |  |
| <b>MEP</b>   |  |  |
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| <b>FOODSERVICE</b>   |  |  |
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| <b>ACOUSTICAL &amp; A/V</b>  |  |  |
| BAI, LLC<br>4006 Speedway<br>Austin, Texas 78751<br>Tel: 512.476.3464                                    |  |  |
| <b>THEATRE</b>   |  |  |
| WJHW, INC.<br>2000 W. Loop South, Suite 1340<br>Houston, TX 77027<br>Tel: 210.561.9800                   |  |  |
| <b>LANDSCAPE &amp; IRRIGATION</b>  |  |  |
| LANDESIGN Group<br>1401 El Camino Real, Suite 204<br>Houston, TX 77058<br>Tel: 281.486.4040              |  |  |

|    |    |    |
|----|----|----|
| S6 | S5 | S4 |
| S3 | S2 | S1 |

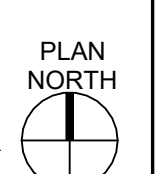
**2024 CYPRESS FALLS HIGH SCHOOL RENOVATION**  
 CYPRESS-FAIRBANKS ISD  
 9811 Huffmeister Rd, Houston, TX 77095

**ARCADIS**  
 TEXAS ARCADIS INC.  
 1330 POST OAK BOULEVARD, SUITE 2250  
 HOUSTON, TX 77056  
 tel 281.286.6605, fax 713.977.4620



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| ISSUE:     | A                                   |

**C1.05**  
 SITE PLAN - AREA 'S5'



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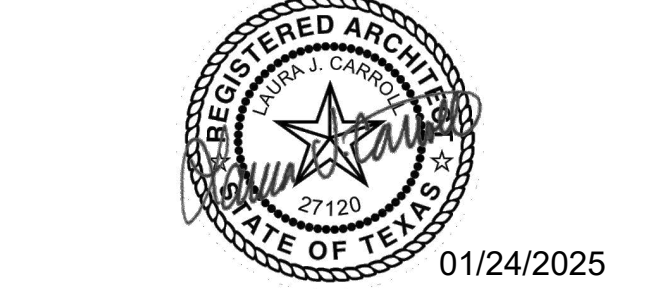
THEATRE  
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| S6 | S5 | S4 |
| S3 | S2 | S1 |

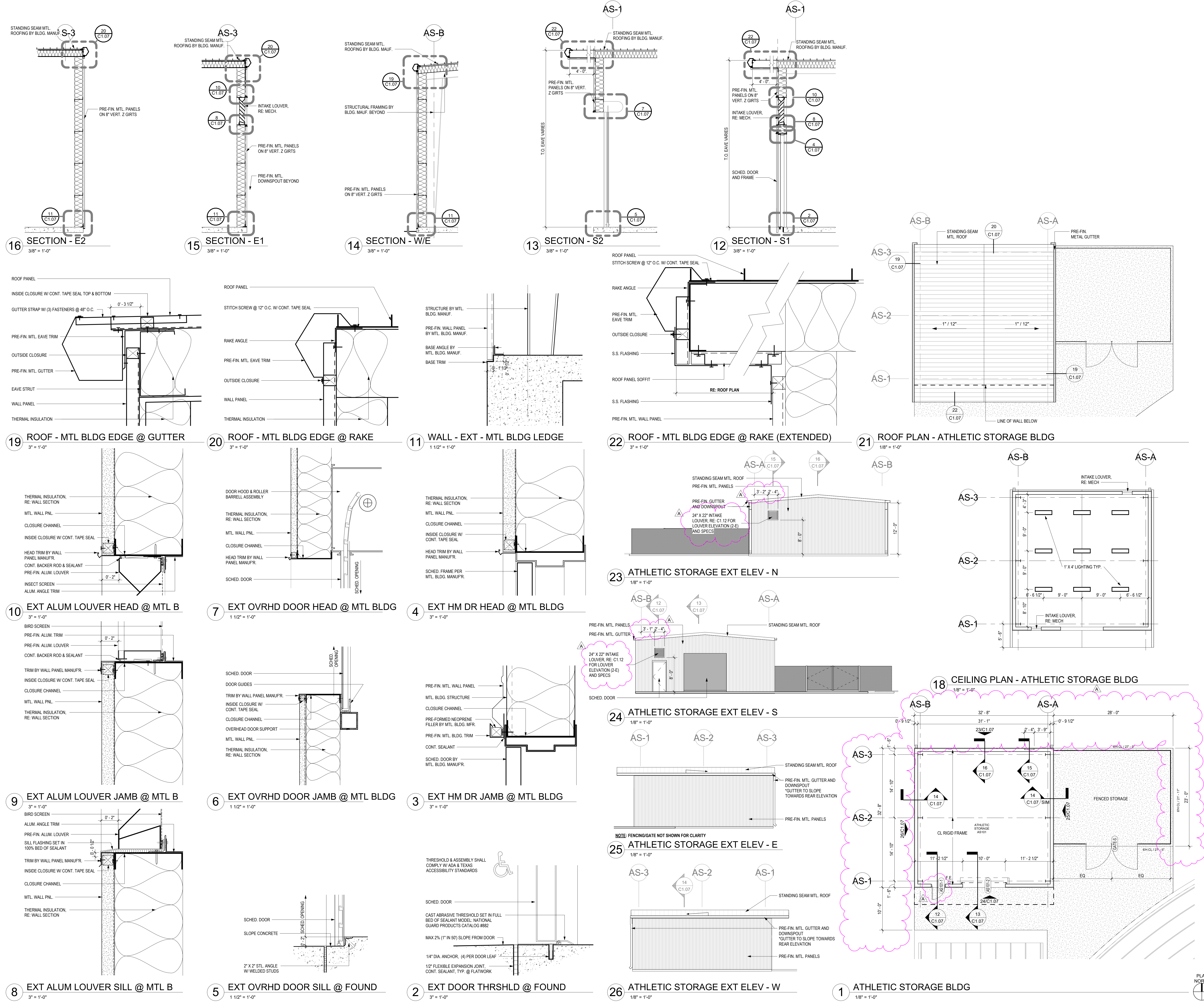
**2024 CYPRESS FALLS HIGH SCHOOL RENOVATION**  
 CYPRESS-FAIRBANKS ISD  
 9811 Huffmeister Rd, Houston, TX 77095

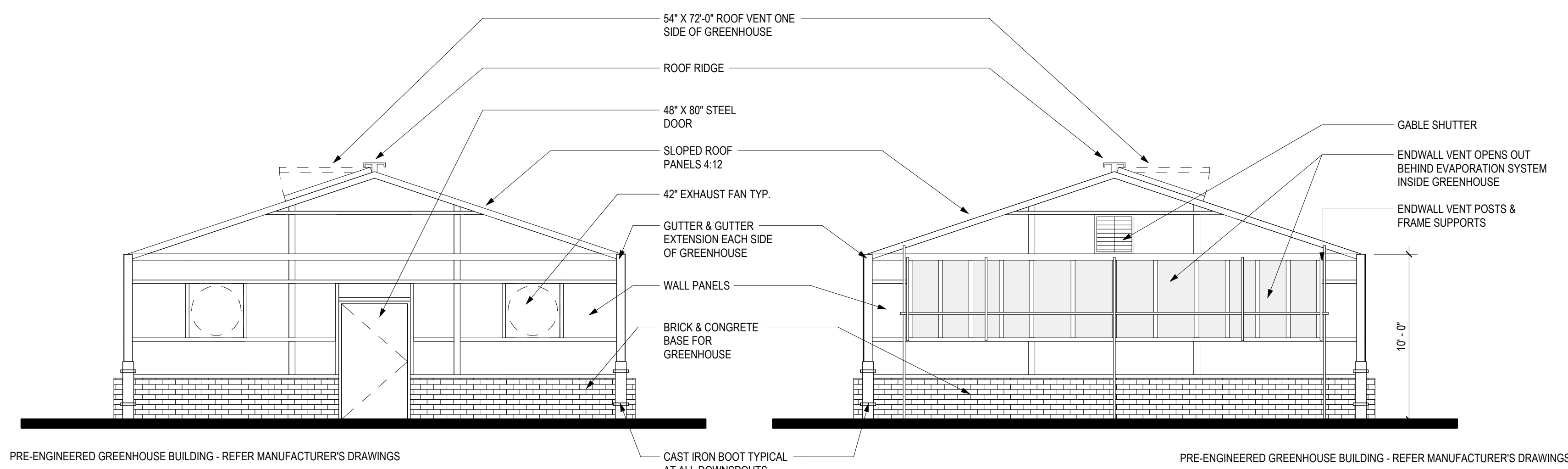
**ARCADIS**  
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 1330 POST OAK BOULEVARD, SUITE 2250  
 HOUSTON, TX 77056  
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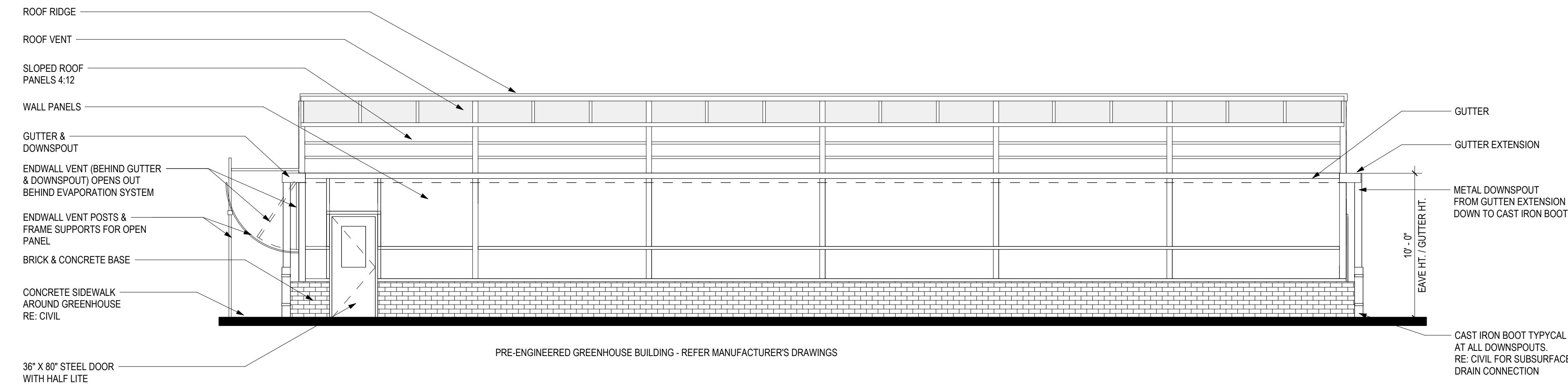
**C1.07**  
 ENLARGED SITE PLAN - ATHLETIC STORAGE BUILDING



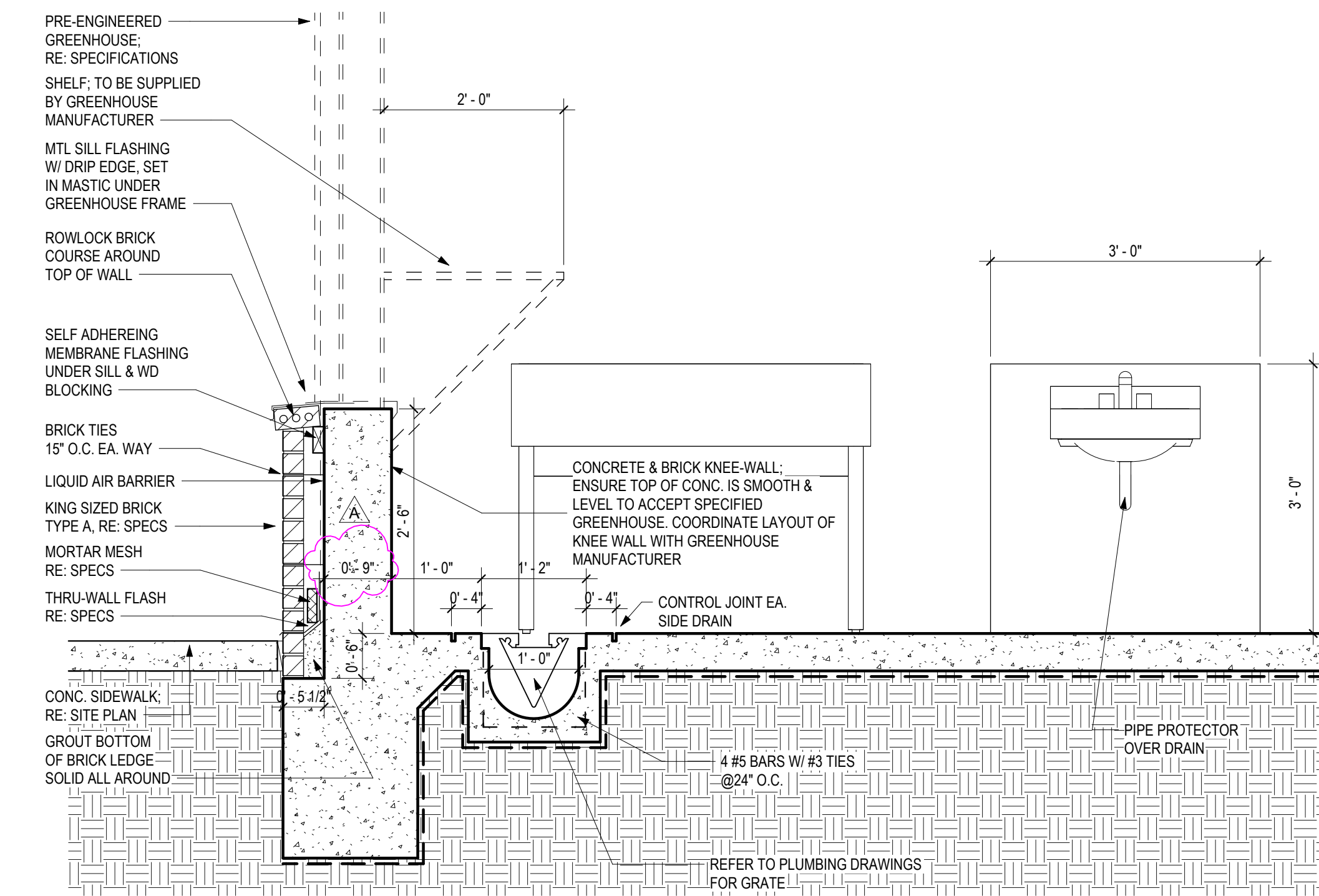


3 GH - ELEVATION 1  
3/16" = 1'-0"

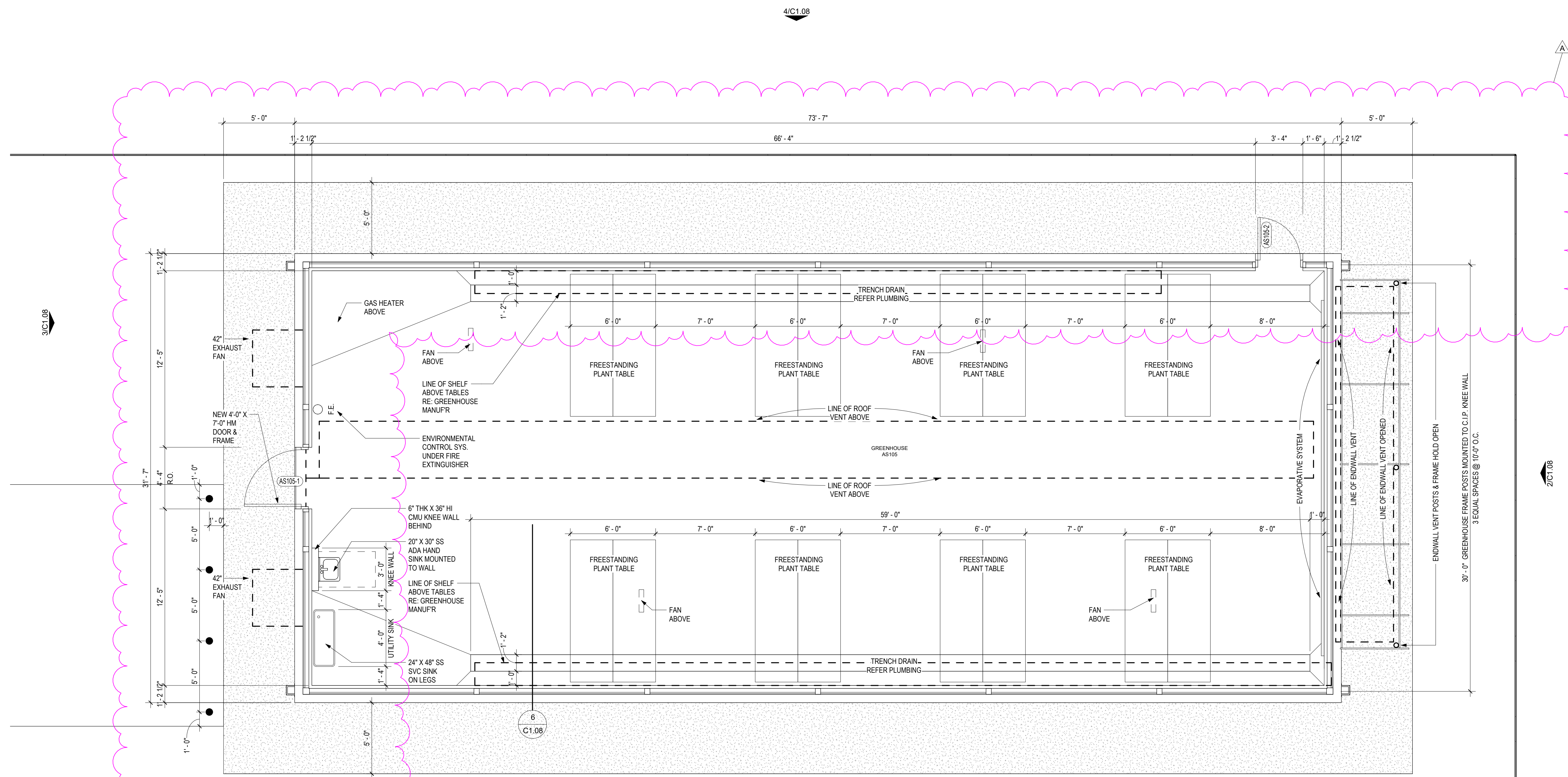
2 GH - ELEVATION 2  
3/16" = 1'-0"



4 GH - ELEVATION 3  
3/16" = 1'-0"



6 GREENHOUSE ARCH SECTION  
3/4" = 1'-0"



1 GREENHOUSE  
1/4" = 1'-0"

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| S6 | S5 | S4 |
| S3 | S2 | S1 |

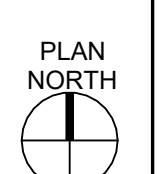
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**C1.08**  
 ENLARGED SITE PLAN - GREENHOUSE





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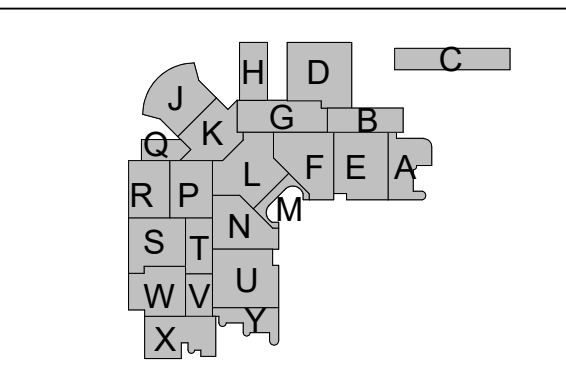
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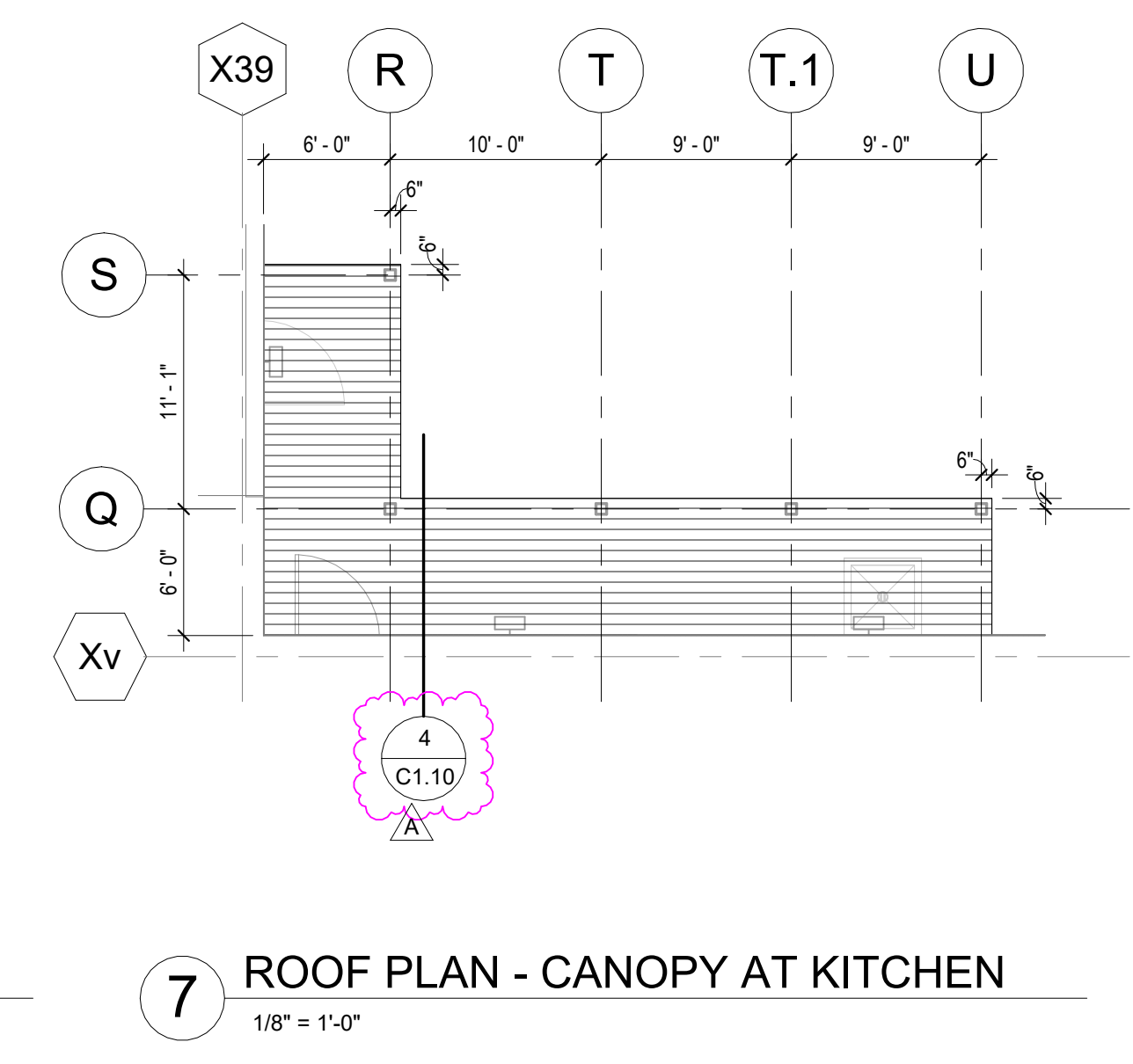
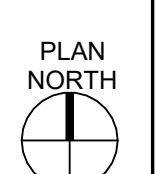
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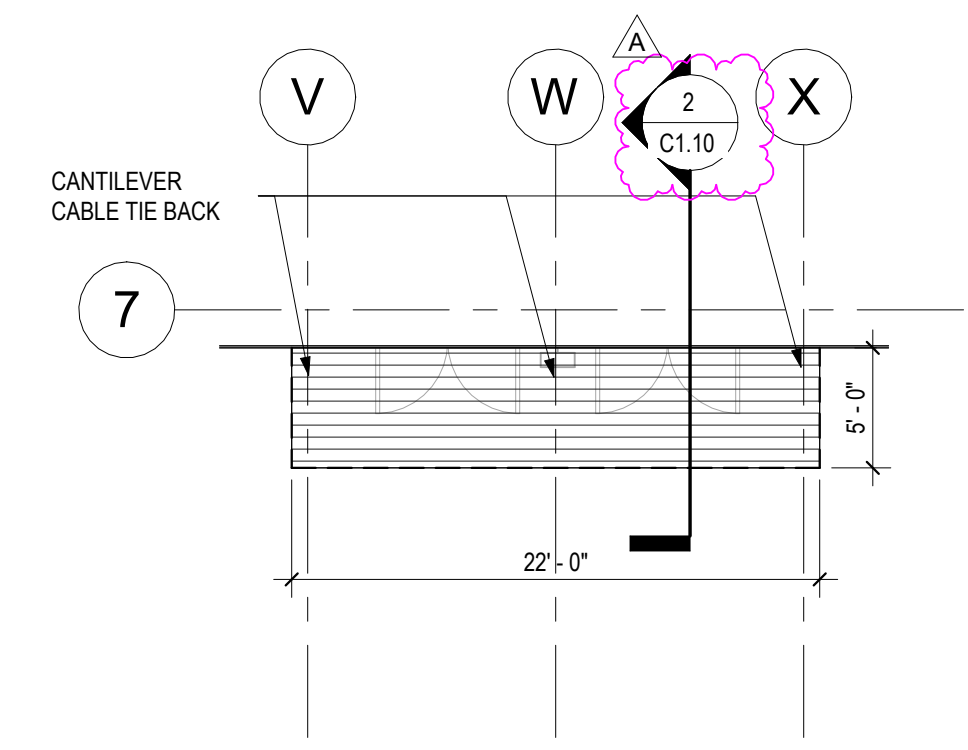


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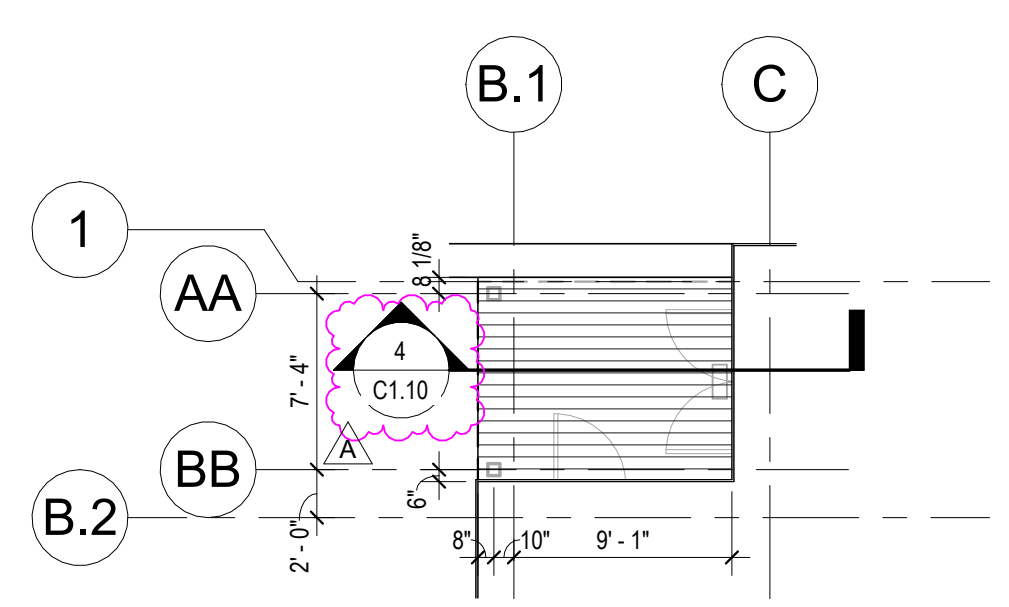
**C1.10**  
 CANOPY PLANS AND DETAILS



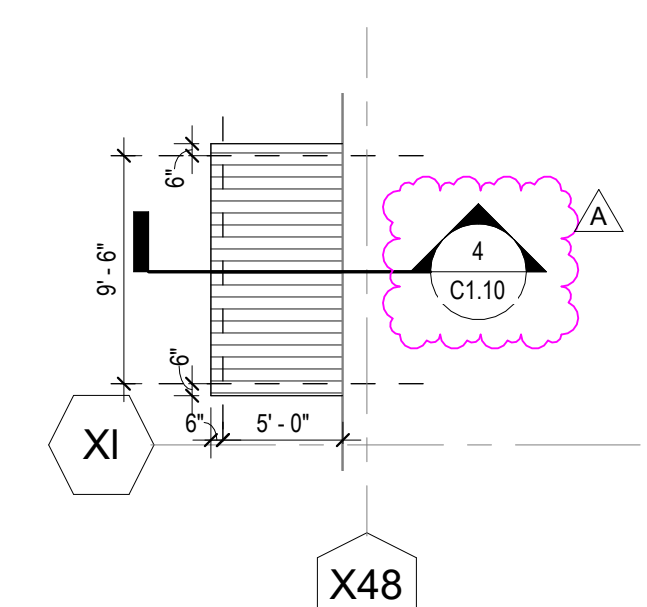
**7 ROOF PLAN - CANOPY AT KITCHEN**  
 1/8" = 1'-0"



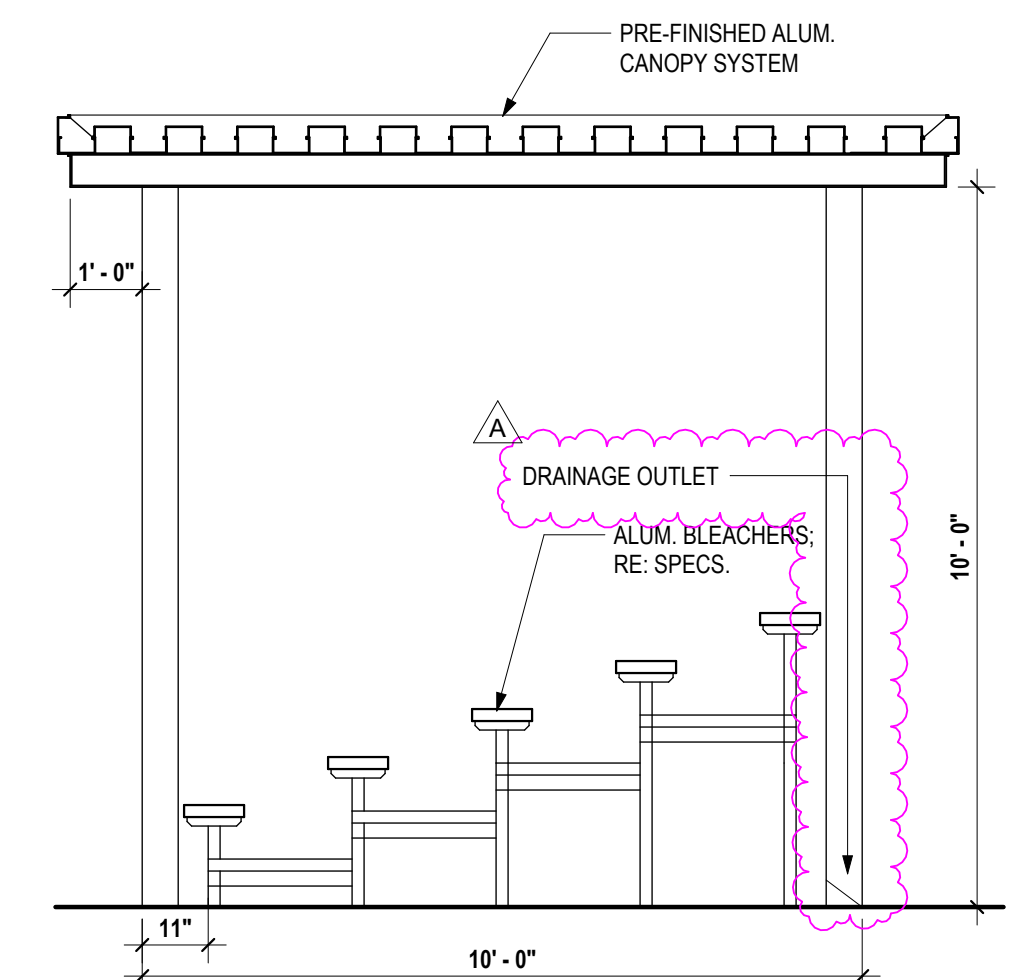
**8 ROOF PLAN ENLARGED - ARTS 1**  
 1/8" = 1'-0"



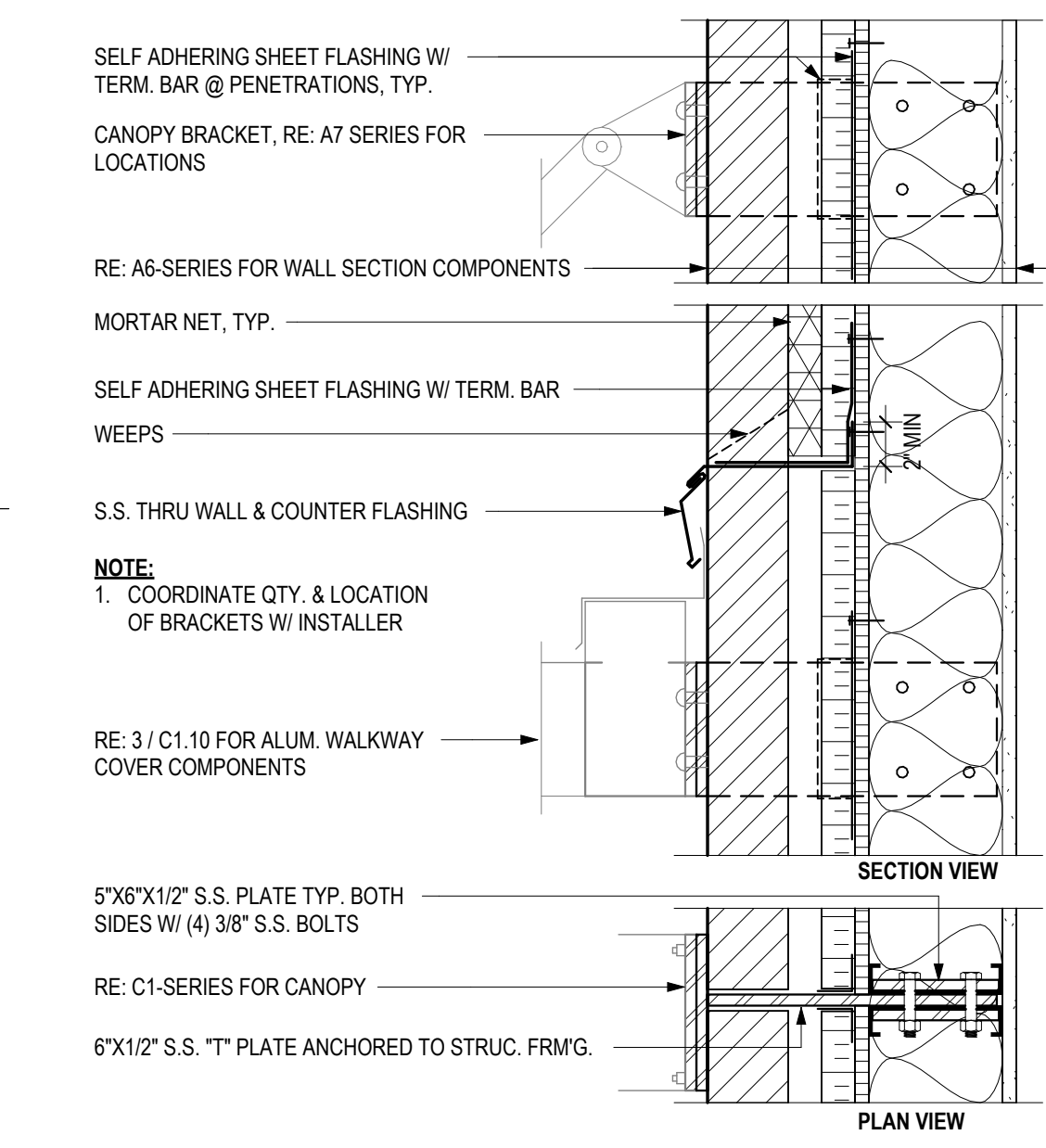
**9 ROOF PLAN ENLARGED - ARTS 2**  
 1/8" = 1'-0"



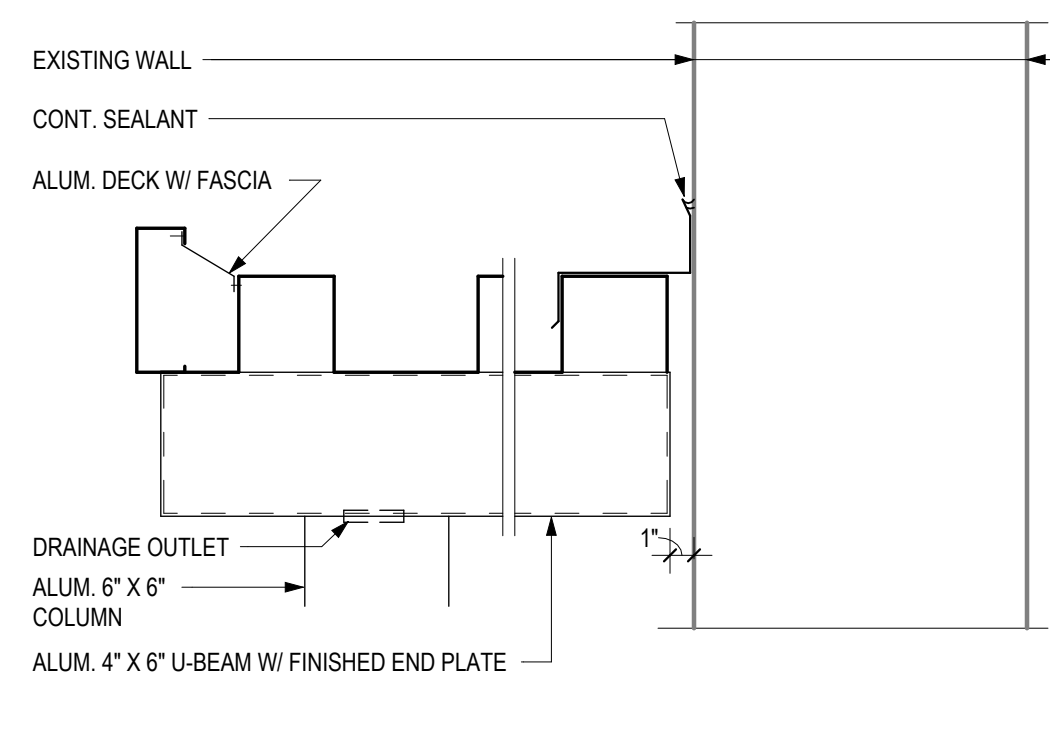
**10 ROOF PLAN - CANOPY AT SHOP STORAGE**  
 1/8" = 1'-0"



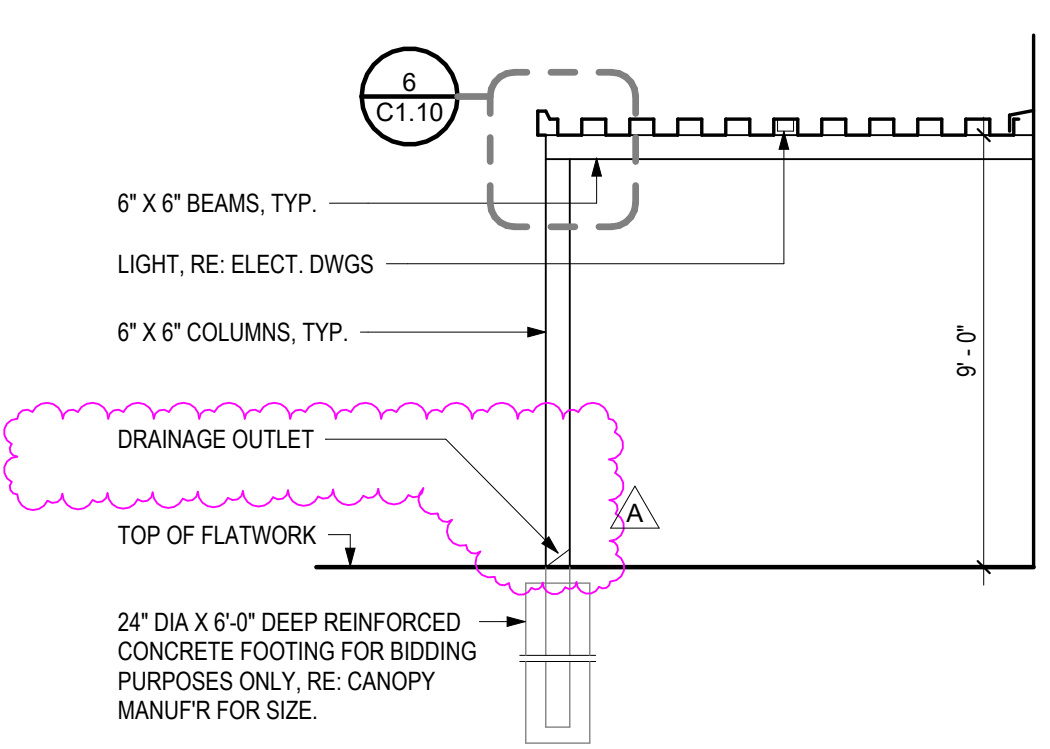
**11 CANOPY - ALUM CANOPY @ TENNIS**  
 3/8" = 1'-0"



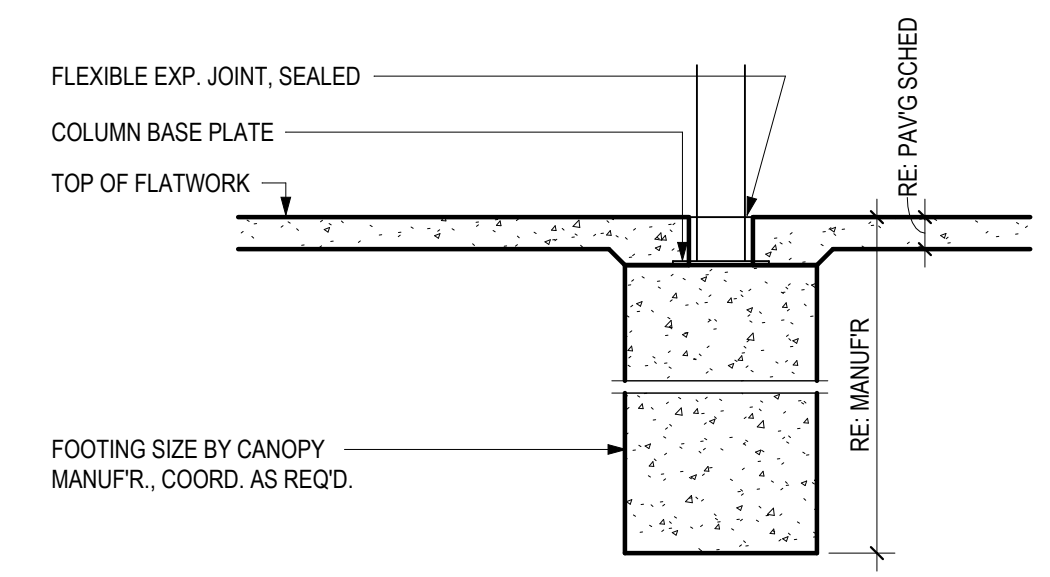
**2 WALL - EXT CNPY @ BRK-GYP**  
 1 1/2" = 1'-0"



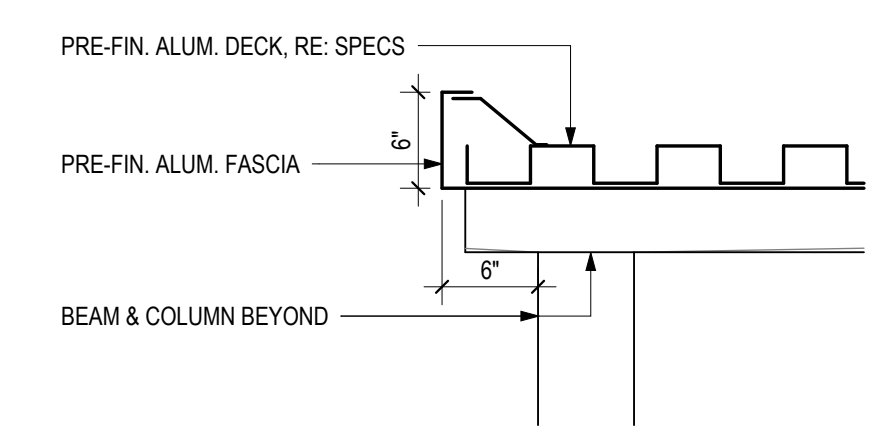
**3 CANOPY - COLUMN CANTILEVER**  
 1 1/2" = 1'-0"



**4 CANOPY - TYP CANOPY @ BLDG**  
 1/4" = 1'-0"



**5 CANOPY - TYP FOOTING**  
 1/2" = 1'-0"



**6 CANOPY - CANOPY EDGE**  
 1" = 1'-0"

**PLANTING NOTES:**

- CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF THESE UTILITIES.
- CONTRACTOR SHOULD NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED, WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE.
- THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH PLANTING OPERATION.
- LANDSCAPE CONTRACTOR TO RECEIVE SITE GRADE TO +1.10 CONTRACTOR SHALL OBTAIN LETTER OF GRADE CERTIFICATION FROM OWNER PRIOR TO PROJECT EXECUTION.
- CONTRACTOR SHALL NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE 72 HRS (WEEKENDS NOT INCLUDED) PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT OBSERVATION SCHEDULE.
- IF CONFLICTS ARISE BETWEEN SIZE OF AREAS ON PLANS OR LAYOUTS OF PLANS, CONTRACTOR SHOULD CONTACT ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO ARCHITECT WILL RESULT IN CONTRACTOR'S LIABILITY TO RELOCATE THE MATERIAL.
- PROTECT ALL EXISTING TREES TO REMAIN. CONTRACTOR SHALL REPLACE ANY TREES DAMAGED DURING CONSTRUCTION. CONTRACTOR SHALL PROVIDE FENCING, IF NECESSARY, AT TREE DRIP LINE TO PROTECT TRUNK AND ROOTS AND TO PREVENT COMPACTION FROM VEHICLE TRAFFIC OR MATERIAL STORAGE ON THE SOILS BELOW TREES.
- CONTRACTOR SHALL PROVIDE FOR THE FEEDING, WATERING, AND GENERAL MAINTENANCE OF TREES TO KEEP THEM IN A HEALTHY CONDITION DURING CONSTRUCTION.
- CONTRACTOR SHALL SUBMIT PHOTOS OF REPRESENTATIVE TREES AND SHRUBS WITH SPECIFICATIONS ON THE BACK OF PHOTO INCLUDING HEIGHT, WIDTH, AND CALIPER. IF A NURSERY VISIT IS REQUIRED THE CONTRACTOR WILL ARRANGE TO HAVE THE PARTICULAR NURSERIES PREPARED TO SHOW TREES. SHOULD CONTRACTOR INSTALL PLANT MATERIAL INFERIOR TO INDUSTRY STANDARD, IT IS AT HIS OWN RISK. ALL PHOTO SUBMITTALS ARE TO BE APPROVED PRIOR TO PLANTING.
- CONTRACTOR SHALL FINE GRADE ALL DISTURBED AREAS TO PROVIDE FOR PROPER DRAINAGE.

| DESCRIPTION  | GRAPHIC |
|--------------|---------|
| HYDROMULCH   |         |
| SOLID 4" SOD |         |

**NOTES - PLANTING**

1/4" = 1'-0"

**LEGEND - LANDSCAPE**

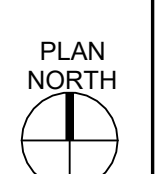
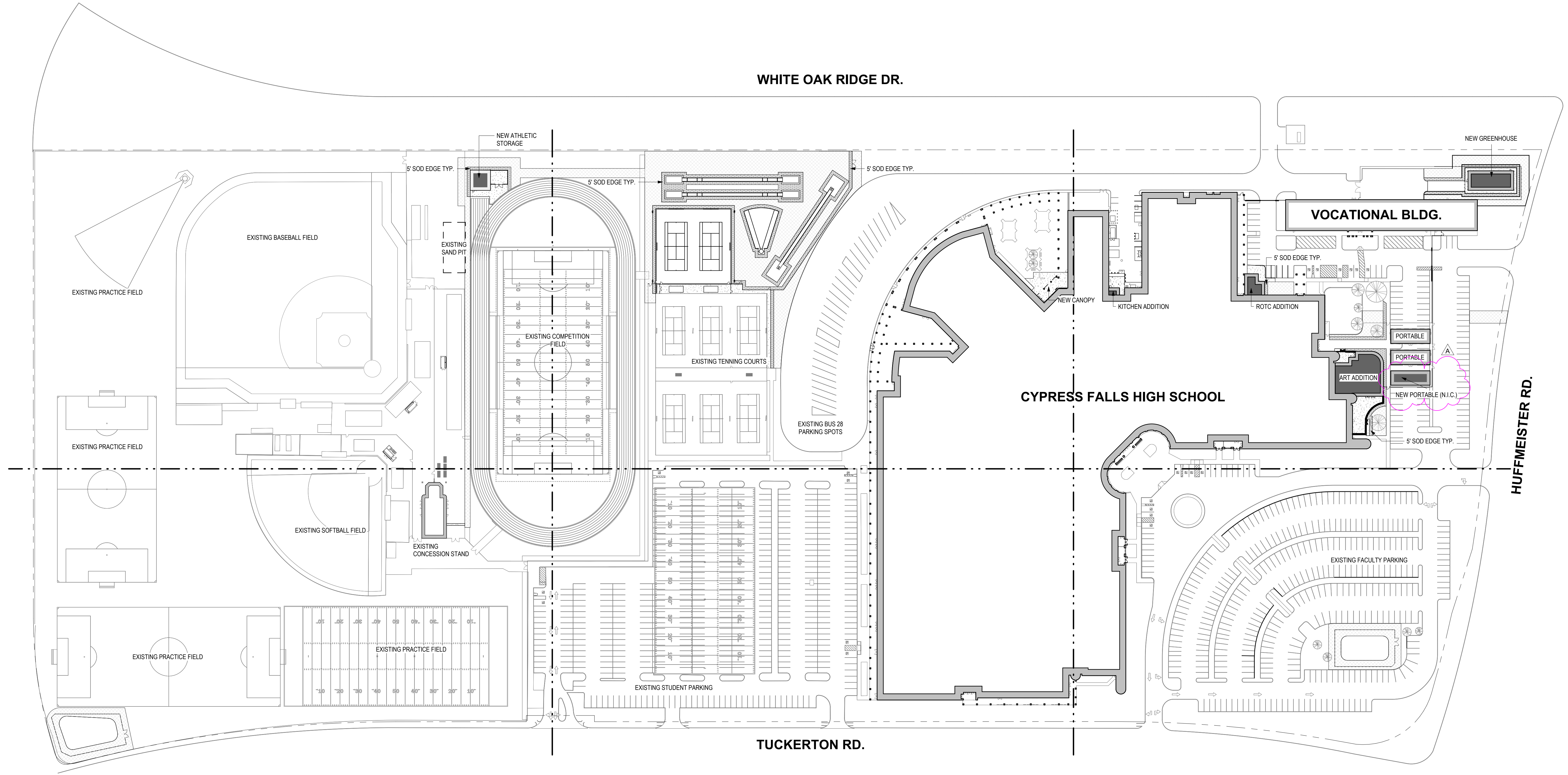
1" = 1'-0"

|  |
|--|
| <b>CONSULTANTS</b>   |
| <b>STRUCTURAL</b><br>CJG Engineers<br>6051 North Course Dr. Suite 375<br>Houston, TX 77072<br>Tel: 713.780.3345                  |
| <b>MEP</b><br>Sales O'Brien<br>10930 W. Sam Houston Pkwy. N.<br>Suite 900<br>Houston, TX 77064<br>Tel: 281.664.1900              |
| <b>CIVIL</b><br>Brooks & Sparks, Inc.<br>21020 Park Row Dr.<br>Katy, TX 77449<br>Tel: 281.578.9595                               |
| <b>FOODSERVICE</b><br>Surcana Foodservice Design<br>7430 Fairbanks N. Houston Rd.<br>Houston, Texas 77009<br>Tel: 281.224.1230   |
| <b>ACOUSTICAL &amp; A/V</b><br>BAI, LLC<br>4000 Speedway<br>Austin, Texas 78751<br>Tel: 512.476.3464                             |
| <b>THEATRE</b><br>WJHW, INC.<br>2000 W. Loop South, Suite 1340<br>Houston, TX 77027<br>Tel: 210.561.9800                         |
| <b>LANDSCAPE &amp; IRRIGATION</b><br>LANDESIGN Group<br>1401 El Camino Real, Suite 204<br>Houston, TX 77058<br>Tel: 281.486.4040 |

|    |    |    |
|----|----|----|
| S6 | S5 | S4 |
| S3 | S2 | S1 |

**2024 CYPRESS FALLS HIGH SCHOOL RENOVATION**  
CYPRESS-FAIRBANKS ISD  
9811 Huffmeister Rd, Houston, TX 77095

**ARCADIS**  
TEXAS ARCADIS INC.  
1330 POST OAK BOULEVARD, SUITE 2250  
HOUSTON, TX 77056  
tel 281.286.6605, fax 713.977.4620



|            |                     |
|------------|---------------------|
| PROJECT #: | 202318              |
| DATE:      | 2025-01-13          |
| DRAWN:     | DS                  |
| CHECKED:   | CA                  |
| DATE       | ISSUE               |
| 2025-01-13 | PERMIT AND PROPOSAL |
| 2025-01-24 | ADDENDUM No. 02 A   |

**L1.00**  
LANDSCAPE PLAN

- DEMOLITION DWGS. INDICATE GENERAL DEMOLITION REQ'D. HOWEVER, THEY DO NOT SHOW SPECIFIC DETAILS OF DEMOLITION. CONTRACTOR SHALL VISIT PROJECT SITE (BLDG. PRIOR TO BIDDING TO ASCERTAIN EXISTING CONDITIONS & SPECIFIC REQ'TS FOR DEMOLITION WORK & SHALL INCLUDE ALL COSTS ASSOCIATED W/ DEMOLITION, EXCEPTING CONDITIONS THAT COULD NOT BE DETERMINED WITHOUT DESTRUCTIVE INVESTIGATION, COORDINATE W/ ARCH & OWNER W/ RESPECT TO VISITATION SCHEDULE.
- RE: CIVIL, STRUC. & MEP DWGS. FOR DEMOLITION REQ'D PARTICULAR TO THE OTHER CONSULTING DISCIPLINES. THE CONTRACTOR SHALL BE RESPONSIBLE TO ASCERTAIN THE INTERRELATIONSHIPS OF ALL REQ'D. DEMOLITION & INCLUDE ALL ASSOCIATED COSTS IN THE PROPOSAL.
- PRIOR TO STARTING DEMOLITION WORK, FIELD VERIFY ALL EXISTING CONDITIONS. NOTIFY THE ARCH. OF ANY ISSUES AND/OR CONCEALED CONDITIONS THAT MAY PREVENT IMPLEMENTATION & PROGRESS OF DEMOLITION WORK. DO NOT PROCEED UNTIL SUCH ISSUES ARE FULLY RESOLVED.
- FOR DEMOLITION CONDUCTED WITHIN AN OPERATIONAL BLDG., CONTRACTOR SHALL COORD. W/ ARCH. & OWNER REGARDING SCHEDULING AND/OR DISRUPTIVE NOISE ISSUES. IF REQ'D, TO MAINTAIN ONGOING OPERATION OF THE BLDG., CONTRACTOR SHALL BE PREPARED TO PERFORM DISRUPTIVE DEMOLITION OUTSIDE NORMAL HOURS OF OPERATION.
- IF NOT INDICATED IN THE CONTRACT DOCUMENTS, COORD. W/ ARCH. & OWNER FOR DISPOSITION OF EXISTING FIXTURES, FURNITURE & EQUIP. (FF&E).
- OWNER SHALL RETAIN THE RIGHT TO RECEIVE & SALVAGE ANY EXISTING WORK SHOWN TO BE DEMOLISHED AND/OR REMOVED. CONFIRM W/ OWNER IF ANY MATERIALS ARE TO BE SALVAGED PRIOR TO THE START OF ANY DEMOLITION WORK. COORD. W/ OWNER FOR TRANSFER OF SALVAGED MATERIALS.
- CONTRACTOR SHALL USE ALL MEANS NECESSARY TO PROTECT EXISTING WORK TO REMAIN, IN CASE OF DAMAGE DURING DEMOLITION AND/OR NEW WORK CONSTRUCTION. CONTRACTOR SHALL REPAIR AND/OR REPLACE SUCH EXISTING WORK BACK TO ORIGINAL CONDITION, SUBJECT TO ACCEPTANCE BY THE ARCH. SIMILARLY, CONTRACTOR SHALL PROVIDE ADEQUATE MEANS OF RESTRICTING DISTRIBUTION OF DUST & OTHER DEMOLITION CONTAMINANTS FROM SPREADING INTO AREAS OUTSIDE OF DEMOLITION AREAS.
- WHERE EXISTING WORK IS INDICATED TO BE REMOVED & REINSTALLED, CONTRACTOR SHALL USE ALL MEANS NECESSARY TO REMOVE THE WORK WITHOUT DAMAGE, SURFACELY STORE THE WORK TO PREVENT LOSS OR DAMAGE & CAREFULLY REINSTALL THE WORK AS INDICATED ON THE DWGS. IN CASE OF DAMAGE, CONTRACTOR SHALL REPAIR AND/OR REPLACE SUCH EXISTING WORK BACK TO ORIGINAL CONDITION, SUBJECT TO ACCEPTANCE BY THE ARCH.
- ALL EXISTING CONCRETE SLABS TO BE REMOVED IN ORDER FOR DEMOLITION OF UNDER-SLAB WORK SHALL BE SAW-CUT, MAINTAIN INTEGRITY OF EXISTING VAPOR MEMBRANE AND REINFORCING AS REQ'D. FOR RECONNECTION TO NEW VAPOR BARRIER AND REINFORCING UNDER SAW-CUT AREA.
- ALL EXISTING PLUMBING WORK SHOWN TO BE ABANDONED SHALL BE REMOVED & CAPPED 2" BELOW SLAB OR BACK WITHIN A WALL. SLABS & WALLS SHALL BE REPAIRED FLUSH W/ ADJACENT SURFACES.
- WHERE NEW OPENINGS ARE TO BE INSTALLED IN EXISTING WALLS/ PARTITIONS, LIMITS OF DEMOLITION SHALL BE BEYOND OPENING SIZE AS REQ'D TO PROPERLY CONSTRUCT ROUGH OPENINGS IN ACCORDANCE W/ NEW OPENING DETAILS INDICATED ON THE DWGS. REBUILD OR PATCH ADJACENT AREAS TO NEW OPENING AS REQ'D FOR FLUSH INTERFACE W/ EXISTING WORK TO REMAIN.
- IN AREAS WHERE EXISTING FINISH FLOORING IS TO BE REMOVED, REMOVE FLOORING MATERIALS & ANY ADHESIVES DOWN TO THE CONCRETE SLAB. MAINTAIN SLAB IN A SUITABLE CONDITION FOR INSTALLATION OF NEW SCHEDULED FLOORING MATERIALS.
- IN AREAS WHERE EXISTING WORK IS TO RECEIVE A NEW FINISH, CONTRACTOR SHALL REPAIR, PATCH AND/OR PREP EXISTING WORK AS REQ'D FOR PROPER INSTALLATION OF NEW FINISHES IN ACCORDANCE W/ NEW FINISH MANU'FR'S REQ'TS. VERIFY ALL CONDITIONS & COORD. AS REQ'D.
- CONTRACTOR SHALL BE CAUTIOUS ON REMOVING EXISTING FRAMES. ANY DAMAGE TO THE EXISTING MASONRY MUST BE REPLACED AT THE CONTRACTOR'S EXPENSE.

**NOTES - GENERAL FLOOR PLAN - DEMO**

1/4" = 1'-0"

- REMOVE PORTION OF EXISTING PARTITION. CLEAN/ PREP/ FINISH REMAINING SURFACES FOR NEW OPENING.
- REMOVE EXISTING CASEWORK IN ITS ENTIRETY.
- REMOVE EXISTING FLOORING AND BASE IN ITS ENTIRETY. CLEAN/ PREP/ FINISH REMAINING SURFACES TO MATCH ADJACENT CONDITIONS.
- REMOVE EXISTING LOCKERS AND STORE FOR REINSTALLATION.
- REMOVE EXISTING PARTITIONS.
- WALL MOUNTED EQUIPMENT SHALL BE REMOVED BY THE OWNER BEFORE CONSTRUCTION BEGINS. RE: 2 / A0.05
- REMOVE EXISTING DOOR AND FRAME IN ITS ENTIRETY.
- RE: C SERIES FOR DEMO SCOPE OF COURTYARD.
- REMOVE EXISTING FLOORING. CLEAN/ PREP/ FINISH REMAINING SURFACES TO MATCH ADJACENT CONDITIONS.
- REMOVE EXISTING WINDOW, FRAME, AND MASONRY BELOW SILL IN ITS ENTIRETY. CLEAN/ PREP EXISTING FINISHES FOR NEW CONSTRUCTION.
- REMOVE PORTION OF EXISTING WALL.
- REMOVE EXISTING PAINT BOTH IN ITS ENTIRETY. CLEAN/ PREP/ FINISH REMAINING SURFACES TO MATCH ADJACENT CONDITIONS.
- REMOVE AND STORE PLUMBING FIXTURES, MIRROR AND ACCESSORIES FOR REINSTALLATION.
- REMOVE EXISTING MATERIAL STORAGE CAGE AND DOOR IN ITS ENTIRETY.
- REMOVE AND REINSTALL OF EXIST. HOOD, RE: MEP
- REMOVE EXISTING ACOUSTICAL PANELS CLEAN AND PREP SURFACES FOR NEW.
- PROTECT INSTRUMENT STORAGE DURING CONSTRUCTION.
- PROTECT MARKER BOARD DURING CONSTRUCTION.
- REMOVE EXISTING MARKER BOARD.
- REMOVE EXISTING MIRRORS.
- REMOVE EXISTING POWER POLES, RE: MEP
- REMOVE EXISTING MUSIC STORAGE.
- REMOVE AND STORE EXISTING SHOP EQUIPMENT/STORAGE DURING CONSTRUCTION.
- REMOVE EXISTING PORTION OF WALL. RE: MEP SHEETS FOR SCOPE.
- REMOVE EXISTING CEILING AND CAREFULLY REMOVE AND TURN OVER EXISTING LIGHT FIXTURES TO THE DISTRICT FOR THEIR USE.
- REMOVE PLUMBING FIXTURE IN ITS ENTIRETY. RE: PLUMBING
- CONTRACTOR TO REMOVE KITCHEN EQUIPMENT AND STORE AT OWNER'S REQUEST.
- PROTECT PLUMBING FIXTURES DURING CONSTRUCTION.
- PROTECT SHOP EQUIPMENT DURING CONSTRUCTION.
- REMOVE EXISTING BENCHES.
- REMOVE EXISTING SIDEWALL/FLATWORK. CLEAN AND PREPARE FOR RENOVATION.
- REMOVE PORTION OF EXISTING EXTERIOR PARTITION. CLEAN/ PREP/ FINISH REMAINING SURFACES FOR NEW WINDOW.
- REMOVE EXISTING WINDOW AND PREP SPACE FOR NEW CMU FILL.
- PROTECT EXISTING SPEAKERS DURING CONSTRUCTION.
- PROTECT EXISTING MICROPHONES IN THE CEILING DURING CONSTRUCTION.
- REMOVE EXISTING SEALANT AROUND POOL EDGE AND PREP FOR NEW.
- REMOVE EXISTING PIPE GRID AND LIGHTING. RETURN LIGHTING TO OWNER.
- DEMO WALL TILE AND WALL MOUNTED ACCESSORIES. PREPARE WALL FINISH LIKE NEW FOR RENOVATION.
- REMOVE EXISTING ELECTRICAL PANELS, RE: MEP
- REMOVE EXISTING FURR DOWN AND ASSOCIATED LIGHTING.
- REMOVE CEILING. CAREFULLY REMOVE AND STORE EXISTING LIGHT FIXTURES FOR REUSE IN RENOVATION.
- REMOVE EXISTING GRID AND TILE TO CLOSEST RUNNER. PREP SPACE FOR NEW CEILING FINISH. REFER TO RENOVATION FOR SCOPE OF WORK.
- DEMO EXISTING LOCKERS.
- REMOVAL OF EXISTING DEPTH MARKER TILING.
- DEMO EXISTING THEATRICAL SET, STAGE AND/OR EQUIPMENT.
- REMOVE GLAZING, FRAME EXISTING TO REMAIN. PREPARE FRAME TO RECEIVE NEW GLAZING PER WINDOW/DOOR SCHEDULE.

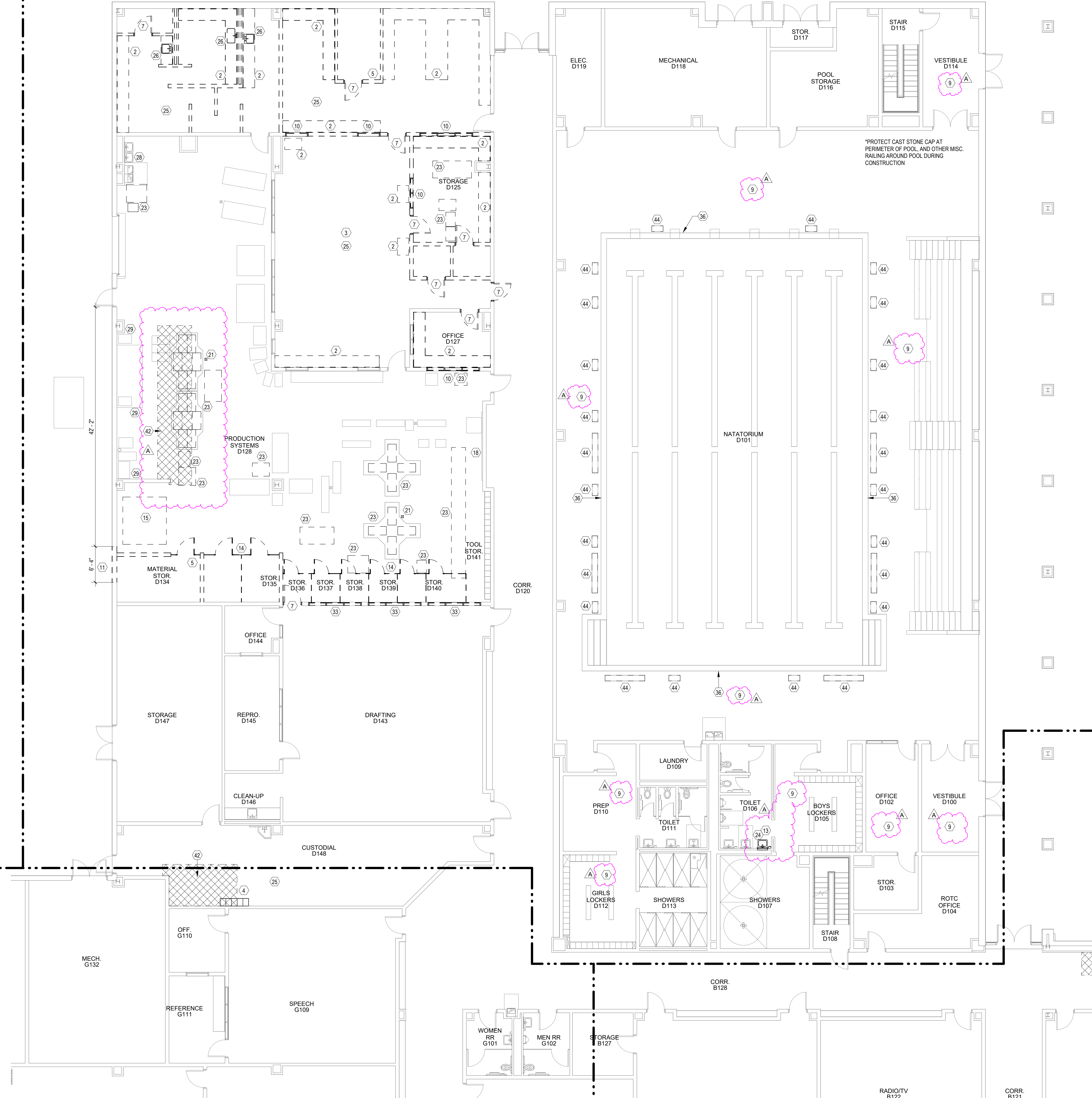
**KEYNOTES - FLOOR PLAN - DEMO**

1/4" = 1'-0"

- PRIOR TO COMMENCEMENT OF FLOORING WORK, CONTRACTOR TO CONFIRM PH LEVELS OF POOL, THAT FILTRATION SYSTEM IS FUNCTIONING PROPERLY, THE CONDITION OF RAILING, BLEACHERS AND DIVING BOARDS, AND THAT THERE IS NO DAMAGE TO CAST STONE AND GUTTER SYSTEM AT POOL PERIMETER. CONTRACTOR SHALL NOTIFY CFSID PROJECT MANAGER AND ARCHITECT OF ANY ISSUES OR CONCERNS.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING THE POOL, RAILINGS, BLEACHERS, DIVING BOARDS, WALL BASE, SCOREBOARD(S) TIME CLOCK(S), AND ANY OTHER ITEM THAT IS TO REMAIN IN PLACE WHILE RENOVATION WORK IS BEING COMPLETED.
- DEEP CLEAN ALL SURFACES WITHIN THE NATATORIUM AFTER WORK IS COMPLETE, INCLUDING POOL AND ROOF DECK. IF ANY DIRT OR DAMAGE OCCURS TO THE ACOUSTICAL Baffles OR LIGHTING THE CONTRACTOR IS RESPONSIBLE FOR CLEANING OR REPAIRING THEM.

**NOTES - GENERAL NOTES FOR POOL**

1/4" = 1'-0"



**1 AREA 'D1' - 1ST FLOOR DEMO PLAN**  
1/8" = 1'-0"

**CONSULTANTS**  
**STRUCTURAL**  
 CJG Engineers  
 6051 North Course Dr. Suite 375  
 Houston, TX 77042  
 Tel: 713.780.3345

**MEP**  
 Salas O'Brien  
 10930 W. Sam Houston Pkwy. N.  
 Suite 900  
 Houston, TX 77064  
 Tel: 281.664.1900

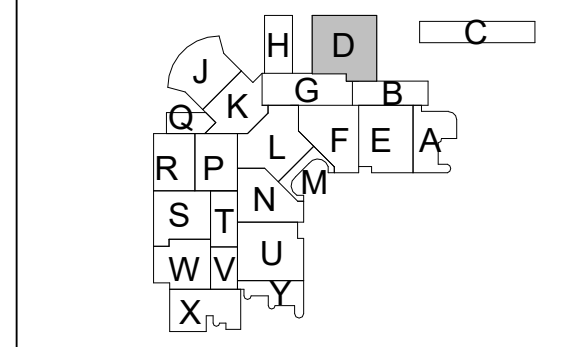
**CIVIL**  
 Brooks and Sparks, Inc.  
 21020 Park Row Dr.  
 Katy, TX 77449  
 Tel: 281.578.9595

**FOODSERVICE**  
 Surcana Foodservice Design  
 7430 Fairbanks N. Houston Rd.  
 Houston, TX 77040  
 Tel: 281.224.1230

**ACOUSTICAL & A/V**  
 BA, LLC  
 4008 Speedway  
 Austin, TX 78751  
 Tel: 512.476.3464

**THEATRE**  
 WJHW, INC.  
 2000 W. Loop South, Suite 1340  
 Houston, TX 77027  
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 1401 El Camino Real, Suite 204  
 Houston, TX 77058  
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**2024 CYPRESS FALLS HIGH SCHOOL RENOVATION**  
 CYPRESS-FAIRBANKS ISD  
 9811 Huffmeister Rd, Houston, TX 77095

**ARCADIS**  
 TEXAS ARCADIS INC.  
 1330 POST OAK BOULEVARD, SUITE 2250  
 HOUSTON, TX 77056  
 tel 281.286.6605, fax 713.977.4620



|            |                                     |
|------------|-------------------------------------|
| PROJECT #: | 202318                              |
| DATE:      | 2025-01-13                          |
| DRAWN:     | BNVP                                |
| CHECKED:   | CA                                  |
| DATE:      | 2025-01-13                          |
| ISSUE:     | PERMIT AND PROPOSAL ADDENDUM No. 02 |
| DATE:      | 2025-01-24                          |

**A0.04**  
 AREA 'D' - 1ST FLOOR DEMOLITION PLAN



- DEMOLITION DWGS. INDICATE GENERAL DEMOLITION REQ'D. HOWEVER, THEY DO NOT SHOW SPECIFIC DETAILS OF DEMOLITION. CONTRACTOR SHALL VISIT PROJECT SITE (BLDG. PRIOR TO BIDDING TO ASCERTAIN EXISTING CONDITIONS & SPECIFIC REQ'MENTS FOR DEMOLITION WORK & SHALL INCLUDE ALL COSTS ASSOCIATED W/ DEMOLITION, EXCEPTING CONDITIONS THAT COULD NOT BE DETERMINED WITHOUT DESTRUCTIVE INVESTIGATION. COORDINATE W/ ARCH & OWNER W/ RESPECT TO VISITATION SCHEDULE.
- RE: CIVIL, STRUC. & MEP DWGS. FOR DEMOLITION REQ'D PARTICULAR TO THE OTHER CONSULTING DISCIPLINES. THE CONTRACTOR SHALL BE RESPONSIBLE TO ASCERTAIN THE INTERRELATIONSHIPS OF ALL REQ'D. DEMOLITION & INCLUDE ALL ASSOCIATED COSTS IN THE PROPOSAL.
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- FOR DEMOLITION CONDUCTED WITHIN AN OPERATIONAL BLDG., CONTRACTOR SHALL COORD. W/ ARCH. & OWNER REGARDING SCHEDULING AND/OR DISRUPTIVE NOISE ISSUES. IF REQ'D, TO MAINTAIN ONGOING OPERATION OF THE BLDG., CONTRACTOR SHALL BE PREPARED TO PERFORM DISRUPTIVE DEMOLITION OUTSIDE NORMAL HOURS OF OPERATION.
- IF NOT INDICATED IN THE CONTRACT DOCUMENTS, COORD. W/ ARCH. & OWNER FOR DISPOSITION OF EXISTING FIXTURES, FURNITURE & EQUIP. (FF&E).
- OWNER SHALL RETAIN THE RIGHT TO RECEIVE & SALVAGE ANY EXISTING WORK SHOWN TO BE DEMOLISHED AND/OR REMOVED. CONFIRM W/ OWNER IF ANY MATERIALS ARE TO BE SALVAGED PRIOR TO THE START OF ANY DEMOLITION WORK. COORD. W/ OWNER FOR TRANSFER OF SALVAGED MATERIALS.
- CONTRACTOR SHALL USE ALL MEANS NECESSARY TO PROTECT EXISTING WORK TO REMAIN, IN CASE OF DAMAGE DURING DEMOLITION AND/OR NEW WORK CONSTRUCTION. CONTRACTOR SHALL REPAIR AND/OR REPLACE SUCH EXISTING WORK BACK TO ORIGINAL CONDITION, SUBJECT TO ACCEPTANCE BY THE ARCH. SIMILARLY, CONTRACTOR SHALL PROVIDE ADEQUATE MEANS OF RESTRICTING DISTRIBUTION OF DUST & OTHER DEMOLITION CONTAMINANTS FROM SPREADING INTO AREAS OUTSIDE OF DEMOLITION AREAS.
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- ALL EXISTING CONCRETE SLABS TO BE REMOVED IN ORDER FOR DEMOLITION OF UNDER-SLAB WORK SHALL BE SAW-CUT. MAINTAIN INTEGRITY OF EXISTING VAPOR MEMBRANE AND REINFORCING AS REQ'D. FOR RECONNECTION TO NEW VAPOR BARRIER AND REINFORCING UNDER SAW-CUT AREA.
- ALL EXISTING PLUMBING WORK SHOWN TO BE ABANDONED SHALL BE REMOVED & CAPPED 2" BELOW SLAB OR BACK WITHIN A WALL. SLABS & WALLS SHALL BE REPAIRED FLUSH W/ ADJACENT SURFACES.
- WHERE NEW OPENINGS ARE TO BE INSTALLED IN EXISTING WALLS/ PARTITIONS, LIMITS OF DEMOLITION SHALL BE BEYOND OPENING SIZE AS REQ'D TO PROPERLY CONSTRUCT ROUGH OPENINGS IN ACCORDANCE W/ NEW OPENING DETAILS INDICATED ON THE DWGS. REBUILD & OR PATCH ADJACENT AREAS TO NEW OPENING AS REQ'D FOR FLUSH INTERFACE W/ EXISTING WORK TO REMAIN.
- IN AREAS WHERE EXISTING FINISH FLOORING IS TO BE REMOVED, REMOVE FLOORING MATERIALS & ANY ADHESIVES DOWN TO THE CONCRETE SLAB. MAINTAIN SLAB IN A SUITABLE CONDITION FOR INSTALLATION OF NEW SCHEDULED FLOORING MATERIALS.
- IN AREAS WHERE EXISTING WORK IS TO RECEIVE A NEW FINISH, CONTRACTOR SHALL REPAIR, PATCH AND/OR PREP EXISTING WORK AS REQ'D FOR PROPER INSTALLATION OF NEW FINISHES IN ACCORDANCE W/ NEW FINISH MANU'FR'S REQ'MENTS. VERIFY ALL CONDITIONS & COORD. AS REQ'D.
- CONTRACTOR SHALL BE CAUTIOUS ON REMOVING EXISTING FRAMES. ANY DAMAGE TO THE EXISTING MASONRY MUST BE REPLACED AT THE CONTRACTOR'S EXPENSE.

### NOTES - GENERAL FLOOR PLAN - DEMO

1/4" = 1'-0"

- REMOVE PORTION OF EXISTING PARTITION. CLEAN/ PREP/ FINISH REMAINING SURFACES FOR NEW OPENING.
- REMOVE EXISTING CASEWORK IN ITS ENTIRETY.
- REMOVE EXISTING FLOORING AND BASE IN ITS ENTIRETY. CLEAN/ PREP/ FINISH REMAINING SURFACES TO MATCH ADJACENT CONDITIONS.
- REMOVE EXISTING LOCKERS AND STORE FOR REINSTALLATION.
- REMOVE EXISTING PARTITIONS.
- WALL MOUNTED EQUIPMENT SHALL BE REMOVED BY THE OWNER BEFORE CONSTRUCTION BEGINS. RE: 2 / A0.05
- REMOVE EXISTING DOOR AND FRAME IN ITS ENTIRETY.
- RE: G SERIES FOR DEMO SCOPE OF COURTYARD.
- REMOVE EXISTING FLOORING. CLEAN/ PREP/ FINISH REMAINING SURFACES TO MATCH ADJACENT CONDITIONS.
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- REMOVE EXISTING ACOUSTICAL PANELS CLEAN AND PREP SURFACES FOR NEW.
- PROTECT INSTRUMENT STORAGE DURING CONSTRUCTION
- PROTECT MARKER BOARD DURING CONSTRUCTION
- REMOVE EXISTING MARKER BOARD
- REMOVE EXISTING MIRRORS
- REMOVE EXISTING POWER POLES, RE: MEP
- REMOVE EXISTING MUSIC STORAGE
- REMOVE AND STORE EXISTING SHOP EQUIPMENT STORAGE DURING CONSTRUCTION
- REMOVE EXISTING PORTION OF WALL, RE: MEP SHEETS FOR SCOPE
- REMOVE EXISTING CEILING AND CAREFULLY REMOVE AND TURN OVER EXISTING LIGHT FIXTURES TO THE DISTRICT FOR THEIR USE
- REMOVE PLUMBING FIXTURE IN ITS ENTIRETY. RE: PLUMBING
- CONTRACTOR TO REMOVE KITCHEN EQUIPMENT AND STORE AT OWNER'S REQUEST
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- REMOVE EXISTING BENCHES
- REMOVE EXISTING SIDEWALK/ FLATWORK. CLEAN AND PREPARE FOR RENOVATION
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- REMOVE EXISTING WINDOW AND PREP SPACE FOR NEW CMU FILL
- PROTECT EXISTING SPEAKERS DURING CONSTRUCTION
- PROTECT EXISTING MICROPHONES IN THE CEILING DURING CONSTRUCTION
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- REMOVE EXISTING PIPE GRID AND LIGHTING. RETURN LIGHTING TO OWNER
- DEMO WALL TILE AND WALL MOUNTED ACCESSORIES. PREPARE WALL FINISH LIKE NEW FOR RENOVATION.
- REMOVE EXISTING ELECTRICAL PANELS, RE: MEP
- REMOVE CEILING FURF DOWN AND ASSOCIATED LIGHTING
- REMOVE CEILING CAREFULLY REMOVE AND STORE EXISTING LIGHT FIXTURES FOR REUSE IN RENOVATION
- REMOVE EXISTING GRID AND TILE TO CLOSEST RUNNER. PREP SPACE FOR NEW CEILING FINISH. REFER TO RENOVATION FOR SCOPE OF WORK.
- DEMO EXISTING LOCKERS
- REMOVAL OF EXISTING DEPTH MARKER TILING
- DEMO EXISTING THEATRICAL SET, STAGE AND/OR EQUIPMENT.
- REMOVE GLAZING, FRAME EXISTING TO REMAIN. PREPARE FRAME TO RECEIVE NEW GLAZING PER WINDOW/DOOR SCHEDULE.

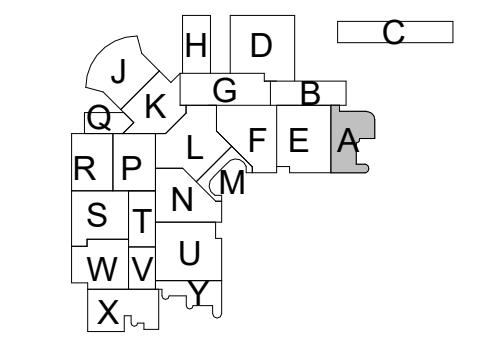
### KEYNOTES - FLOOR PLAN - DEMO

1/4" = 1'-0"



1 AREA 'A2' - 2ND FLOOR DEMO PLAN  
1/8" = 1'-0"

- CONSULTANTS**
- STRUCTURAL**  
CJG Engineers  
6051 North Course Dr. Suite 375  
Houston, TX 77042  
Tel: 713.780.3345
- MEP**  
Salas O'Brien  
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- LANDSCAPE & IRRIGATION**  
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Tel: 281.486.4040



**2024 CYPRESS FALLS HIGH SCHOOL RENOVATION**

CYPRESS-FAIRBANKS ISD  
9811 Huffmeister Rd, Houston, TX 77095

**ARCADIS**

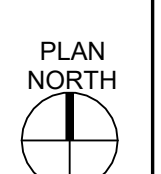
**TEXAS ARCADIS INC.**  
1330 POST OAK BOULEVARD, SUITE 2250  
HOUSTON, TX 77056  
tel 281.286.6605, fax 713.977.4620



|            |                     |
|------------|---------------------|
| PROJECT #: | 202318              |
| DATE:      | 2025-01-13          |
| DRAWN:     | BN/VP               |
| CHECKED:   | CA                  |
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| 2025-01-13 | PERMIT AND PROPOSAL |
| 2025-01-24 | ADDENDUM No. 02 A   |

**A0.10**

AREA 'A2' - 2ND FLOOR DEMOLITION PLAN



- DEMOLITION DWGS. INDICATE GENERAL DEMOLITION REQ'D. HOWEVER, THEY DO NOT SHOW SPECIFIC DETAILS OF DEMOLITION. CONTRACTOR SHALL VISIT PROJECT SITE / BLDG. PRIOR TO BIDDING TO ASCERTAIN EXISTING CONDITIONS & SPECIFIC REQ'TS FOR DEMOLITION WORK & SHALL INCLUDE ALL COSTS ASSOCIATED W/ DEMOLITION, EXCEPTING CONDITIONS THAT COULD NOT BE DETERMINED WITHOUT DESTRUCTIVE INVESTIGATION. COORDINATE W/ ARCH & OWNER W/ RESPECT TO VISITATION SCHEDULE.
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- PRIOR TO STARTING DEMOLITION WORK, FIELD VERIFY ALL EXISTING CONDITIONS. NOTIFY THE ARCH. OF ANY ISSUES AND/OR CONCEALED CONDITIONS THAT MAY PREVENT IMPLEMENTATION & PROGRESS OF DEMOLITION WORK. DO NOT PROCEED UNTIL SUCH ISSUES ARE FULLY RESOLVED.
- FOR DEMOLITION CONDUCTED WITHIN AN OPERATIONAL BLDG., CONTRACTOR SHALL COORD. W/ ARCH. & OWNER REGARDING SCHEDULING AND/OR DISRUPTIVE NOISE ISSUES. IF REQ'D, TO MAINTAIN ONGOING OPERATION OF THE BLDG., CONTRACTOR SHALL BE PREPARED TO PERFORM DISRUPTIVE DEMOLITION OUTSIDE NORMAL HOURS OF OPERATION.
- IF NOT INDICATED IN THE CONTRACT DOCUMENTS, COORD. W/ ARCH. & OWNER FOR DISPOSITION OF EXISTING FIXTURES, FURNITURE & EQUIP. (FF&E).
- OWNER SHALL RETAIN THE RIGHT TO RECEIVE & SALVAGE ANY EXISTING WORK SHOWN TO BE DEMOLISHED AND/OR REMOVED. CONFIRM W/ OWNER IF ANY MATERIALS ARE TO BE SALVAGED PRIOR TO THE START OF ANY DEMOLITION WORK. COORD. W/ OWNER FOR TRANSFER OF SALVAGED MATERIALS.
- CONTRACTOR SHALL USE ALL MEANS NECESSARY TO PROTECT EXISTING WORK TO REMAIN, IN CASE OF DAMAGE DURING DEMOLITION AND/OR NEW WORK CONSTRUCTION. CONTRACTOR SHALL REPAIR AND/OR REPLACE SUCH EXISTING WORK BACK TO ORIGINAL CONDITION, SUBJECT TO ACCEPTANCE BY THE ARCH. SIMILARLY, CONTRACTOR SHALL PROVIDE ADEQUATE MEANS OF RESTRICTING DISTRIBUTION OF DUST & OTHER DEMOLITION CONTAMINANTS FROM SPREADING INTO AREAS OUTSIDE OF DEMOLITION AREAS(S).
- WHERE EXISTING WORK IS INDICATED TO BE REMOVED & REINSTALLED, CONTRACTOR SHALL USE ALL MEANS NECESSARY TO REMOVE THE WORK WITHOUT DAMAGE. SUBSEQUENTLY STORE THE WORK TO PREVENT LOSS OR DAMAGE & CAREFULLY REINSTALL THE WORK AS INDICATED ON THE DWGS. IN CASE OF DAMAGE, CONTRACTOR SHALL REPAIR AND/OR REPLACE SUCH EXISTING WORK BACK TO ORIGINAL CONDITION, SUBJECT TO ACCEPTANCE BY THE ARCH.
- ALL EXISTING CONCRETE SLABS TO BE REMOVED IN ORDER FOR DEMOLITION OF UNDER-SLAB WORK SHALL BE SAW-CUT. MAINTAIN INTEGRITY OF EXISTING VAPOR MEMBRANE AND REINFORCING AS REQ'D. FOR RECONNECTION TO NEW VAPOR BARRIER AND REINFORCING UNDER SAW-CUT AREA.
- ALL EXISTING PLUMBING WORK SHOWN TO BE ABANDONED SHALL BE REMOVED & CAPPED 2" BELOW SLAB OR BACK WITHIN A WALL. SLABS & WALLS SHALL BE REPAIRED FLUSH W/ ADJACENT SURFACES.
- WHERE NEW OPENINGS ARE TO BE INSTALLED IN EXISTING WALLS/ PARTITIONS, LIMITS OF DEMOLITION SHALL BE BEYOND OPENING SIZE AS REQ'D TO PROPERLY CONSTRUCT ROUGH OPENINGS IN ACCORDANCE W/ NEW OPENING DETAILS INDICATED ON THE DWGS. REBUILD & OR PATCH ADJACENT AREAS TO NEW OPENING AS REQ'D FOR FLUSH INTERFACE W/ EXISTING WORK TO REMAIN.
- IN AREAS WHERE EXISTING FINISH FLOORING IS TO BE REMOVED, REMOVE FLOORING MATERIALS & ANY ADHESIVES DOWN TO THE CONCRETE SLAB. MAINTAIN SLAB IN A SUITABLE CONDITION FOR INSTALLATION OF NEW SCHEDULED FLOORING MATERIALS.
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- CONTRACTOR SHALL BE CAUTIOUS ON REMOVING EXISTING FRAMES. ANY DAMAGE TO THE EXISTING MASONRY MUST BE REPLACED AT THE CONTRACTOR'S EXPENSE.

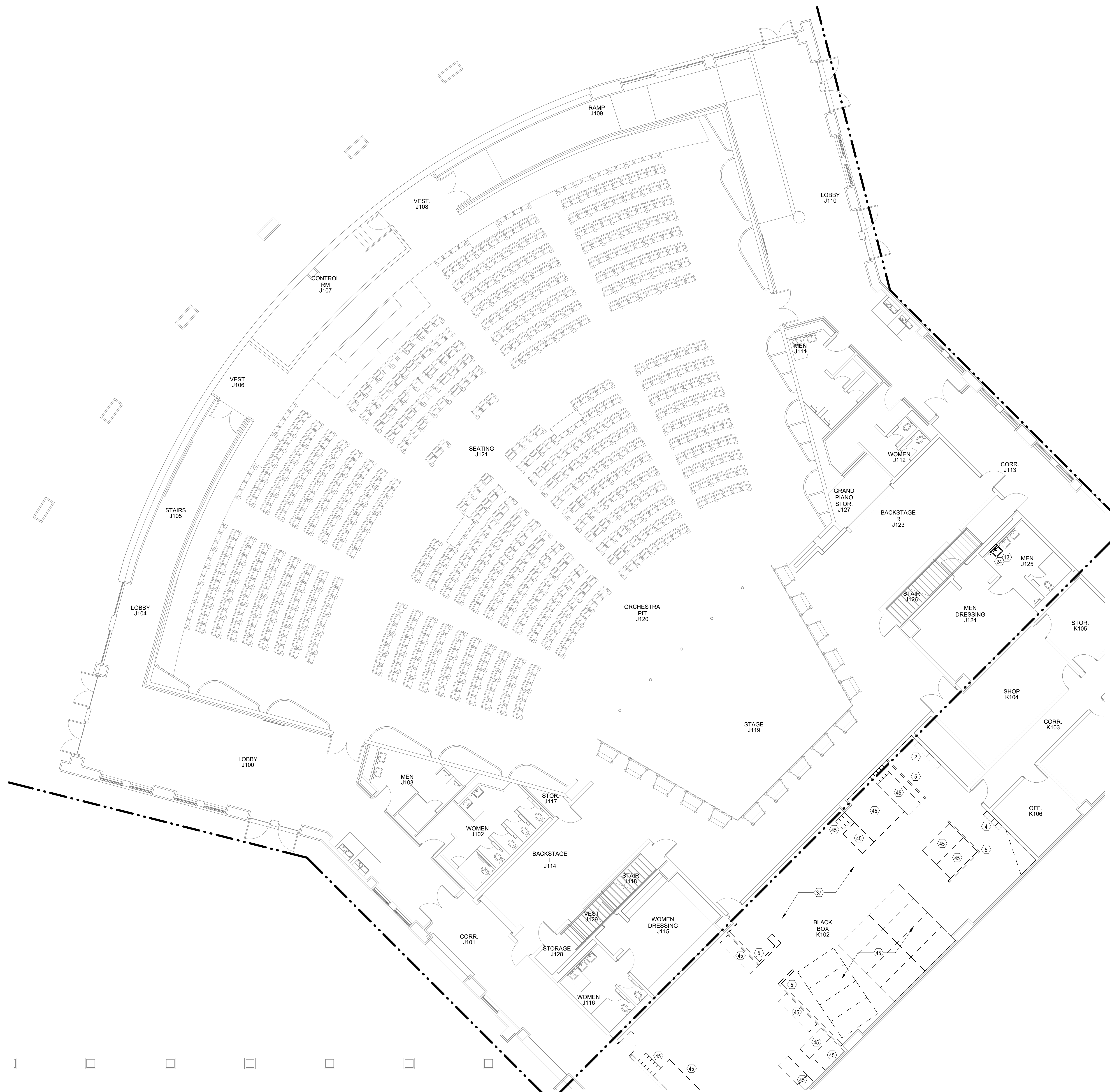
**NOTES - GENERAL FLOOR PLAN - DEMO**

1/4" = 1'-0"

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- REMOVE EXISTING CASEWORK IN ITS ENTIRETY
- REMOVE EXISTING FLOORING AND BASE IN ITS ENTIRETY. CLEAN/ PREP/ FINISH REMAINING SURFACES TO MATCH ADJACENT CONDITIONS.
- REMOVE EXISTING LOCKERS AND STORE FOR REINSTALLATION
- REMOVE EXISTING PARTITIONS
- WALL MOUNTED EQUIPMENT SHALL BE REMOVED BY THE OWNER BEFORE CONSTRUCTION BEGINS. RE: 2 / A0.05
- REMOVE EXISTING DOOR AND FRAME IN ITS ENTIRETY
- RE: C SERIES FOR DEMO SCOPE OF COURTYARD
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- REMOVE AND STORE PLUMBING FIXTURES, MIRROR AND ACCESSORIES FOR REINSTALLATION
- REMOVE EXISTING MATERIAL STORAGE CAGE AND DOOR IN ITS ENTIRETY.
- REMOVE AND REINSTALL OF EXIST. HOOD, RE: MEP
- REMOVE EXISTING ACOUSTICAL PANELS CLEAN AND PREP SURFACES FOR NEW.
- PROTECT INSTRUMENT STORAGE DURING CONSTRUCTION
- PROTECT MARKER BOARD DURING CONSTRUCTION
- REMOVE EXISTING MARKER BOARD
- REMOVE EXISTING MIRRORS
- REMOVE EXISTING POWER POLES, RE: MEP
- REMOVE EXISTING MUSIC STORAGE
- REMOVE AND STORE EXISTING SHOP EQUIPMENT/STORAGE DURING CONSTRUCTION
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- REMOVE PLUMBING FIXTURE IN ITS ENTIRETY. RE: PLUMBING
- CONTRACTOR TO REMOVE KITCHEN EQUIPMENT AND STORE AT OWNER'S REQUEST
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- REMOVE EXISTING SIDEWALL/FLATWORK. CLEAN AND PREPARE FOR RENOVATION
- REMOVE PORTION OF EXISTING EXTERIOR PARTITION. CLEAN/ PREP/ FINISH REMAINING SURFACES FOR NEW WINDOW.
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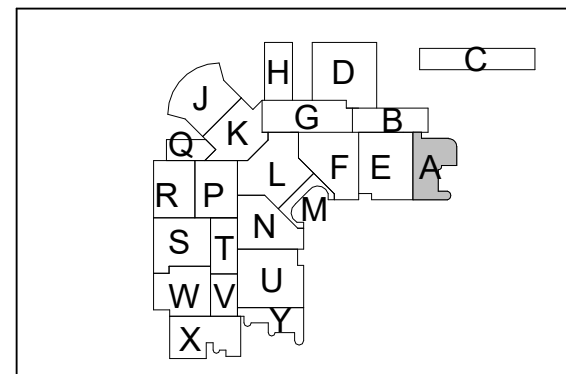
**KEYNOTES - FLOOR PLAN - DEMO**

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**1 AREA 'J1' - 1ST FLOOR DEMO PLAN**  
1/8" = 1'-0"

**CONSULTANTS**  
**STRUCTURAL**  
 C/JG Engineers  
 6051 North Course Dr. Suite 375  
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 tel 281.286.6605, fax 713.977.4620



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| 2025-01-24 | ADDENDUM No. 02 A   |

**A0.12**  
 AREA 'J' - 1ST FLOOR  
 DEMOLITION PLAN



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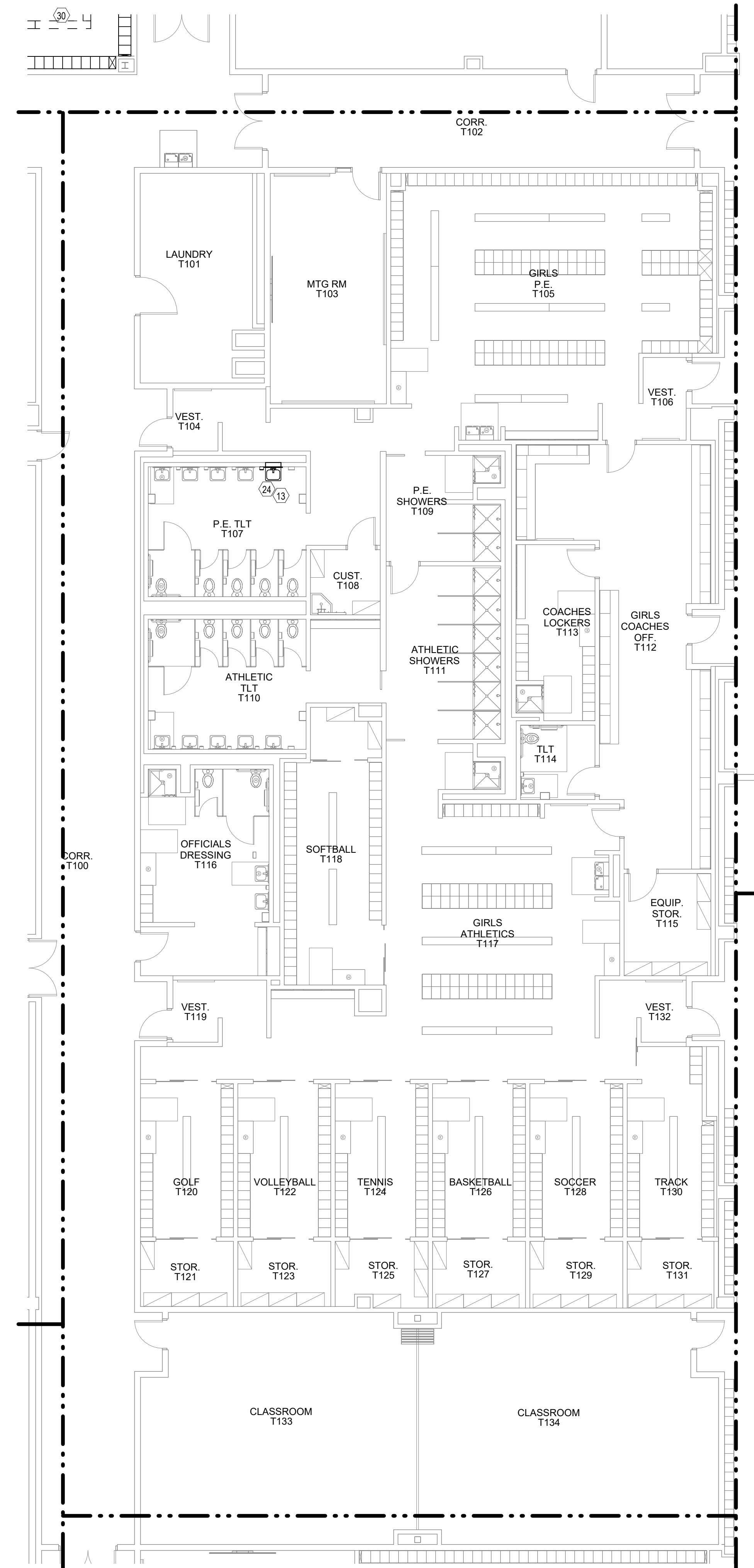
**NOTES - GENERAL FLOOR PLAN - DEMO**

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**KEYNOTES - FLOOR PLAN - DEMO**

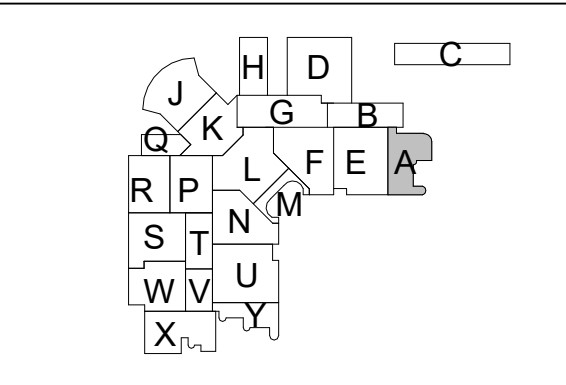
1/4" = 1'-0"



**1 AREA T1' - 1ST FLOOR DEMO PLAN**

1/8" = 1'-0"

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- STRUCTURAL**  
CJG Engineers  
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**ARCADIS**

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| DATE:           | 2025-01-24          |
| ADDENDUM No. 02 | A                   |

**A0.13**

AREA 'T' - 1ST FLOOR  
DEMOLITION PLAN

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- OWNER SHALL RETAIN THE RIGHT TO RECEIVE & SALVAGE ANY EXISTING WORK SHOWN TO BE DEMOLISHED AND/OR REMOVED. CONFIRM W/ OWNER IF ANY MATERIALS ARE TO BE SALVAGED PRIOR TO THE START OF ANY DEMOLITION WORK. COORD. W/ OWNER FOR TRANSFER OF SALVAGED MATERIALS.
- CONTRACTOR SHALL USE ALL MEANS NECESSARY TO PROTECT EXISTING WORK TO REMAIN, IN CASE OF DAMAGE DURING DEMOLITION AND/OR NEW WORK CONSTRUCTION. CONTRACTOR SHALL REPAIR AND/OR REPLACE SUCH EXISTING WORK BACK TO ORIGINAL CONDITION, SUBJECT TO ACCEPTANCE BY THE ARCH. SIMILARLY, CONTRACTOR SHALL PROVIDE ADEQUATE MEANS OF RESTRICTING DISTRIBUTION OF DUST & OTHER DEMOLITION CONTAMINANTS FROM SPREADING INTO AREAS OUTSIDE OF DEMOLITION AREAS(S).
- WHERE EXISTING WORK IS INDICATED TO BE REMOVED & REINSTALLED, CONTRACTOR SHALL USE ALL MEANS NECESSARY TO REMOVE THE WORK WITHOUT DAMAGE, SURFACELY STORE THE WORK TO PREVENT LOSS OR DAMAGE & CAREFULLY REINSTALL THE WORK AS INDICATED ON THE DWGS. IN CASE OF DAMAGE, CONTRACTOR SHALL REPAIR AND/OR REPLACE SUCH EXISTING WORK BACK TO ORIGINAL CONDITION, SUBJECT TO ACCEPTANCE BY THE ARCH.
- ALL EXISTING CONCRETE SLABS TO BE REMOVED IN ORDER FOR DEMOLITION OF UNDER-SLAB WORK SHALL BE SAW-CUT. MAINTAIN INTEGRITY OF EXISTING VAPOR MEMBRANE AND REINFORCING AS REQ'D. FOR RECONNECTION TO NEW VAPOR BARRIER AND REINFORCING UNDER SAW-CUT AREA.
- ALL EXISTING PLUMBING WORK SHOWN TO BE ABANDONED SHALL BE REMOVED & CAPPED 2" BELOW SLAB OR BACK WITHIN A WALL. SLABS & WALLS SHALL BE REPAIRED FLUSH W/ ADJACENT SURFACES.
- WHERE NEW OPENINGS ARE TO BE INSTALLED IN EXISTING WALLS / PARTITIONS, LIMITS OF DEMOLITION SHALL BE BEYOND OPENING SIZE AS REQ'D TO PROPERLY CONSTRUCT ROUGH OPENINGS IN ACCORDANCE W/ NEW OPENING DETAILS INDICATED ON THE DWGS. REBUILD & OR PATCH ADJACENT AREAS TO NEW OPENING AS REQ'D FOR FLUSH INTERFACE W/ EXISTING WORK TO REMAIN.
- IN AREAS WHERE EXISTING FINISH FLOORING IS TO BE REMOVED, REMOVE FLOORING MATERIALS & ANY ADHESIVES DOWN TO THE CONCRETE SLAB. MAINTAIN SLAB IN A SUITABLE CONDITION FOR INSTALLATION OF NEW SCHEDULED FLOORING MATERIALS.
- IN AREAS WHERE EXISTING WORK IS TO RECEIVE A NEW FINISH, CONTRACTOR SHALL REPAIR, PATCH AND/OR PREP EXISTING WORK AS REQ'D FOR PROPER INSTALLATION OF NEW FINISHES IN ACCORDANCE W/ NEW FINISH MANU'FR'S REQ'TS. VERIFY ALL CONDITIONS & COORD. AS REQ'D.
- CONTRACTOR SHALL BE CAUTIOUS ON REMOVING EXISTING FRAMES. ANY DAMAGE TO THE EXISTING MASONRY MUST BE REPLACED AT THE CONTRACTOR'S EXPENSE.

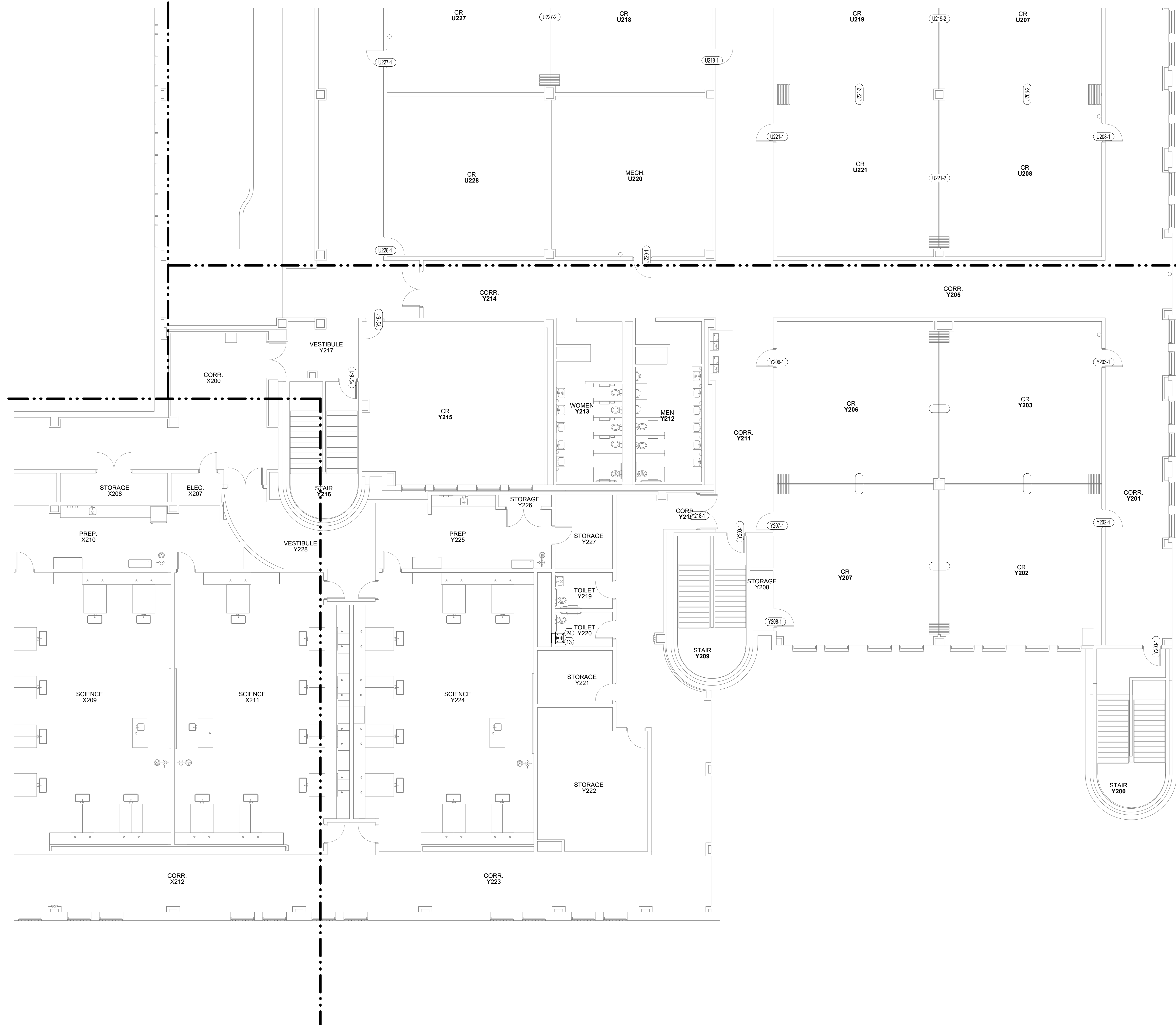
**NOTES - GENERAL FLOOR PLAN - DEMO**

1/4" = 1'-0"

- REMOVE PORTION OF EXISTING PARTITION. CLEAN/ PREP/ FINISH REMAINING SURFACES FOR NEW OPENING.
- REMOVE EXISTING CASEWORK IN ITS ENTIRETY
- REMOVE EXISTING FLOORING AND BASE IN ITS ENTIRETY. CLEAN/ PREP/ FINISH REMAINING SURFACES TO MATCH ADJACENT CONDITIONS.
- REMOVE EXISTING LOCKERS AND STORE FOR REINSTALLATION
- REMOVE EXISTING PARTITIONS
- WALL MOUNTED EQUIPMENT SHALL BE REMOVED BY THE OWNER BEFORE CONSTRUCTION BEGINS. RE: 2 / A0.05
- REMOVE EXISTING DOOR AND FRAME IN ITS ENTIRETY
- RE: C SERIES FOR DEMO SCOPE OF COURTYARD
- REMOVE EXISTING FLOORING. CLEAN/ PREP/ FINISH REMAINING SURFACES TO MATCH ADJACENT CONDITIONS.
- REMOVE EXISTING WINDOW, FRAME, AND MASONRY BELOW SILL IN ITS ENTIRETY. CLEAN/PREP EXISTING FINISHES FOR NEW CONSTRUCTION
- REMOVE PORTION OF EXISTING WALL
- REMOVE EXISTING PAINT BOTH IN ITS ENTIRETY. CLEAN/ PREP/ FINISH REMAINING SURFACES TO MATCH ADJACENT CONDITIONS.
- REMOVE AND STORE PLUMBING FIXTURES, MIRROR AND ACCESSORIES FOR REINSTALLATION
- REMOVE EXISTING MATERIAL STORAGE CAGE AND DOOR IN ITS ENTIRETY.
- REMOVE AND REINSTALL OF EXIST. HOOD, RE: MEP
- REMOVE EXISTING ACOUSTICAL PANELS CLEAN AND PREP SURFACES FOR NEW.
- PROTECT INSTRUMENT STORAGE DURING CONSTRUCTION
- PROTECT MARKER BOARD DURING CONSTRUCTION
- REMOVE EXISTING MARKER BOARD
- REMOVE EXISTING MIRRORS
- REMOVE EXISTING POWER POLES, RE: MEP
- REMOVE EXISTING MUSIC STORAGE
- REMOVE AND STORE EXISTING SHOP EQUIPMENT/STORAGE DURING CONSTRUCTION
- REMOVE EXISTING PORTION OF WALL. RE: MEP SHEETS FOR SCOPE
- REMOVE EXISTING CEILING AND CAREFULLY REMOVE AND TURN OVER EXISTING LIGHT FIXTURES TO THE DISTRICT FOR THEIR USE
- REMOVE PLUMBING FIXTURE IN ITS ENTIRETY. RE: PLUMBING
- CONTRACTOR TO REMOVE KITCHEN EQUIPMENT AND STORE AT OWNER'S REQUEST
- PROTECT PLUMBING FIXTURES DURING CONSTRUCTION
- PROTECT SHOP EQUIPMENT DURING CONSTRUCTION
- REMOVE EXISTING BENCHES
- REMOVE EXISTING SIDEWALL/FLATWORK. CLEAN AND PREPARE FOR RENOVATION
- REMOVE PORTION OF EXISTING EXTERIOR PARTITION. CLEAN/ PREP/ FINISH REMAINING SURFACES FOR NEW WINDOW.
- REMOVE EXISTING WINDOW AND PREP SPACE FOR NEW CMU FILL
- PROTECT EXISTING SPEAKERS DURING CONSTRUCTION
- PROTECT EXISTING MICROPHONES IN THE CEILING DURING CONSTRUCTION
- REMOVE EXISTING SEALANT AROUND POOL EDGE AND PREP FOR NEW
- REMOVE EXISTING PIPE GRID AND LIGHTING. RETURN LIGHTING TO OWNER
- DEMO WALL TILE AND WALL MOUNTED ACCESSORIES. PREPARE WALL FINISH LIKE NEW FOR RENOVATION.
- REMOVE EXISTING ELECTRICAL PANELS, RE: MEP
- REMOVE CEILING FURR DOWN AND ASSOCIATED LIGHTING
- REMOVE CEILING CAREFULLY REMOVE AND STORE EXISTING LIGHT FIXTURES FOR REUSE IN RENOVATION
- REMOVE EXISTING GRID AND TILE TO CLOSEST RUNNER. PREP SPACE FOR NEW CEILING FINISH. REFER TO RENOVATION FOR SCOPE OF WORK.
- DEMO EXISTING LOCKERS
- REMOVAL OF EXISTING DEPTH MARKER TILING
- DEMO EXISTING THEATRICAL SET, STAGE AND/OR EQUIPMENT.
- REMOVE GLAZING, FRAME EXISTING TO REMAIN. PREPARE FRAME TO RECEIVE NEW GLAZING PER WINDOW/DOOR SCHEDULE

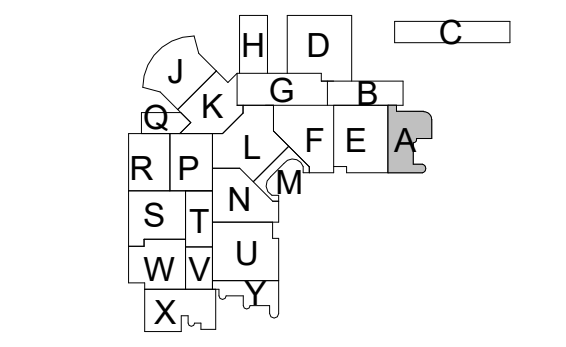
**KEYNOTES - FLOOR PLAN - DEMO**

1/4" = 1'-0"



**1 AREA 'Y2' - 2ND FLOOR DEMO PLAN**  
1/8" = 1'-0"

- CONSULTANTS**  
**STRUCTURAL**  
 CJG Engineers  
 6051 North Course Dr. Suite 375  
 Houston, TX 77042  
 Tel: 713.780.3345
- MEP**  
 Salas O'Brien  
 10930 W. Sam Houston Pkwy. N.  
 Suite 900  
 Houston, TX 77064  
 Tel: 281.664.1900
- CIVIL**  
 Brooks and Sparks, Inc.  
 21020 Park Row Dr.  
 Katy, TX 77449  
 Tel: 281.578.9595
- FOODSERVICE**  
 Surcana Foodservice Design  
 7430 Fairbanks N. Houston Rd.  
 Houston, TX 77040  
 Tel: 281.224.1230
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- THEATRE**  
 WJHW, INC.  
 2000 W. Loop South, Suite 1340  
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 Tel: 210.561.9800
- LANDSCAPE & IRRIGATION**  
 LANDESIGN Group  
 1401 El Camino Real, Suite 204  
 Houston, TX 77058  
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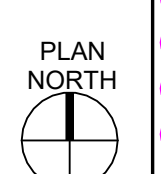
**2024 CYPRESS FALLS HIGH SCHOOL RENOVATION**  
 CYPRESS-FAIRBANKS ISD  
 9811 Huffmeister Rd, Houston, TX 77095

**ARCADIS**  
 TEXAS ARCADIS INC.  
 1330 POST OAK BOULEVARD, SUITE 2250  
 HOUSTON, TX 77056  
 tel 281.286.6605, fax 713.977.4620



|            |                     |
|------------|---------------------|
| PROJECT #: | 202318              |
| DATE:      | 2025-01-13          |
| DRAWN:     | LP                  |
| CHECKED:   | CA                  |
| DATE:      | ISSUE               |
| 2025-01-13 | PERMIT AND PROPOSAL |
| 2025-01-24 | ADDENDUM No. 02 A   |

**A0.14**  
 AREA 'Y2' - 2ND FLOOR DEMOLITION PLAN



1. RE: G1 SERIES SHEETS FOR ACCESSIBLE MOUNTING HEIGHTS
2. RE: A6 SERIES SHEETS FOR PARTITION TYPES
3. RE: A9 SERIES SHEETS FOR DOOR & FRAME ELEVATIONS
4. RE: A11 SERIES SHEETS FOR FINISH SELECTIONS IN FINISH LEGEND
5. ALL CMU COLUMN FURROUTS SHALL BE 1'-0" OFF COLUMN CENTER LINE, UNLESS NOTED OTHERWISE
6. MASONRY DIMENSIONS ARE NOMINAL
7. ALL DIMENSIONS ARE TO FINISH FACE OF EXTERIOR WALLS, FOUNDATION, MASONRY, METAL STUD FRAMING OR TO CENTER LINE OF COLUMN, UNLESS NOTED OTHERWISE
8. ALL WALL FINISH GOES TO DECK IN ROOMS WITHOUT CEILINGS
9. ALL EXTERIOR WALLS EXTEND TO BOTTOM OF ROOF DECK
10. PROVIDE EXPANSION JOINT COVERS ON INTERIOR WALLS @ BUILDING EXPANSION JOINTS RE: SPECS
11. ALL SPACES W/ FLOOR DRAINS SHALL HAVE FINISHED FLOOR SLOPE TO DRAIN. VERIFY W/ ARCH. IN FIELD
12. ALL EQUIP. PADS SHALL BE AS PER STRUC. DWGS. COORDINATE SIZES, THICKNESS & LOCATIONS W/ MECH. CHAMFER EDGES
13. ALL EXTERIOR DOORS SHALL RECEIVE A THRESHOLD, THRESHOLD TO BE OF SUFFICIENT WIDTH TO COVER SIDEWALK TO FOUNDATION EXPANSION JOINT TO MAINTAIN ONLY 1/2" RISE & BE ADA COMPLIANT
14. PROVIDE TRANSITION STRIPS @ ALL FLOOR FINISH TRANSITIONS PER SPECS, UNLESS NOTED OTHERWISE
15. ALL FLOOR MATERIAL CHANGES SHALL OCCUR @ CENTERLINE OF DOOR, UNLESS NOTED OTHERWISE
16. F.E.C. DENOTES FIRE EXTINGUISHER & CABINET
17. DASHED EQUIPMENT FURNITURE IS NOT IN CONTRACT (N.I.C.)
18. PROVIDE HORIZONTAL BLINDS @ ALL EXTERIOR WINDOWS, EXCEPT SIDELITES ADJACENT TO EXIT/ ENTRY DOORS. PROVIDE HORIZONTAL BLINDS @ ALL INTERIOR WINDOW LOCATIONS
19. SAWTOOTH ALL NEW MASONRY INTO EXISTING CMU OR BRICK
20. REPLACE ANY DAMAGED CEILING TILES IN THE INSTALLATION OF SPEAKERS AS SHOWN ON THE T SERIES DRAWINGS
21. REPLACE THE PLASTER SOFFIT AS REQUIRED FOR THE INSTALLATION OF THE SPEAKERS AS SHOWN ON THE T SERIES DRAWINGS
22. GENERAL NOTE: AN INDICATED CURB AT BASE OF PARTITION, FOR BASE CONDITION. RE: 4 / A2.01
23. THE CONTRACTOR SHALL REMOVE CEILINGS (GYPSUM BOARD CEILINGS AND/OR CEILING TILES) AS NECESSARY TO INSTALL CONDENSATION LINES THROUGHOUT THE BUILDING. ONCE INSTALLED THE CONTRACTOR SHALL REPAIR, PATCH, OR REPLACE THE CEILING AS REQUIRED. THE CONTRACTOR SHALL REFER TO THE MECHANICAL SHEETS TO DETERMINE THE PATHS
24. AN INDICATED CURB AT THE BASE OF THE PARTITION. RE: STRUCT.

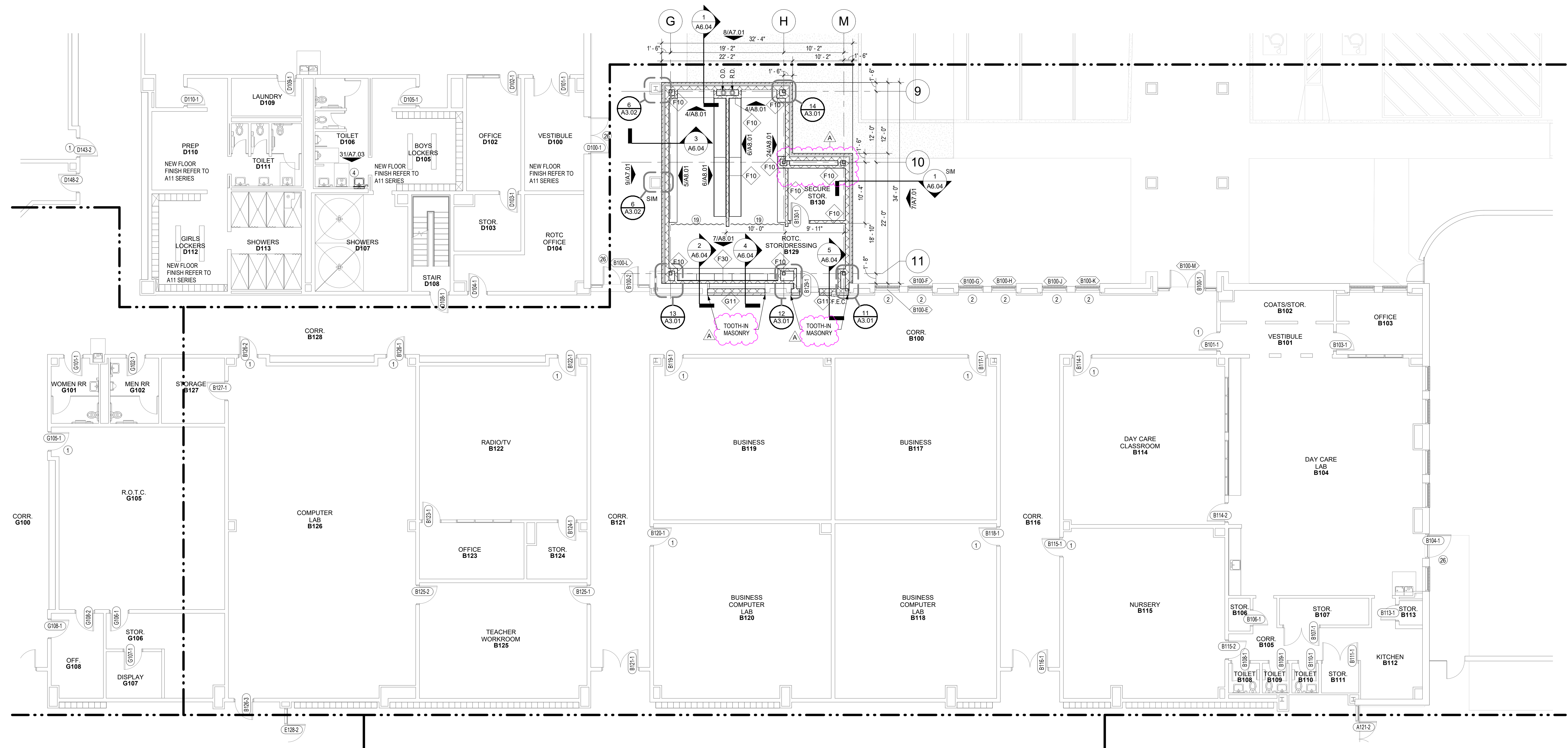
**NOTES - GENERAL FLOOR PLAN**

1/4" = 1'-0"

1. REPLACE DOOR HARDWARE, RE: SPECS
2. EXISTING GLAZING TO RECEIVE IMPACT FILM, RE: SPECS
3. DISPLAY CASES, RE: SPECS
4. SAWTOOTH @ CMU AND TILE TO MATCH EXISTING WALL. REINSTALL STORED PLUMBING FIXTURE, MIRROR AND ACCESSORIES
5. PIPE RACK MATERIAL STORAGE, RE: 2 / A2.04
6. WALK IN PAINT BOOTH
7. REINSTALL STORED EXISTING PLUMBING FIXTURE
8. EXISTING SHOP EQUIPMENT
9. RELOCATED EXISTING BEWO WET METAL SAW
10. RELOCATED EXISTING FOREST CNC ROUTER
11. RELOCATED EXISTING HELIX EPILOG LASER
12. RELOCATED EXISTING ROCKWELL INVICTA PLANNER
13. RELOCATED EXISTING PERFORMAX DRUM SANDER
14. RELOCATED EXISTING DELTA SHAPER
15. RELOCATED EXISTING DELTA SHAPER
16. RELOCATED STORAGE FURNITURE
17. CORD REELS, RE: RCP
18. RELOCATED SHOP DESKTABLE
19. CURBICLE CURTAIN
20. RELOCATED WENGER MUSIC STORAGE
21. REMOVE AND REPLACE GLAZING WITH G11 GLAZING RE: A9 DOOR ELEVATION AND SPECS
22. RELOCATED LOCKERS, FOR NEW BASE DETAIL AS NEEDED. RE: 3 / A2.01
23. RELOCATED LOCKERS, PROVIDE NEW FILL PANEL AND TOP AS REQ'D, RE: SPECS
24. NEW 6' LOCKER ROOM BENCHES. RE: 2 / A2.14
25. NEW 4' LOCKER ROOM BENCHES. RE: 2 / A2.14
26. PROVIDE NEW CARD READER AND ASSOCIATED HARDWARE, RE: ELEC & TECH & HARDWARE SPECS
27. RELOCATED PLOTTER/3D PRINTER
28. ADA BENCH. RE: 4 / A6.01
29. REINSTALL MICROPHONES
30. NEW EYE WASH STATION, RE: MEP
31. PAPER TOWER AND SOAP DISPENSER
32. NEW STORAGE SHELVING, 36" WIDE, RE: SPECS
33. NEW STORAGE SHELVING, 48" WIDE, RE: SPECS
34. NEW 2 TIER TYPE 'B' LOCKERS, RE: 2 / A2.01 & SPECS
35. PROVIDE NEW SEALANT AROUND POOL EDGE
36. DRYING RACK, RE: SPECS
37. NEW DOOR STATION AND ASSOCIATED HARDWARE, RE: ELEC & TECH & HARDWARE SPECS
38. NEW SCREEN WALL, RE: 14 / C1.11, 15 / C1.11, 16 / C1.11

**KEYNOTES - FLOOR PLAN**

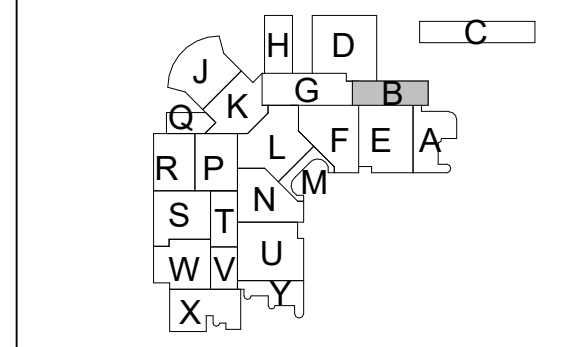
1/4" = 1'-0"



**1 AREA 'B1' - 1ST FLOOR PLAN**

1/8" = 1'-0"

- CONSULTANTS**
- STRUCTURAL**  
CJG Engineers  
6051 North Course Dr. Suite 375  
Houston, TX 77042  
Tel: 713.780.3345
- MEP**  
Salas O'Brien  
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Suite 900  
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Tel: 281.664.1900
- CIVIL**  
Brooks and Sparks, Inc.  
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Katy, TX 77449  
Tel: 281.578.9595
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Surcana Foodservice Design  
7430 Fairbanks N. Houston Rd.  
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Tel: 281.224.1230
- ACOUSTICAL & A/V**  
BAI, LLC  
4000 Speedway  
Austin, TX 78751  
Tel: 512.476.3464
- THEATRE**  
WJHW, INC.  
2000 W. Loop South, Suite 1340  
Houston, TX 77027  
Tel: 210.561.9800
- LANDSCAPE & IRRIGATION**  
LANDESIGN Group  
1401 El Camino Real, Suite 204  
Houston, TX 77058  
Tel: 281.486.4040



**2024 CYPRESS FALLS HIGH SCHOOL RENOVATION**

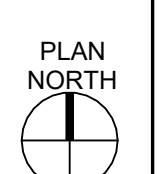
CYPRESS-FAIRBANKS ISD  
9811 Huffmeister Rd, Houston, TX 77095

**ARCADIS**  
TEXAS ARCADIS INC.  
1330 POST OAK BOULEVARD, SUITE 2250  
HOUSTON, TX 77056  
tel 281.286.6605, fax 713.977.4620



|            |                                     |
|------------|-------------------------------------|
| PROJECT #: | 202318                              |
| DATE:      | 2025-01-13                          |
| DRAWN:     | BN/VP                               |
| CHECKED:   | CA                                  |
| DATE:      | 2025-01-13                          |
| ISSUE:     | PERMIT AND PROPOSAL ADDENDUM No. 02 |
|            | A                                   |

**A2.02**  
AREA 'B1' 1ST FLOOR PLAN





- RE: G1 SERIES SHEETS FOR ACCESSIBLE MOUNTING HEIGHTS
- RE: A6 SERIES SHEETS FOR PARTITION TYPES
- RE: A9 SERIES SHEETS FOR DOOR & FRAME ELEVATIONS
- RE: A11 SERIES SHEETS FOR FINISH SELECTIONS IN FINISH LEGEND
- ALL CMU COLUMN PURSUITS SHALL BE 1'-0" OF COLUMN CENTER LINE, UNLESS NOTED OTHERWISE
- MASONRY DIMENSIONS ARE NOMINAL
- ALL DIMENSIONS ARE TO FINISH FACE OF EXTERIOR WALLS, FOUNDATION, MASONRY, METAL STUD FRAMING OR TO CENTER LINE OF COLUMN, UNLESS NOTED OTHERWISE
- ALL WALL FINISH GOES TO DECK IN ROOMS WITHOUT CEILINGS
- ALL EXTERIOR WALLS EXTEND TO BOTTOM OF ROOF DECK
- PROVIDE EXPANSION JOINT COVERS ON INTERIOR WALLS @ BUILDING EXPANSION JOINTS RE: SPECS
- ALL SPACES W/ FLOOR DRAINS SHALL HAVE FINISHED FLOOR SLOPE TO DRAIN. VERIFY W/ ARCH. IN FIELD
- ALL EQUIP. PADS SHALL BE AS PER STRUC. DWGS. COORDINATE SIZES, THICKNESS & LOCATIONS W/ MECH. CHAMFER EDGES
- ALL EXTERIOR DOORS SHALL RECEIVE A THRESHOLD. THRESHOLD TO BE OF SUFFICIENT WIDTH TO COVER SIDEWALK TO FOUNDATION EXPANSION JOINT TO MAINTAIN ONLY 1/2" RISE & BE ADA COMPLIANT
- PROVIDE TRANSITION STRIPS @ ALL FLOOR FINISH TRANSITIONS PER SPECS, UNLESS NOTED OTHERWISE
- ALL FLOOR MATERIAL CHANGES SHALL OCCUR @ CENTERLINE OF DOOR, UNLESS NOTED OTHERWISE
- F.E.C. DENOTES FIRE EXTINGUISHER & CABINET
- DASHED EQUIPMENT FURNITURE IS NOT IN CONTRACT (N.I.C.)
- PROVIDE HORIZONTAL BLINDS @ ALL EXTERIOR WINDOWS, EXCEPT SIDEITES ADJACENT TO EXIT/ ENTRY DOORS. PROVIDE HORIZONTAL BLINDS @ ALL INTERIOR WINDOW LOCATIONS
- SAWTOOTH ALL NEW MASONRY INTO EXISTING CMU OR BRICK
- REPLACE ANY DAMAGED CEILING TILES IN THE INSTALLATION OF SPEAKERS AS SHOWN ON THE T SERIES DRAWINGS
- REPLACE THE PLASTER SOFFIT AS REQUIRED FOR THE INSTALLATION OF THE SPEAKERS AS SHOWN ON THE T SERIES DRAWINGS
- GENERAL NOTE: AN INDICATED CURB AT BASE OF PARTITION, FOR BASE CONDITION. RE: 4 / A2.01
- THE CONTRACTOR SHALL REMOVE CEILINGS (GYPSUM BOARD CEILINGS AND/OR CEILING TILES) AS NECESSARY TO INSTALL CONDENSATION LINES THROUGHOUT THE BUILDING. ONCE INSTALLED THE CONTRACTOR SHALL REPAIR, PATCH, OR REPLACE THE CEILING AS REQUIRED. THE CONTRACTOR SHALL REFER TO THE MECHANICAL SHEETS TO DETERMINE THE PATHS.
- AN INDICATED CURB AT THE BASE OF THE PARTITION RE: STRUCT.

- REPLACE DOOR HARDWARE, RE: SPECS
- EXISTING GLAZING TO RECEIVE IMPACT FILM, RE: SPECS
- DISPLAY CASES, RE: SPECS
- SAWTOOTH 8" CMU AND TILE TO MATCH EXISTING WALL, REINSTALL STORED PLUMBING FIXTURE, MIRROR AND ACCESSORIES
- PIPE RACK MATERIAL STORAGE, RE: 2 / A2.04
- WALK IN PAINT BOOTH
- REINSTALL STORED EXISTING PLUMBING FIXTURE
- EXISTING SHOP EQUIPMENT
- RELOCATED EXISTING BEHO WET METAL SAW
- RELOCATED EXISTING FOREST CNC ROUTER
- RELOCATED EXISTING HELIX EPOLOG LASER
- RELOCATED EXISTING ROCKWELL-INVICTA FLANER
- RELOCATED EXISTING PERFORMA DRUM SANDER
- RELOCATED EXISTING DELTA SHAPER
- RELOCATED EXISTING DELTA SHAPER
- RELOCATED STORAGE FURNITURE
- CORD REELS, RE: RCP
- RELOCATED SHOP DESKTABLE
- CUBICLE CURTAIN
- RELOCATED WENGER MUSIC STORAGE
- REMOVE AND REPLACE GLAZING WITH G11 GLAZING RE: A9 DOOR ELEVATION AND SPECS
- RELOCATED LOCKERS, FOR NEW BASE DETAIL AS NEEDED, RE: 3 / A2.01
- RELOCATED LOCKERS, PROVIDE NEW FILL PANEL AND TOP AS REQ'D, RE: SPECS
- NEW 6 LOCKER ROOM BENCHES, RE: 2 / A2.14
- NEW 4 LOCKER ROOM BENCHES, RE: 2 / A2.14
- PROVIDE NEW CARD READER AND ASSOCIATED HARDWARE, RE: ELEC & TECH & HARDWARE SPECS
- RELOCATED PLOTTER/3D PRINTER
- ADA BENCH, RE: 4 / A6.01
- REINSTALL MICROPHONES
- NEW EYE WASH STATION, RE: MEP
- PAPER TOWER AND SOAP DISPENSER
- NEW STORAGE SHELVING, 36" WIDE, RE: SPECS
- NEW STORAGE SHELVING, 48" WIDE, RE: SPECS
- NEW 2-TIER TYPE 'B' LOCKERS, RE: 2 / A2.01 & SPECS
- PROVIDE NEW SEALANT AROUND POOL EDGE
- DRYING RACK, RE: SPECS
- NEW DOOR STATION AND ASSOCIATED HARDWARE, RE: ELEC & TECH & HARDWARE SPECS
- NEW GREEN WALL, RE: 14 / C1.11, 15 / C1.11, 16 / C1.11

**NOTES - GENERAL FLOOR PLAN**  
1/4" = 1'-0"

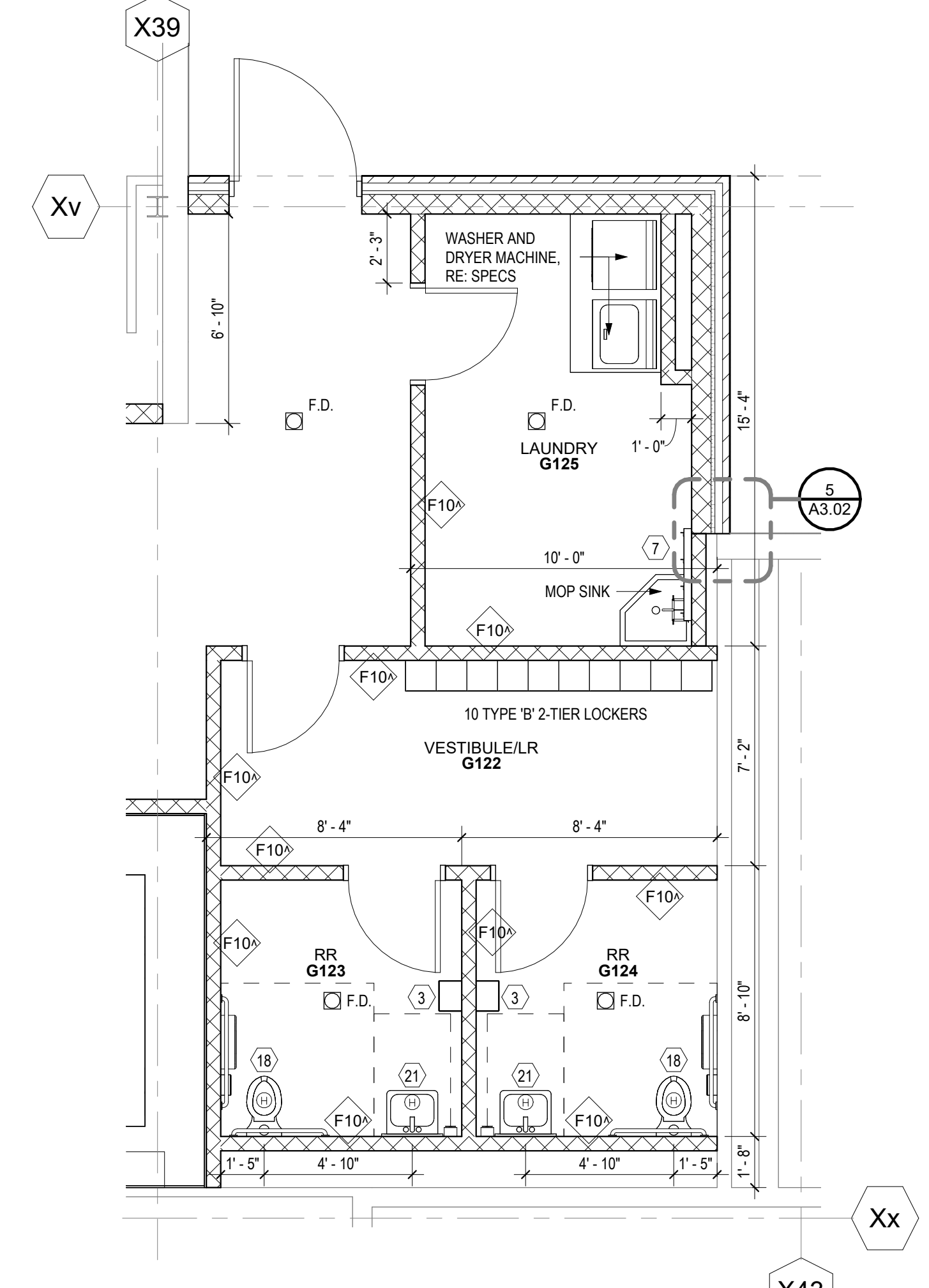
**KEYNOTES - FLOOR PLAN**  
1/4" = 1'-0"

| MARK | DESCRIPTION                         | SPEC REF. | TYP. TLT. ROOM LAYOUTS |
|------|-------------------------------------|-----------|------------------------|
| (1)  | SOAP DISPENSER                      | TA-1      |                        |
| (2)  | MIRROR                              | TA-2      |                        |
| (3)  | PAPER TOWEL DISPENSER               | TA-3      |                        |
| (4)  | RECESSED WASTE RECEPTACLE           | TA-4      |                        |
| (5)  | TOILET TISSUE DISPENSER             | TA-5      |                        |
| (6)  | GRAB BARS                           | TA-6      |                        |
| (7)  | MOP & BROOM HOLDER                  | TA-7      |                        |
| (8)  | CLOTHES/ TOWEL HOOKS                | TA-8      |                        |
| (9)  | FEMININE NAPKIN DISPENSER           | TA-9      |                        |
| (10) | FEMININE NAPKIN DISPOSAL            | TA-10     |                        |
| (11) | SHOWER GRAB BARS                    | TA-11     |                        |
| (12) | FOLDING BENCH - SHOWER COMPARTMENTS | TA-12     |                        |
| (13) | SHOWER CURTAINS & RODS              | TA-13     |                        |
| (14) | ELECTRIC HAIR DRYERS                | TA-14     |                        |
| (15) | ELECTRIC HAND DRYERS                | TA-15     |                        |
| (16) | BABY CHANGING STATION               | TA-16     |                        |
| (17) | SHOWER WATER RETAINER               | TA-17     |                        |
| (18) | ACCESSIBLE TOILET STALL             | TA-18     |                        |
| (19) | AMBULATORY TOILET STALL             | TA-19     |                        |
| (20) | STANDARD TOILET STALL               | TA-20     |                        |
| (21) | ACCESSIBLE SINK                     | TA-21     |                        |
| (22) | STANDARD SINK                       | TA-22     |                        |
| (23) | TRANSFER TYPE SHOWER COMPARTMENTS   | TA-23     |                        |
| (24) | ROLL-IN SHOWER COMPARTMENTS         | TA-24     |                        |
| (25) | MARBLE THRESHOLD                    |           |                        |

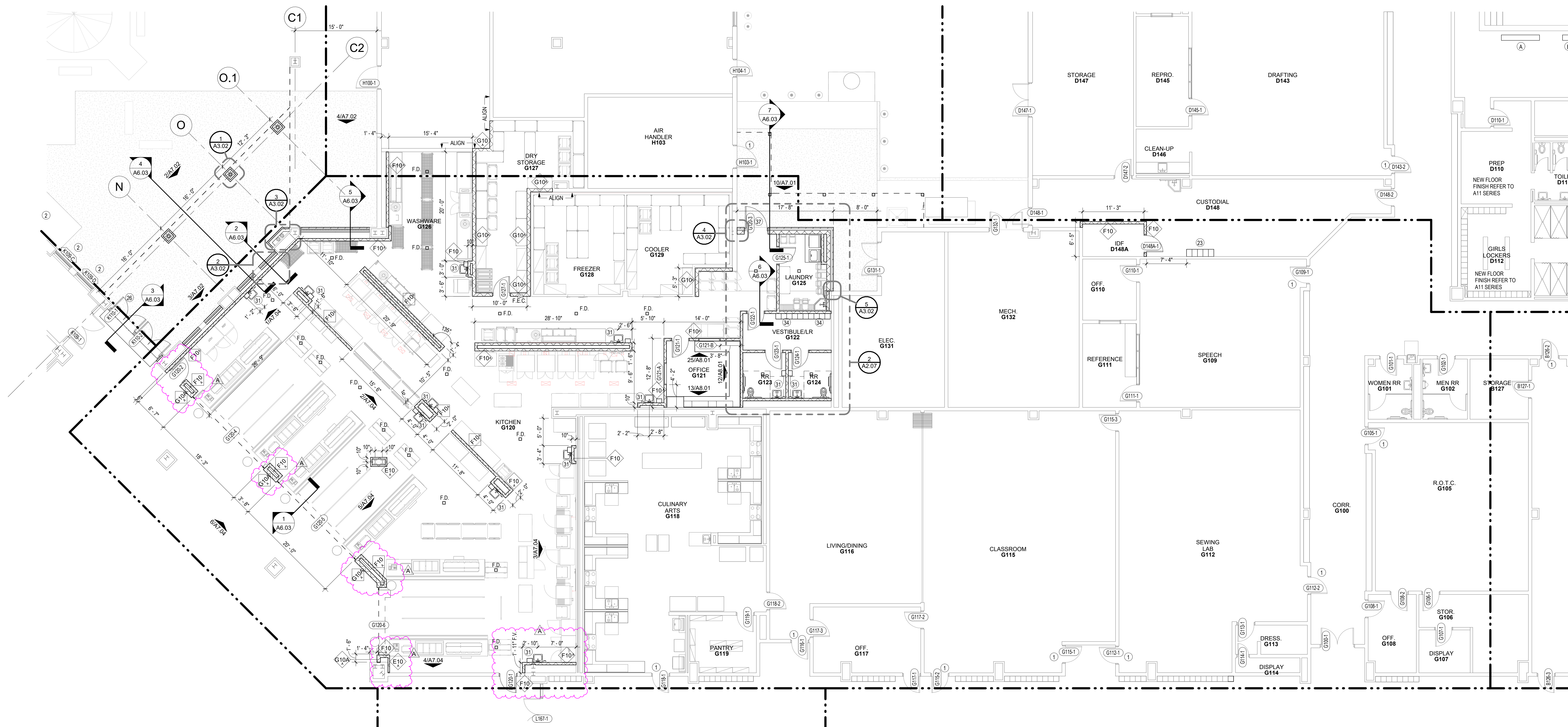
**LEGEND - TOILET ACCESSORIES**  
1/4" = 1'-0"

- (1) (1) INDICATES HANDICAP MOUNTING HEIGHT, RE: G1.00 FOR ALL MOUNTING HEIGHTS & LOCATION REQMENTS.
- (2) VERIFY LOCATION OF ACCESSORIES W/ OWNER PRIOR TO INSTALLATION
- (3) RE: FLOOR PLANS FOR ADDITIONAL TOILET ACCESSORIES
- (4) "O.F.C.I." INDICATES OWNER FURNISHED, CONTRACTOR INSTALLED ACCESSORIES
- (5) ALL MOP SINKS TO RECEIVE MOP & BROOM HOLDER (TA-7) @ MOP SINK WHETHER SHOWN IN PLAN OR NOT

- NOTE: TA-13 ONLY IN ALL NON-ACCESSIBLE SHOWERS WHETHER SHOWN IN PLAN OR NOT



**2 G123/124 ENLARGED KITCHEN RESTROOM**  
1/4" = 1'-0"



**1 AREA 'G1' - 1ST FLOOR PLAN**  
1/8" = 1'-0"

**CONSULTANTS**  
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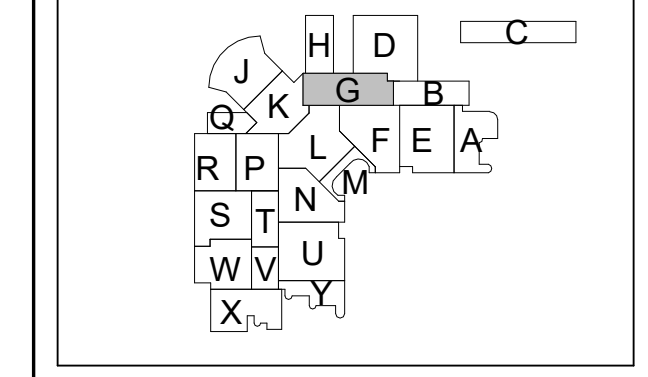
CIVIL  
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FOODSERVICE  
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**2024 CYPRESS FALLS HIGH SCHOOL RENOVATION**  
CYPRESS-FAIRBANKS ISD  
9811 Huffmeister Rd, Houston, TX 77095

**ARCADIS**  
TEXAS ARCADIS INC.  
1330 POST OAK BOULEVARD, SUITE 2250  
HOUSTON, TX 77056  
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**A2.07**  
AREA 'G1' 1ST FLOOR PLAN

- RE: G1 SERIES SHEETS FOR ACCESSIBLE MOUNTING HEIGHTS
- RE: A6 SERIES SHEETS FOR PARTITION TYPES
- RE: A9 SERIES SHEETS FOR DOOR & FRAME ELEVATIONS
- RE: A11 SERIES SHEETS FOR FINISH SELECTIONS IN FINISH LEGEND
- ALL CMU COLUMN FURROUTS SHALL BE 1'-0" OFF COLUMN CENTER LINE, UNLESS NOTED OTHERWISE
- MASONRY DIMENSIONS ARE NOMINAL
- ALL DIMENSIONS ARE TO FINISH FACE OF EXTERIOR WALLS, FOUNDATION, MASONRY, METAL STUD FRAMING OR TO CENTER LINE OF COLUMN, UNLESS NOTED OTHERWISE
- ALL WALL FINISH GOES TO TECH IN ROOMS WITHOUT CEILINGS
- ALL EXTERIOR WALLS EXTEND TO BOTTOM OF ROOF DECK
- PROVIDE EXPANSION JOINT COVERS ON INTERIOR WALLS @ BUILDING EXPANSION JOINTS RE: SPECS
- ALL SPACES W/ FLOOR DRAINS SHALL HAVE FINISHED FLOOR SLOPE TO DRAIN. VERIFY W/ ARCH. IN FIELD
- ALL EQUIP. PADS SHALL BE AS PER STRUC. DWGS. COORDINATE SIZES, THICKNESS & LOCATIONS W/ MECH. CHAMFER EDGES
- ALL EXTERIOR DOORS SHALL RECEIVE A THRESHOLD, THRESHOLD TO BE OF SUFFICIENT WIDTH TO COVER SIDEWALK TO FOUNDATION EXPANSION JOINT TO MAINTAIN ONLY 1/2" RISE & BE ADA COMPLIANT
- PROVIDE TRANSITION STRIPS @ ALL FLOOR FINISH TRANSITIONS PER SPECS, UNLESS NOTED OTHERWISE
- ALL FLOOR MATERIAL CHANGES SHALL OCCUR @ CENTERLINE OF DOOR, UNLESS NOTED OTHERWISE
- F.E.C. DENOTES FIRE EXTINGUISHER & CABINET
- DASHED EQUIPMENT FURNITURE IS NOT IN CONTRACT (N.I.C.)
- PROVIDE HORIZONTAL BLINDS @ ALL EXTERIOR WINDOWS, EXCEPT SIDELITES ADJACENT TO EXIT/ ENTRY DOORS. PROVIDE HORIZONTAL BLINDS @ ALL INTERIOR WINDOW LOCATIONS
- SAWTOOTH ALL NEW MASONRY INTO EXISTING CMU OR BRICK
- REPLACE ANY DAMAGED CEILING TILES IN THE INSTALLATION OF SPEAKERS AS SHOWN ON THE T SERIES DRAWINGS.
- REPLACE THE PLASTER SOFFIT AS REQUIRED FOR THE INSTALLATION OF THE SPEAKERS AS SHOWN ON THE T SERIES DRAWINGS.
- GENERAL NOTE: AN INDICATED CURB AT BASE OF PARTITION, FOR BASE CONDITION. RE: 4 / A2.01
- THE CONTRACTOR SHALL REMOVE CEILINGS (GYPSUM BOARD CEILINGS AND/OR CEILING TILES) AS NECESSARY TO INSTALL CONDENSATION LINES THROUGHOUT THE BUILDING. ONCE INSTALLED THE CONTRACTOR SHALL REPAIR, PATCH, OR REPLACE THE CEILING AS REQUIRED. THE CONTRACTOR SHALL REFER TO THE MECHANICAL SHEETS TO DETERMINE THE PATHS.
- AN INDICATED CURB AT THE BASE OF THE PARTITION. RE: STRUCT.

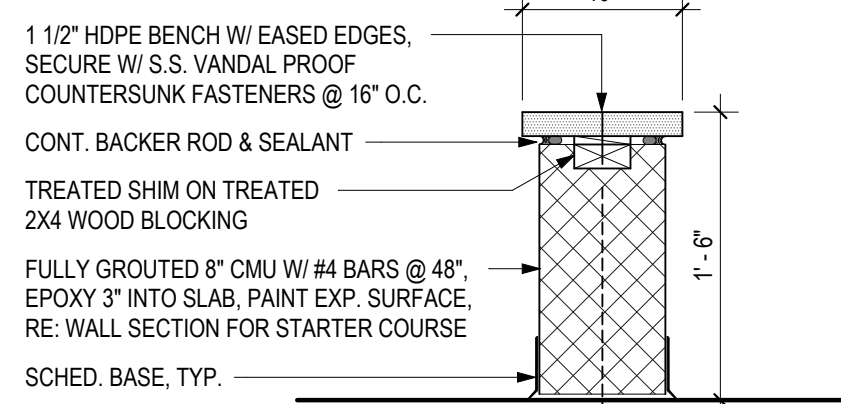
### NOTES - GENERAL FLOOR PLAN

1/4" = 1'-0"

- REPLACE DOOR HARDWARE, RE: SPECS
- EXISTING GLAZING TO RECEIVE IMPACT FILM, RE: SPECS
- DISPLAY CASES, RE: SPECS
- SAWTOOTH 8" CMU AND TILE TO MATCH EXISTING WALL, REINSTALL STORED PLUMBING FIXTURE, MIRROR AND ACCESSORIES
- PIPE RACK MATERIAL STORAGE, RE: 2 / A2.04
- WALK IN PAINT BOOTH
- REINSTALL STORED EXISTING PLUMBING FIXTURE
- EXISTING SHOP EQUIPMENT
- RELOCATED EXISTING BEWO WET METAL SAW
- RELOCATED EXISTING FOREST CNC ROUTER
- RELOCATED EXISTING HELIX EPILOG LASER
- RELOCATED EXISTING ROCKWELL-INVICTA PLANNER
- RELOCATED EXISTING PERFORMAX DRUM SANDER
- RELOCATED EXISTING DELTA SHAPER
- RELOCATED EXISTING DELTA SHAPER
- RELOCATED STORAGE FURNITURE
- CORD REELS, RE: RCP
- RELOCATED SHOP DESKTABLE
- CUBICLE CURTAIN
- RELOCATED WENGER MUSIC STORAGE
- REMOVE AND REPLACE GLAZING WITH G11 GLAZING RE: A9 DOOR ELEVATION AND SPECS
- RELOCATED LOCKERS, FOR NEW BASE DETAIL AS NEEDED, RE: 3 / A2.01
- RELOCATED LOCKERS, PROVIDE NEW FILL PANEL AND TOP AS REQ'D, RE: SPECS
- NEW 6' LOCKER ROOM BENCHES, RE: 2 / A2.14
- NEW 4' LOCKER ROOM BENCHES, RE: 2 / A2.14
- PROVIDE NEW CARD READER AND ASSOCIATED HARDWARE, RE: ELEC & TECH & HARDWARE SPECS
- RELOCATED PLOTTER/3D PRINTER
- ADA BENCH, RE: 4 / A6.01
- REINSTALL MICROPHONES
- NEW EYE WASH STATION, RE: MEP
- PAPER TOWER AND SOAP DISPENSER
- NEW STORAGE SHELVING, 36" WIDE, RE: SPECS
- NEW STORAGE SHELVING, 48" WIDE, RE: SPECS
- NEW 2-TIER TYPE 'B' LOCKERS, RE: 2 / A2.01 & SPECS
- PROVIDE NEW SEALANT AROUND POOL EDGE
- DRYING RACK, RE: SPECS
- NEW DOOR STATION AND ASSOCIATED HARDWARE, RE: ELEC & TECH & HARDWARE SPECS
- NEW SCREEN WALL, RE: 14 / C1.11, 15 / C1.11, 16 / C1.11

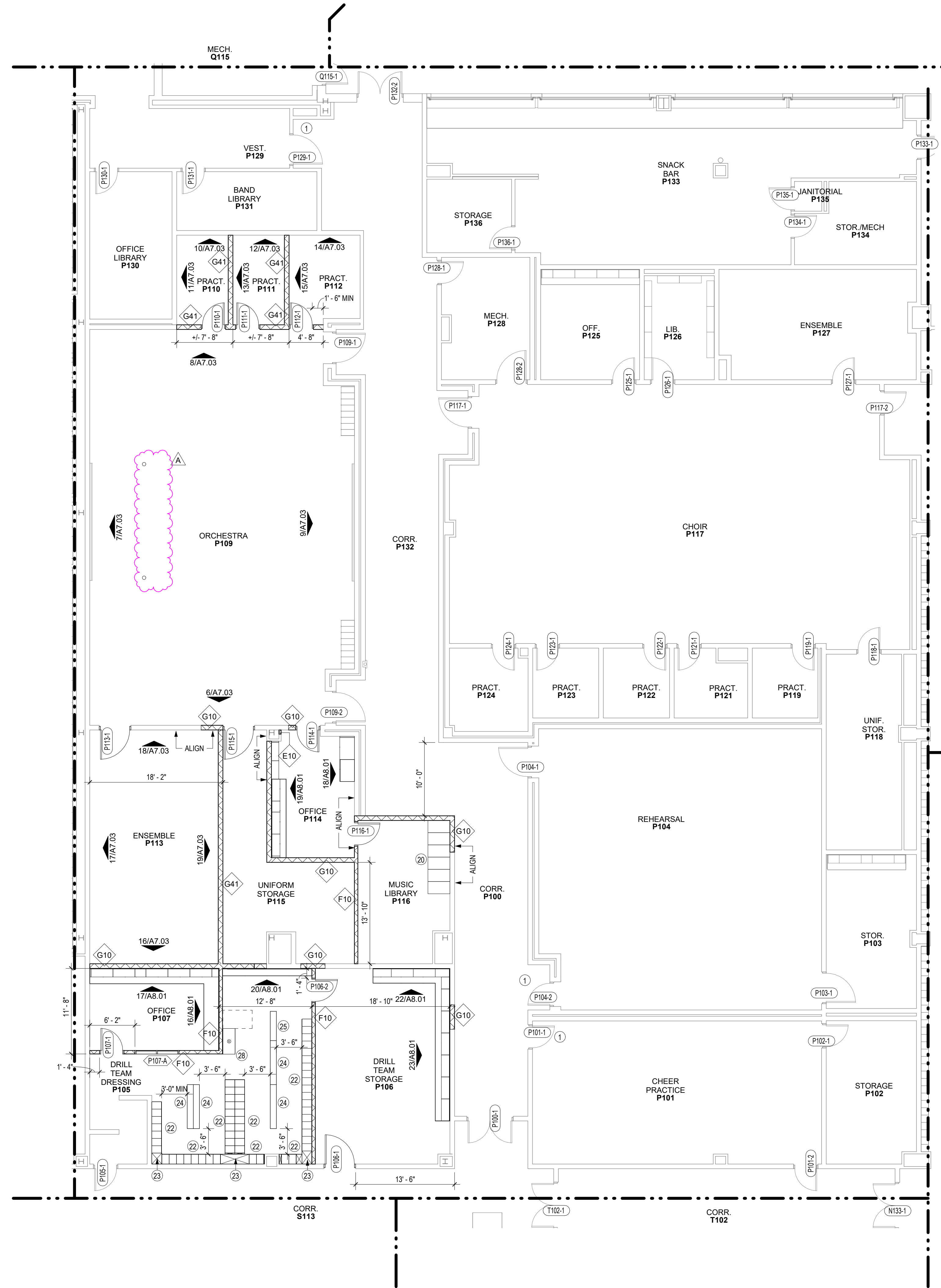
### KEYNOTES - FLOOR PLAN

1/4" = 1'-0"



### LCKR - BENCH HDPE-CMU

1" = 1'-0"



### 1 AREA 'P1' - 1ST FLOOR PLAN

1/8" = 1'-0"

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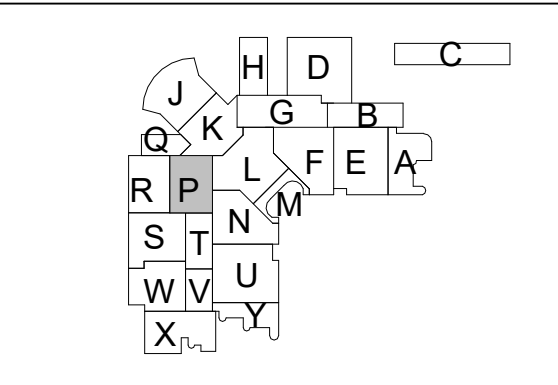
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| 2025-01-13 | ADDENDUM No. 02     |
| 2025-01-24 | A                   |

**A2.14**

AREA 'P1' 1ST FLOOR PLAN





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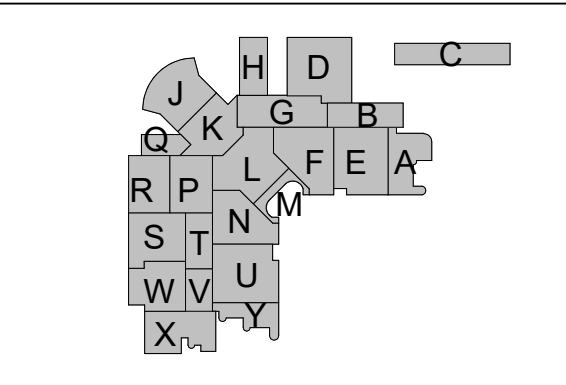
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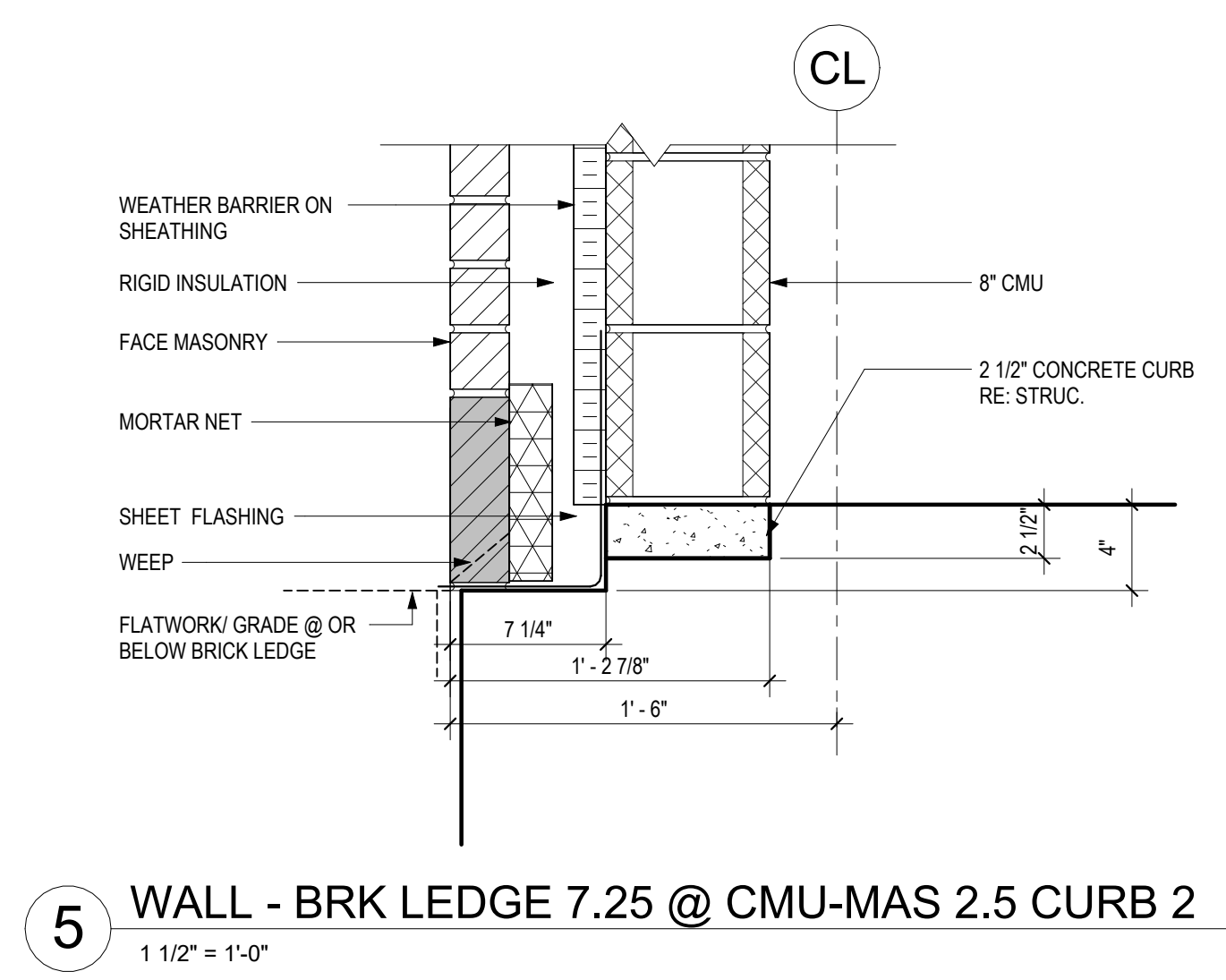
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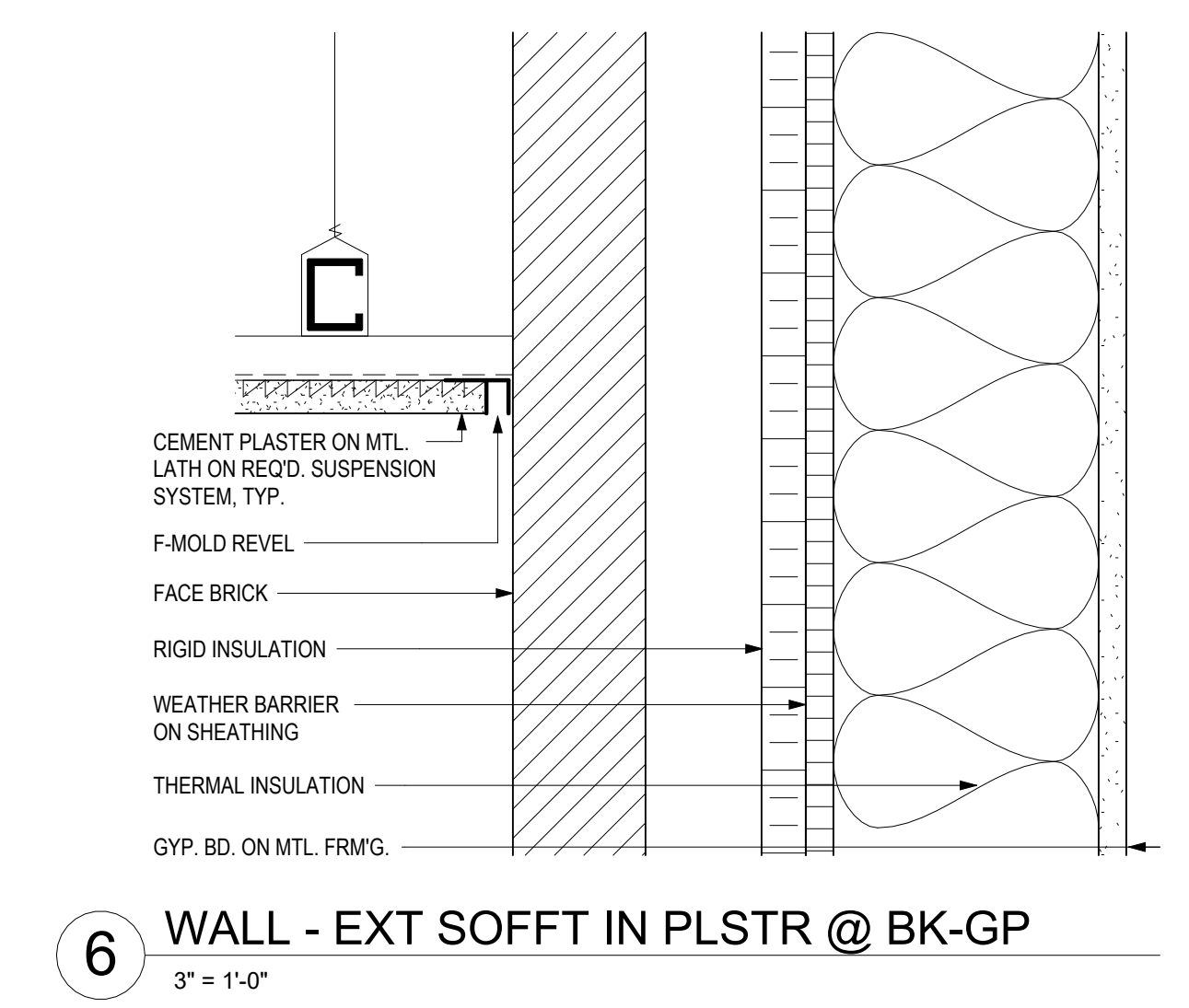
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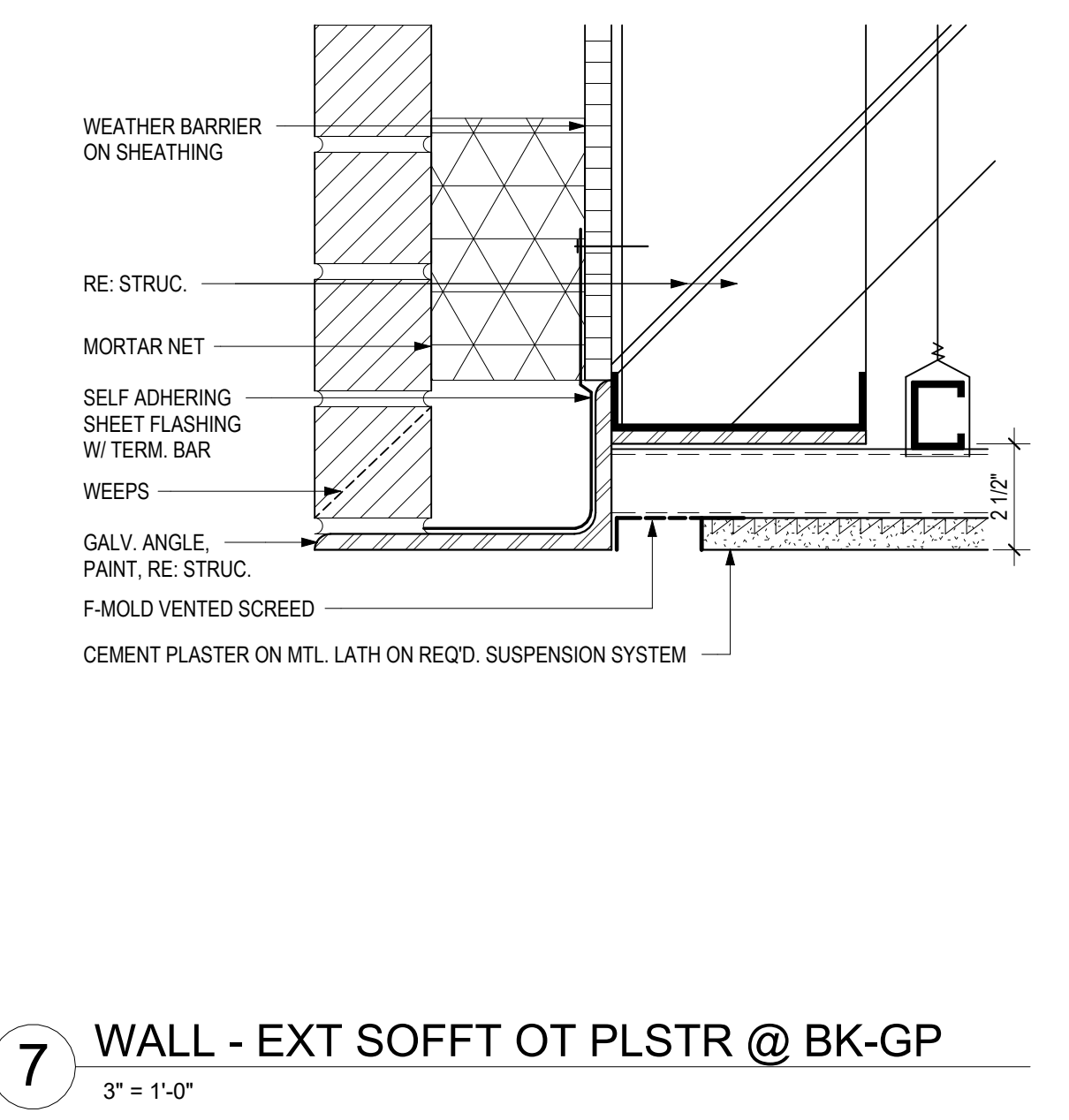
**A6.01**  
 WALL SECTIONS



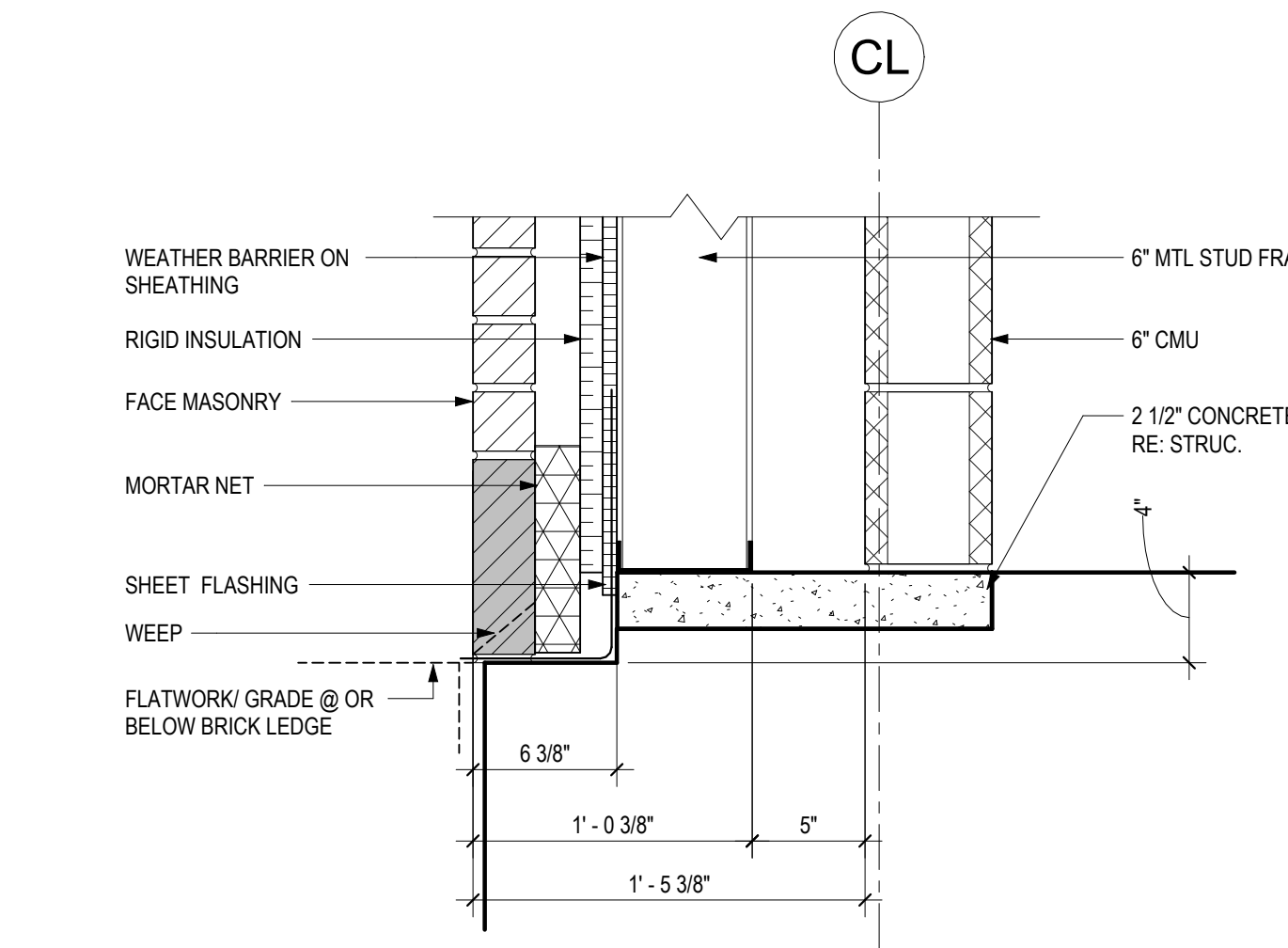
5 WALL - BRK LEDGE 7.25 @ CMU-MAS 2.5 CURB 2  
 1 1/2" = 1'-0"



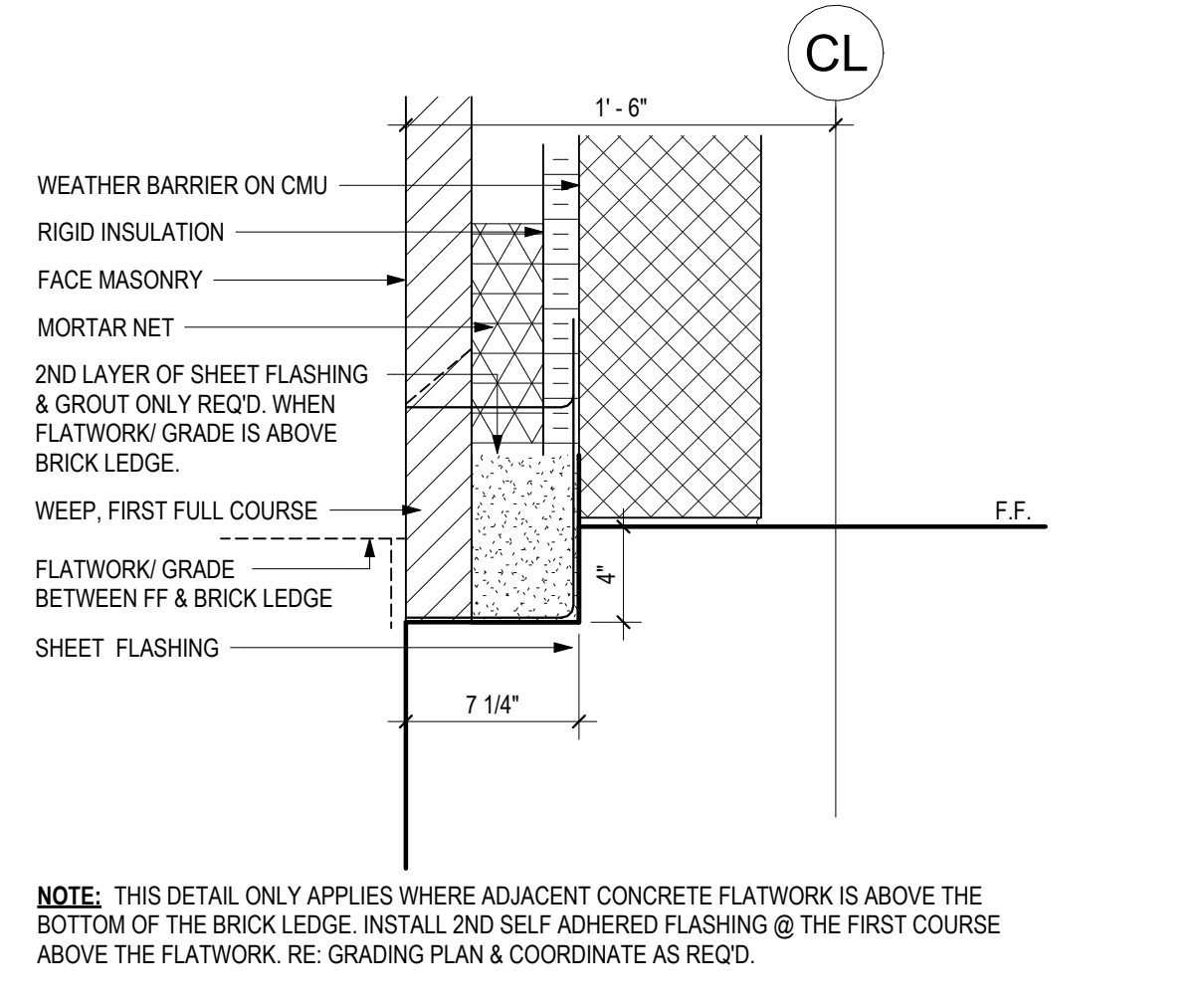
6 WALL - EXT SOFFT IN PLSTR @ BK-GP  
 3" = 1'-0"



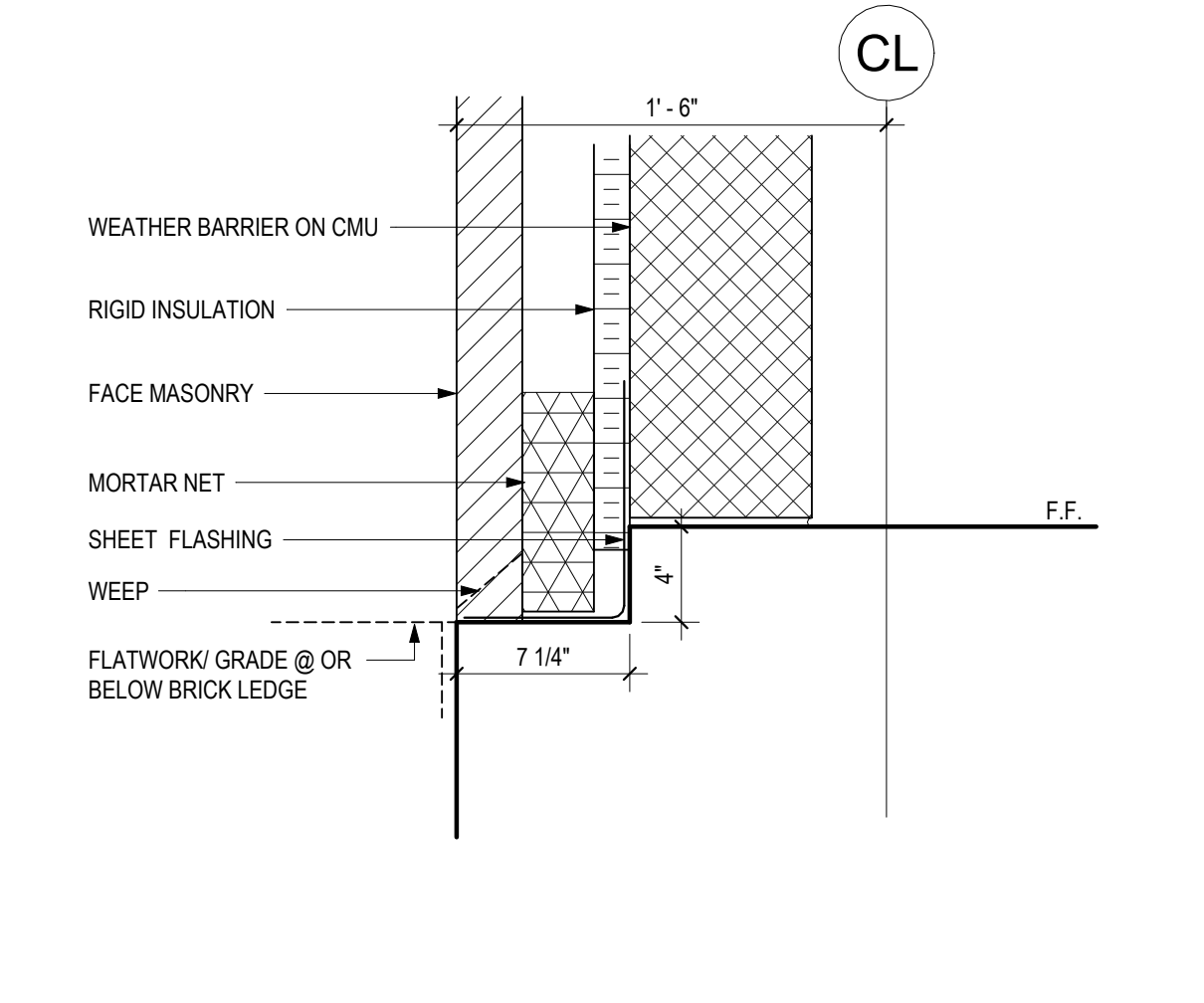
7 WALL - EXT SOFFT OT PLSTR @ BK-GP  
 3" = 1'-0"



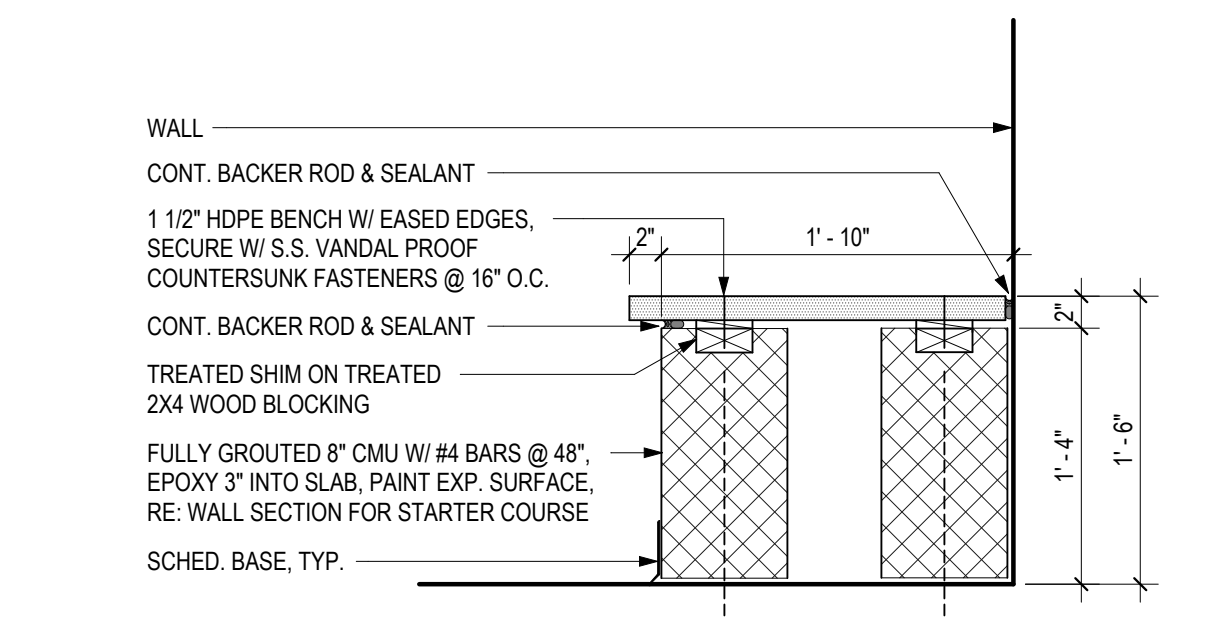
1 WALL - BRK LEDGE 7.25 @ CMU-MAS 2.5 CURB  
 1 1/2" = 1'-0"



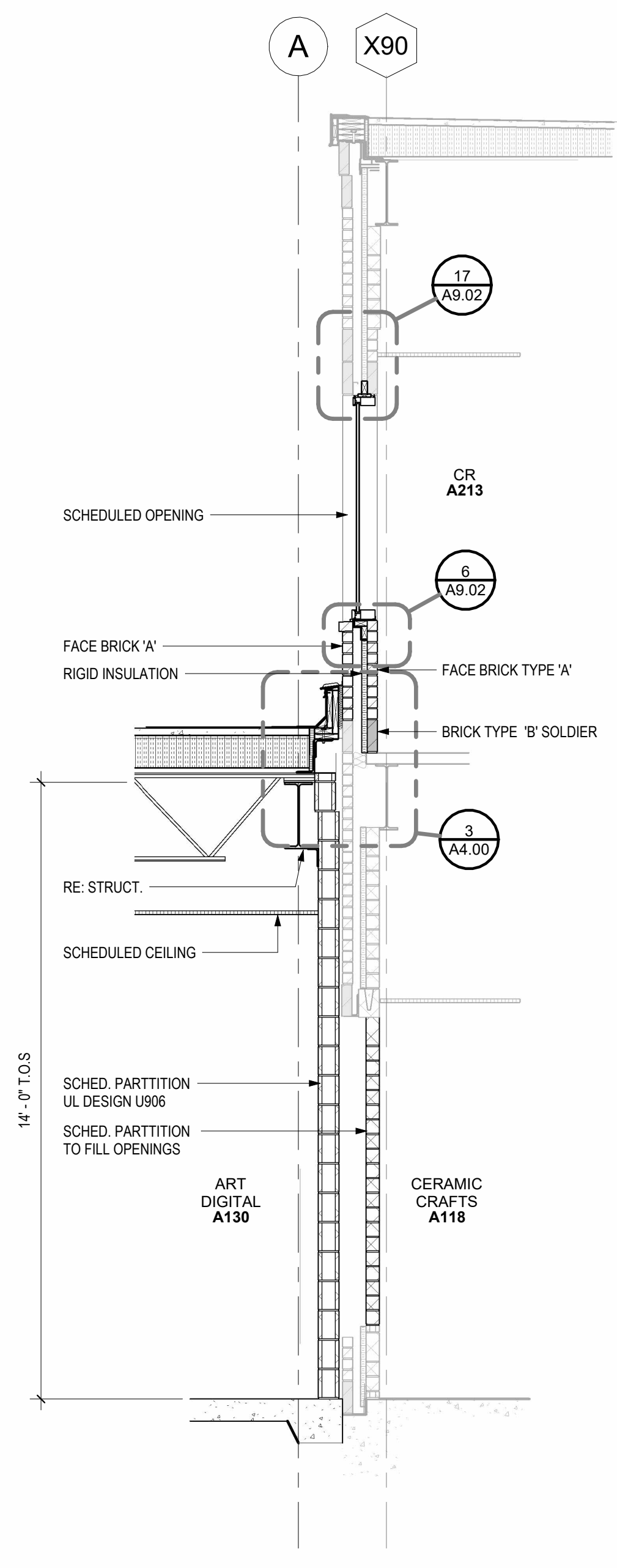
NOTE: THIS DETAIL ONLY APPLIES WHERE ADJACENT CONCRETE FLATWORK IS ABOVE THE BOTTOM OF THE BRICK LEDGE. INSTALL 2ND SELF ADHERED FLASHING @ THE FIRST COURSE ABOVE THE FLATWORK. RE: GRADING PLAN & COORDINATE AS REQD.



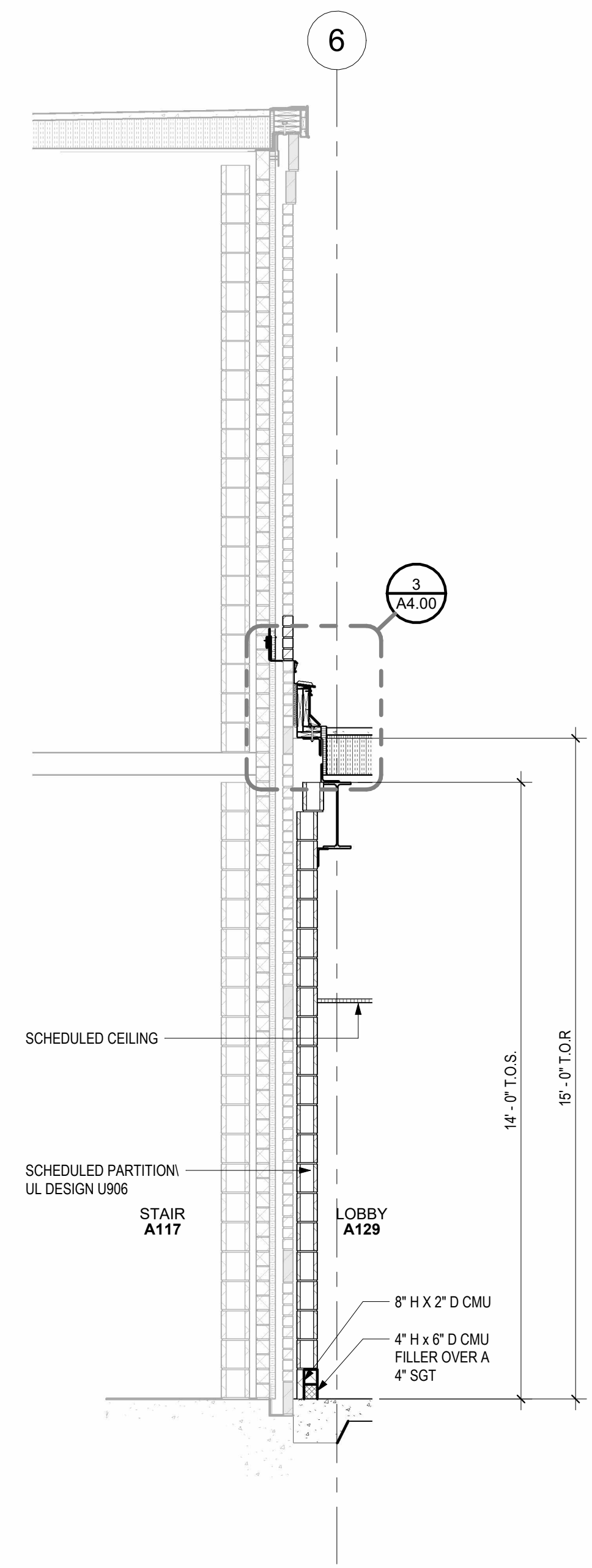
3 WALL - BRK LEDGE 7.25 @ CMU-MAS  
 1 1/2" = 1'-0"



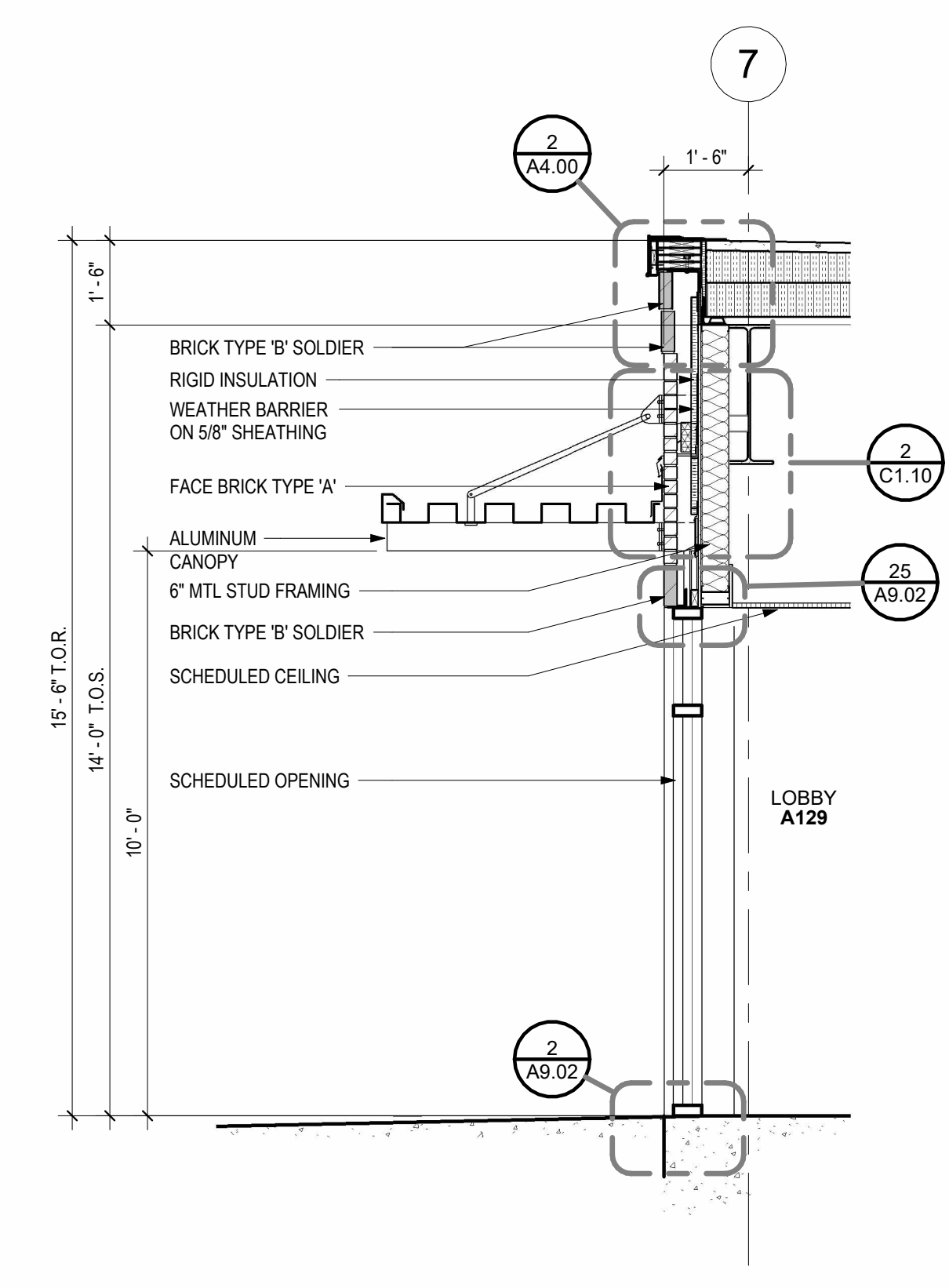
4 LCKR - BENCH HDPE-CMU @ WALL  
 1" = 1'-0"



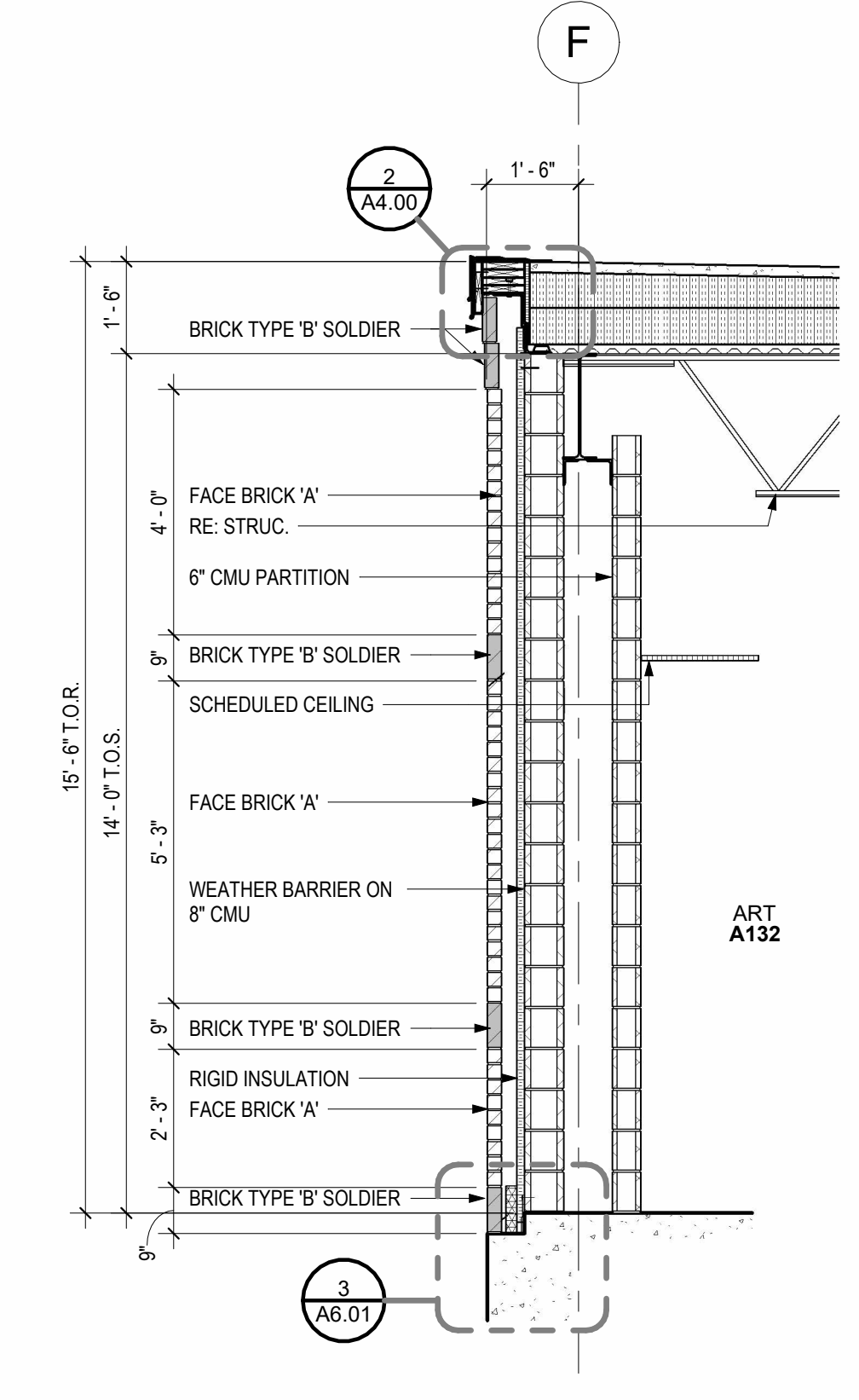
07 MAS-CMU-A130/A118  
3/8" = 1'-0"



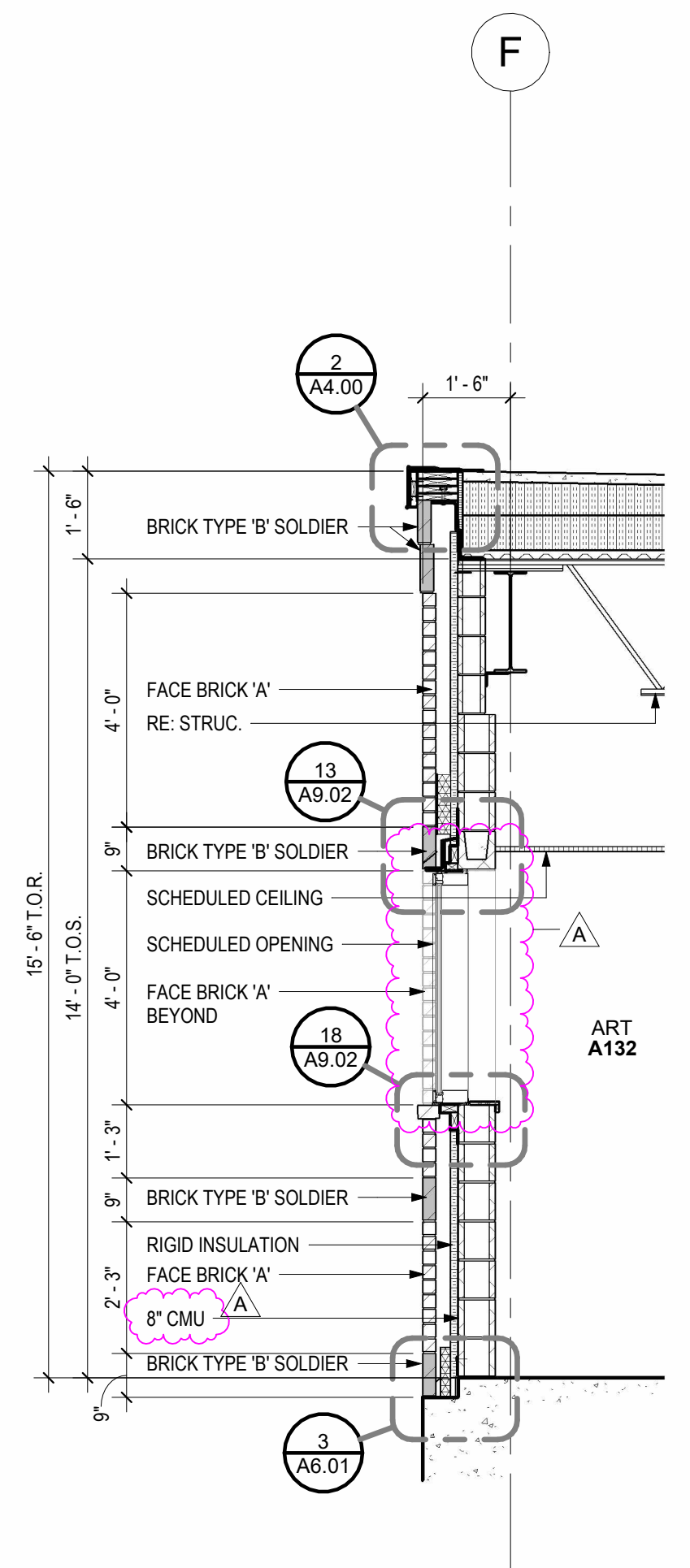
06 MAS-CMU-A117/A129 S  
3/8" = 1'-0"



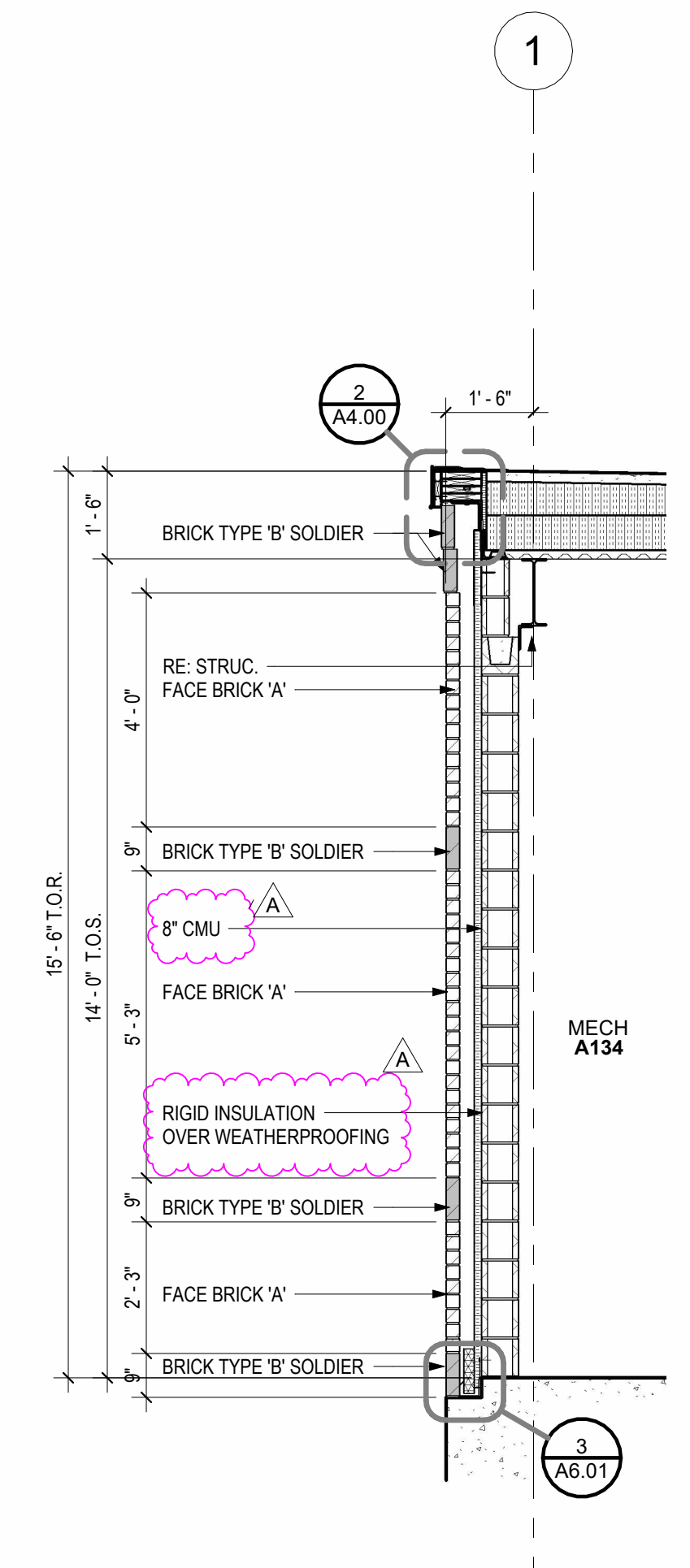
05 MAS-CMU-A129-S  
3/8" = 1'-0"



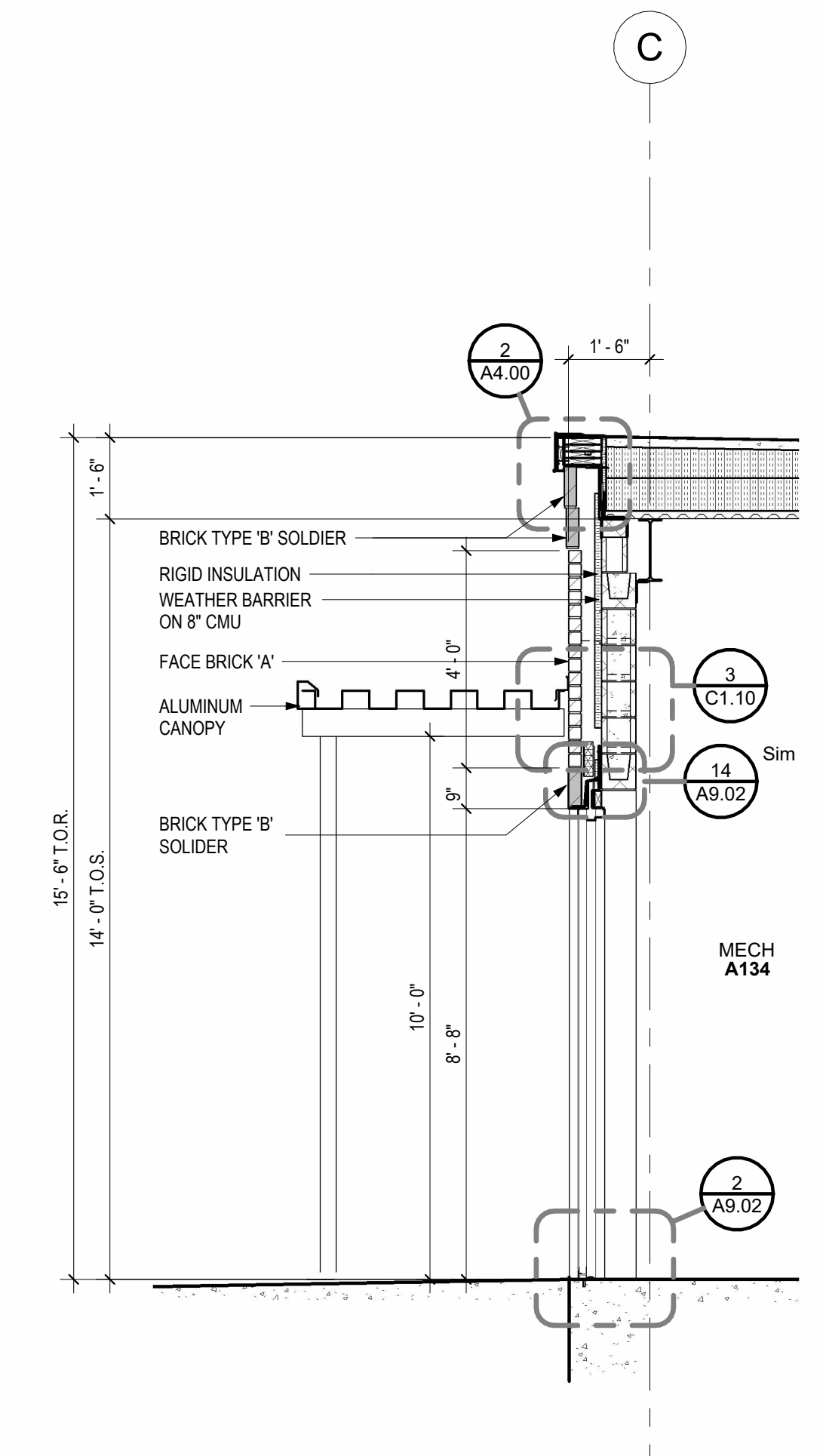
04 MAS-CMU-A132  
3/8" = 1'-0"



03 MAS-CMU-A132-E  
3/8" = 1'-0"

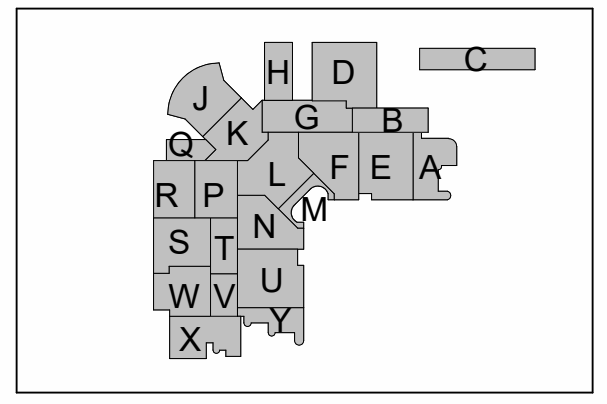


02 MAS-CMU-A134-N  
3/8" = 1'-0"



01 MAS-CMU-A134-W  
3/8" = 1'-0"

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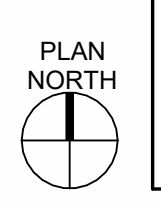
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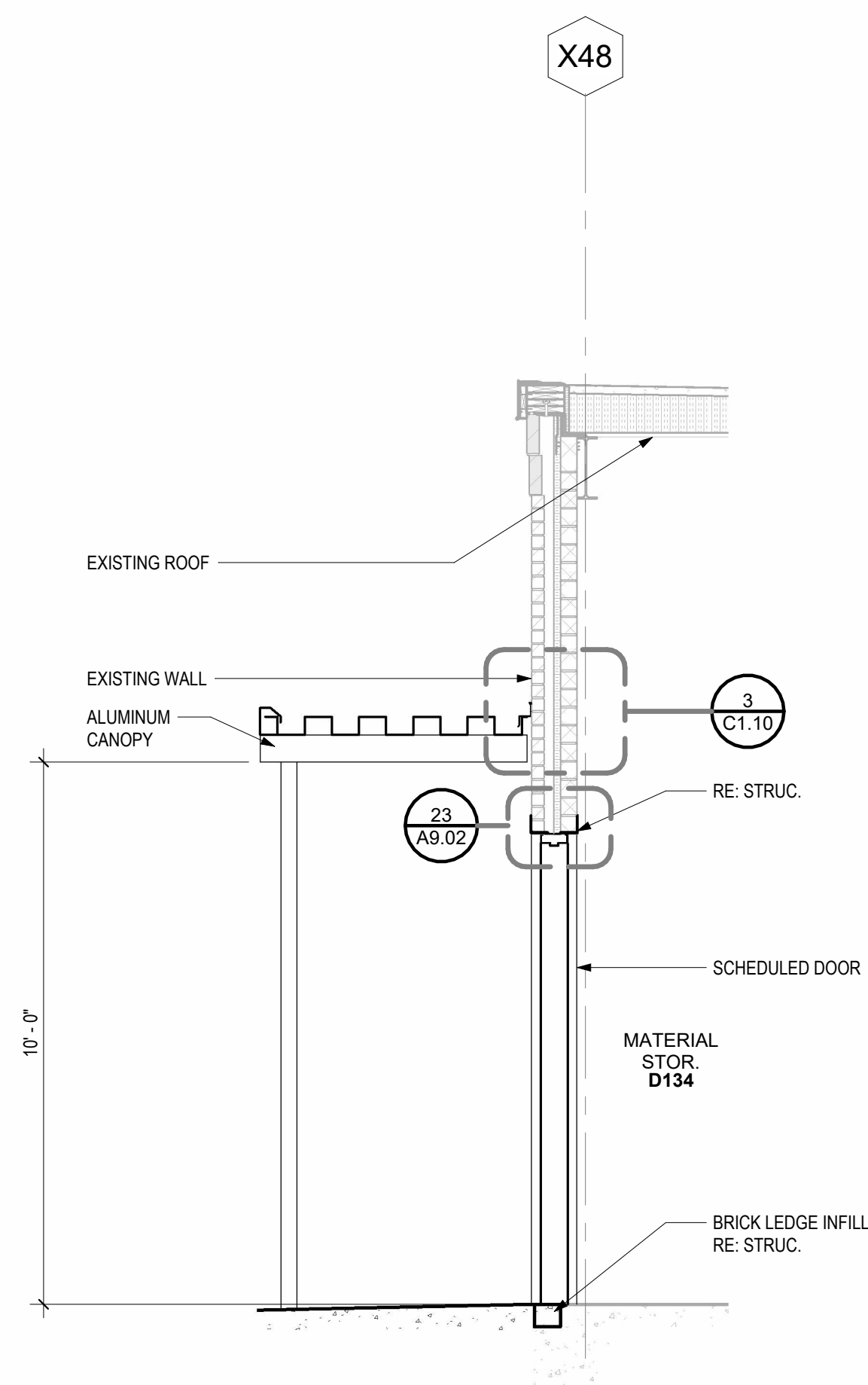
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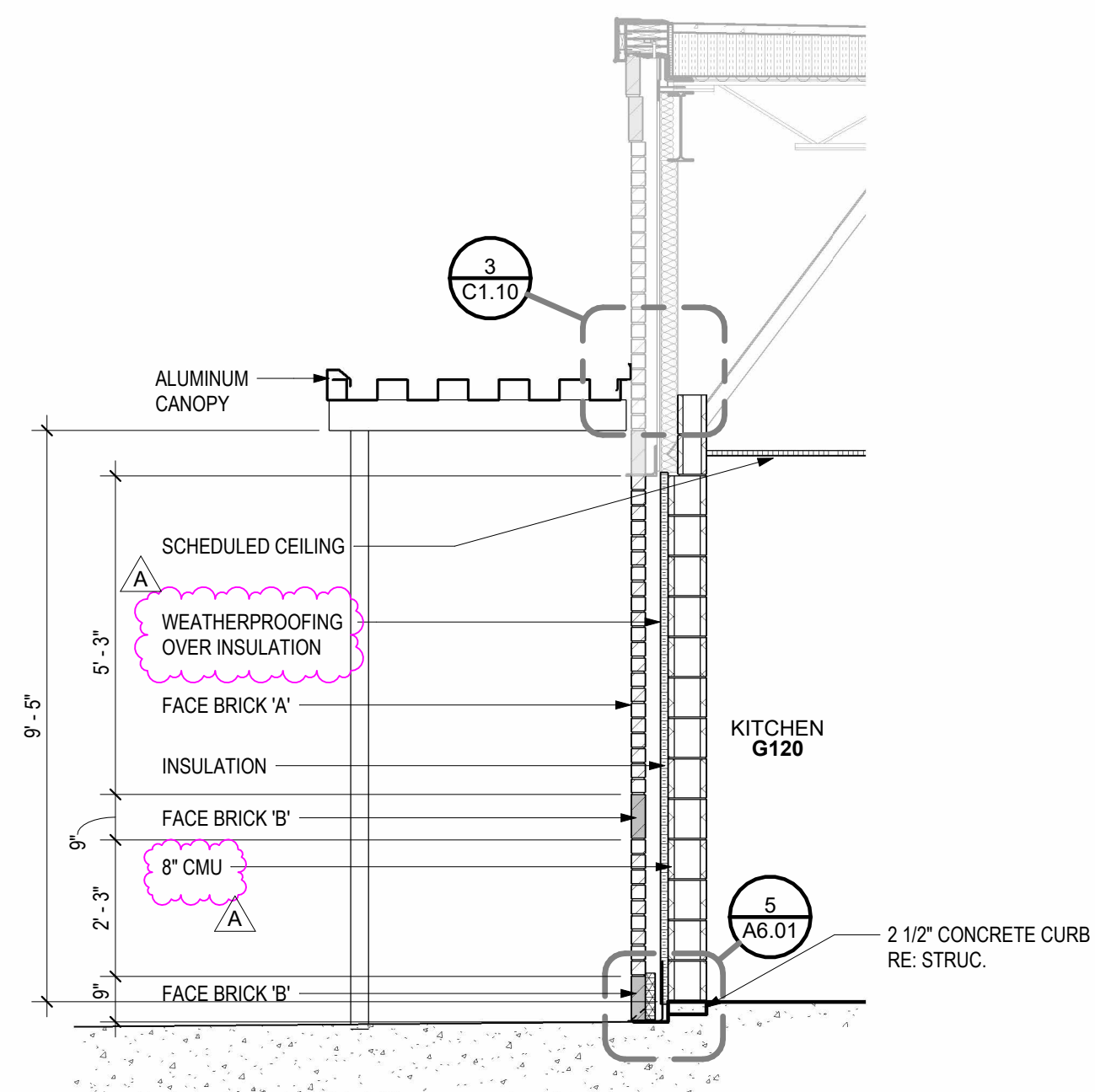
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**A6.02**  
 WALL SECTIONS

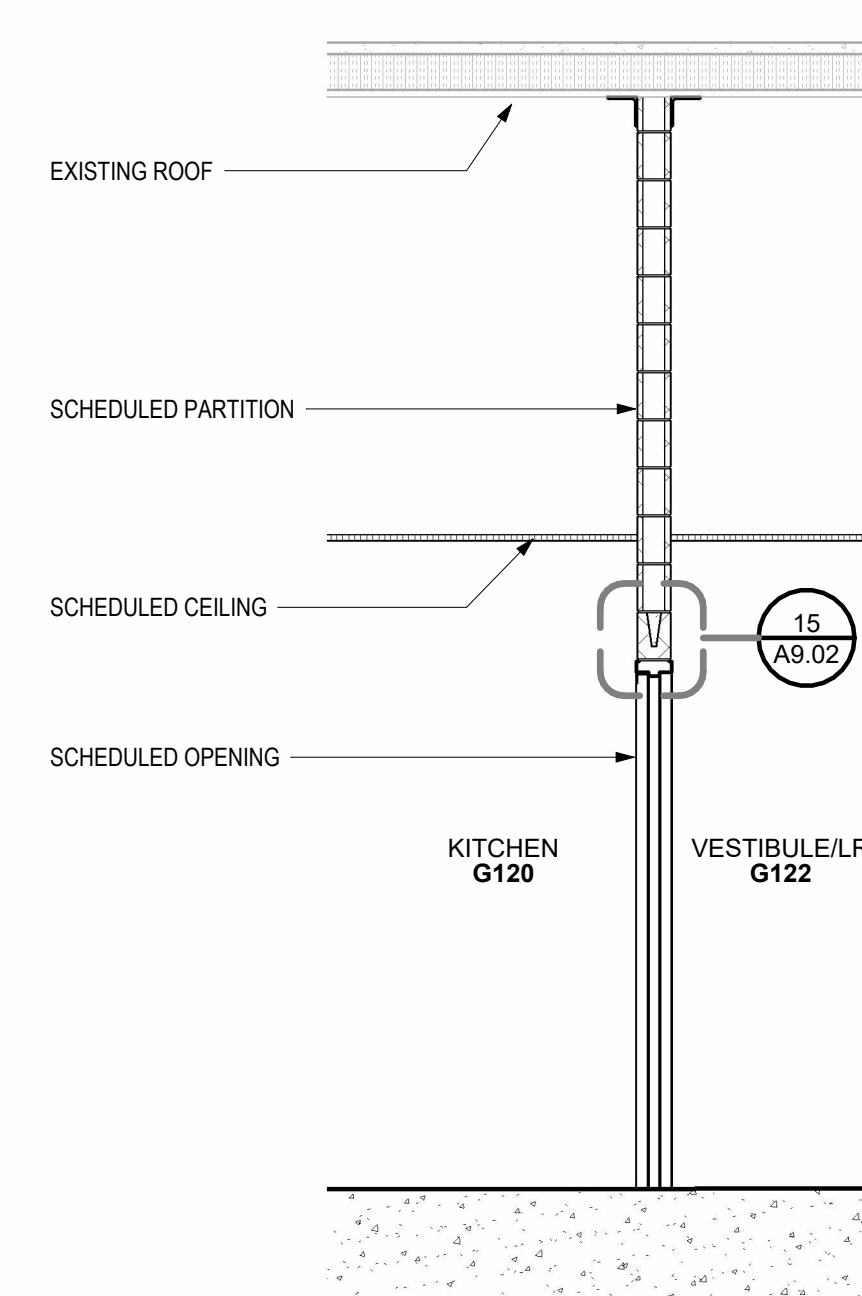




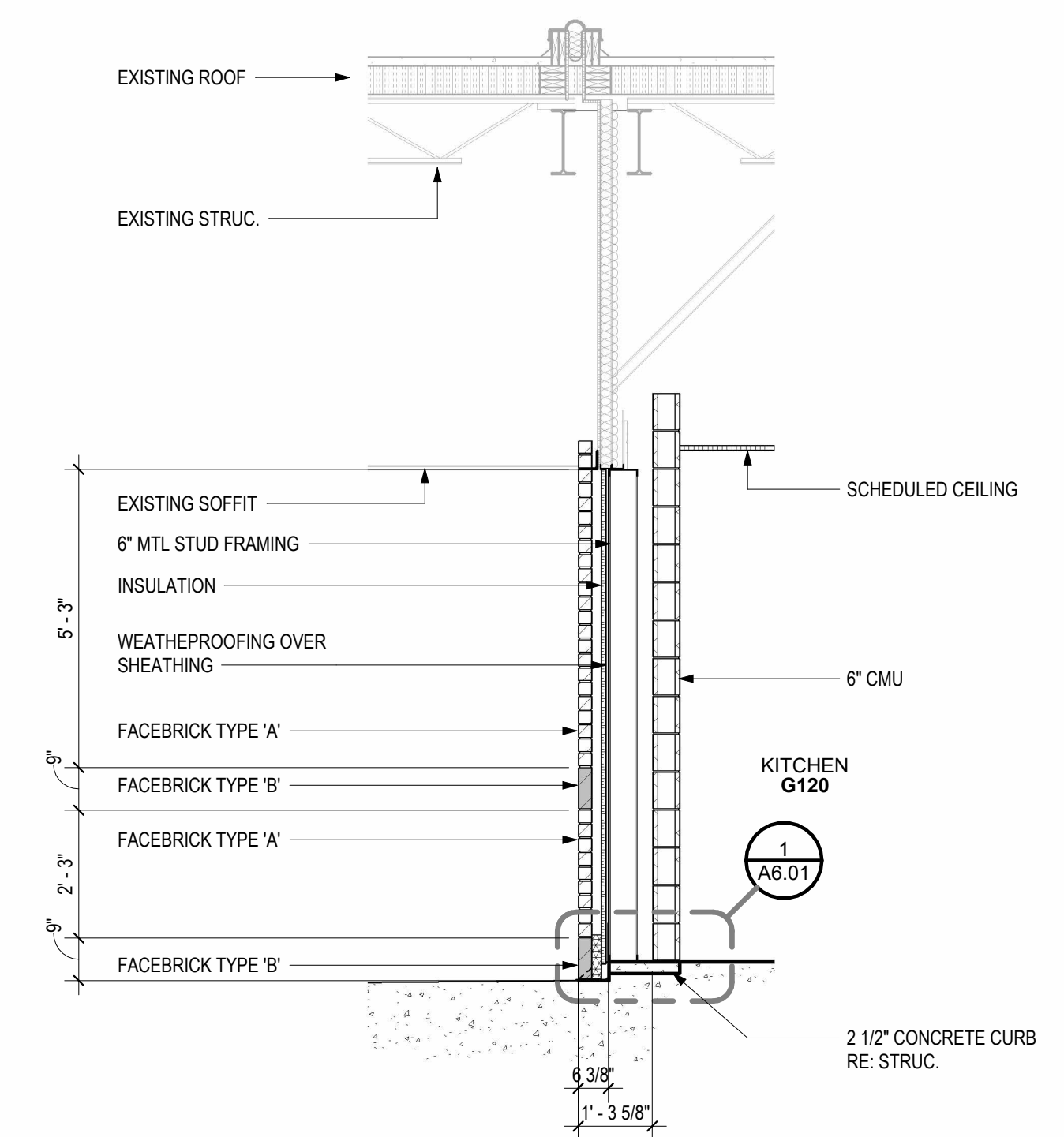
8 MAS-CMU-D134/AWNING-E  
3/8" = 1'-0"



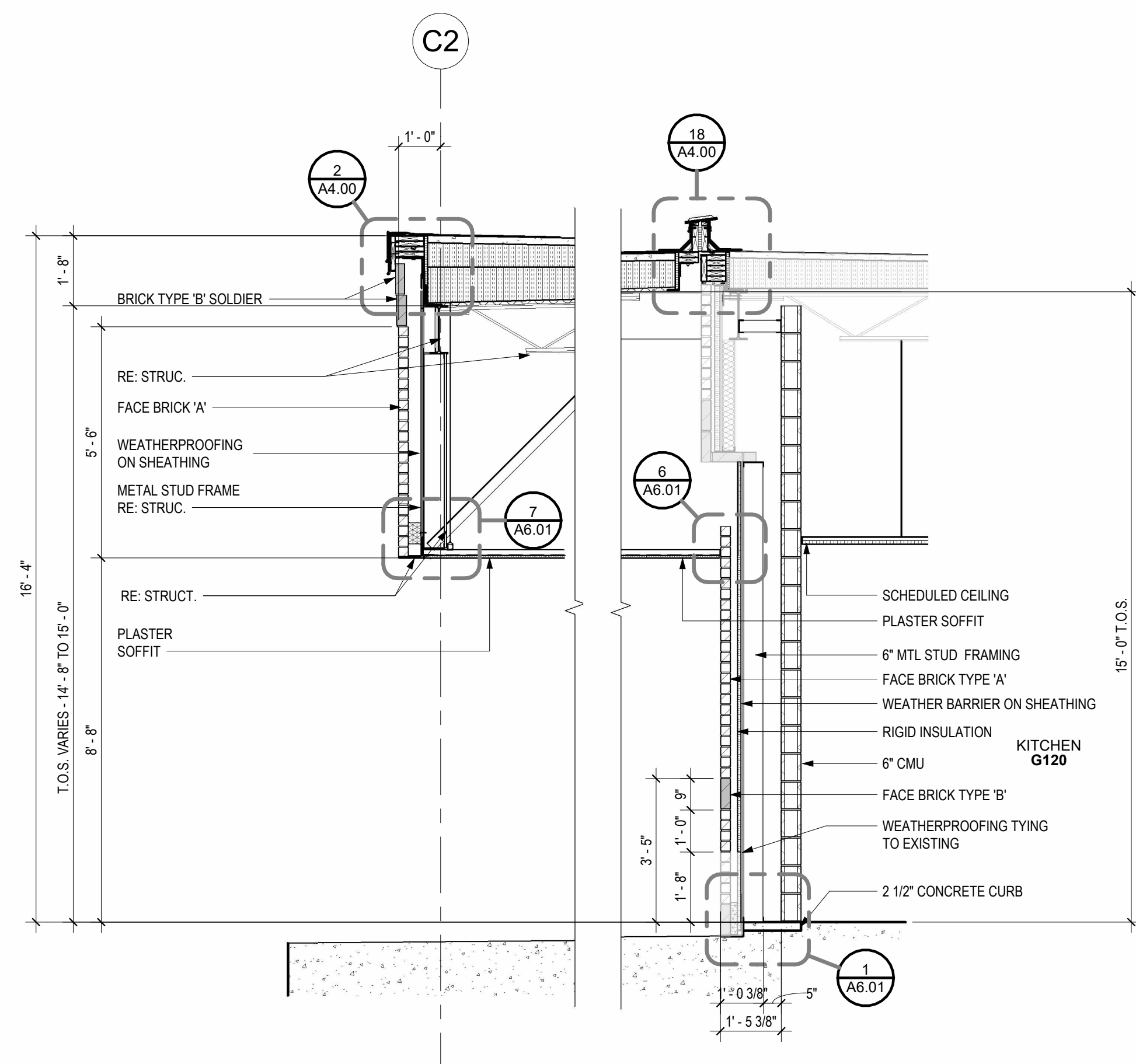
7 MAS-CMU-G120/AWNING-N  
3/8" = 1'-0"



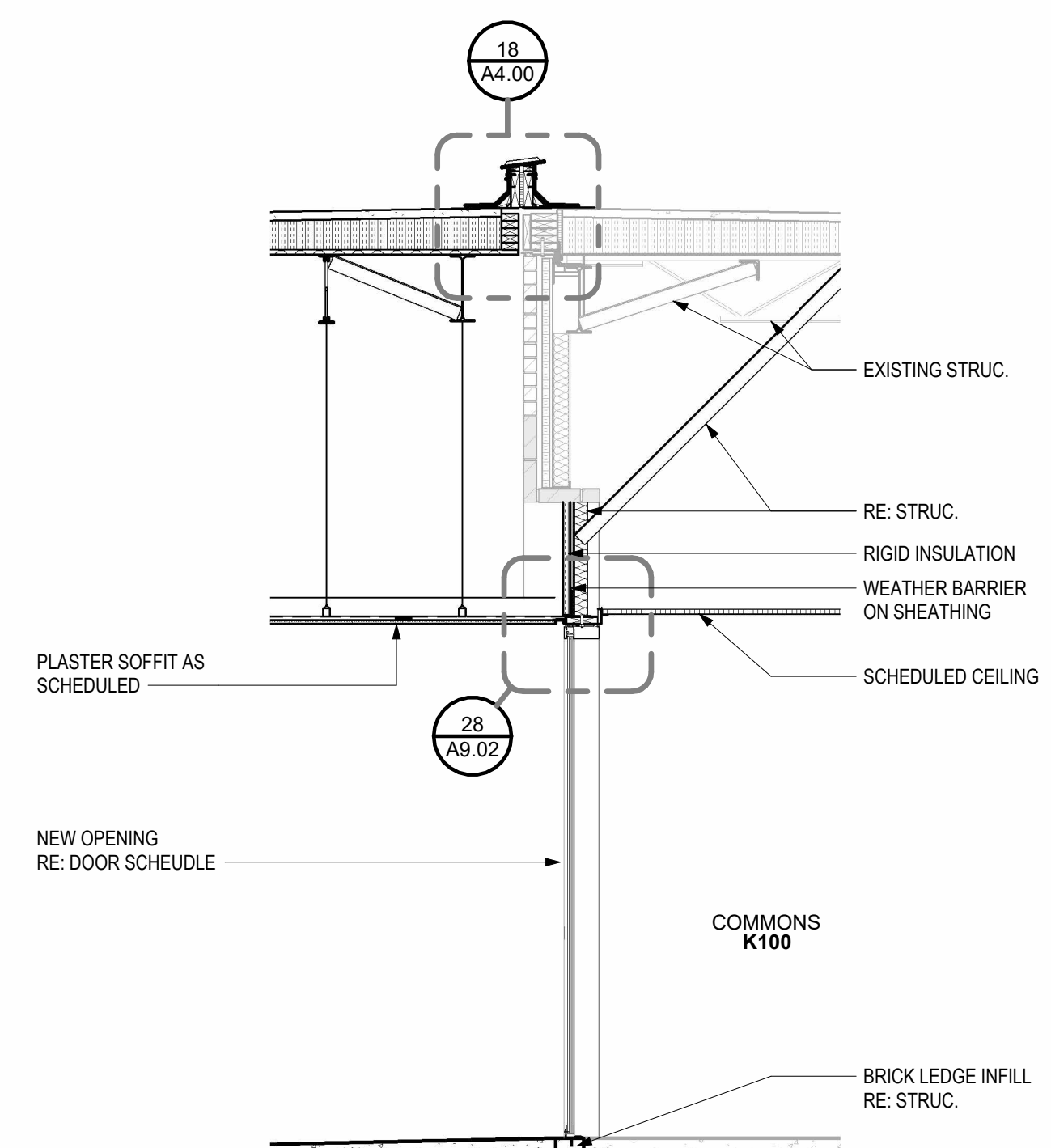
6 CMU-G120/G122  
3/8" = 1'-0"



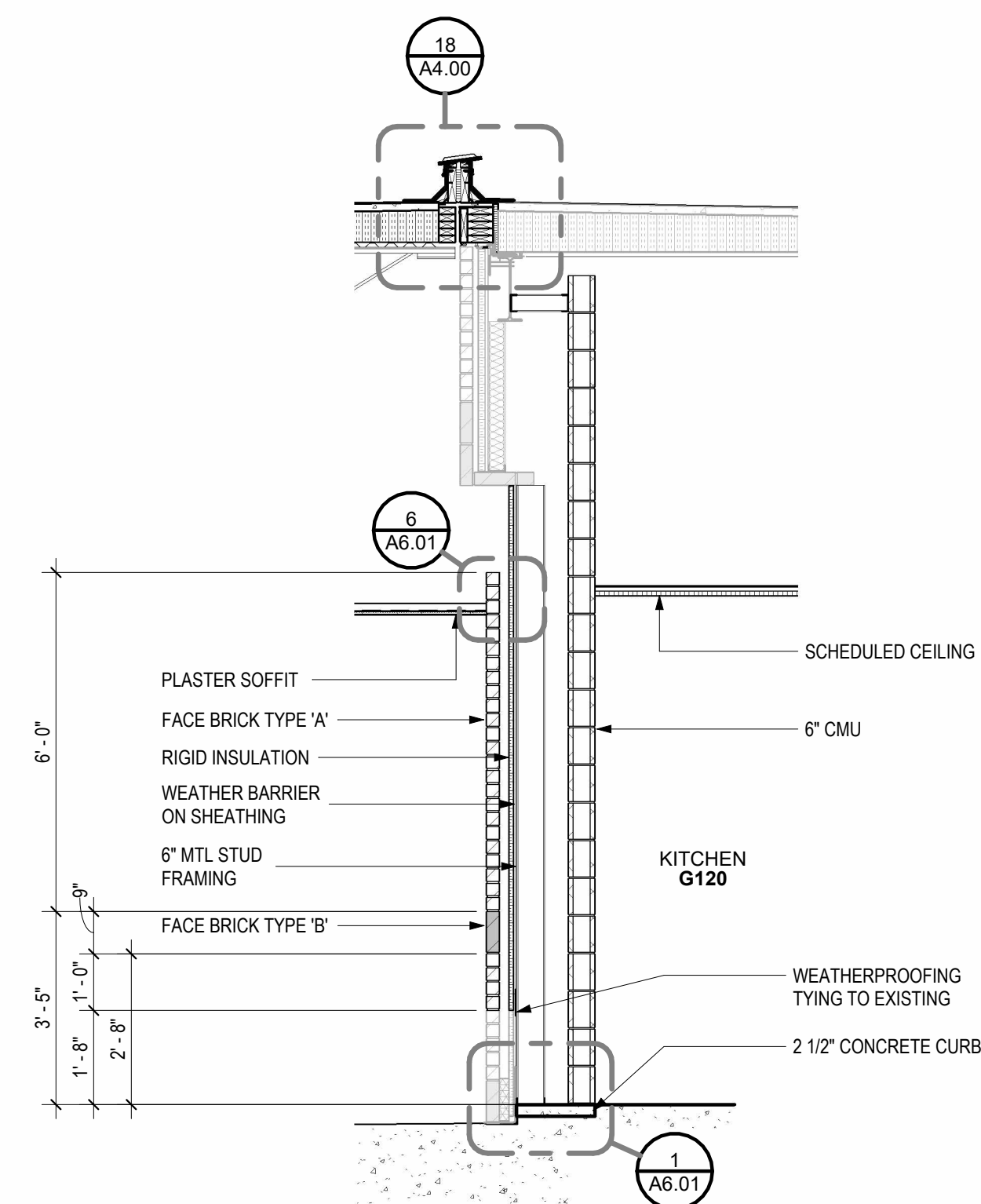
5 MAS-CMU-G120/CANOPY-N DOOR INFILL  
3/8" = 1'-0"



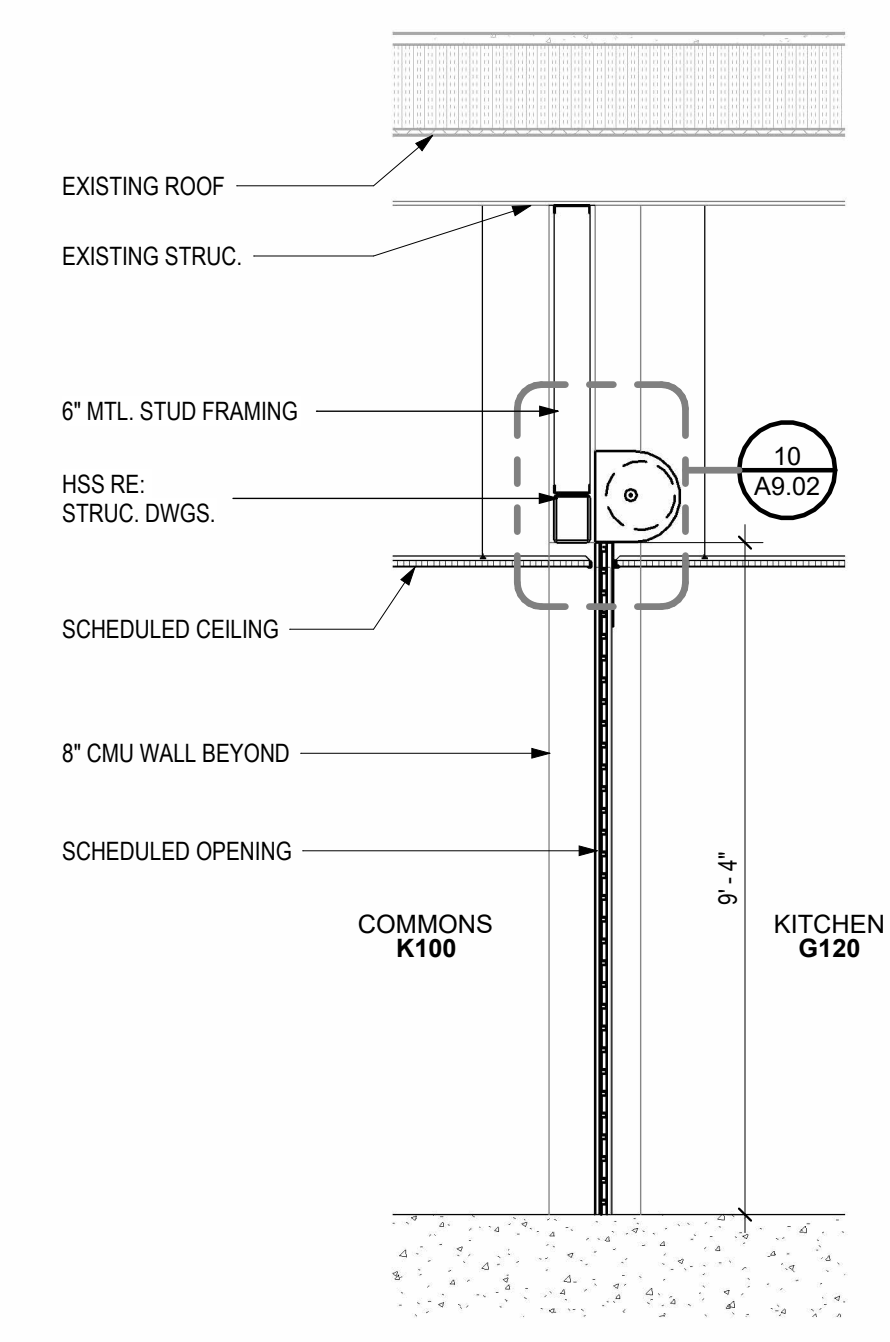
4 MAS-CMU-G120/CANOPY-N  
3/8" = 1'-0"



3 MAS-CMU-K100/CANOPY-W  
3/8" = 1'-0"

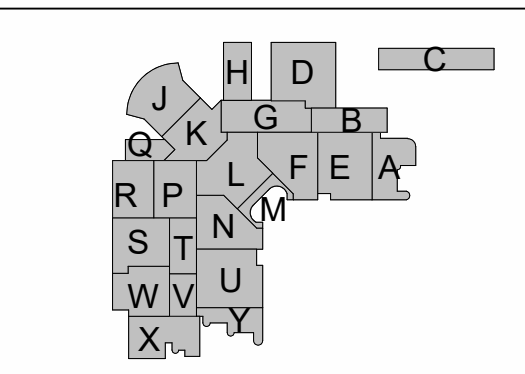


2 MAS-CMU-G120/CANOPY-N WINDOW INFILL  
3/8" = 1'-0"



1 CMU-G120/K100 -SERVING ROLLUP DR  
3/8" = 1'-0"

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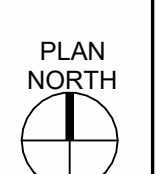
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**A6.03**  
WALL SECTIONS



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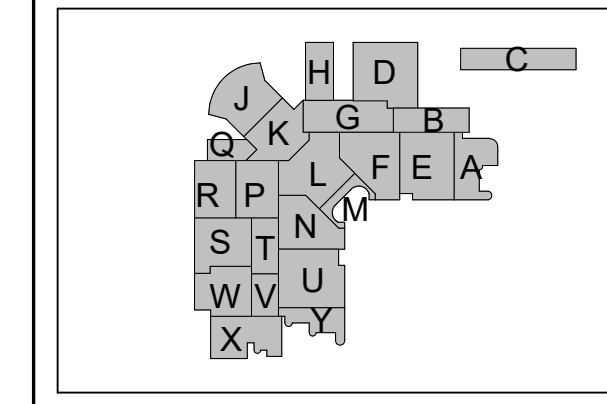
CIVIL  
 Brooks and Sparks, Inc.  
 21020 Park Row Dr.  
 Katy, TX 77449  
 Tel: 281.578.9595

FOODSERVICE  
 Surcana Foodservice Design  
 7430 Fairbanks N. Houston Rd.  
 Houston, TX 77040  
 Tel: 281.224.1230

ACOUSTICAL & A/V  
 BAI, LLC  
 4006 Speedway  
 Austin, TX 78751  
 Tel: 512.476.3464

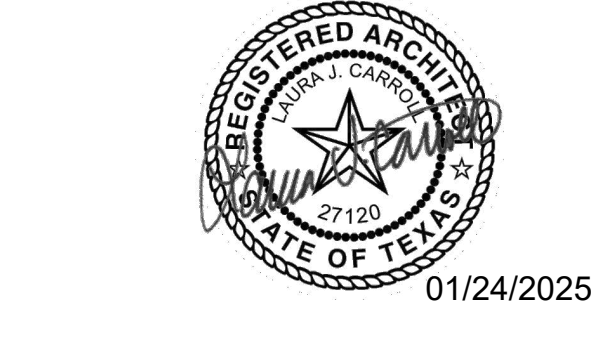
THEATRE  
 WJHW, INC.  
 2000 W. Loop South, Suite 1340  
 Houston, TX 77027  
 Tel: 210.561.9800

LANDSCAPE & IRRIGATION  
 LANDESIGN Group  
 1401 El Camino Real, Suite 204  
 Houston, TX 77058  
 Tel: 281.486.4040



**2024 CYPRESS FALLS HIGH SCHOOL RENOVATION**  
 CYPRESS-FAIRBANKS ISD  
 9811 Huffmeister Rd, Houston, TX 77095

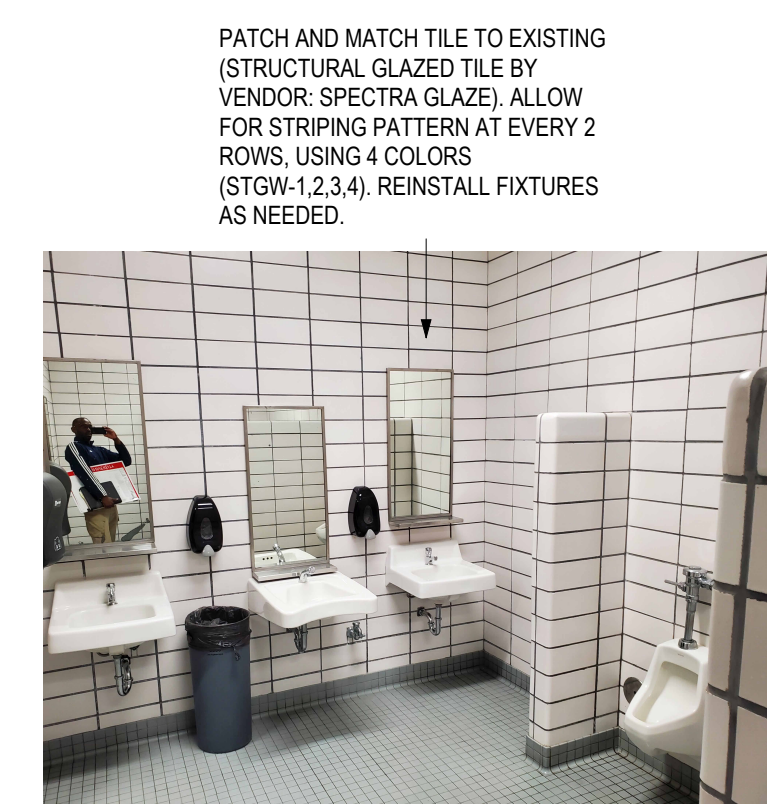
**ARCADIS**  
 TEXAS ARCADIS INC.  
 1330 POST OAK BOULEVARD, SUITE 2250  
 HOUSTON, TX 77056  
 tel 281.286.6605, fax 713.977.4620



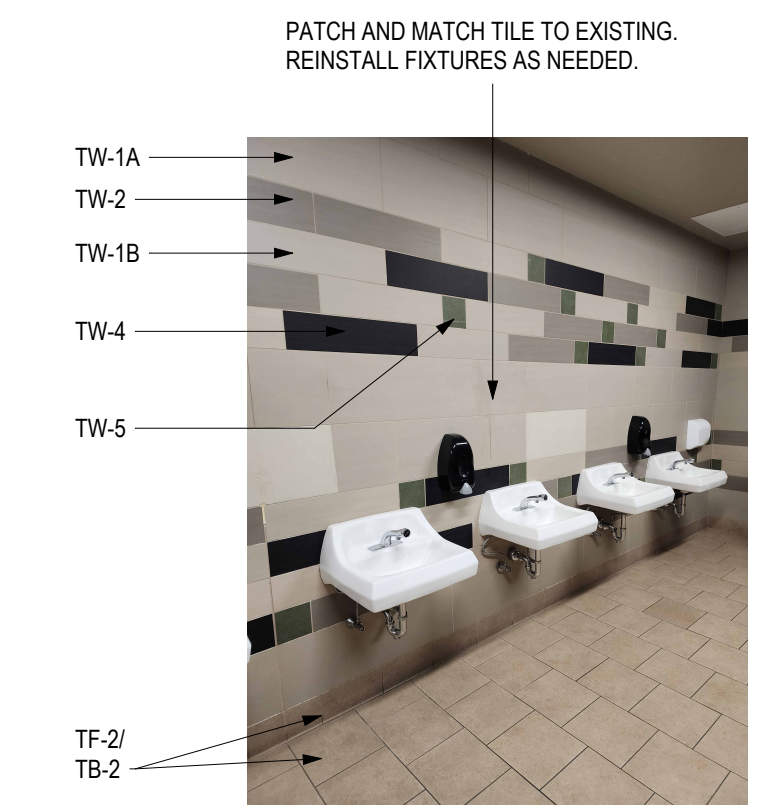
PROJECT #: 202318  
 DATE: 2025-01-13  
 DRAWN: DS  
 CHECKED: CA

DATE: 2025-01-13  
 ISSUE: PERMIT AND PROPOSAL  
 2025-01-24  
 ADDENDUM No. 02 A

**A7.03**  
 INTERIOR ELEVATIONS



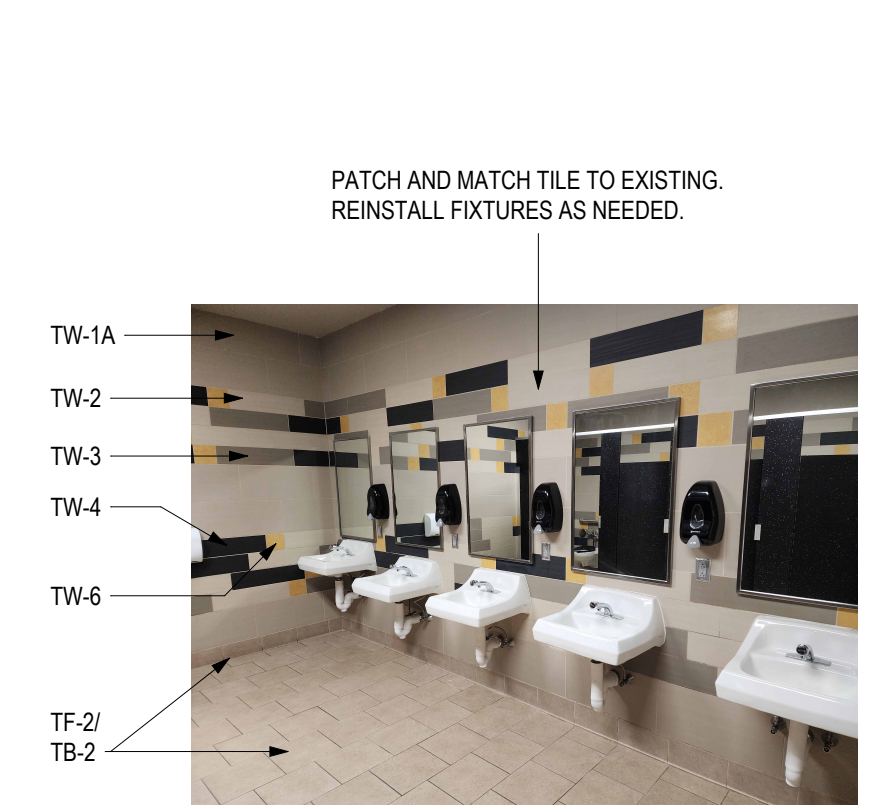
**31 INT - D106 RR TILE PATCH**  
 3/8" = 1'-0"



**30 INT - A221 RR TILE PATCH**  
 3/8" = 1'-0"



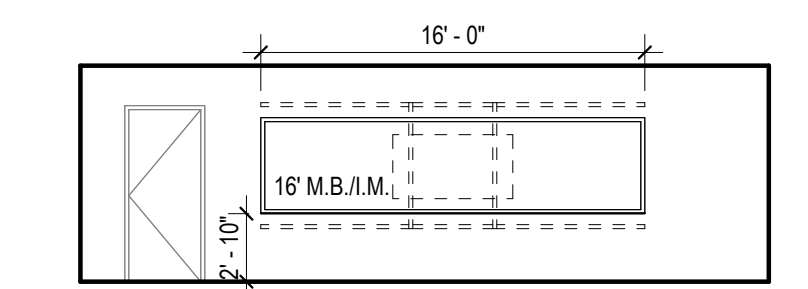
**29 INT - Y220 RR TILE PATCH**  
 3/8" = 1'-0"



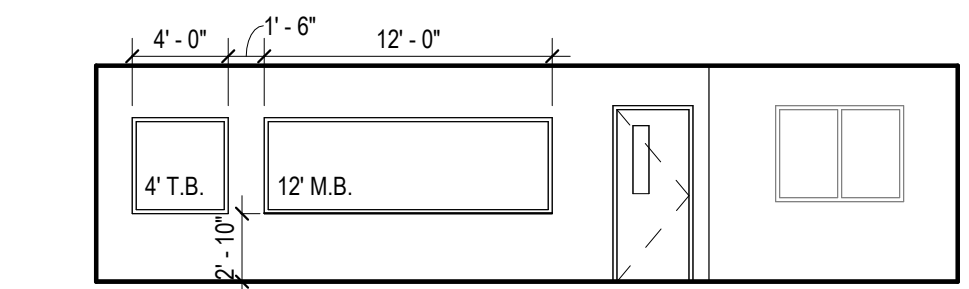
**28 INT - T107 RR TILE PATCH**  
 3/8" = 1'-0"



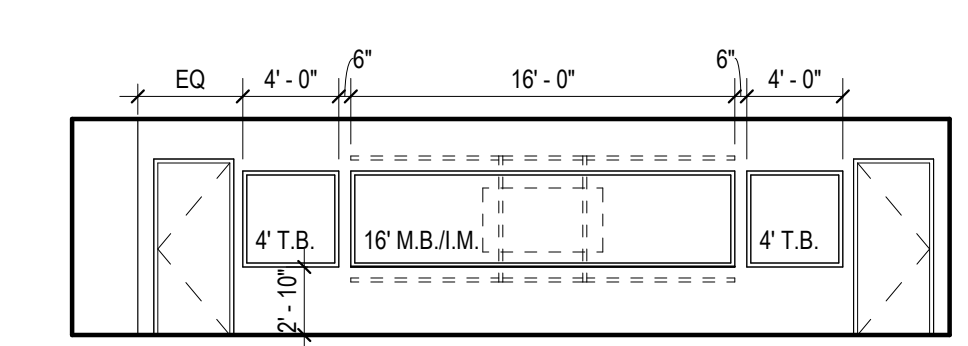
**27 INT - J125 RR TILE PATCH**  
 3/8" = 1'-0"



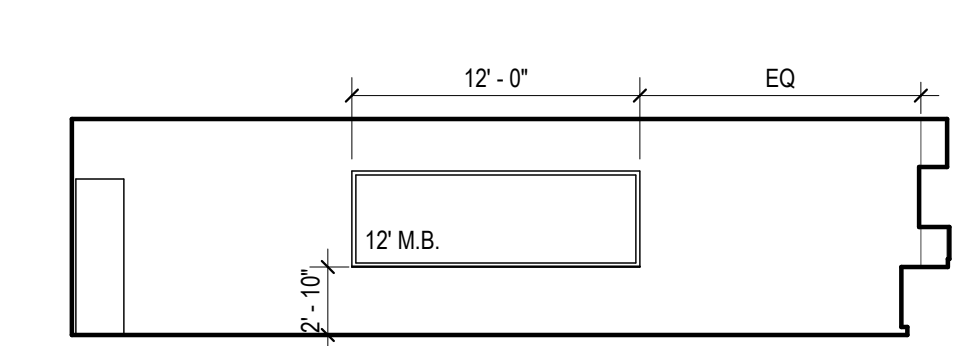
**26 INT - D129 CTE CR - S**  
 1/8" = 1'-0"



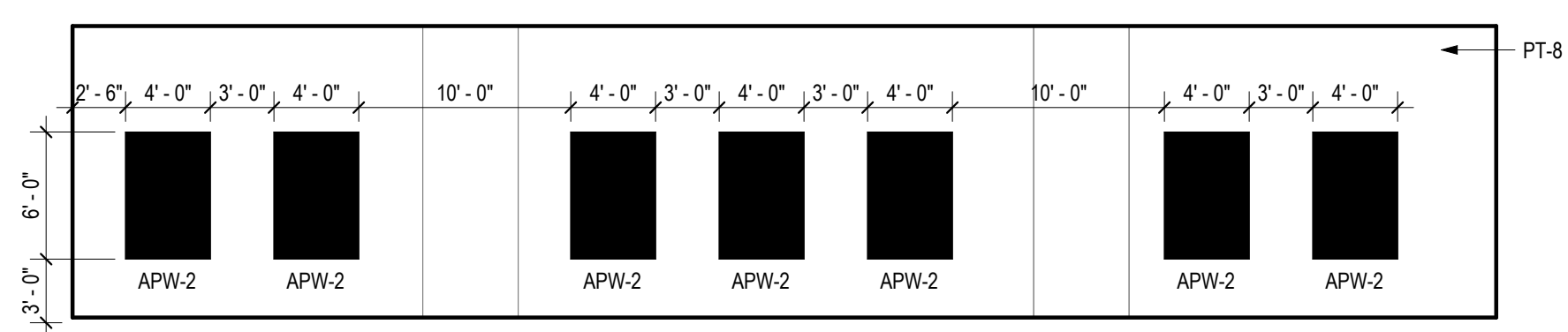
**25 INT - D128 PRODUCTION SYSTEMS - E**  
 1/8" = 1'-0"



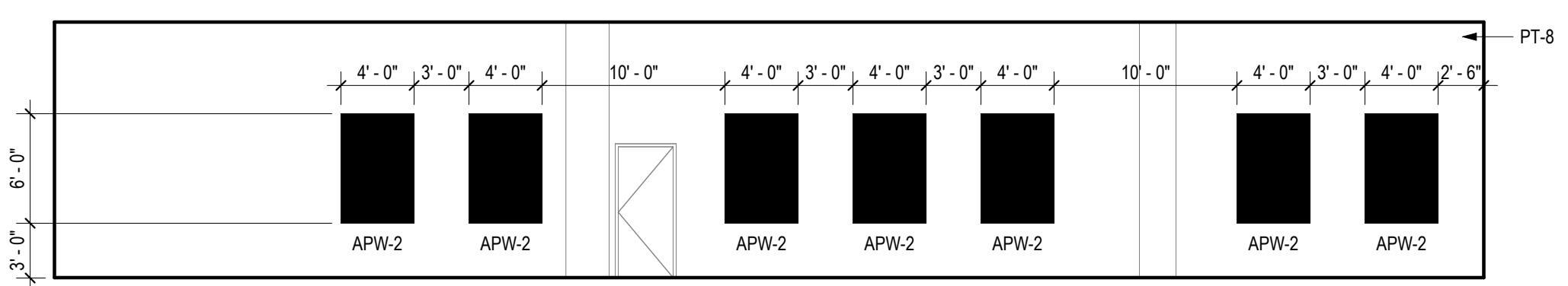
**24 INT - D121 TECH CLASSROOM - S**  
 1/8" = 1'-0"



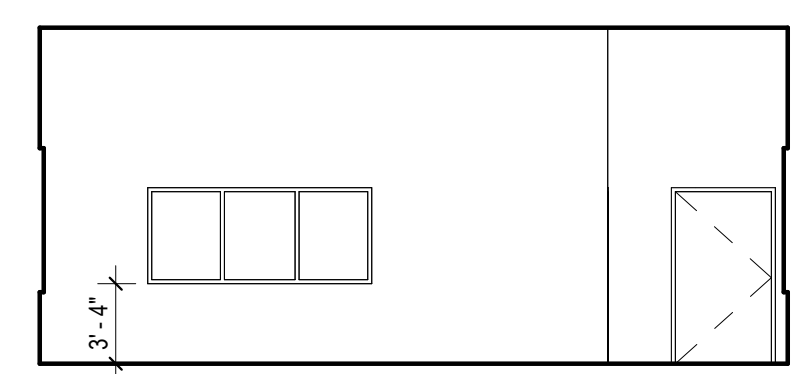
**23 INT - D121 TECH CLASSROOM - N**  
 1/8" = 1'-0"



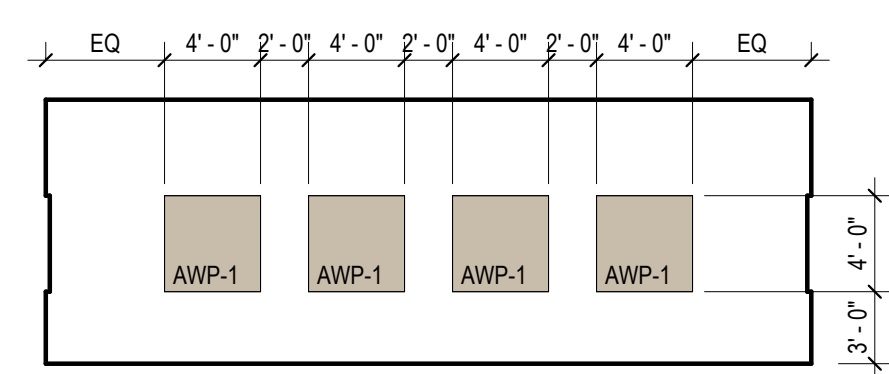
**22 INT - K102 BLACKBOX - SE**  
 1/8" = 1'-0"



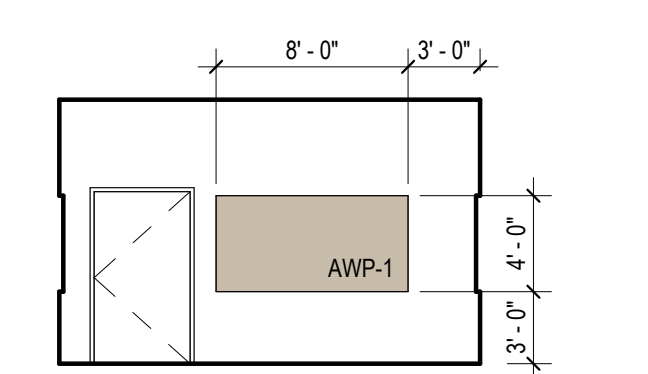
**21 INT - K102 BLACKBOX - NW**  
 1/8" = 1'-0"



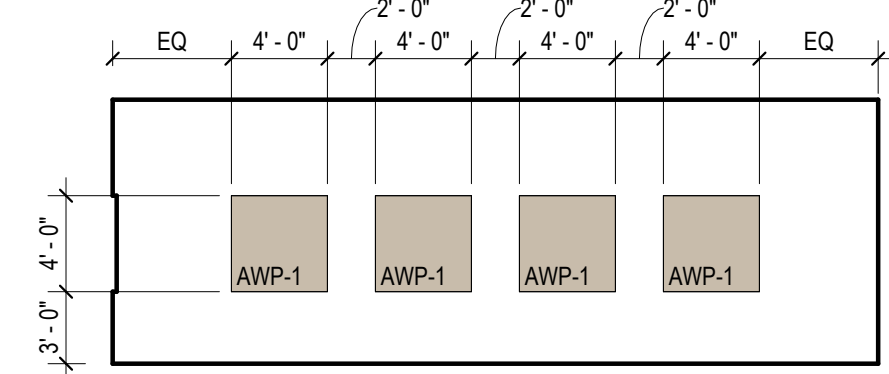
**20 INT - K102 BLACKBOX - SW**  
 1/8" = 1'-0"



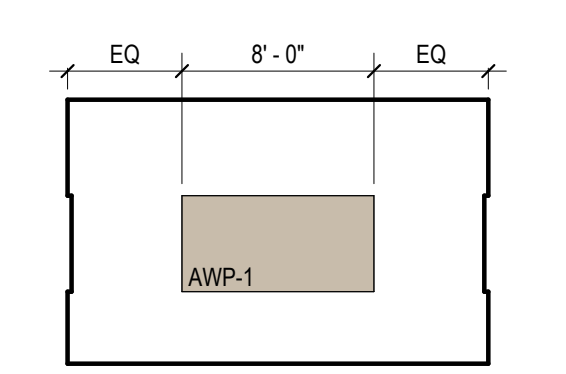
**19 INT - P113 ENSEMBLE - E**  
 1/8" = 1'-0"



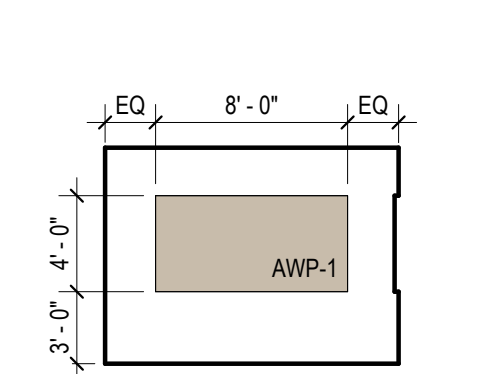
**18 INT - P113 ENSEMBLE - N**  
 1/8" = 1'-0"



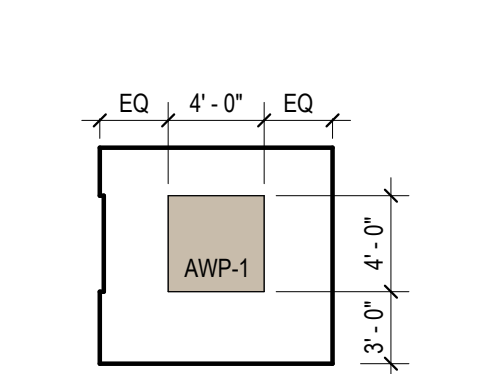
**17 INT - P113 ENSEMBLE - W**  
 1/8" = 1'-0"



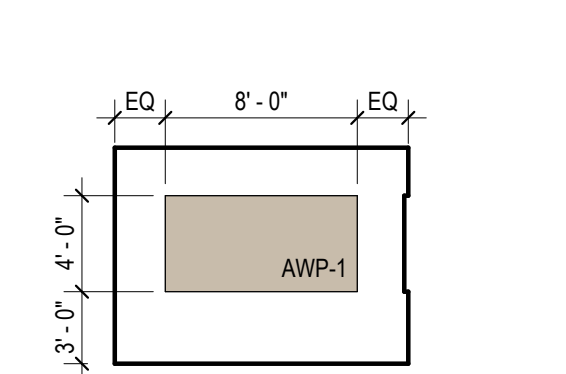
**16 INT - P113 ENSEMBLE - S**  
 1/8" = 1'-0"



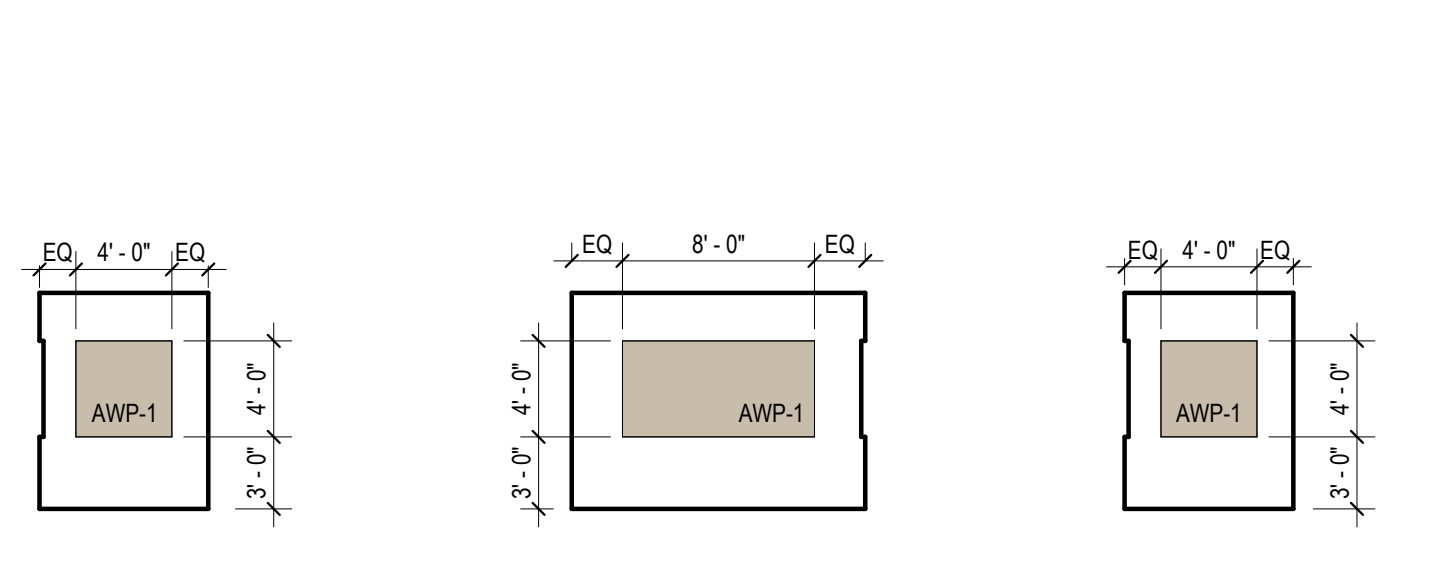
**15 INT - P112 PR. - W**  
 1/8" = 1'-0"



**14 INT - P112 PR. - N**  
 1/8" = 1'-0"



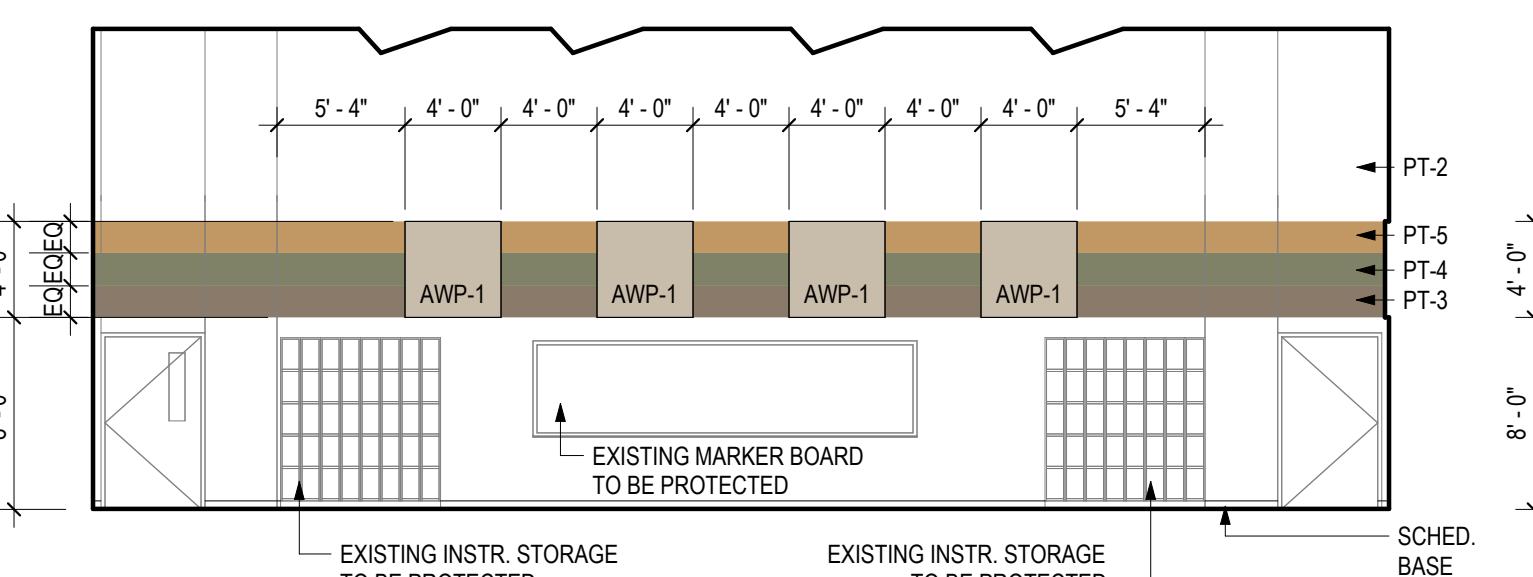
**13 INT - P111 PR. - W**  
 1/8" = 1'-0"



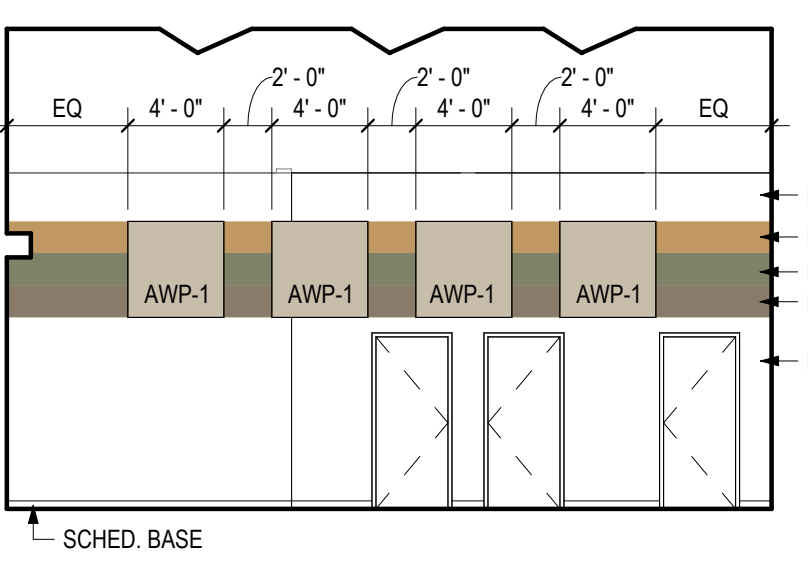
**12 INT - P111 PR. - N**  
 1/8" = 1'-0"

**11 INT - P110 PR. - W**  
 1/8" = 1'-0"

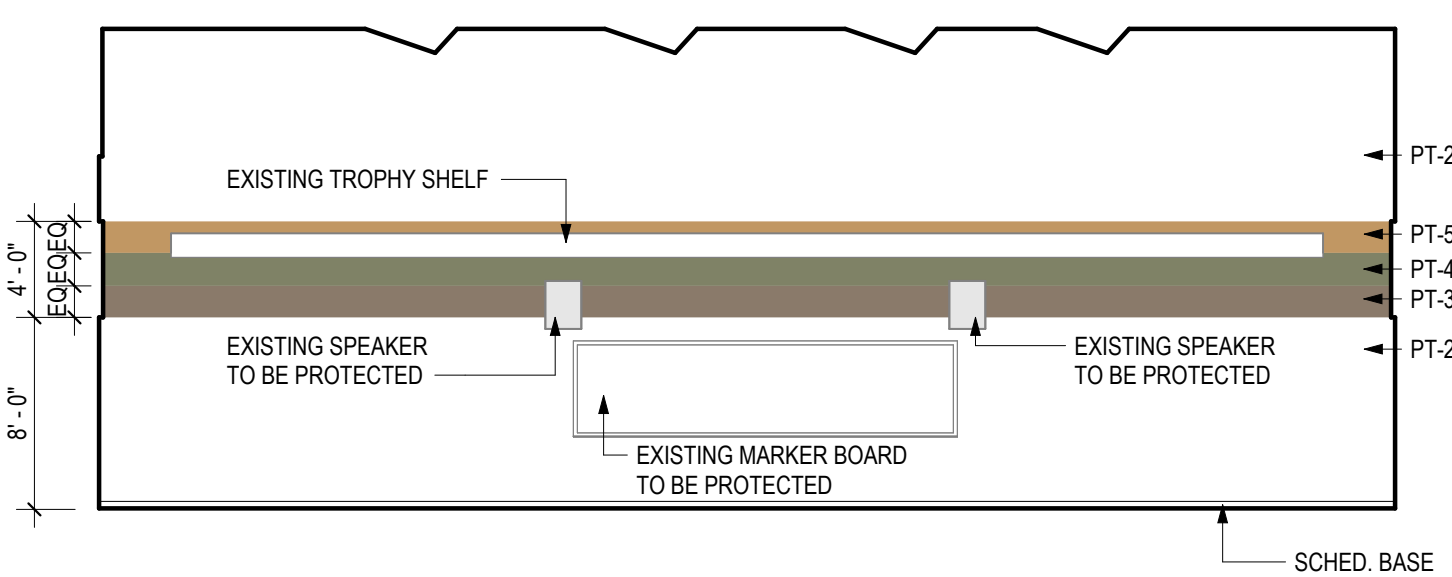
**10 INT - P110 PR. - N**  
 1/8" = 1'-0"



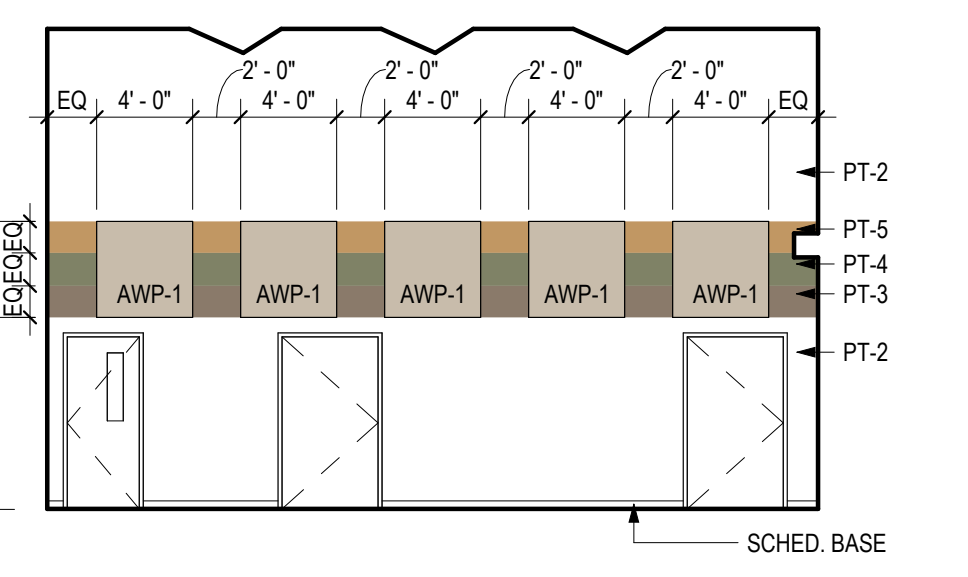
**9 INT - P109 ORCHESTRA - E**  
 1/8" = 1'-0"



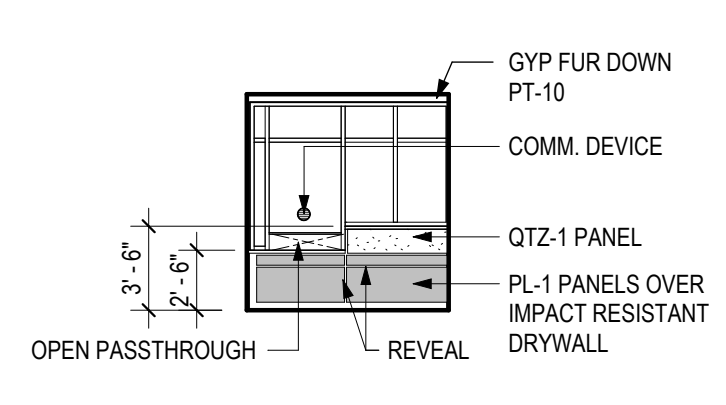
**8 INT - P109 ORCHESTRA - N**  
 1/8" = 1'-0"



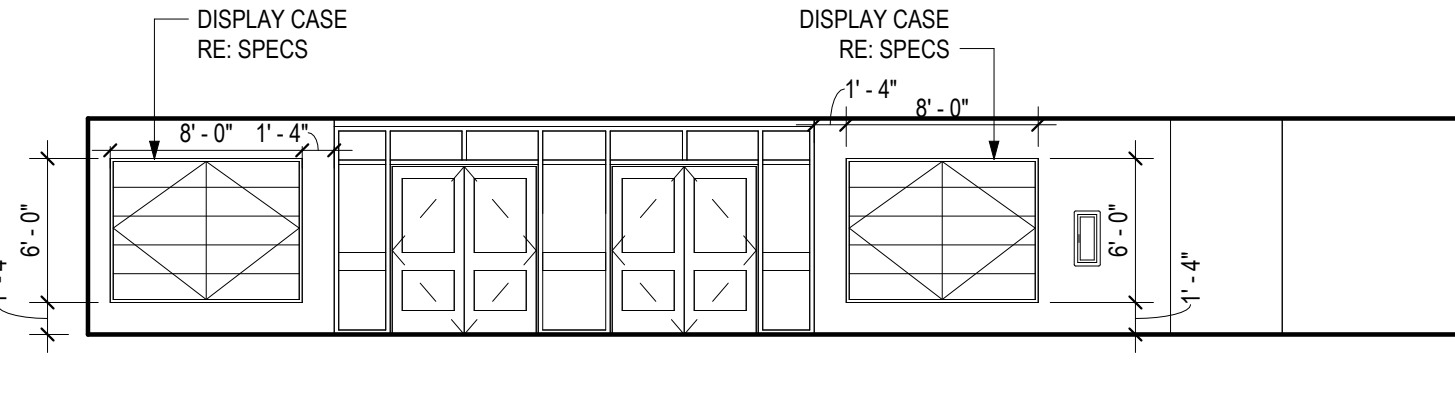
**7 INT - P109 ORCHESTRA - W**  
 1/8" = 1'-0"



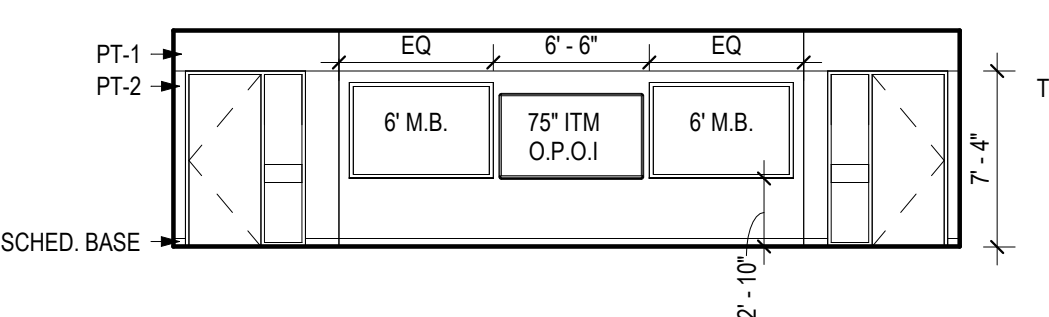
**6 INT - P109 ORCHESTRA - S**  
 1/8" = 1'-0"



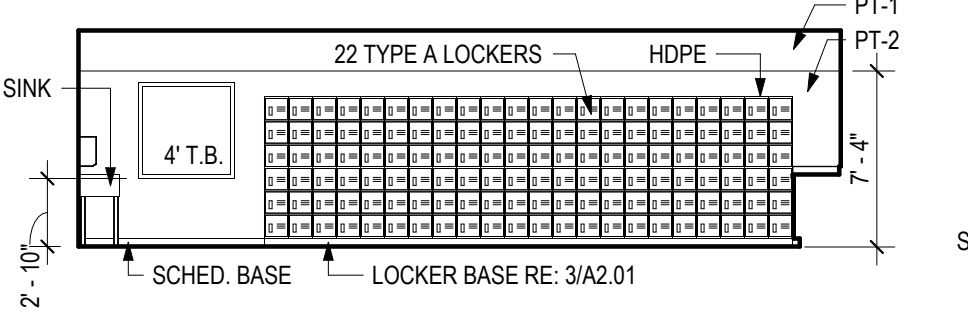
**5 INT - M102 RECEPTION - N**  
 1/8" = 1'-0"



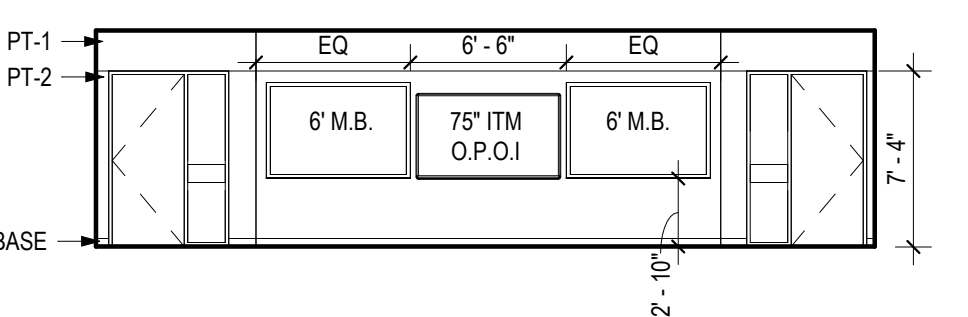
**4 INT - A129 LOBBY - S**  
 1/8" = 1'-0"



**3 INT - A132 ART - S**  
 1/8" = 1'-0"



**2 INT - A132 ART - N**  
 1/8" = 1'-0"



**1 INT - A130 ART - S**  
 1/8" = 1'-0"

**NOTES - GENERAL INTERIOR ELEVATION**  
 1/4" = 1'-0"

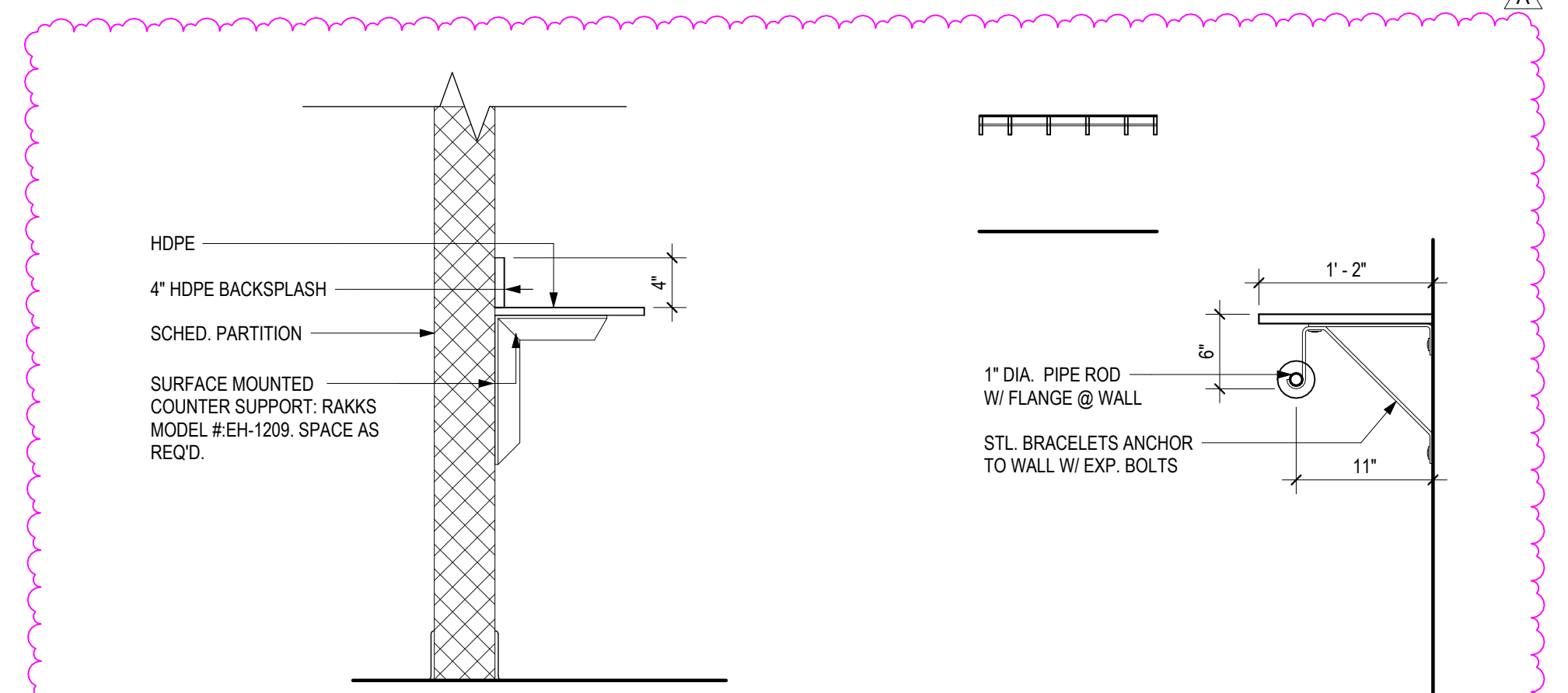
1. THE REVERBERATION NEEDS TO BE 0.08 IN THE ORCHESTRA ROOM, THE PRACTICE ROOMS, AND THE ENSEMBLE ROOM.

NOTE: REFER TO A8 SERIES FOR ADDITIONAL INFORMATION

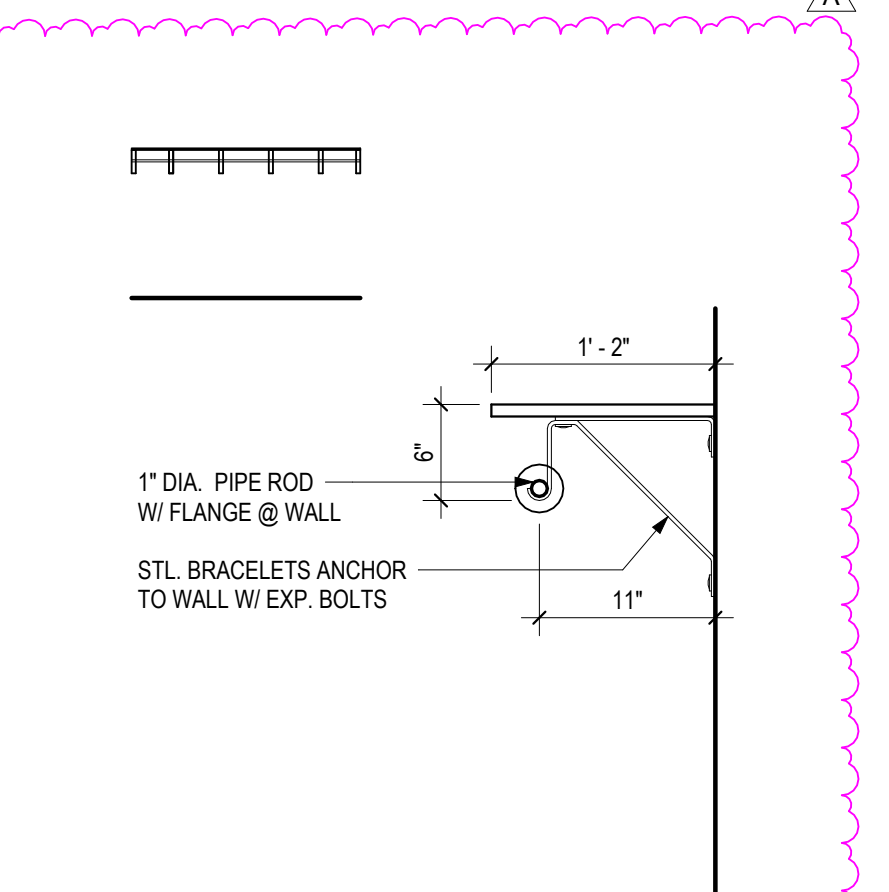


- PROVIDE LOCKS ON ALL DOORS & DRAWERS. LOCKS ARE TO BE MASTER KEYPED PER SPECS.
- PROVIDE KEYBOARD TRAY & Z' GROMMET @ ALL KNEESPACES.
- RE: MEP DWGS. FOR OTHER DEVICES, ONLY UNIQUE CONDITIONS ARE SHOWN ON THESE DRAWINGS.
- FINISH TOE SPACE OF ALL CABINETS W/ SCHEDULED BASE FINISH.
- ALL COUNTERTOPS ARE 2" DEEP UNLESS INDICATED OTHERWISE.
- PROVIDE REMOVABLE BACK PANEL ON ALL SINK CASEWORK & FLUE HOOD CASEWORK.
- ALL CASEWORK IS EDUCATIONAL CASEWORK UNLESS NOTED OTHERWISE.
- ALL SINKS IN CASEWORK SHOULD BE SUPPLIED & INSTALLED BY PLUMB. CONTRACTOR & SHOULD INCLUDE STRAINER & TAIL PIECE. RE: PLUMB. DWGS. FOR SINK TYPES.
- ALL COUNTERTOPS ARE 1 1/2" THK PLASTIC LAMINATE W/ 4" HIGH BACKSPLASH & SPLASH RETURN UNLESS NOTED OTHERWISE ON CASEWORK ELEVATION.
- ALL EXPOSED BACKS & ENDS SHALL BE FINISHED W/ LAMINATE.
- PROVIDE FILLER & CLOSER PANELS AS REQ'D. TO MATCH UNITS.
- PROVIDE RADIUS EDGE @ ALL OUTSIDE COUNTERTOP CORNERS.
- FILE DRAWERS TO INCLUDE INTEGRAL FILE HANGING SYSTEM.
- 1" INDICATES ACCESSIBLE PLUMBING FIXTURE @ ACCESSIBLE MOUNTING HEIGHT, RE: G1 SERIES.
- ALL UPPER WALL CABINETS ARE 14" DEEP UNLESS NOTED OTHERWISE.
- TEACHERS CABINET TO INCLUDE (1) FIXED SHELF & ROD, (2) ADJUSTABLE SHELVES, (2) LETTER SIZE FILE DRAWERS, & (1) 10"x12" MIRROR & PIN TRAY.
- CASEWORK ELEVATIONS ARE INTENDED TO SHOW CASEWORK & MILLWORK ONLY. ANY OTHER ELEMENTS SUCH AS WALLS, WINDOWS, & DOORS ARE FOR REFERENCE ONLY. RE: FLOOR PLANS, SCHEDULES & RELATED ELEVATIONS FOR SPECIFIC INFO RELATED TO THESE ELEMENTS.

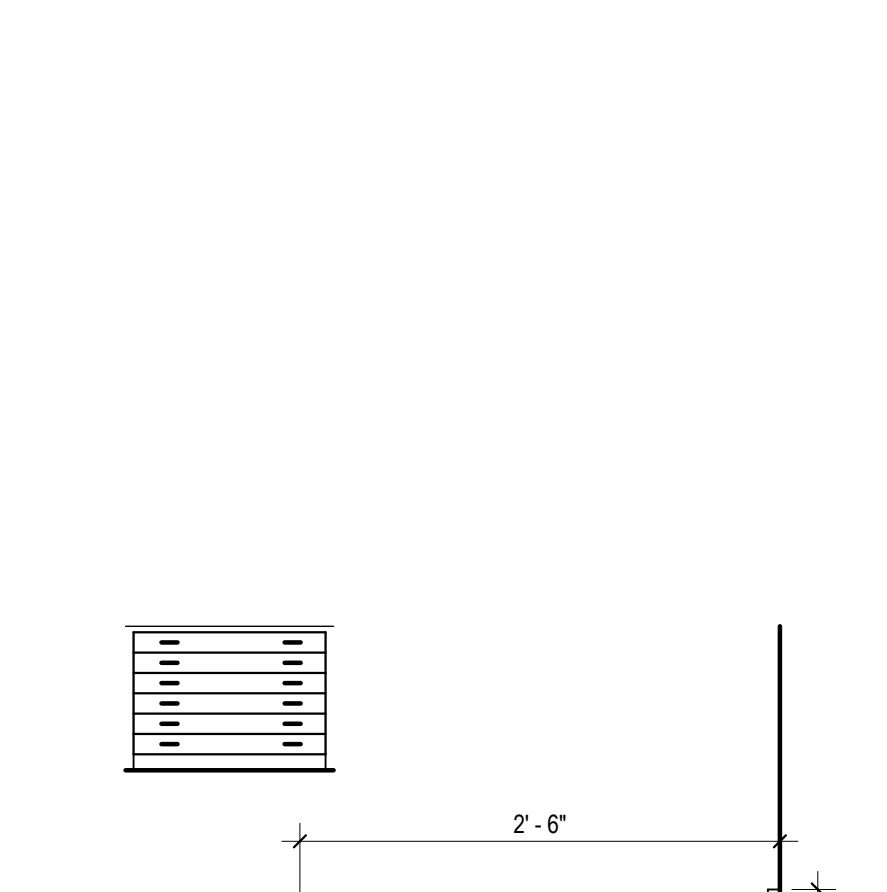
**NOTES - GENERAL CASEWORK**  
1/4" = 1'-0"



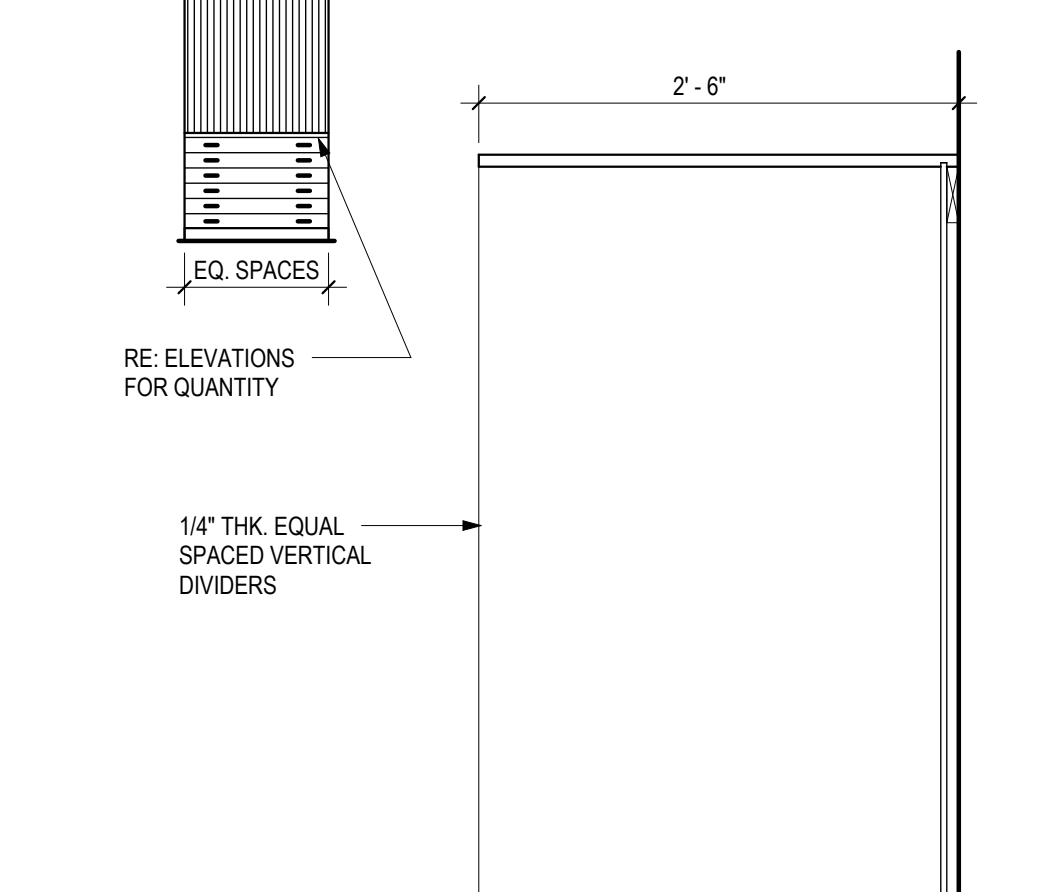
**19 MISC - COUNTER SUPPORT**  
1" = 1'-0"



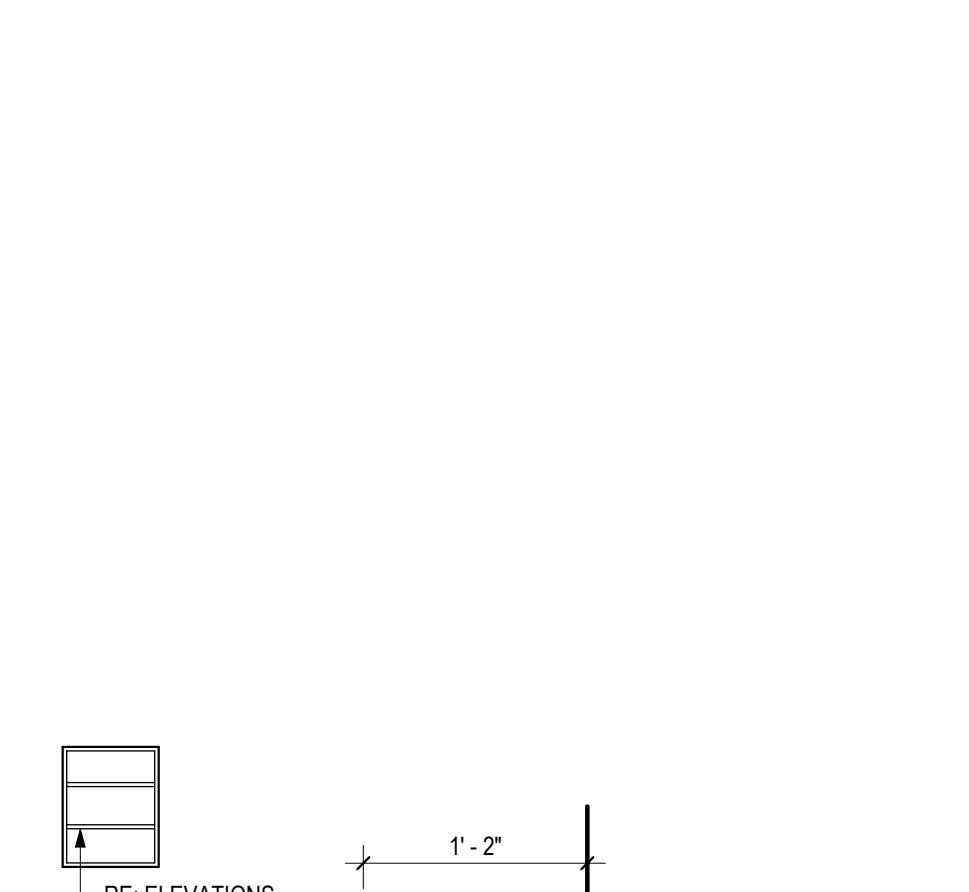
**18 CSK "U330"**  
1" = 1'-0"



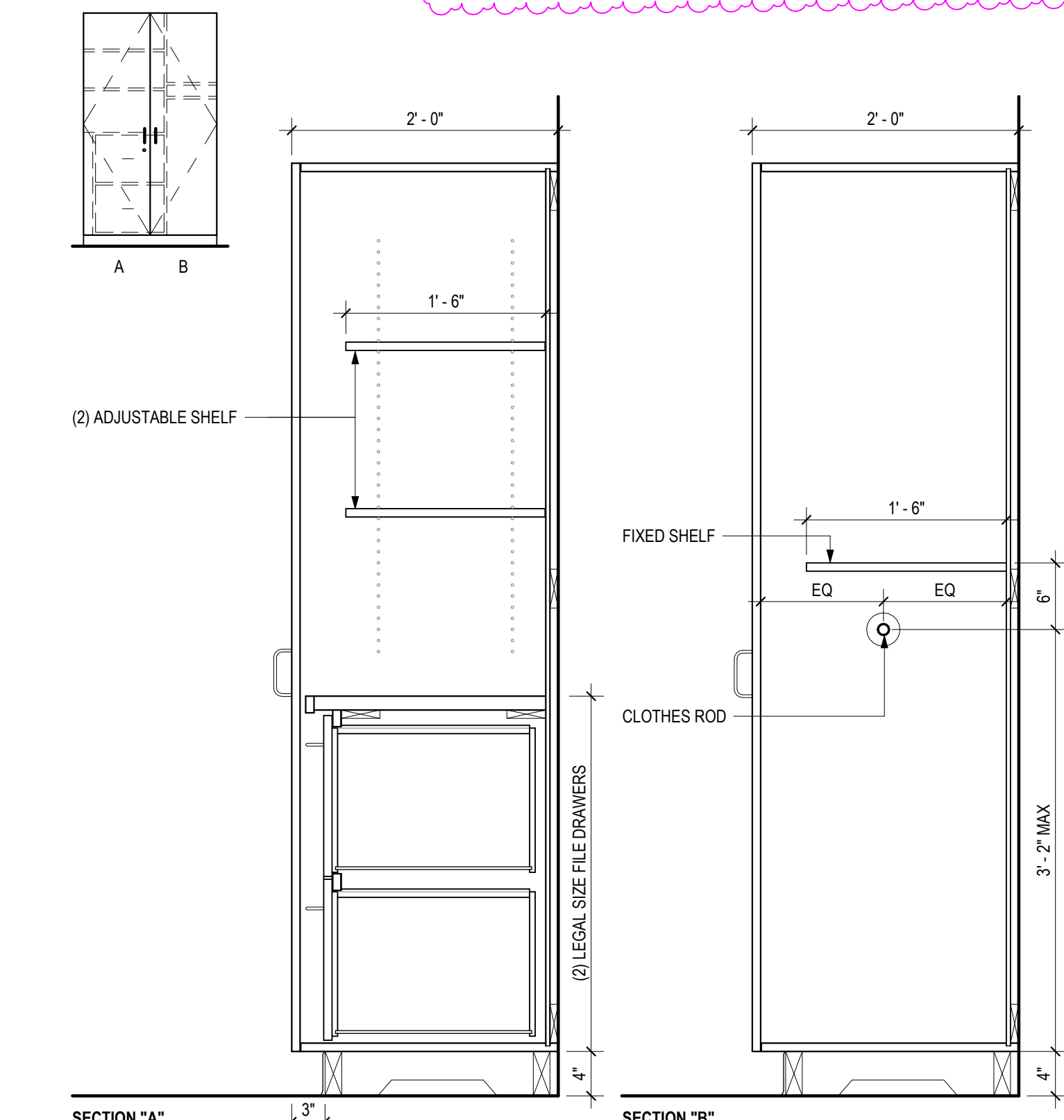
**17 CSK "B260"**  
1" = 1'-0"



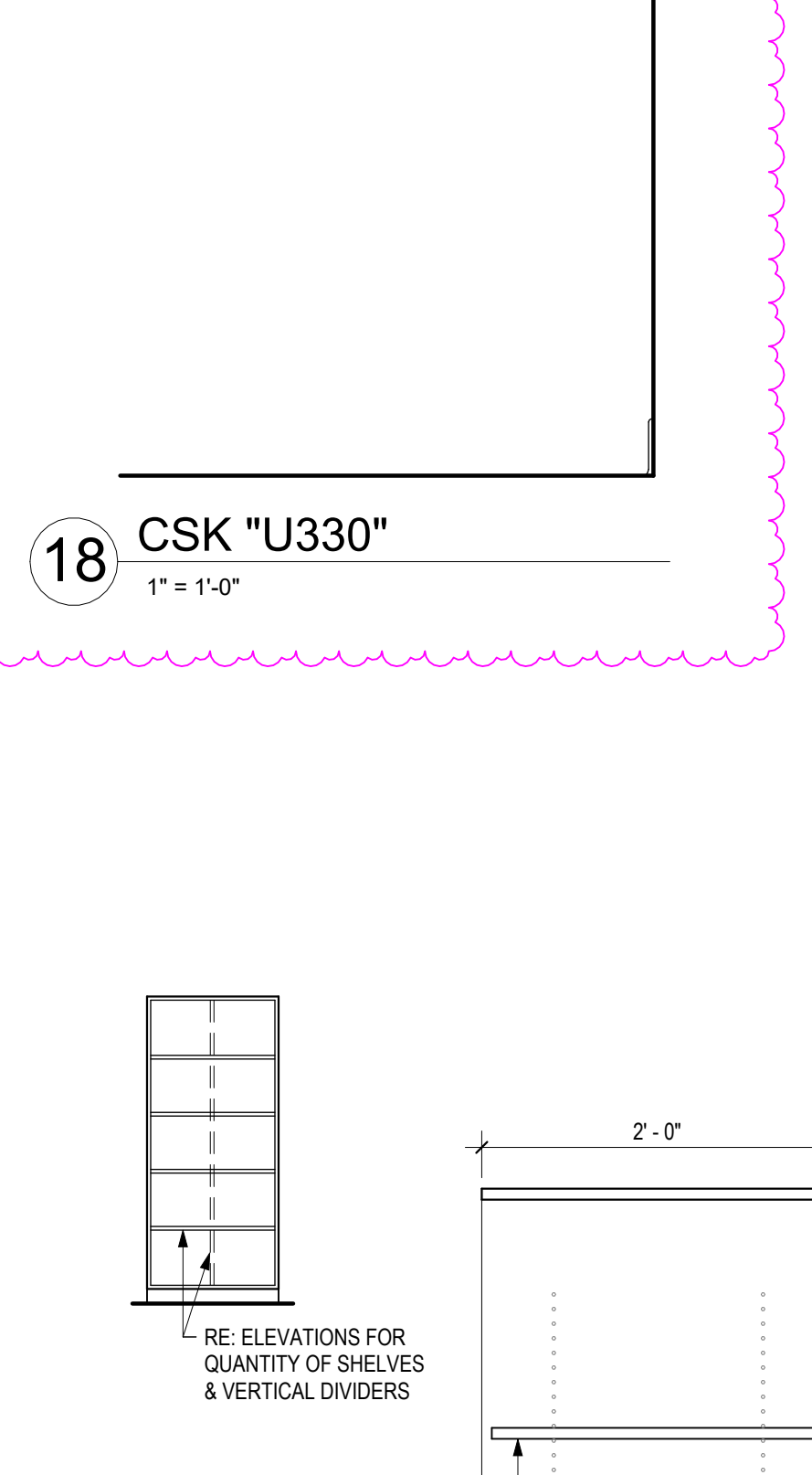
**16 CSK "T431"**  
1" = 1'-0"



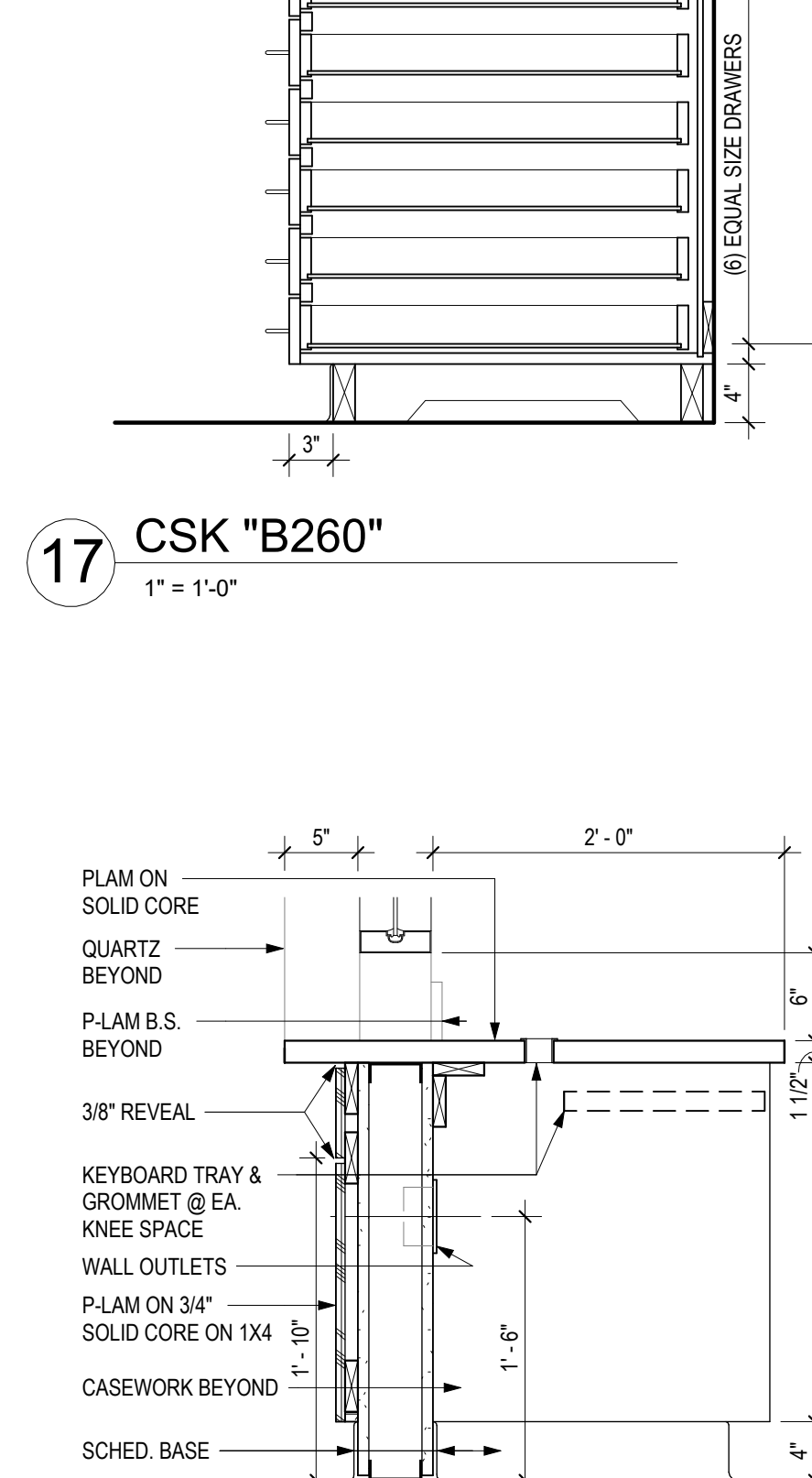
**15 CSK "U300"**  
1" = 1'-0"



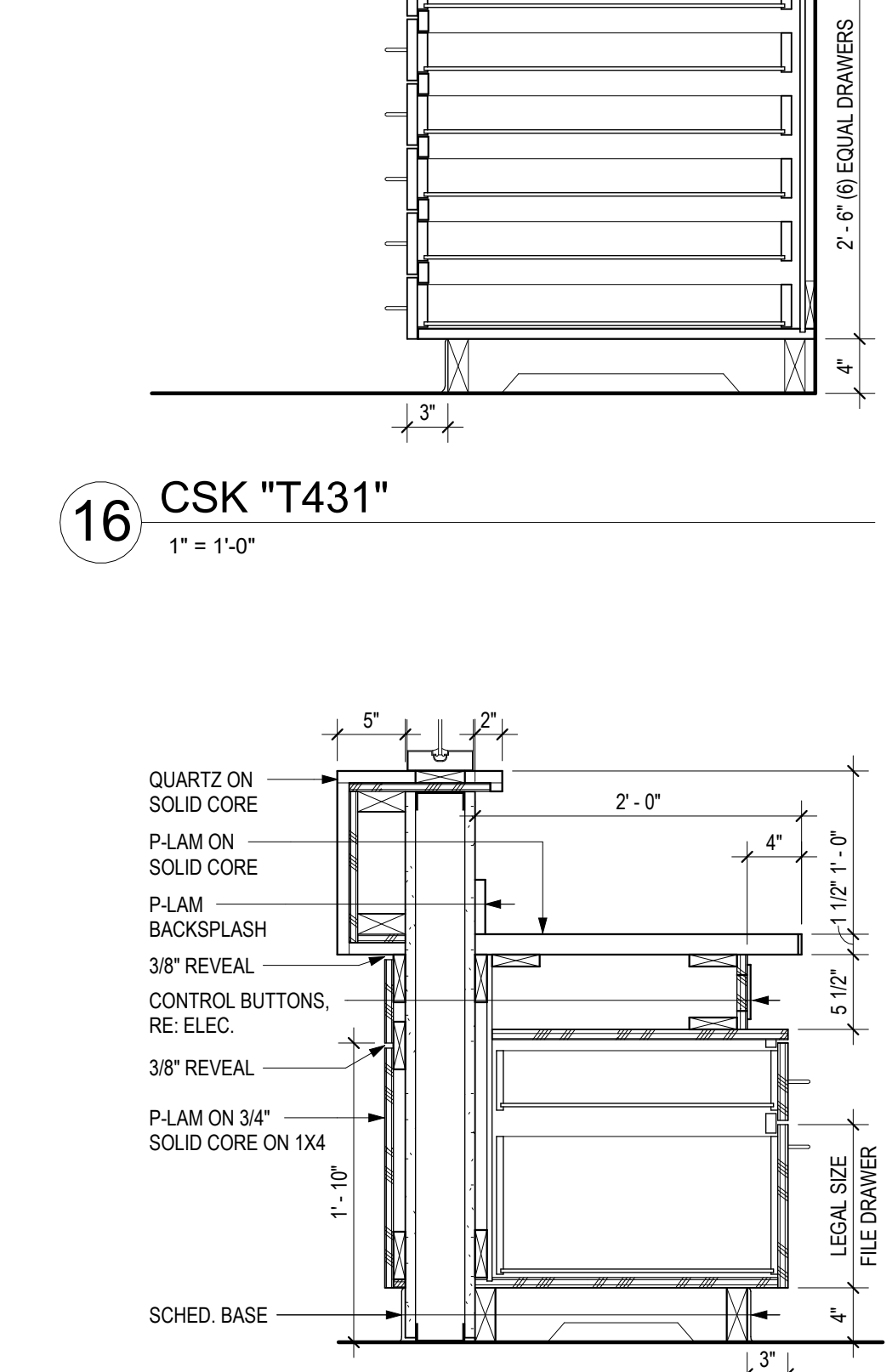
**14 CSK "T401"**  
1" = 1'-0"



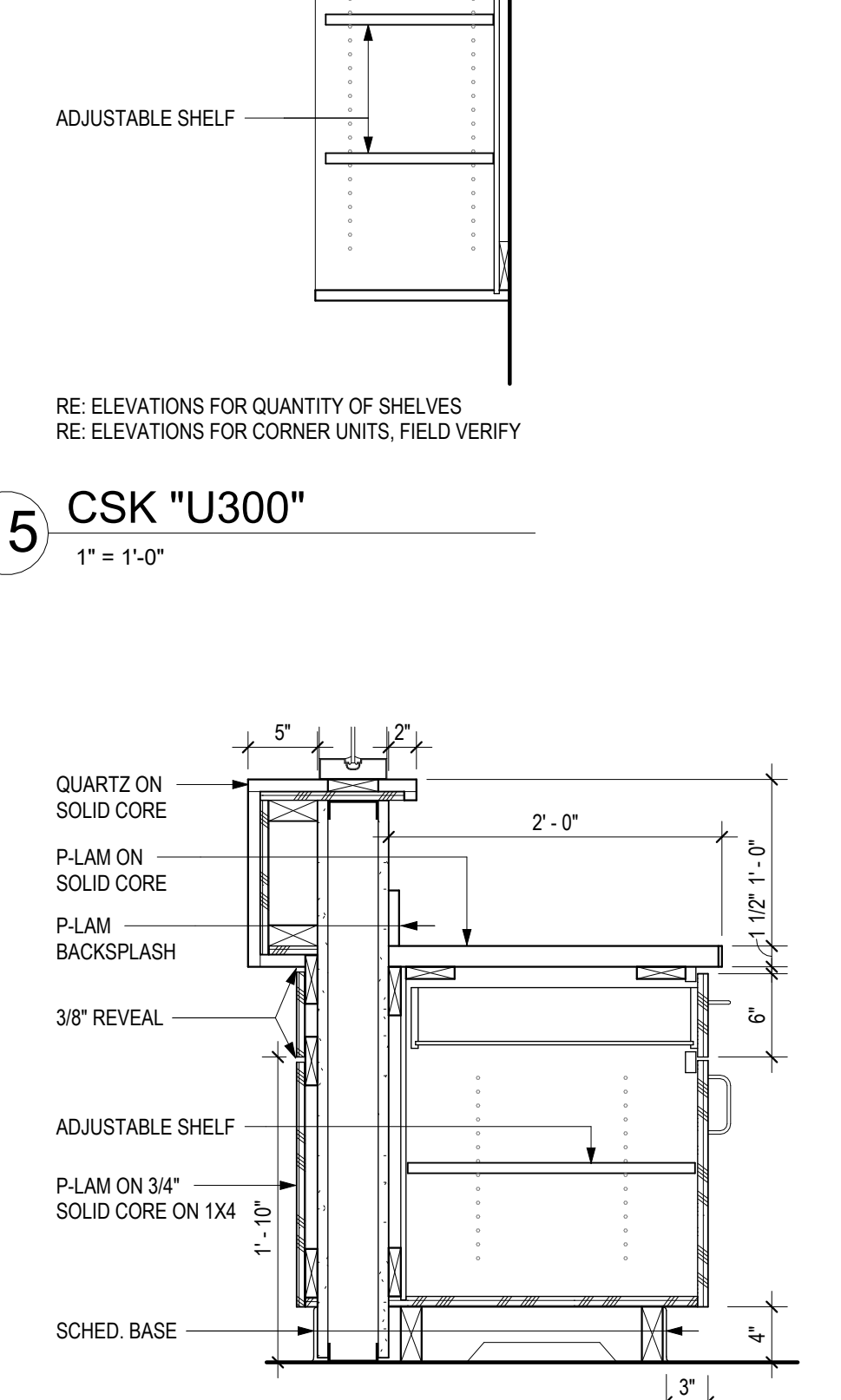
**13 CSK "T400"**  
1" = 1'-0"



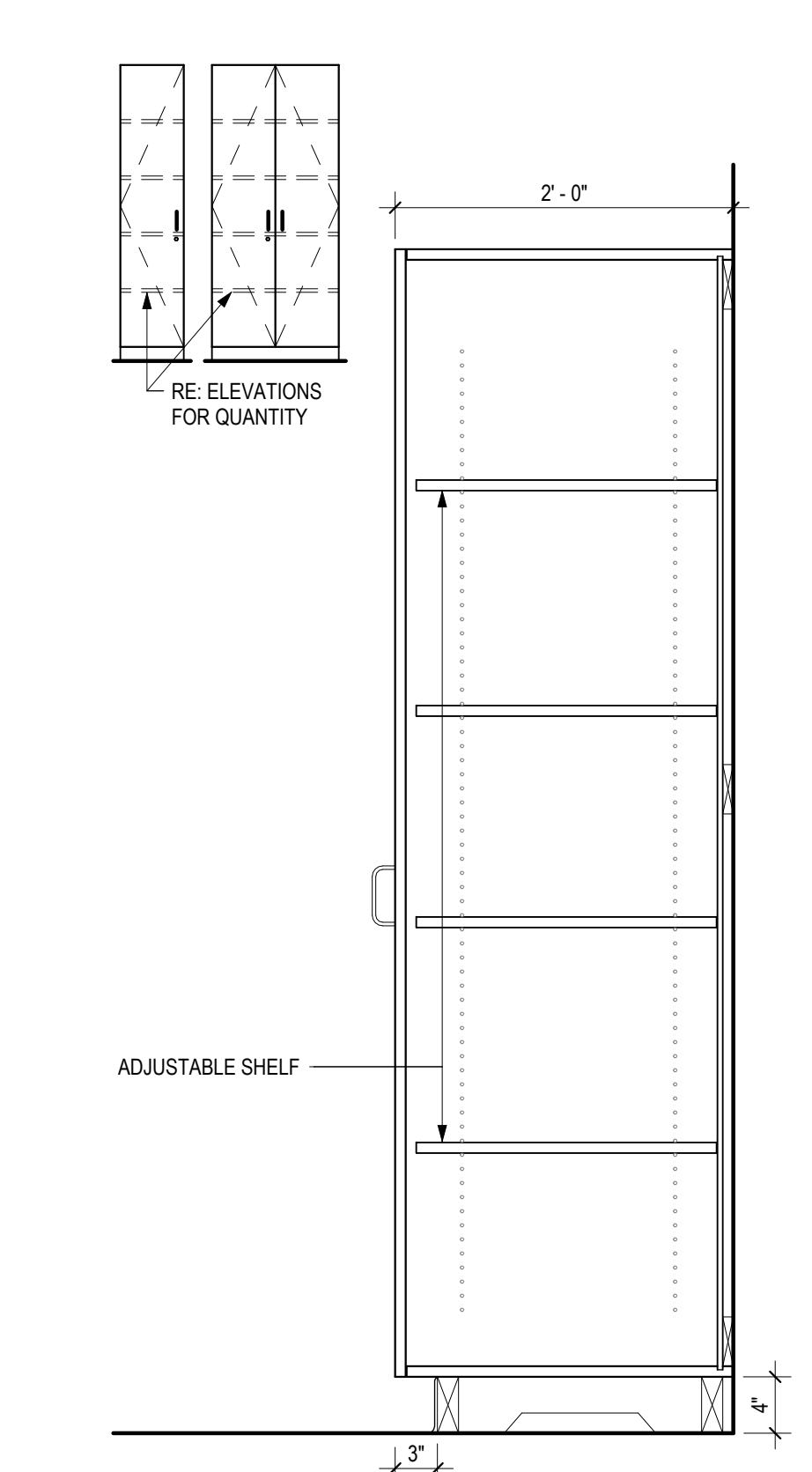
**12 MILL "RD4" QRTZ-PLAM RECEP**  
1" = 1'-0"



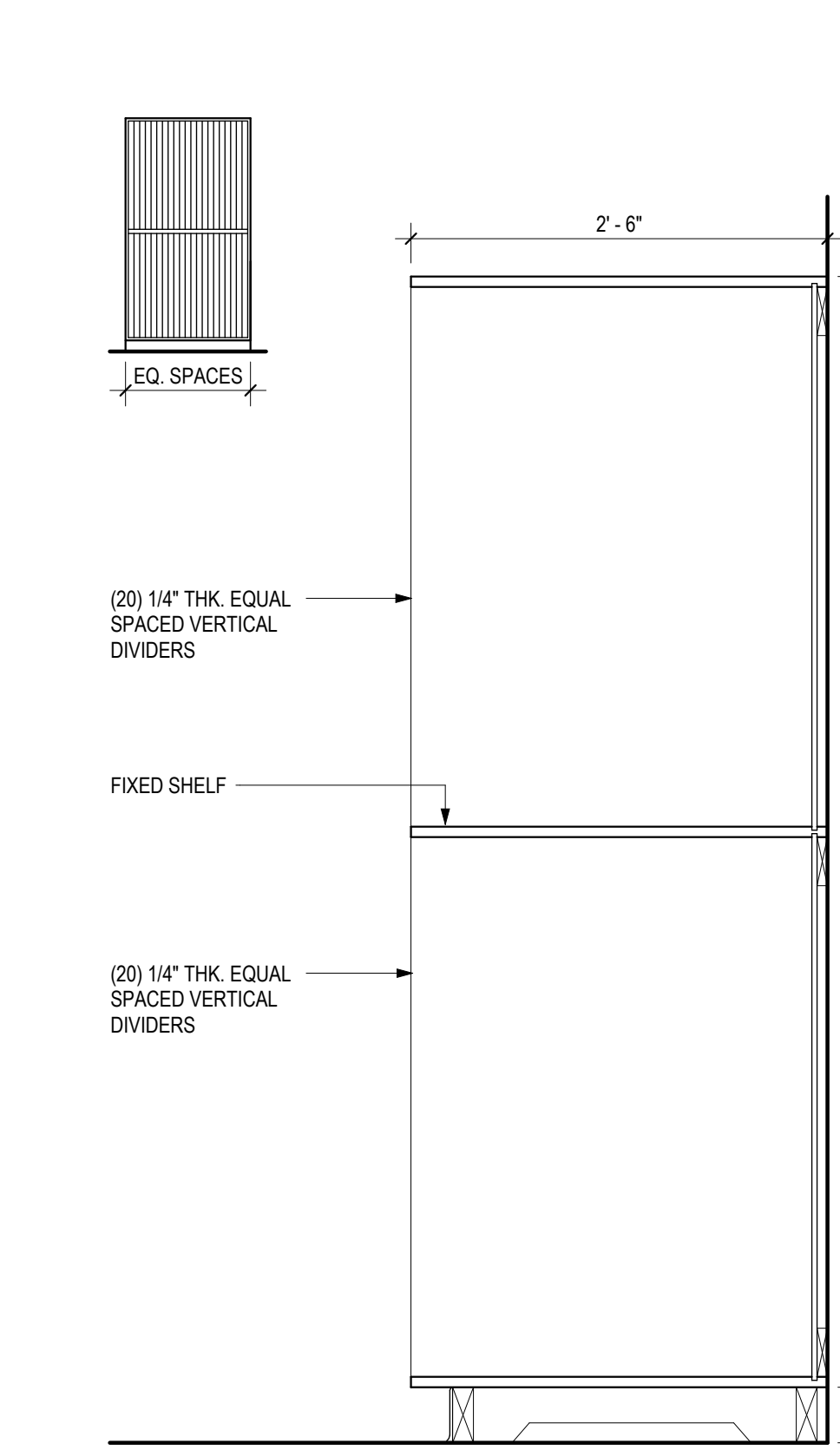
**11 MILL "RD3" QRTZ-PLAM RECEP**  
1" = 1'-0"



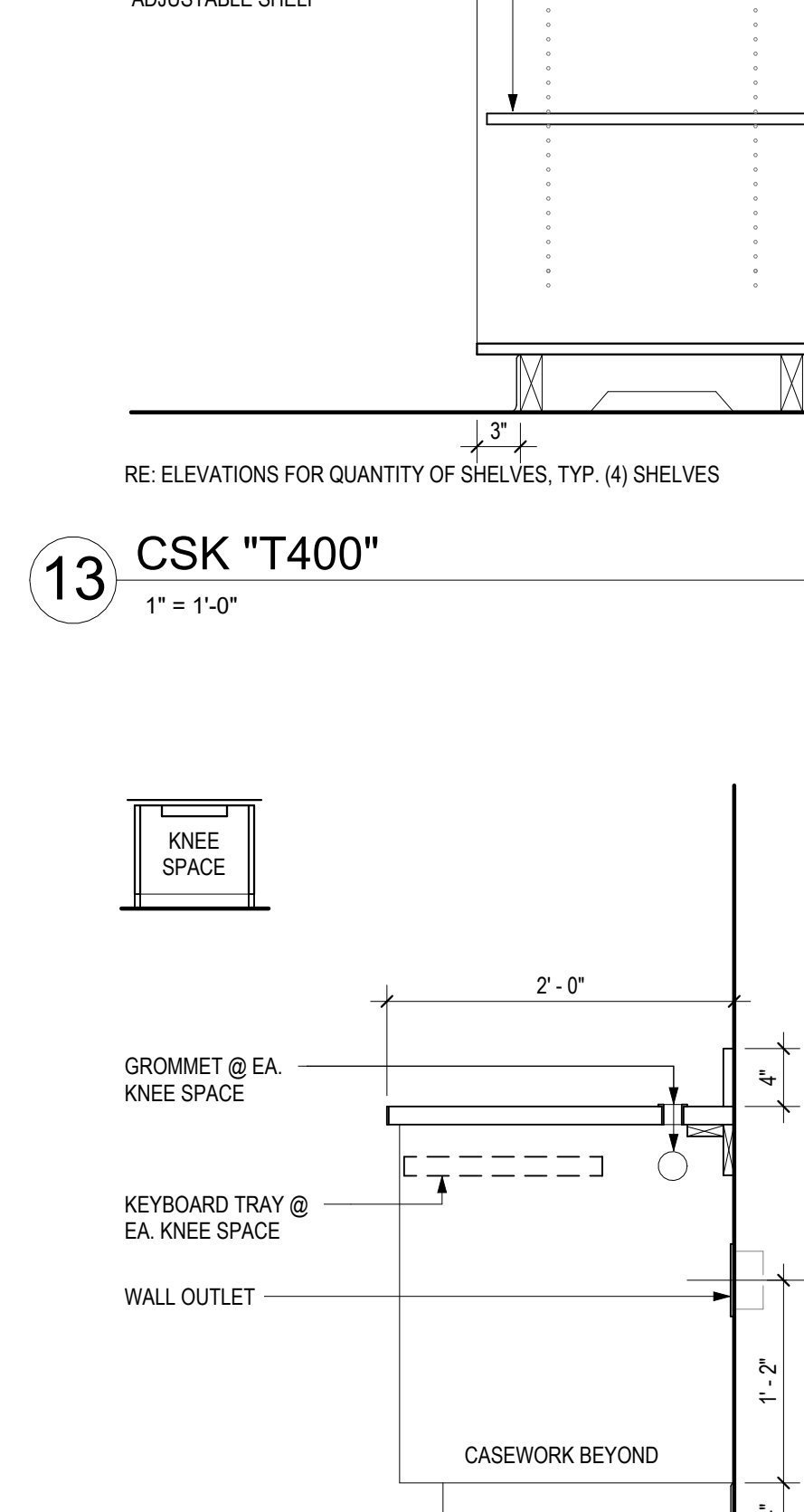
**10 MILL "RD2" QRTZ-PLAM RECEP**  
1" = 1'-0"



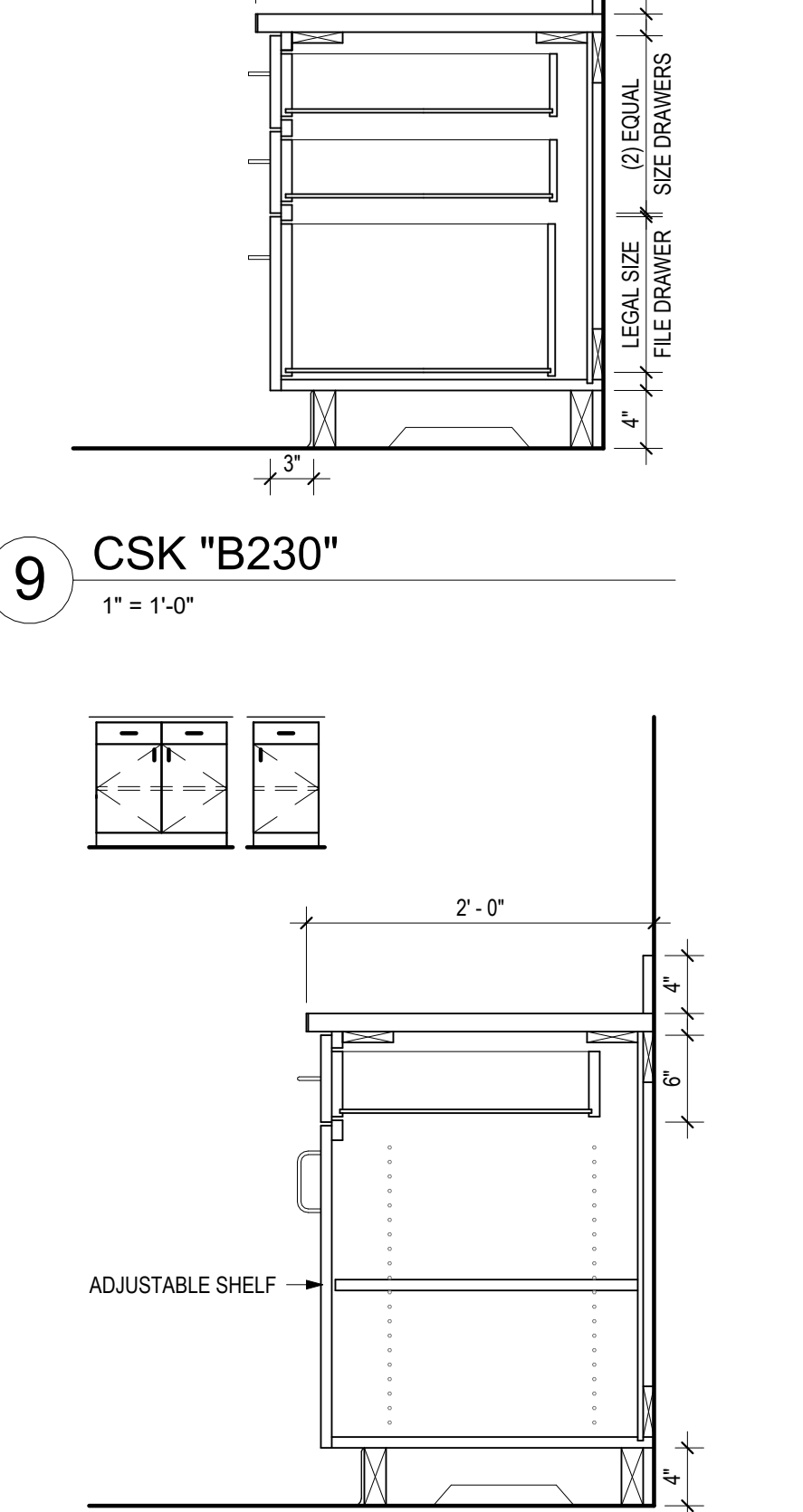
**6 CSK "T402"**  
1" = 1'-0"



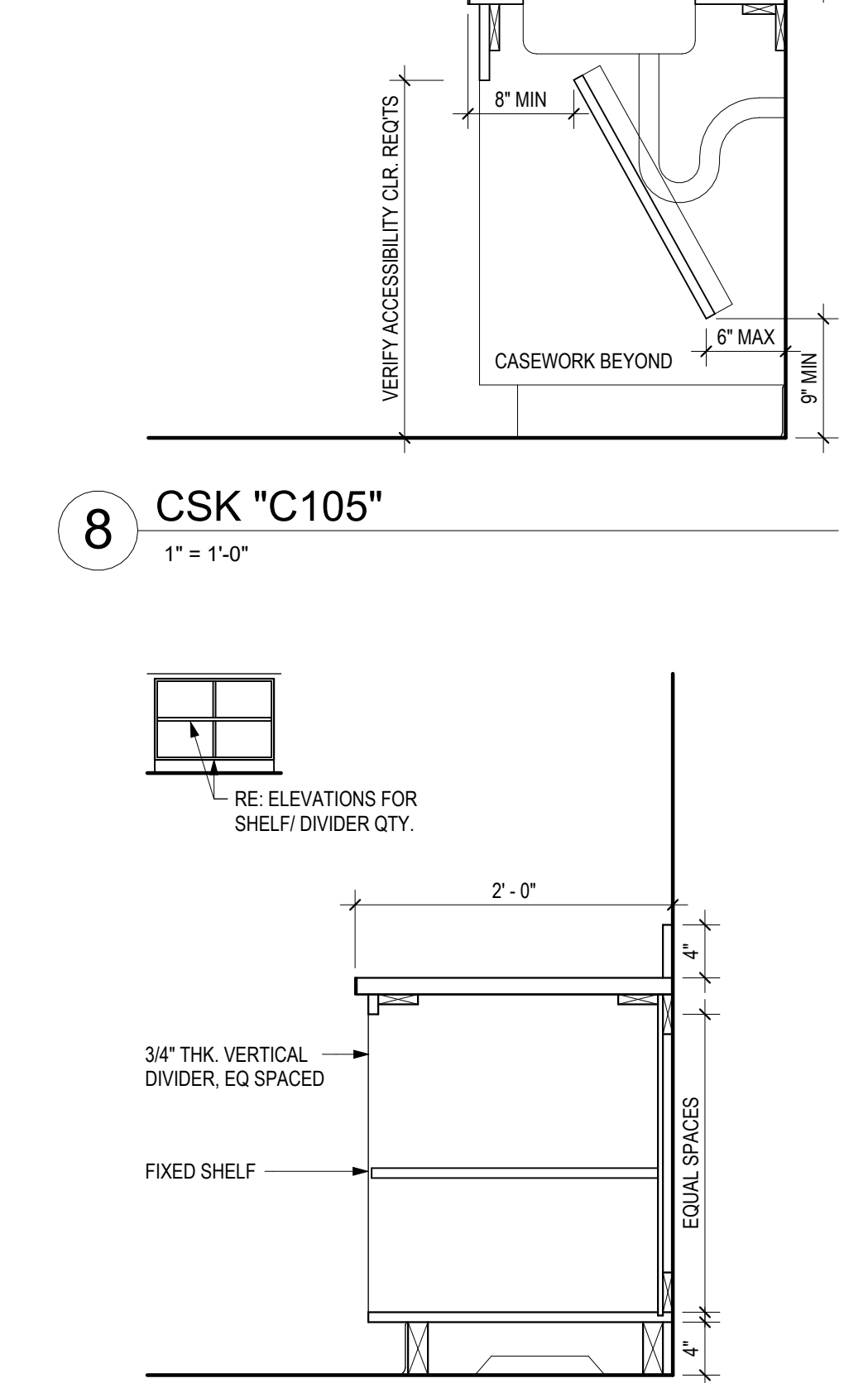
**5 CSK "T433"**  
1" = 1'-0"



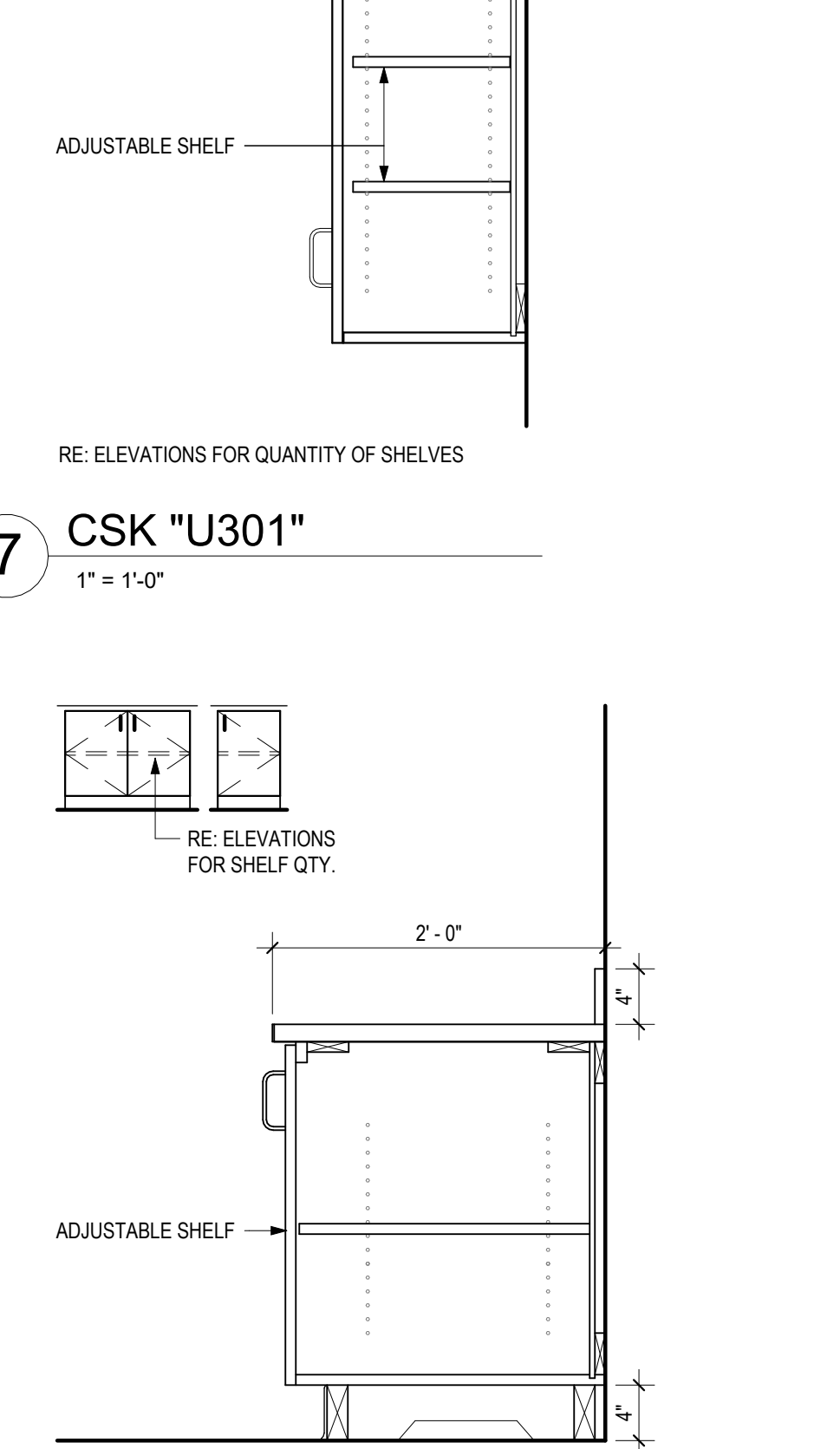
**4 CSK "C102"**  
1" = 1'-0"



**3 CSK "B201"**  
1" = 1'-0"



**2 CSK "B110"**  
1" = 1'-0"



**1 CSK "B102"**  
1" = 1'-0"

**CONSULTANTS**  
STRUCTURAL  
CJG Engineers  
6051 North Course Dr. Suite 375  
Houston, TX 77042  
Tel: 713.780.3345

**MEP**  
Salas O'Brien  
10930 W. Sam Houston Pkwy. N.  
Suite 900  
Houston, TX 77064  
Tel: 281.664.1900

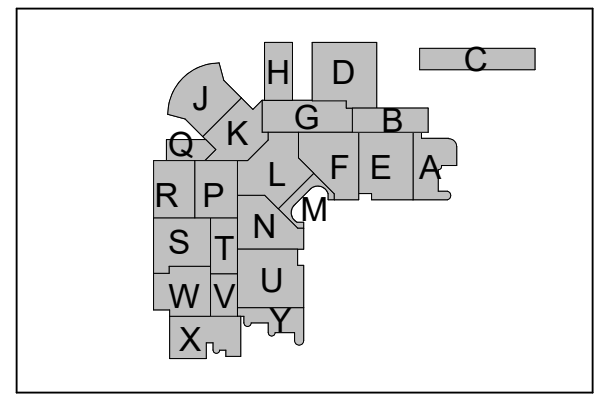
**CIVIL**  
Brooks and Sparks, Inc.  
21020 Park Row Dr.  
Katy, TX 77449  
Tel: 281.578.9595

**FOODSERVICE**  
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**THEATRE**  
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**LANDSCAPE & IRRIGATION**  
LANDESIGN Group  
1401 El Camino Real, Suite 204  
Houston, TX 77058  
Tel: 281.486.4040



**2024 CYPRESS FALLS HIGH SCHOOL RENOVATION**  
CYPRESS-FAIRBANKS ISD  
9811 Huffmeister Rd, Houston, TX 77095

**ARCADIS**  
TEXAS ARCADIS INC.  
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HOUSTON, TX 77056  
tel 281.286.6605, fax 713.977.4620



|            |                                     |
|------------|-------------------------------------|
| PROJECT #: | 202318                              |
| DATE:      | 2025-01-13                          |
| DRAWN:     | DS                                  |
| CHECKED:   | CA                                  |
| DATE:      | 2025-01-13                          |
| ISSUE:     | PERMIT AND PROPOSAL ADDENDUM No. 02 |
| DATE:      | 2025-01-24                          |
| ISSUE:     | A                                   |

**A8.00**  
CASEWORK SECTIONS



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 6051 North Course Dr. Suite 375  
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 Tel: 713.780.3345

MEP  
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 10930 W. Sam Houston Pkwy. N.  
 Suite 900  
 Houston, TX 77064  
 Tel: 281.664.1900

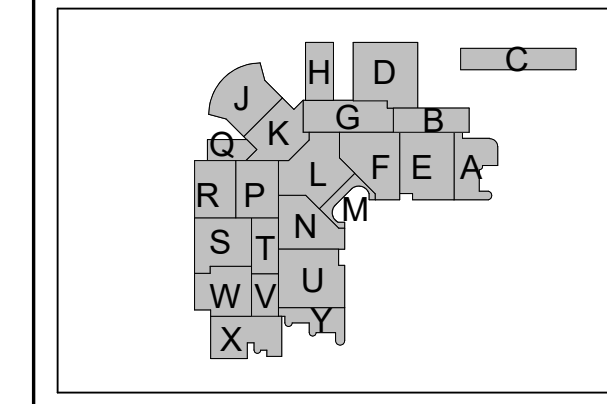
CIVIL  
 Brooks and Sparks, Inc.  
 21020 Park Row Dr.  
 Katy, TX 77449  
 Tel: 281.578.9595

FOODSERVICE  
 Surcana Foodservice Design  
 7430 Fairbanks N. Houston Rd.  
 Houston, TX 77040  
 Tel: 281.224.1230

ACOUSTICAL & A/V  
 BAI, LLC  
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 Austin, TX 78751  
 Tel: 512.476.3464

THEATRE  
 WJHW, INC.  
 2000 W. Loop South, Suite 1340  
 Houston, TX 77027  
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LANDSCAPE & IRRIGATION  
 LANDESIGN Group  
 1401 El Camino Real, Suite 204  
 Houston, TX 77058  
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**2024 CYPRESS FALLS HIGH SCHOOL RENOVATION**  
 CYPRESS-FAIRBANKS ISD  
 9811 Huffmeister Rd, Houston, TX 77095

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 TEXAS ARCADIS INC.  
 1330 POST OAK BOULEVARD, SUITE 2250  
 HOUSTON, TX 77056  
 tel 281.286.6605, fax 713.977.4620

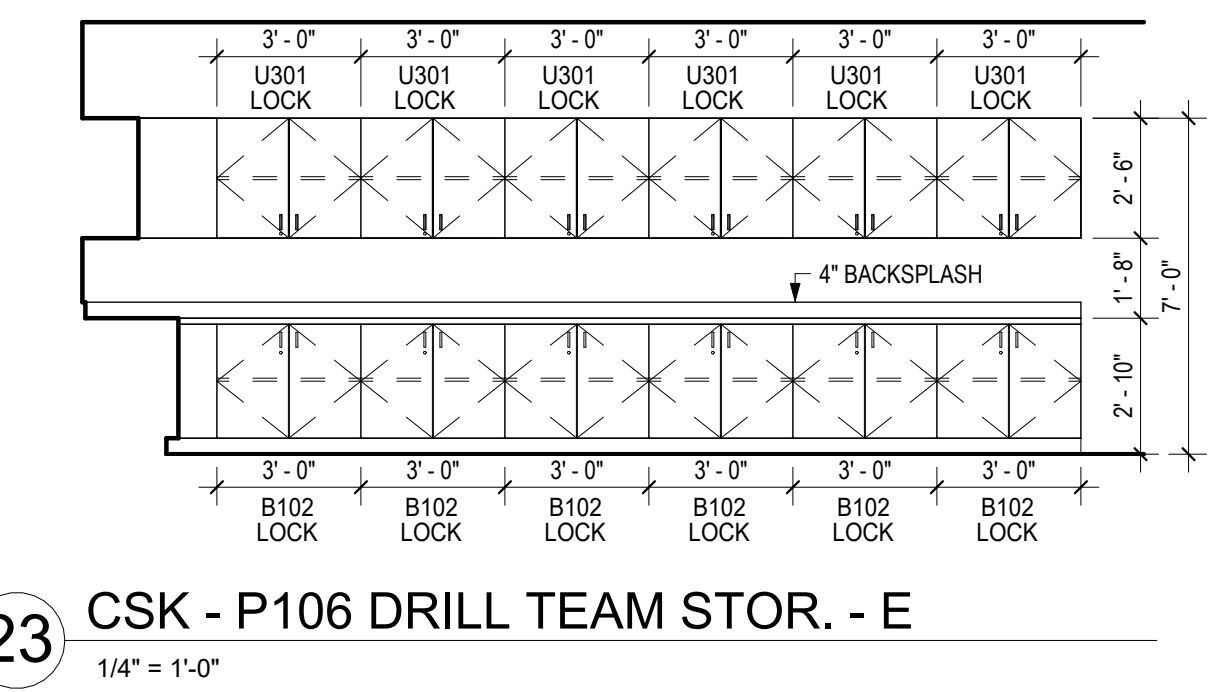
REGISTERED ARCHITECT  
 STATE OF TEXAS  
 01/24/2025

PROJECT #: 202318  
 DATE: 2025-01-13  
 DRAWN: DS  
 CHECKED: CA

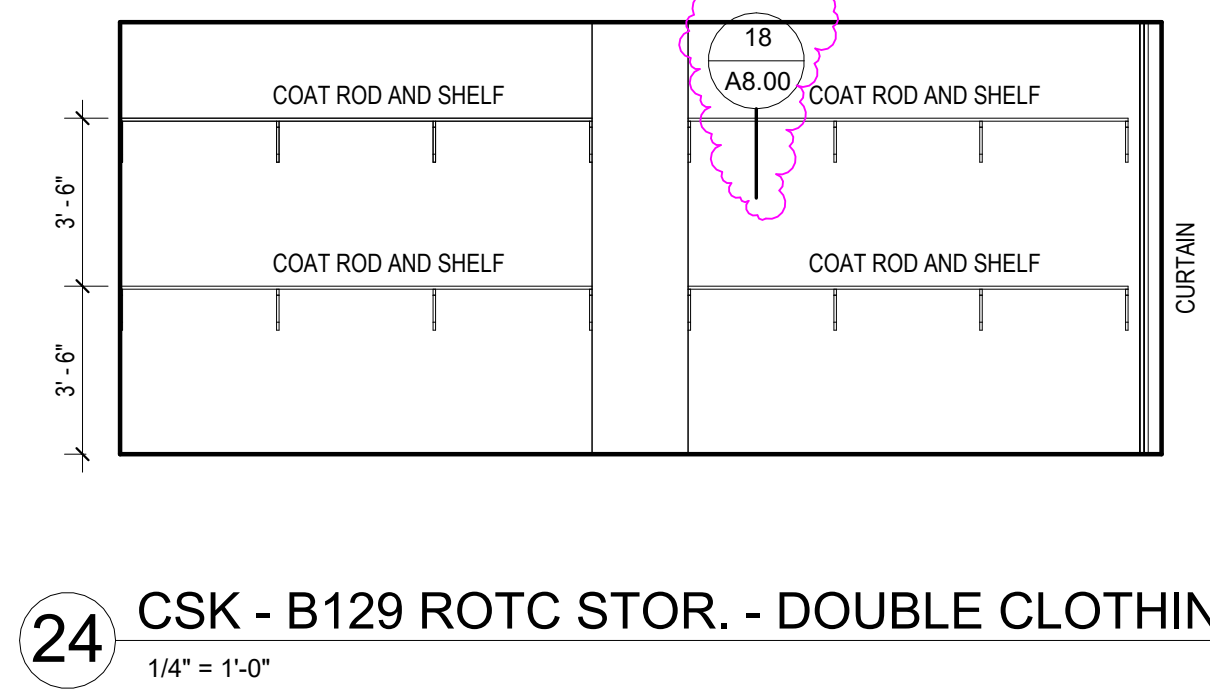
DATE: 2025-01-13  
 2025-01-24

ISSUE: PERMIT AND PROPOSAL  
 ADDENDUM No. 02 A

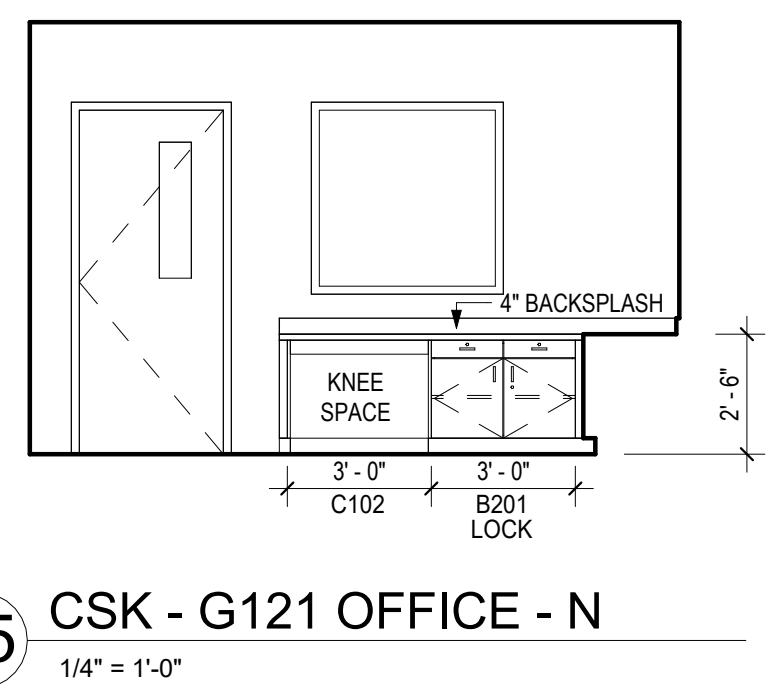
**A8.01**  
 CASEWORK  
 ELEVATIONS



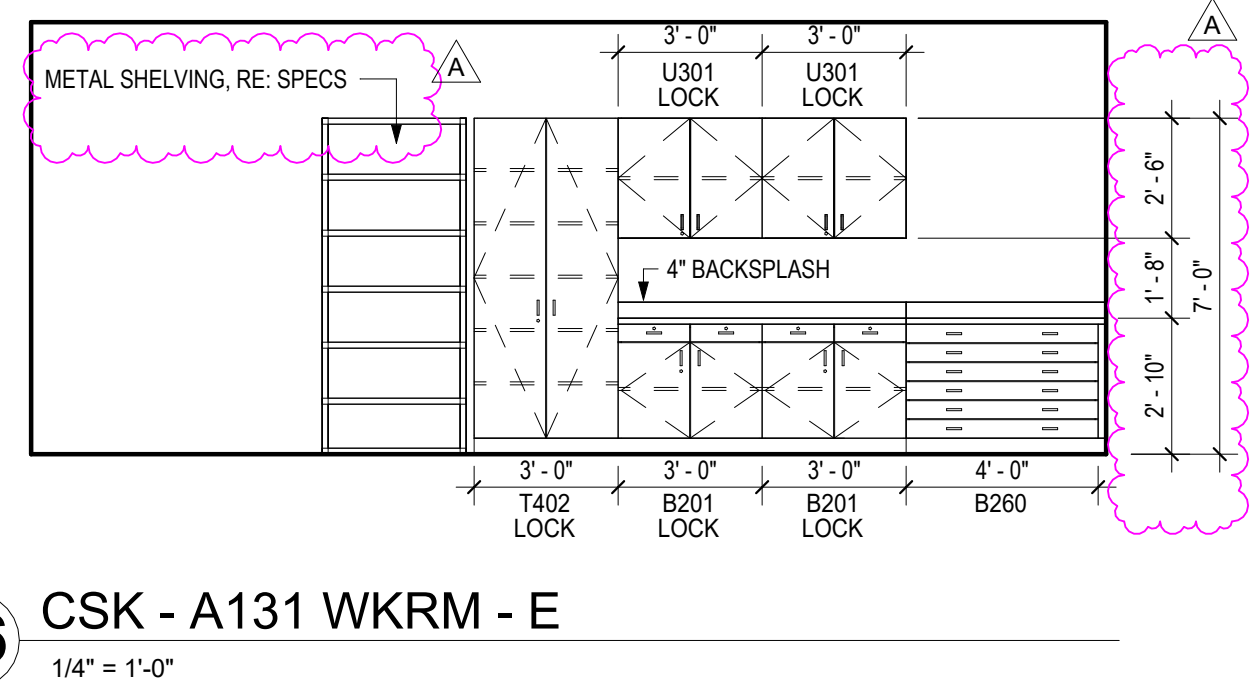
23 CSK - P106 DRILL TEAM STOR. - E  
 1/4" = 1'-0"



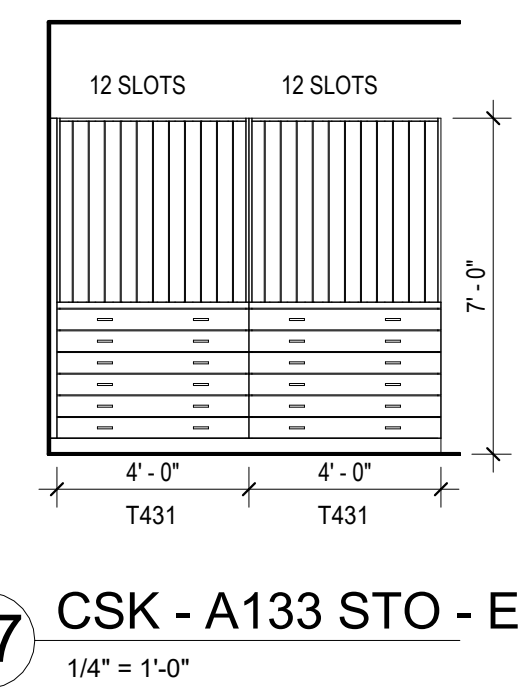
24 CSK - B129 ROTC STOR. - DOUBLE CLOTHING RODS 2  
 1/4" = 1'-0"



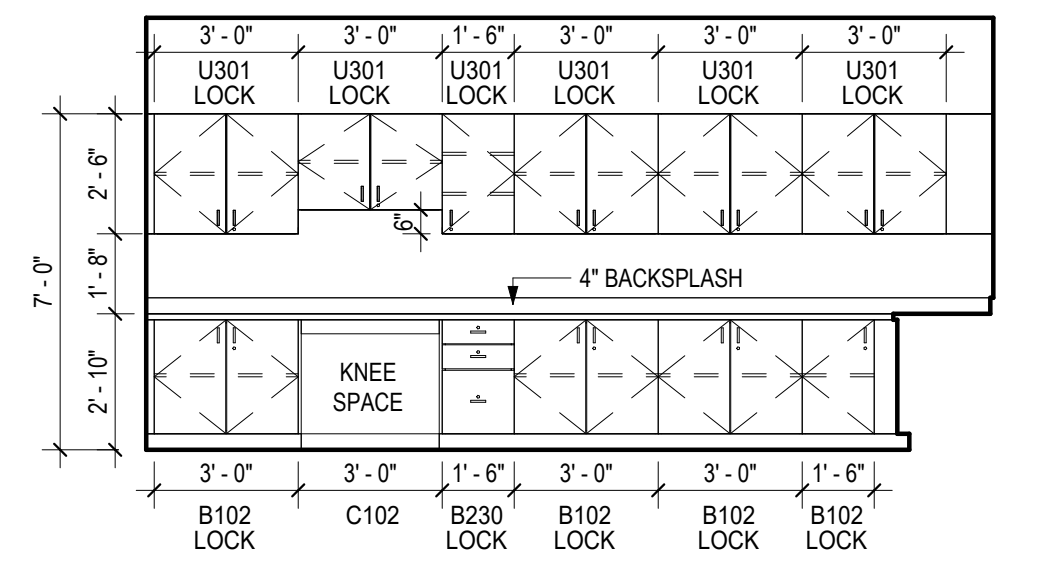
25 CSK - G121 OFFICE - N  
 1/4" = 1'-0"



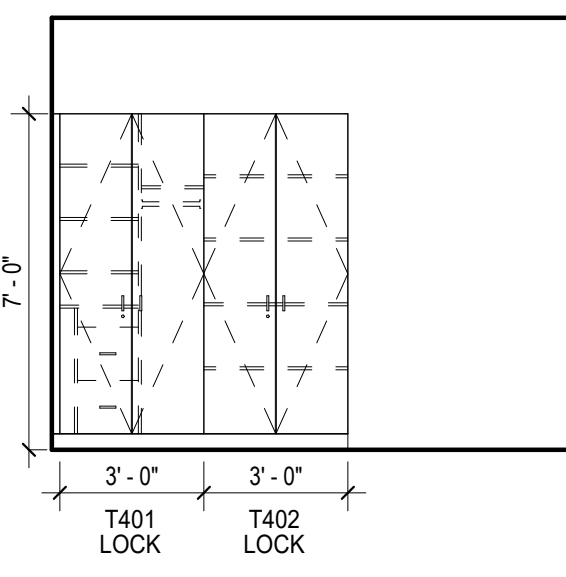
26 CSK - A131 WKRM - E  
 1/4" = 1'-0"



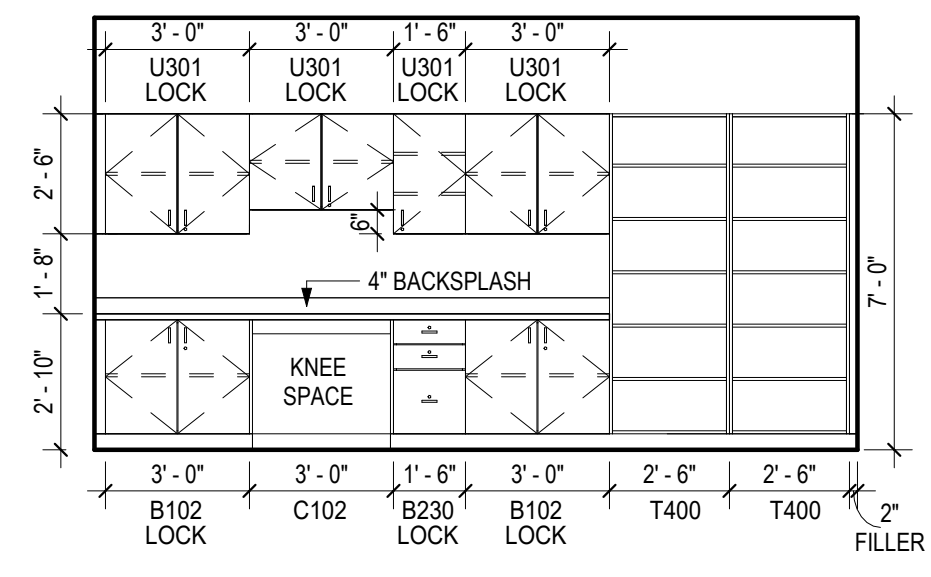
27 CSK - A133 STO - E  
 1/4" = 1'-0"



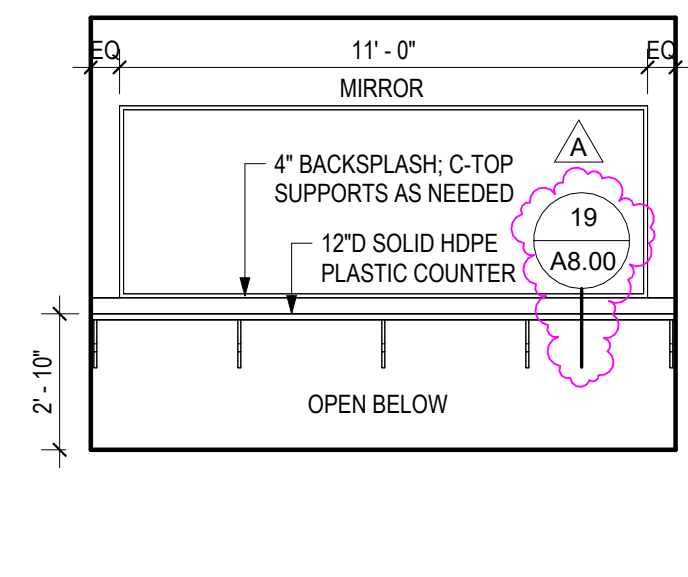
17 CSK - P107 OFFICE - N  
 1/4" = 1'-0"



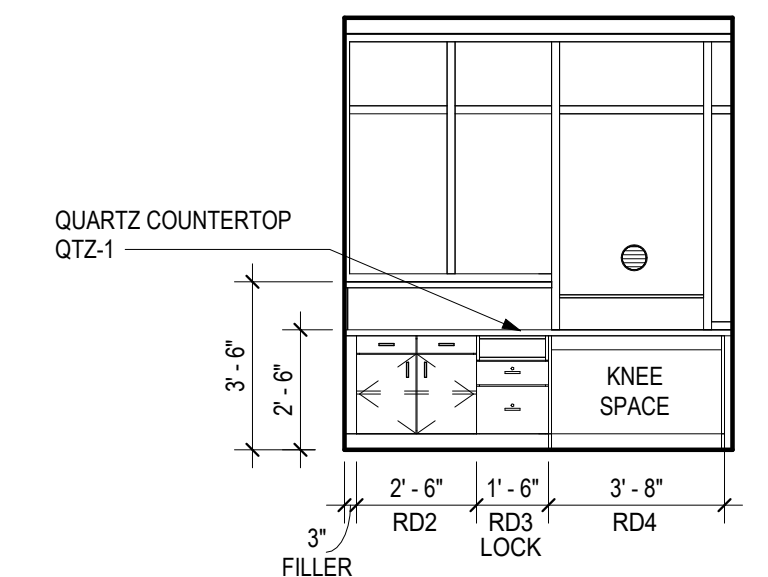
18 CSK - P114 OFFICE - E  
 1/4" = 1'-0"



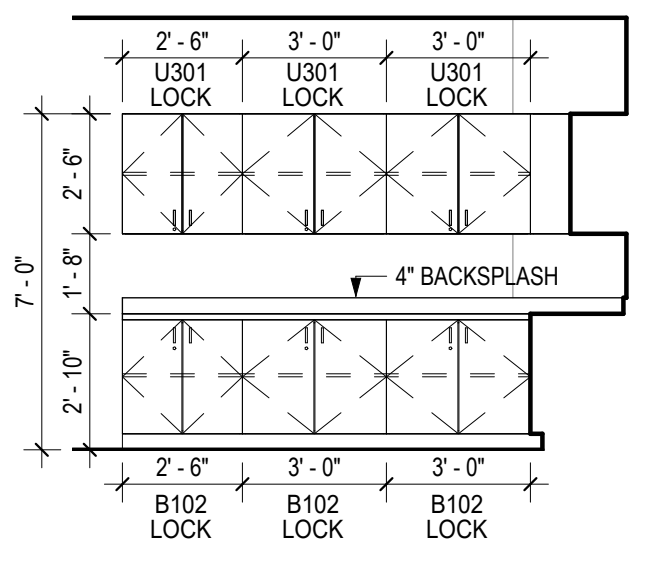
19 CSK - P114 OFFICE - W  
 1/4" = 1'-0"



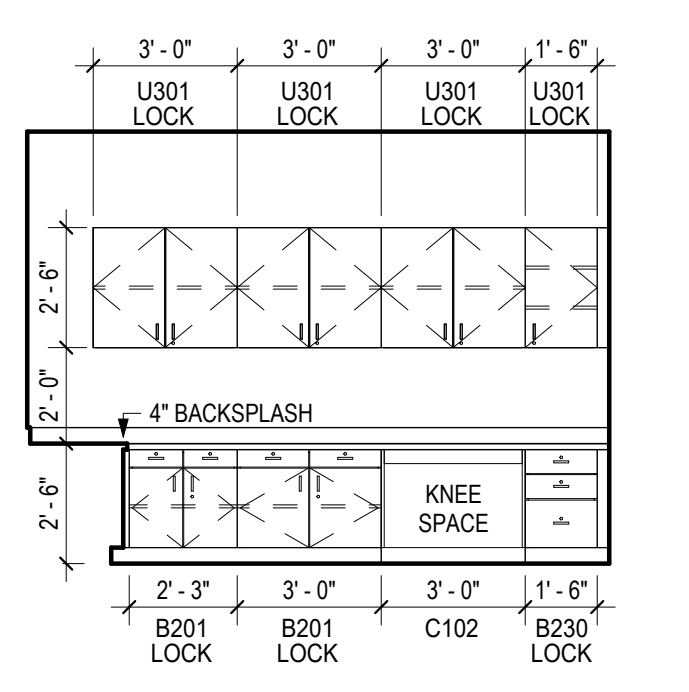
20 CSK - P105 DRILL TEAM L.R. COUNTERTOP  
 1/4" = 1'-0"



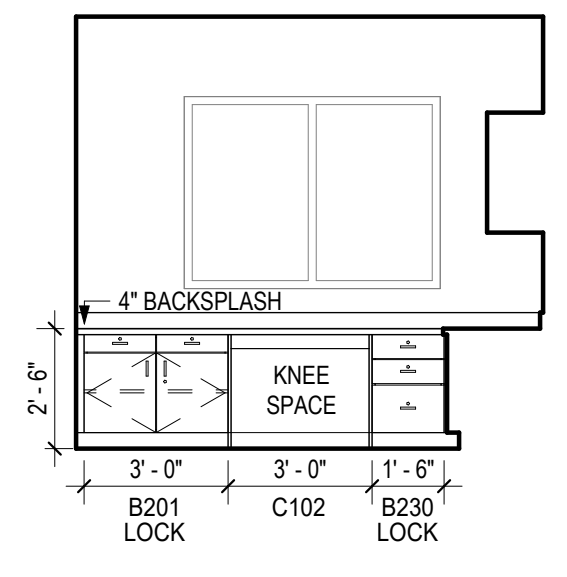
21 CSK - M103 SEC - S  
 1/4" = 1'-0"



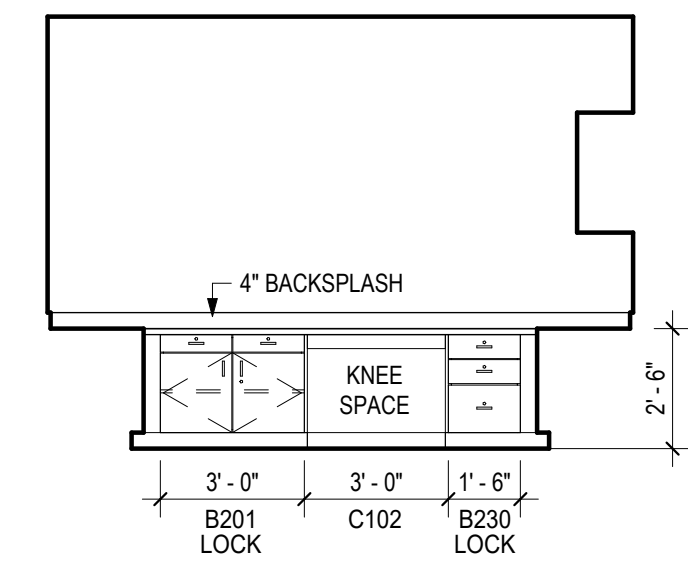
22 CSK - P106 DRILL TEAM STOR. - N  
 1/4" = 1'-0"



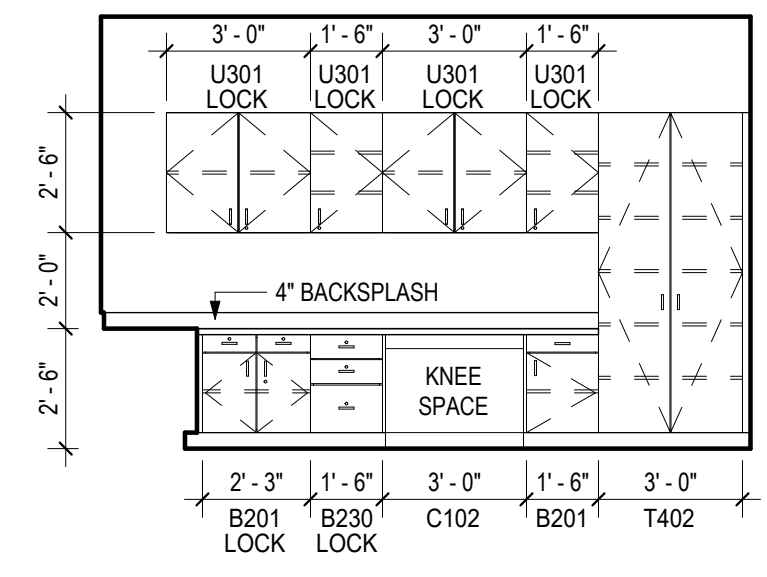
10 CSK - D127 CTE OFFICE - N  
 1/4" = 1'-0"



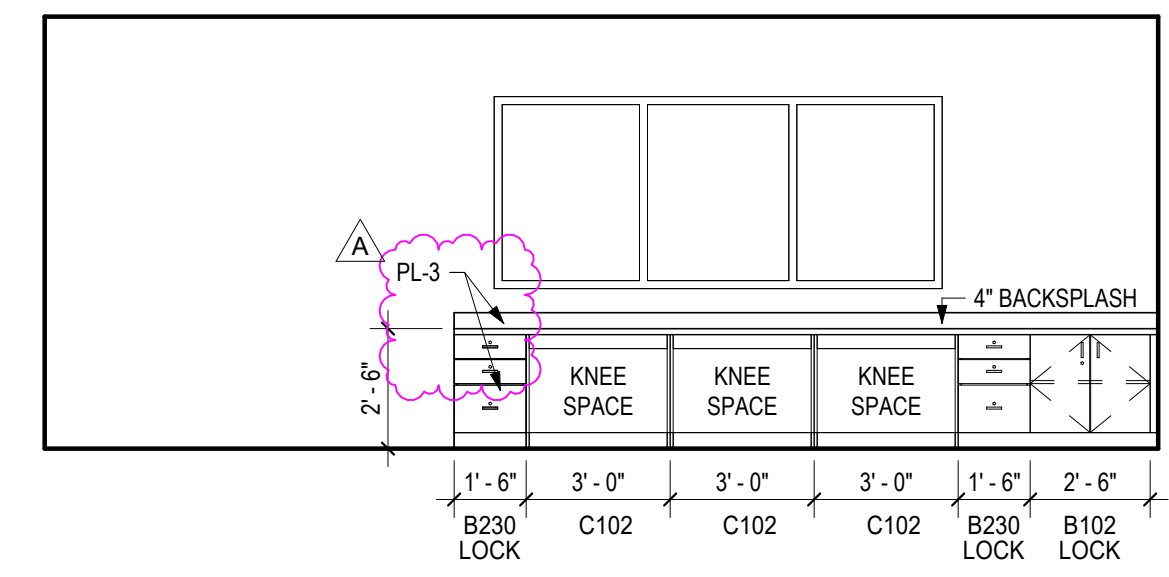
11 CSK - D127 CTE OFFICE - W  
 1/4" = 1'-0"



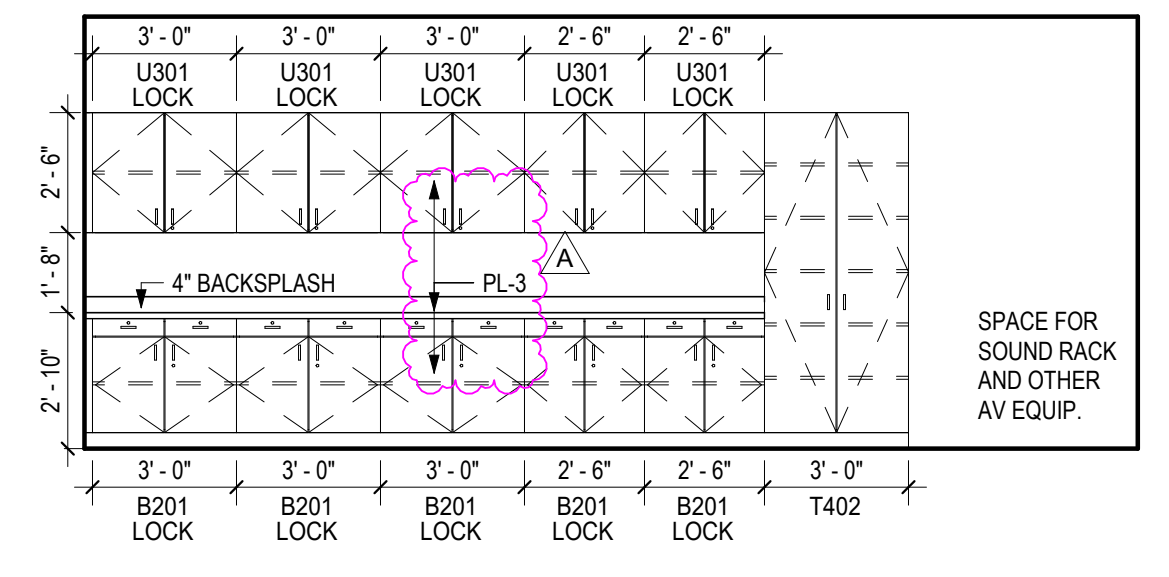
12 CSK - G121 OFFICE - E  
 1/4" = 1'-0"



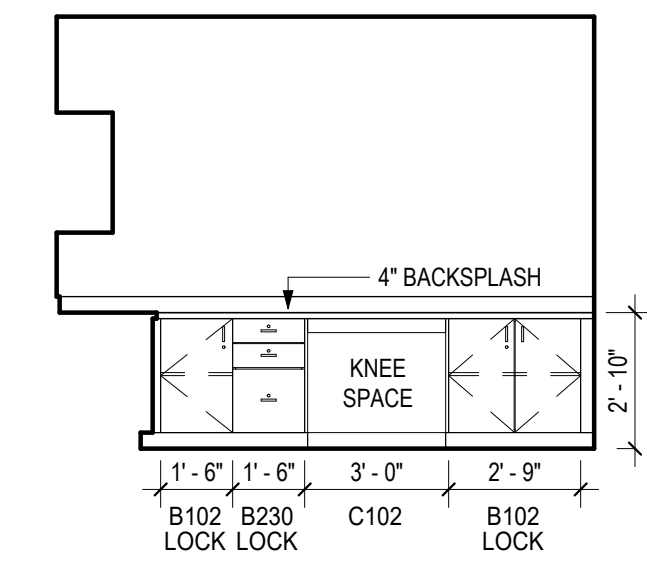
13 CSK - G121 OFFICE - S  
 1/4" = 1'-0"



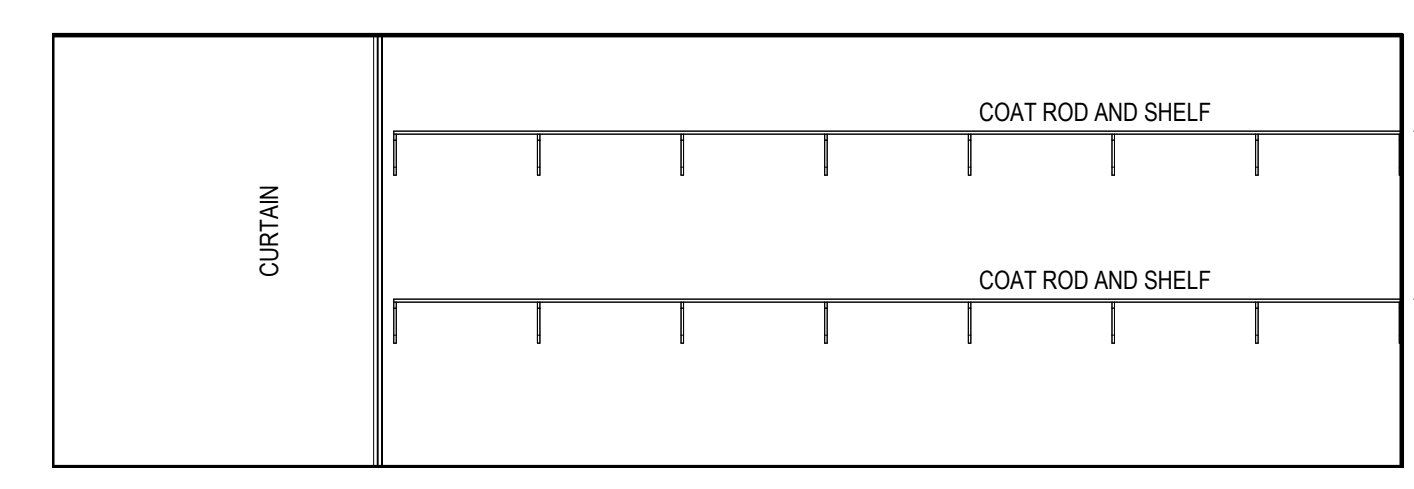
14 CSK - K111 CTRL RM - NE  
 1/4" = 1'-0"



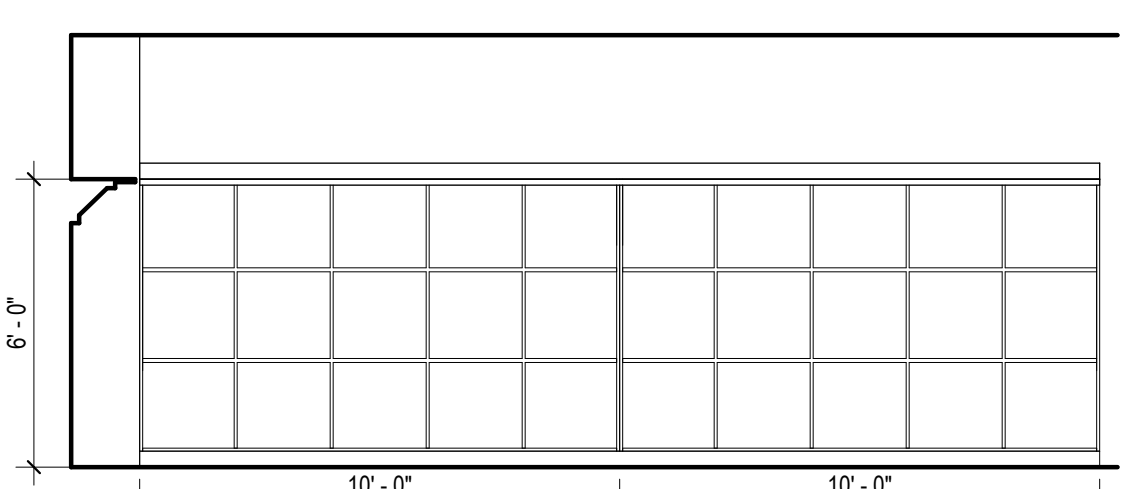
15 CSK - K111 CTRL RM - SW  
 1/4" = 1'-0"



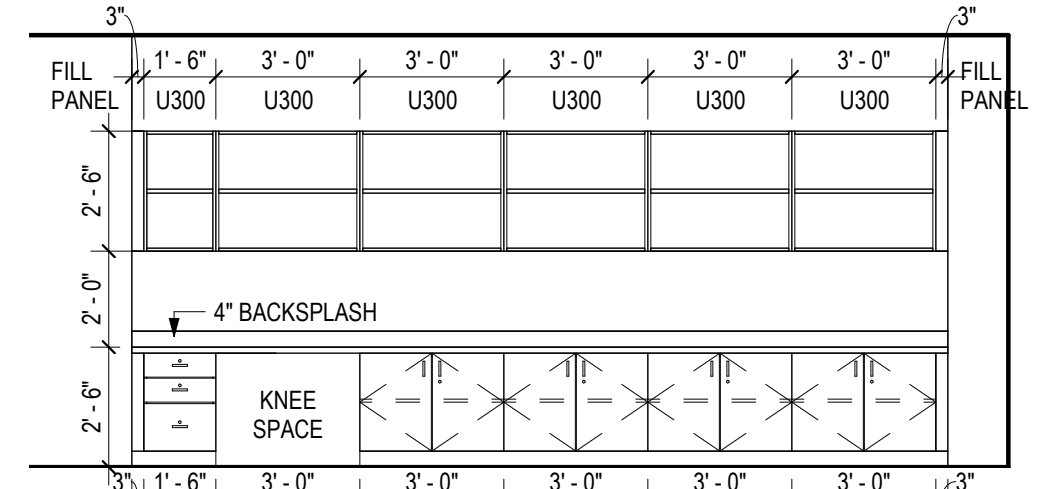
16 CSK - P107 OFFICE - E  
 1/4" = 1'-0"



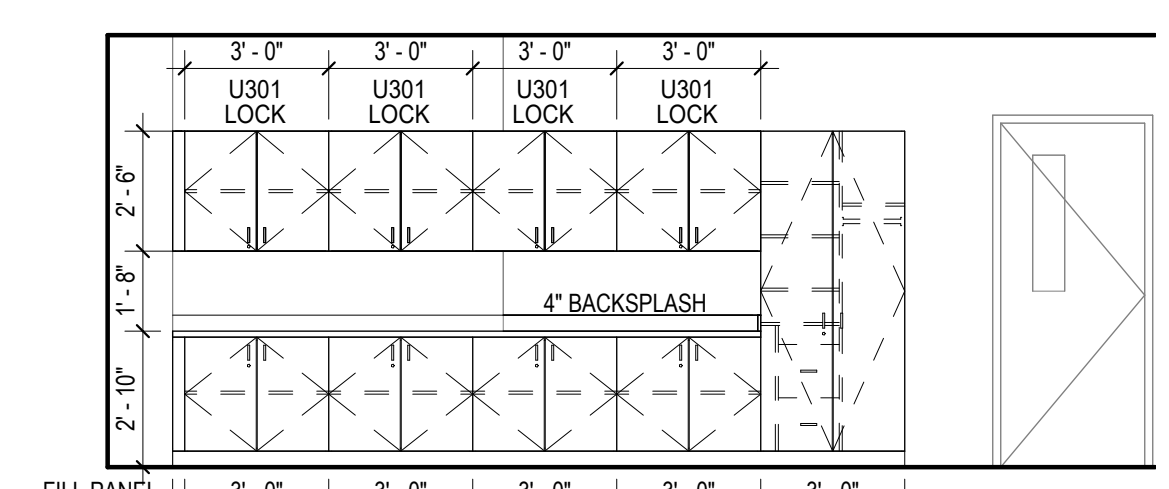
5 CSK - B129 ROTC STOR. - DOUBLE CLOTHING RODS  
 1/4" = 1'-0"



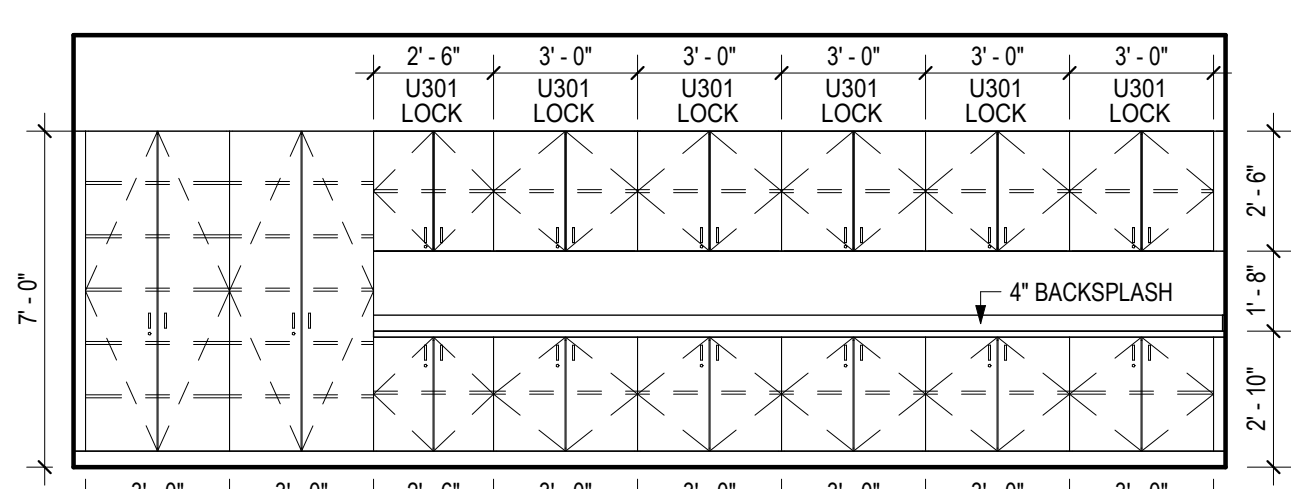
6 CSK - B129 ROTC STOR. - CUBBIES  
 1/4" = 1'-0"



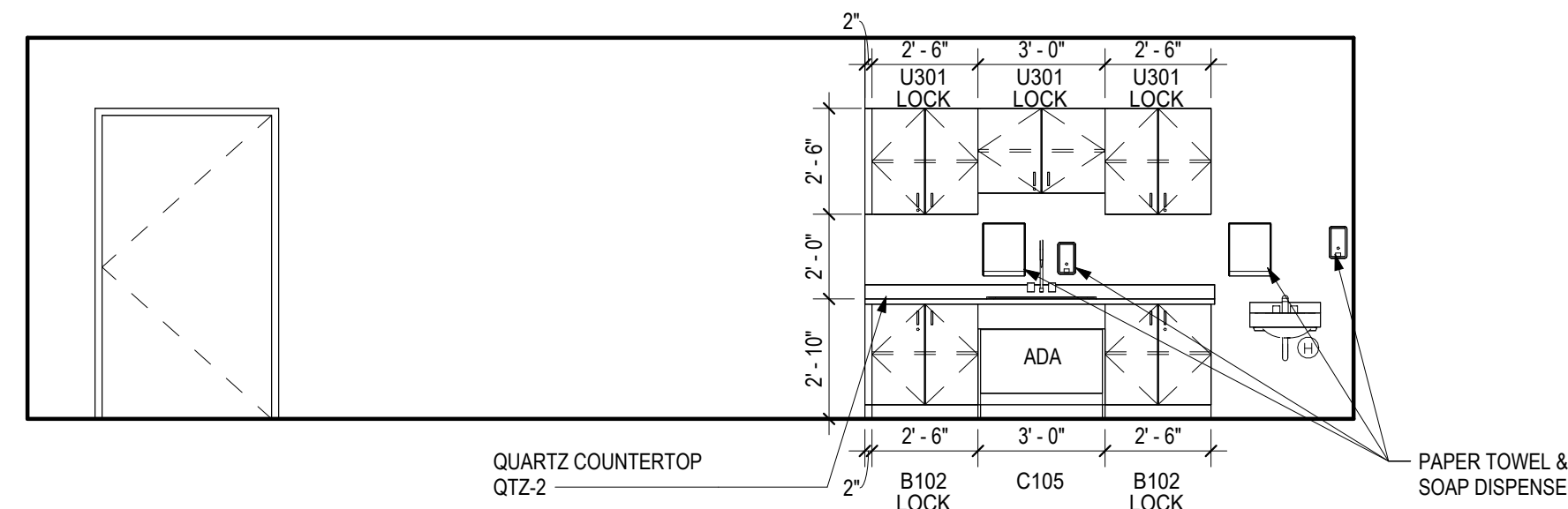
7 CSK - B129 ROTC STORAGE - S  
 1/4" = 1'-0"



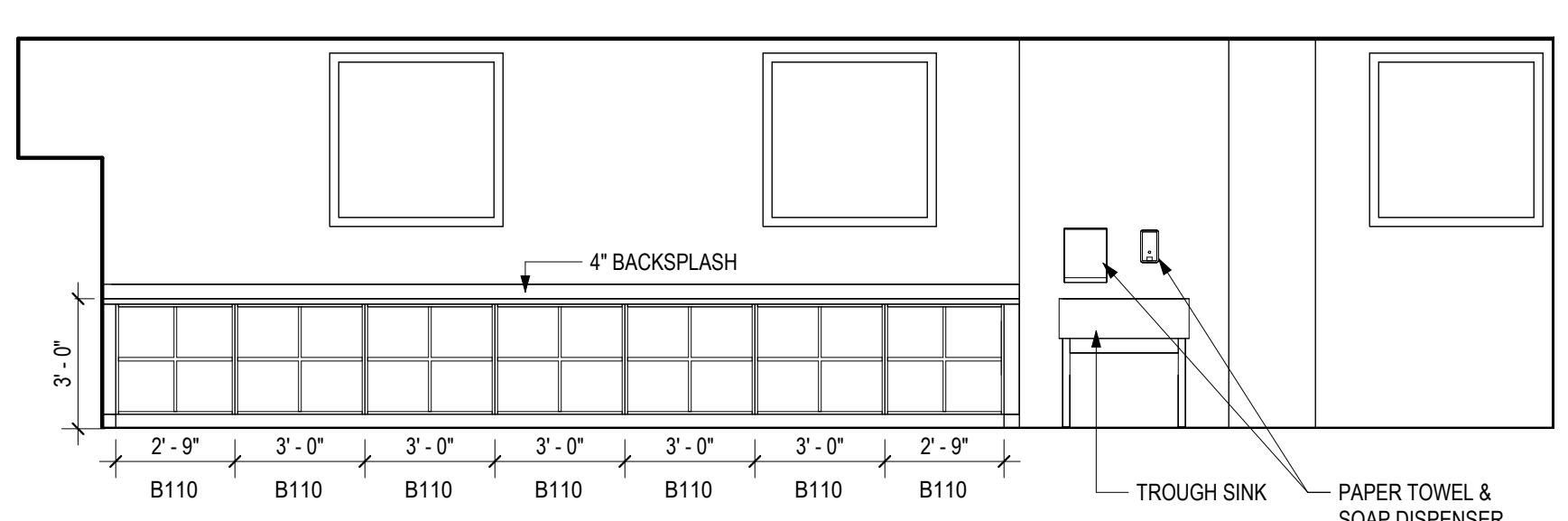
8 CSK - D121 TECH CR - E  
 1/4" = 1'-0"



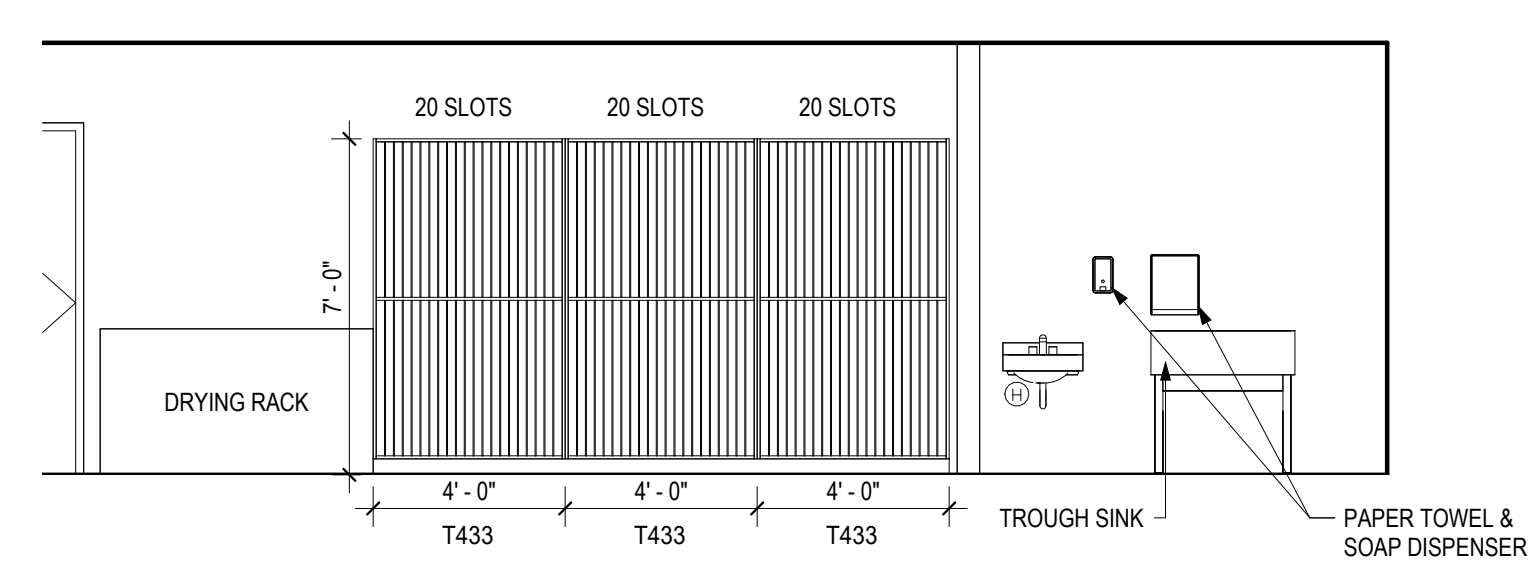
9 CSK - D125 CTE STORAGE - E  
 1/4" = 1'-0"



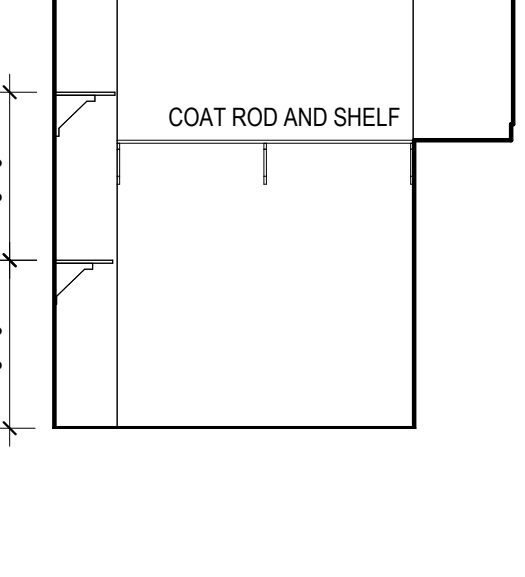
1 CSK - A130 ART - E  
 1/4" = 1'-0"



2 CSK - A132 ART - E  
 1/4" = 1'-0"



3 CSK - A132 ART - W  
 1/4" = 1'-0"



4 CSK - B129 ROTC STOR. - SINGLE RODS  
 1/4" = 1'-0"

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**MEP**  
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 Tel: 281.664.1900

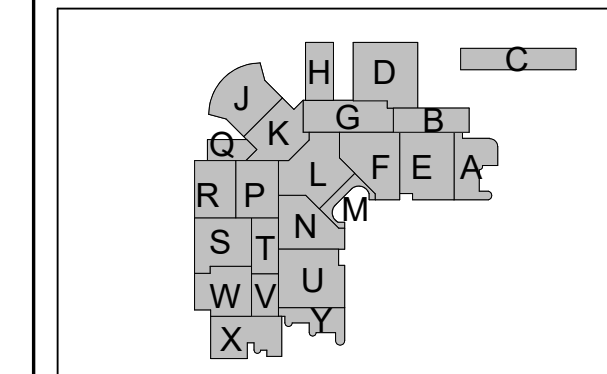
**CIVIL**  
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 Tel: 281.578.9595

**FOODSERVICE**  
 Surcana Foodservice Design  
 7430 Fairbanks N. Houston Rd.  
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 Tel: 281.224.1230

**ACOUSTICAL & A/V**  
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 4006 Speedway  
 Austin, TX 78751  
 Tel: 512.476.3464

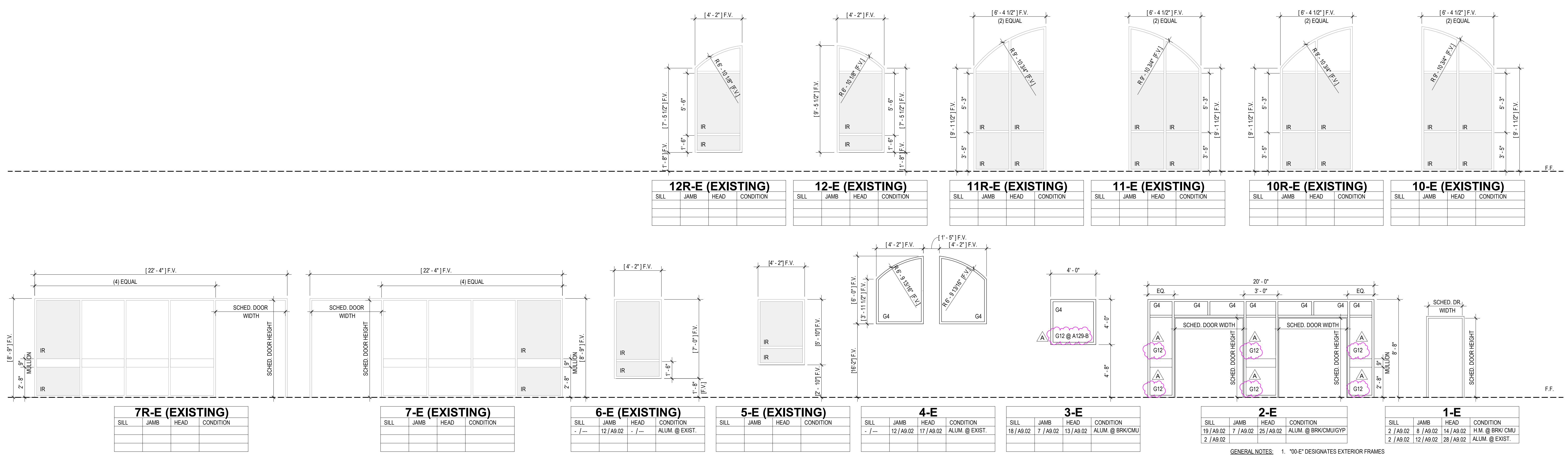
**THEATRE**  
 WJHW, INC.  
 2000 W. Loop South, Suite 1340  
 Houston, TX 77027  
 Tel: 210.561.9800

**LANDSCAPE & IRRIGATION**  
 LANDESIGN Group  
 1401 El Camino Real, Suite 204  
 Houston, TX 77058  
 Tel: 281.486.4040

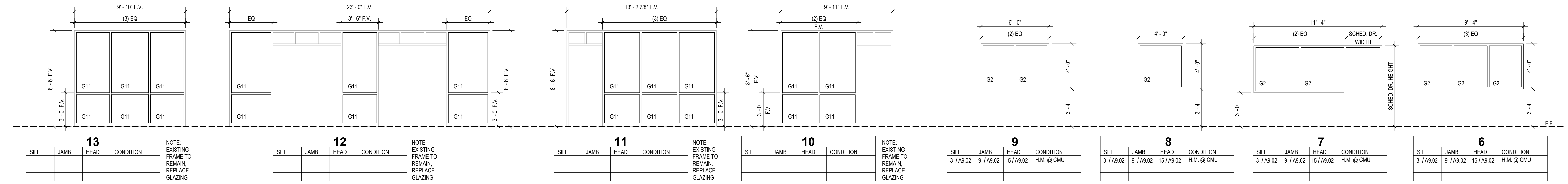


# 2024 CYPRESS FALLS HIGH SCHOOL RENOVATION

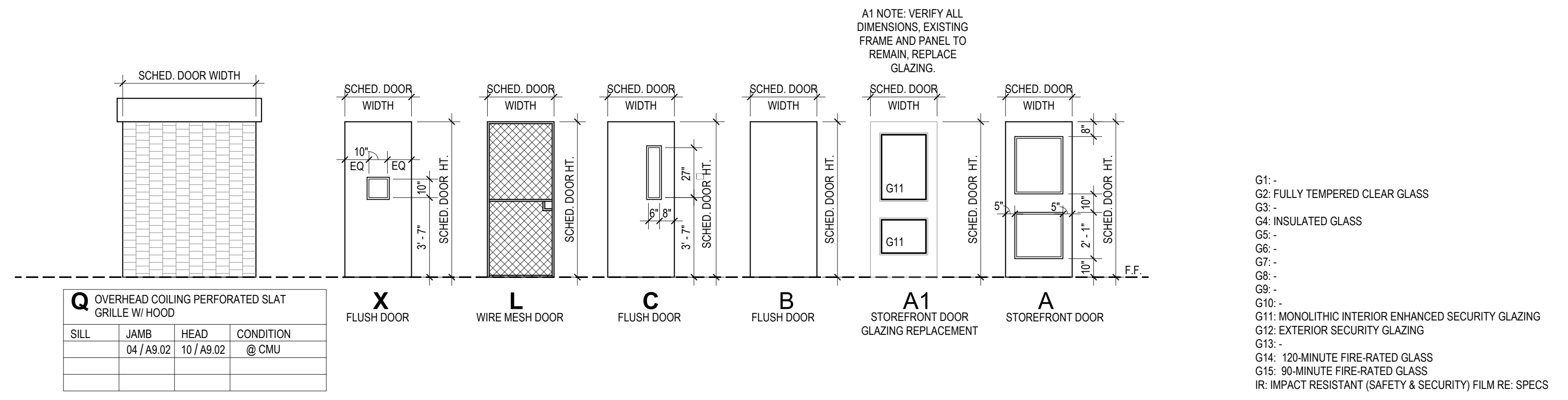
CYPRESS-FAIRBANKS ISD  
 9811 Huffmeister Rd, Houston, TX 77095



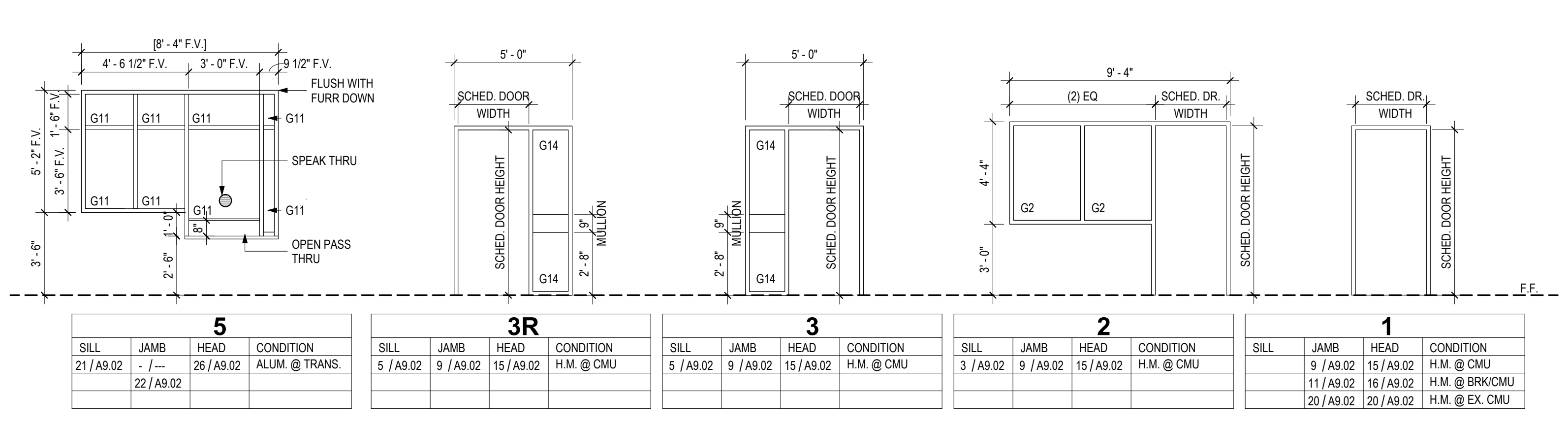
**ELEVATIONS - EXTERIOR FRAMES**  
 1/4" = 1'-0"



**ELEVATIONS - DOORS**  
 1/4" = 1'-0"

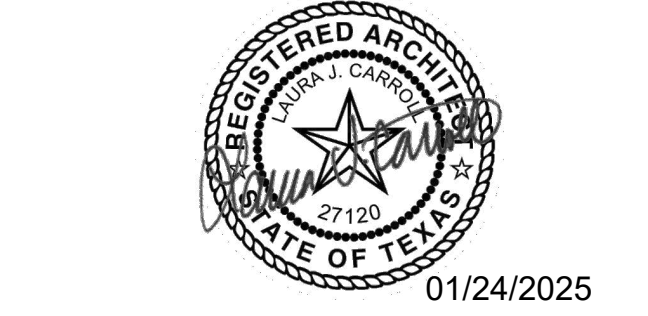


**LEGEND - GLAZING**  
 1/4" = 1'-0"



**ELEVATIONS - INTERIOR FRAMES**  
 1/4" = 1'-0"

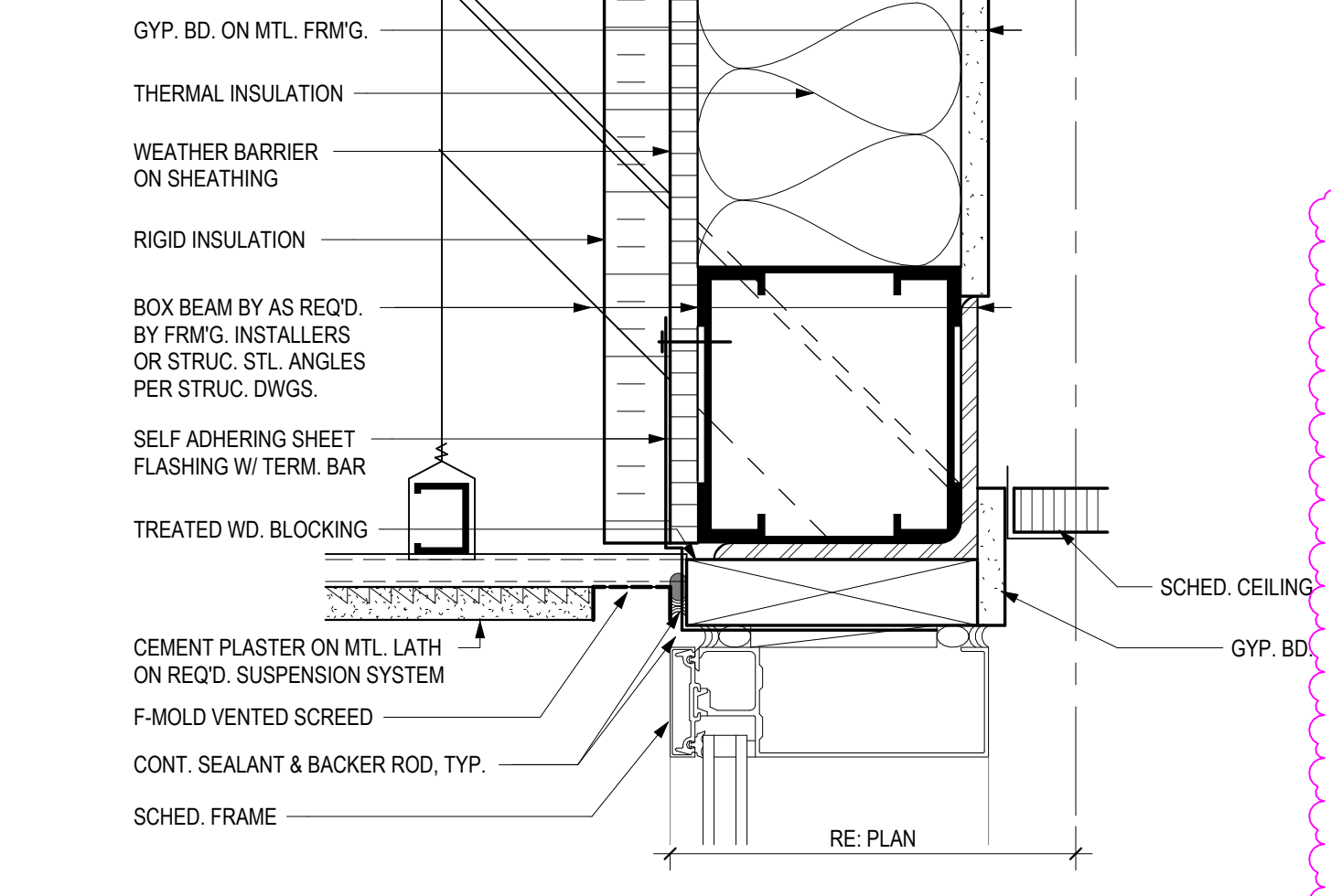
**ARCADIS**  
 TEXAS ARCADIS INC.  
 1330 POST OAK BOULEVARD, SUITE 2250  
 HOUSTON, TX 77056  
 tel 281.286.6605, fax 713.977.4620



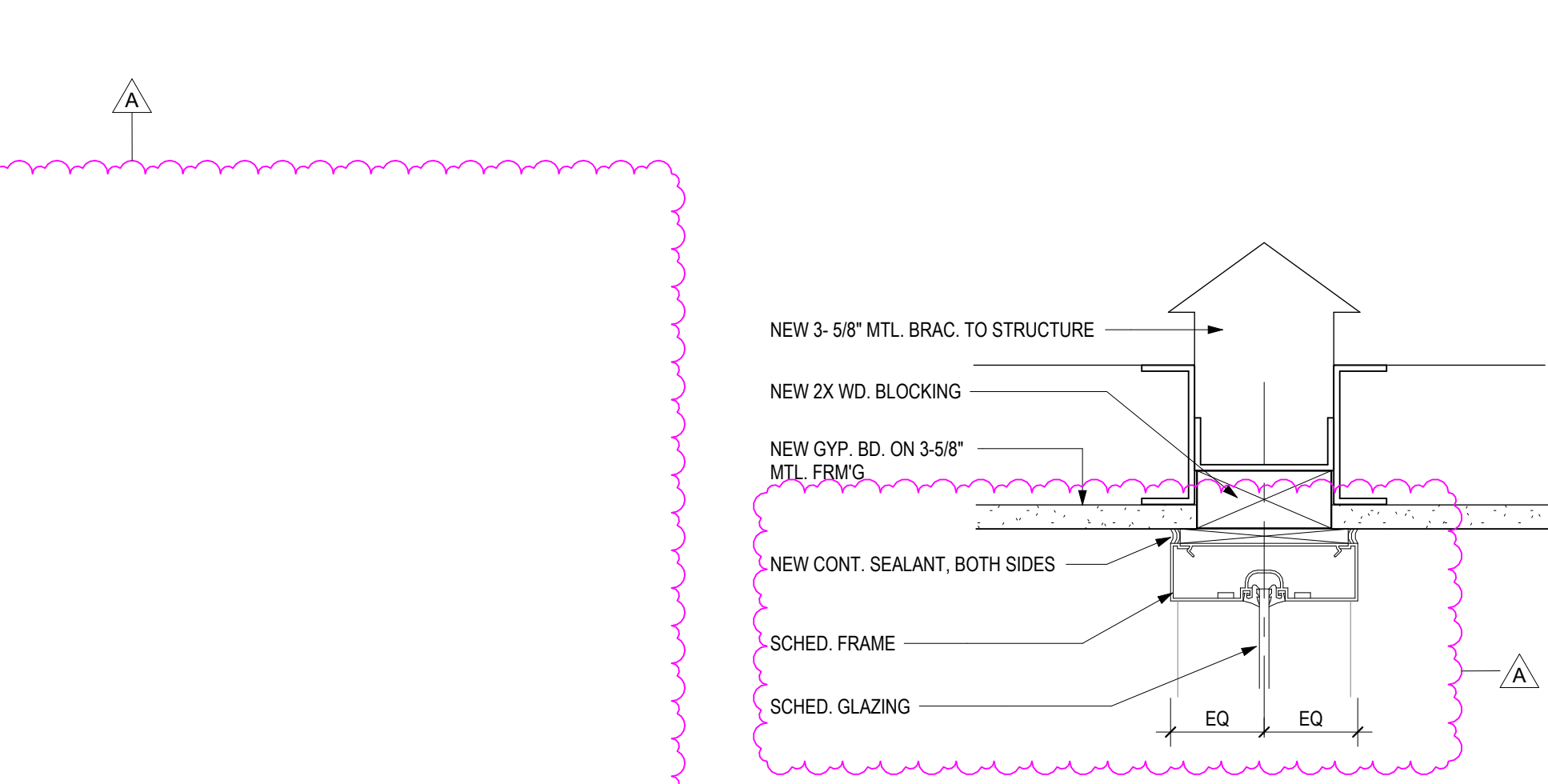
|            |                                     |
|------------|-------------------------------------|
| PROJECT #: | 202318                              |
| DATE:      | 2025-01-13                          |
| DRAWN:     | VP                                  |
| CHECKED:   | CA                                  |
| DATE:      | 2025-01-13                          |
| ISSUE:     | PERMIT AND PROPOSAL ADDENDUM No. 02 |
| DATE:      | 2025-01-24                          |
| ISSUE:     | A                                   |

# A9.01

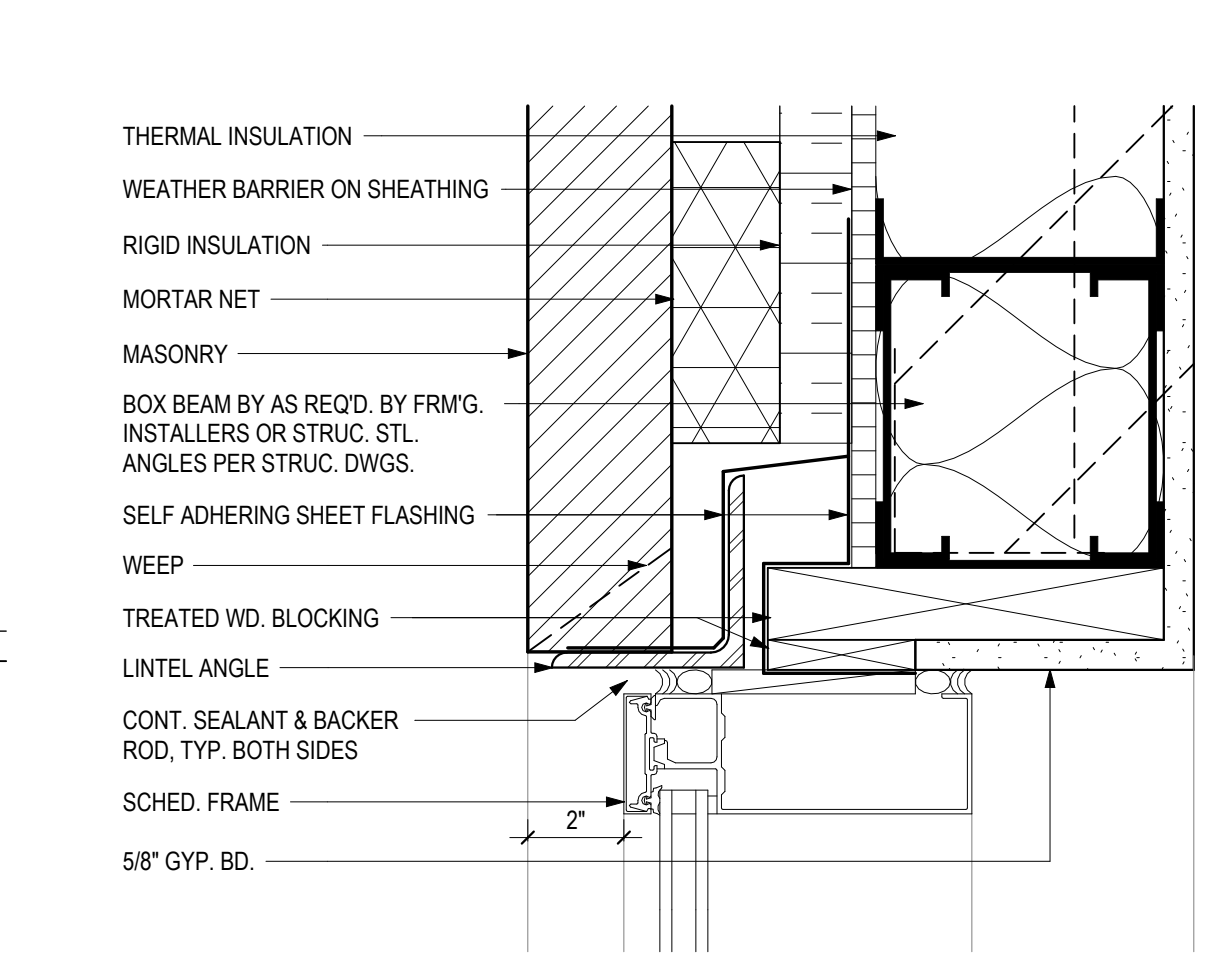
FRAME ELEVATIONS



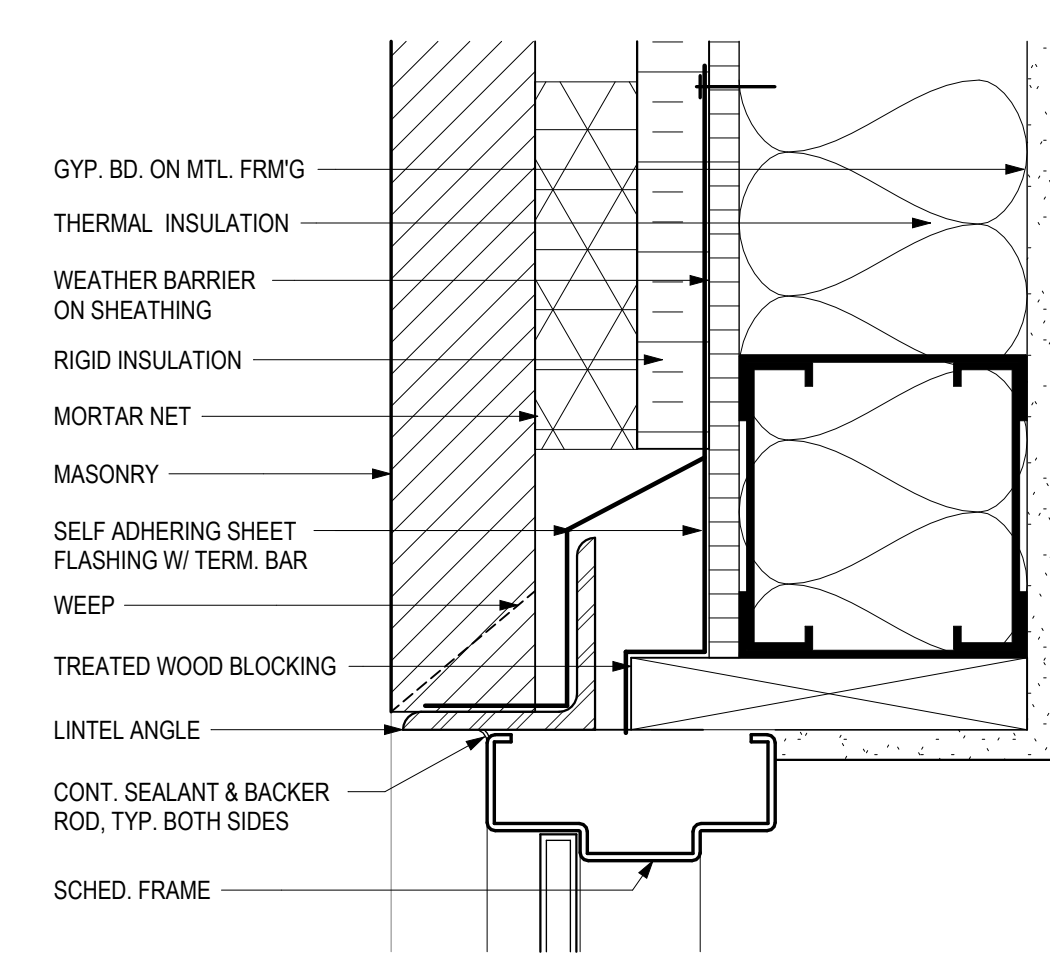
28 EXT ALUM WND HEAD @ PLASTER  
3" = 1'-0"



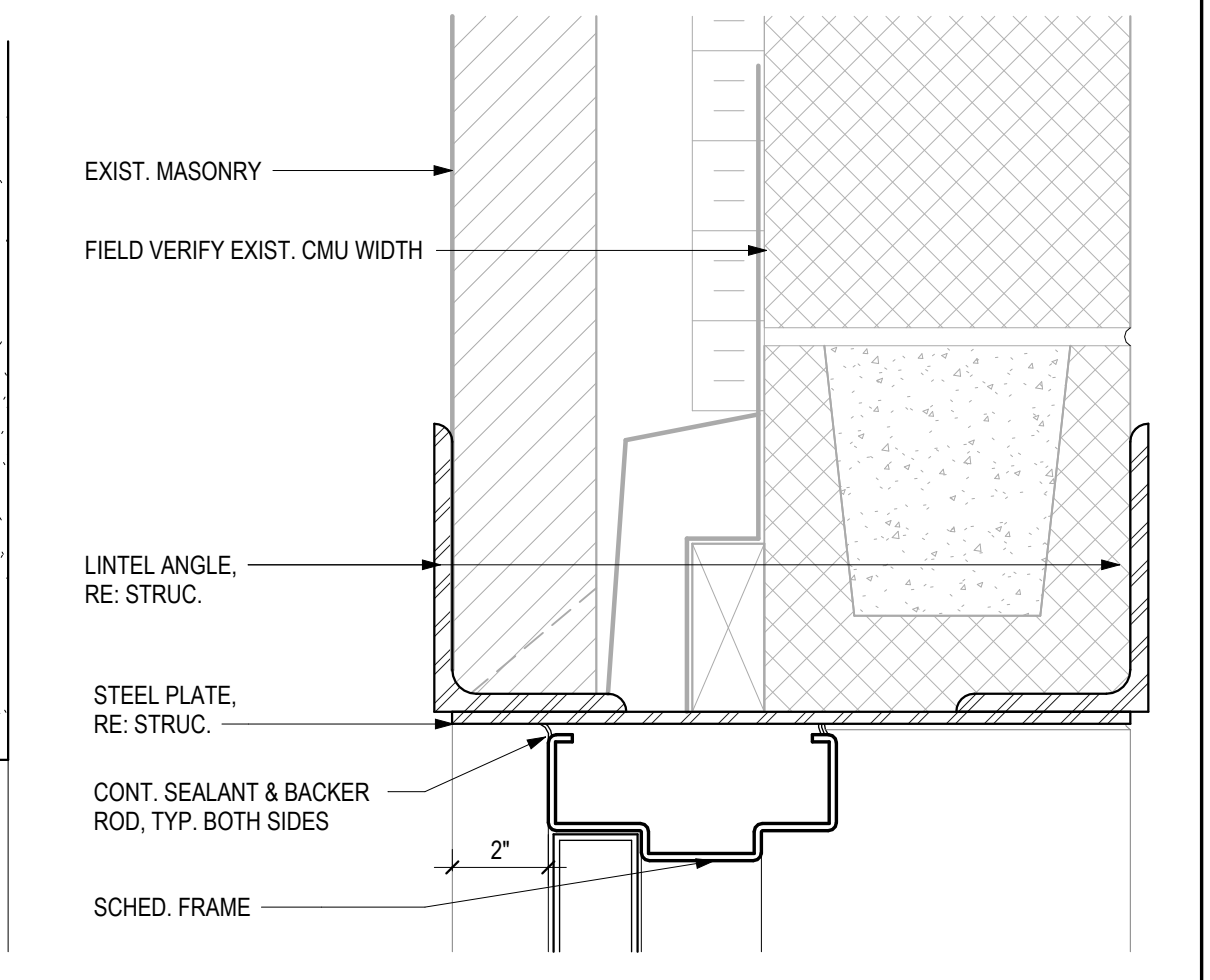
26 INT ALUM HEAD @ FURRING  
3" = 1'-0"



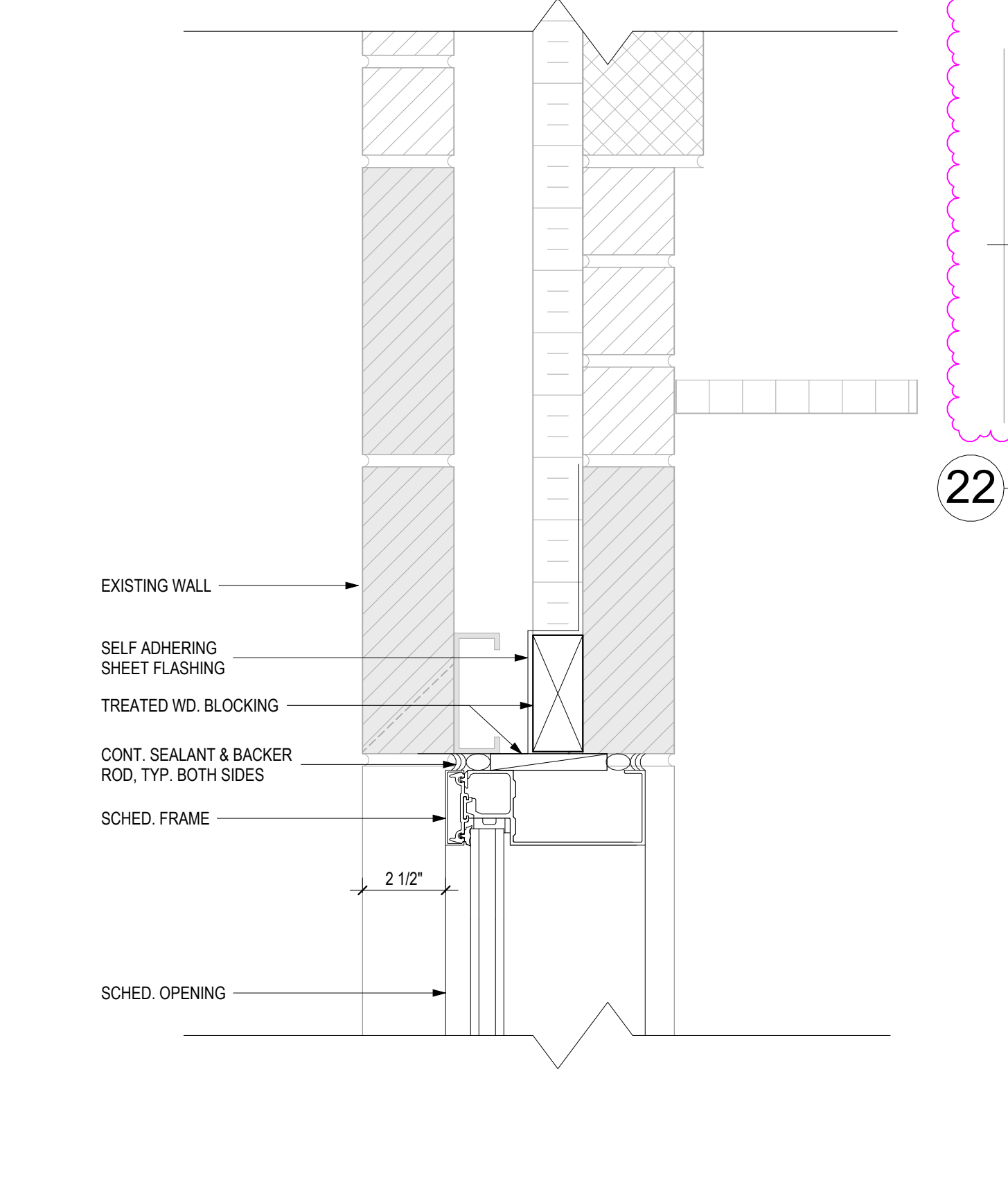
25 EXT. ALUM WINDOW HEAD @ MAS-GYP  
3" = 1'-0"



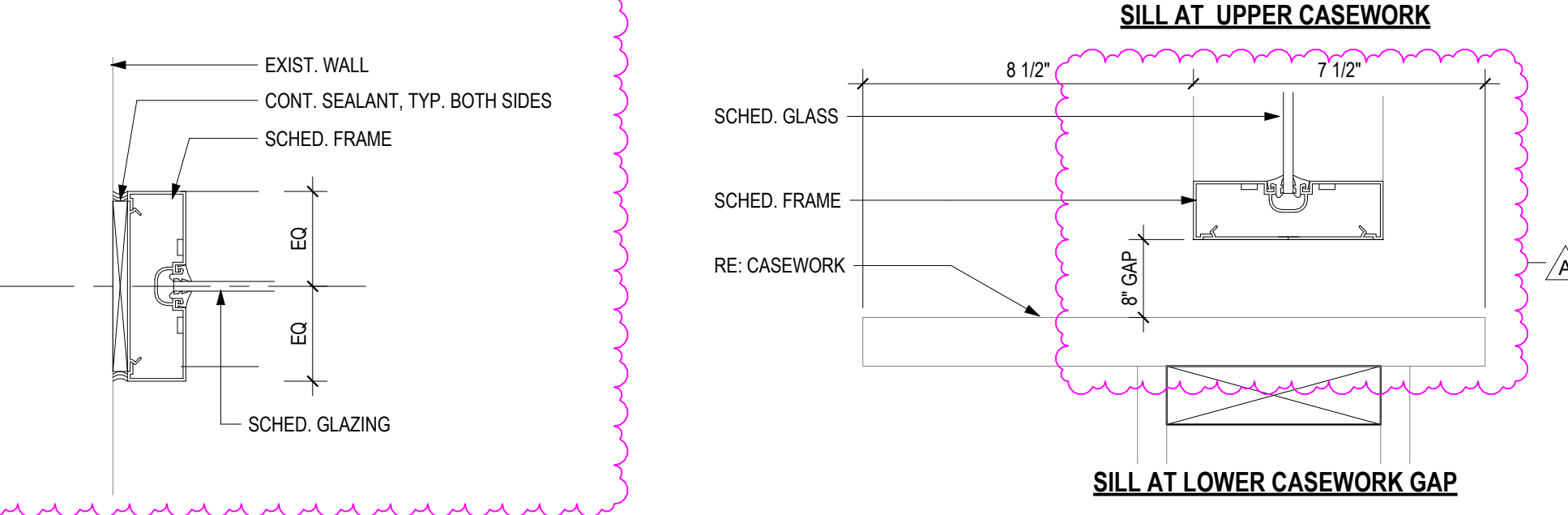
24 EXT HM DOOR HEAD @ MAS-GYP  
3" = 1'-0"



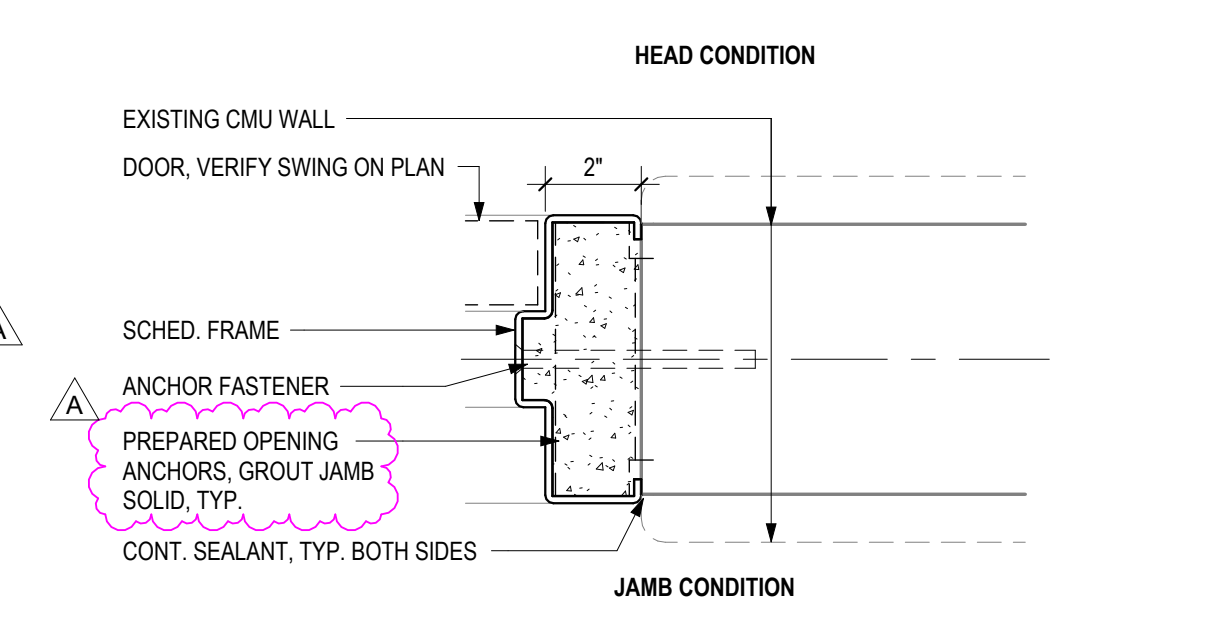
23 EXT HM DOOR HEAD @ EX MAS-CMU  
3" = 1'-0"



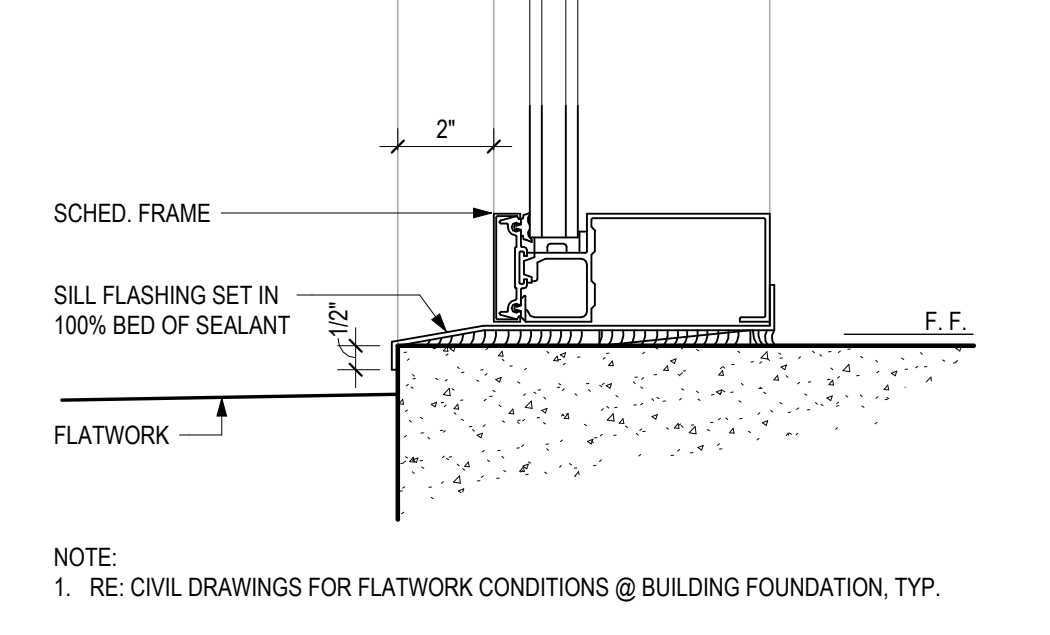
17 EXT ALUM WIND HEAD @ NEW TO EXIST.  
3" = 1'-0"



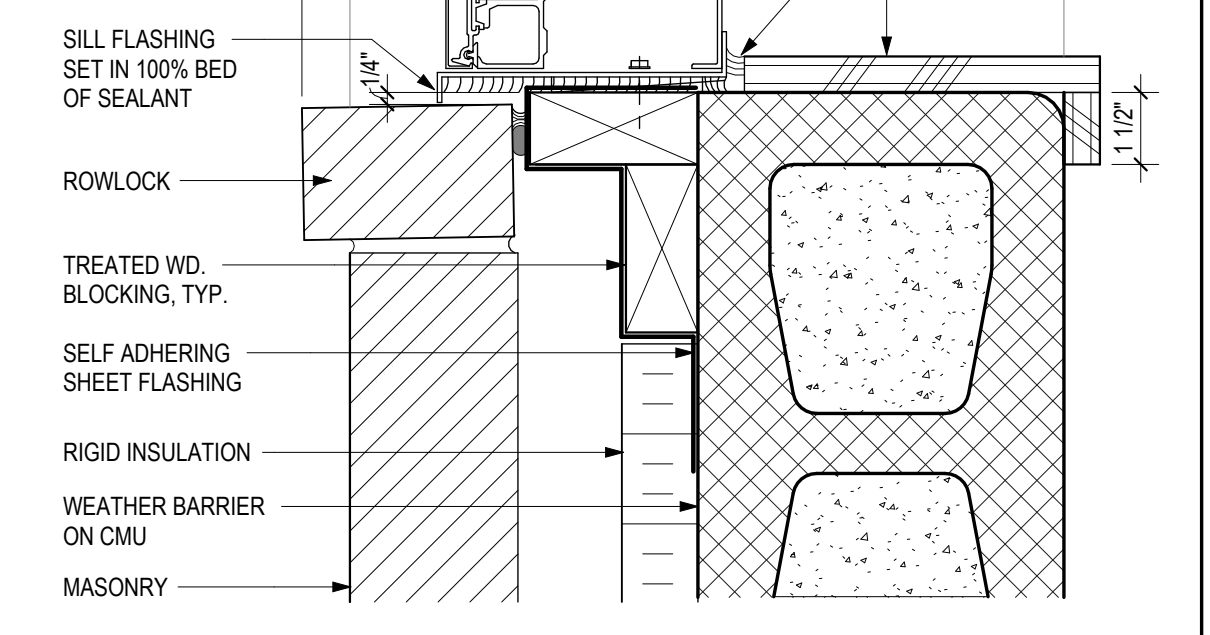
22 INT ALUM. JAMB @ EXIST. WALL  
3" = 1'-0"



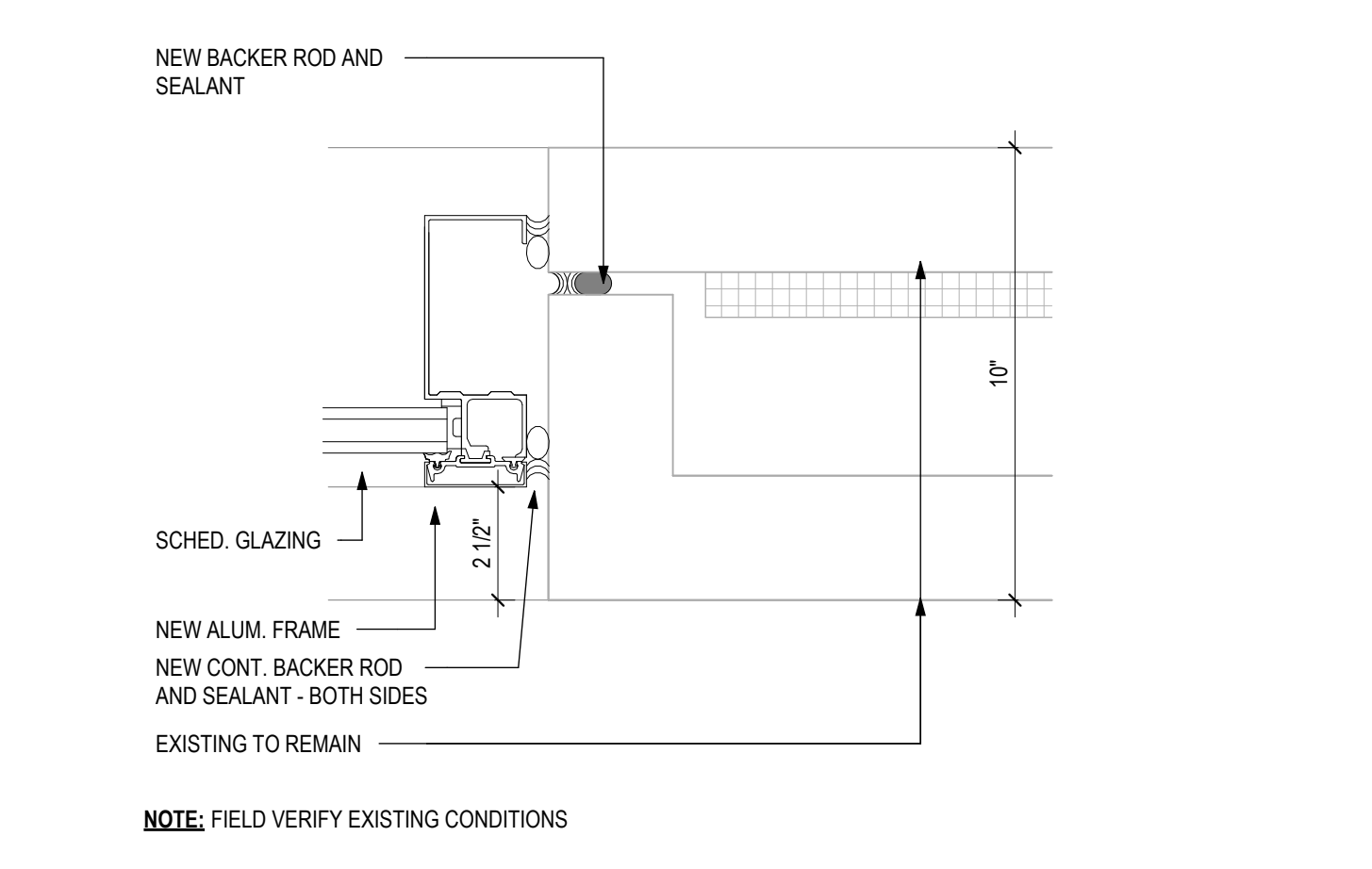
20 INT HM HEAD/JAMB @ EX CMU  
3" = 1'-0"



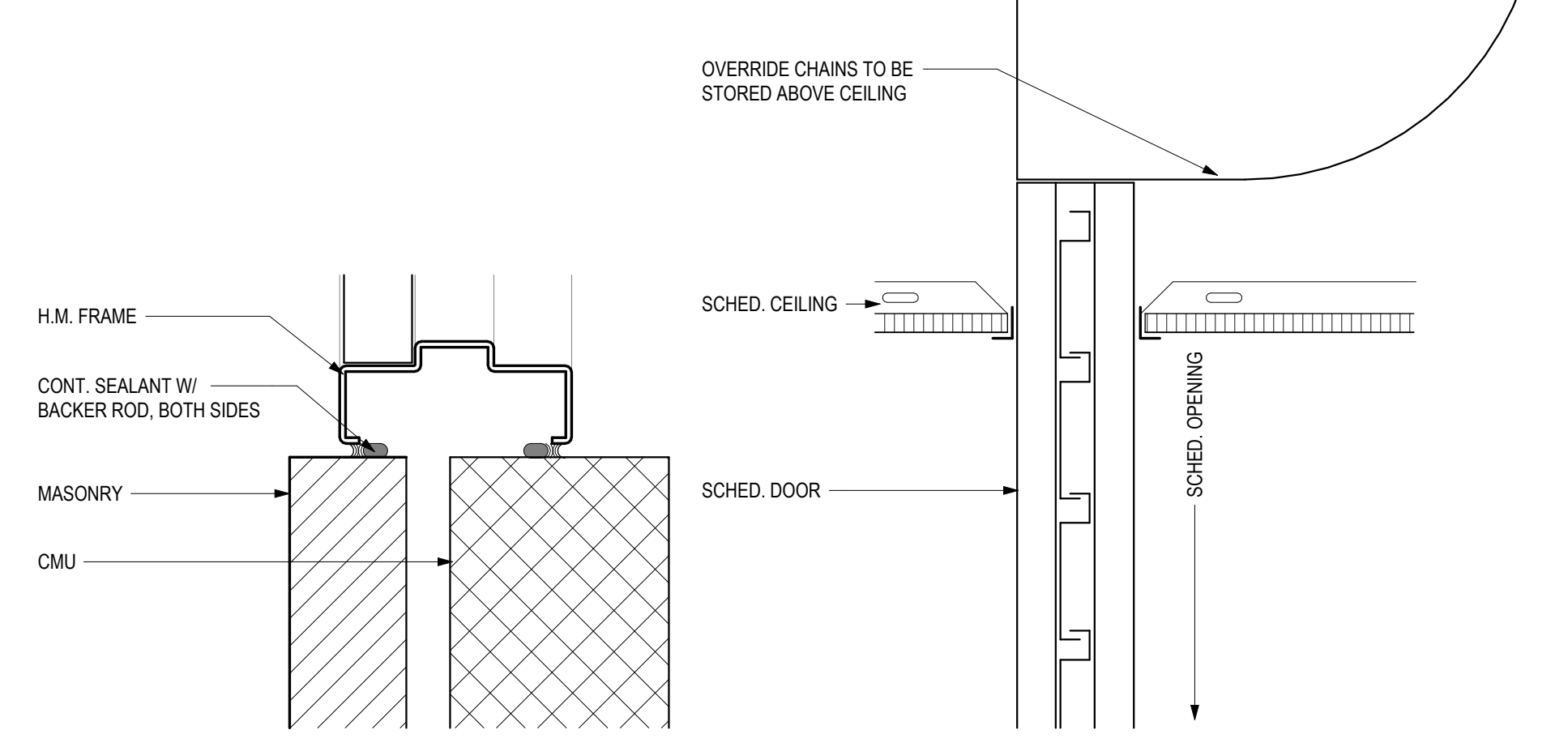
19 EXT ALUM WND SILL @ FOUND  
3" = 1'-0"



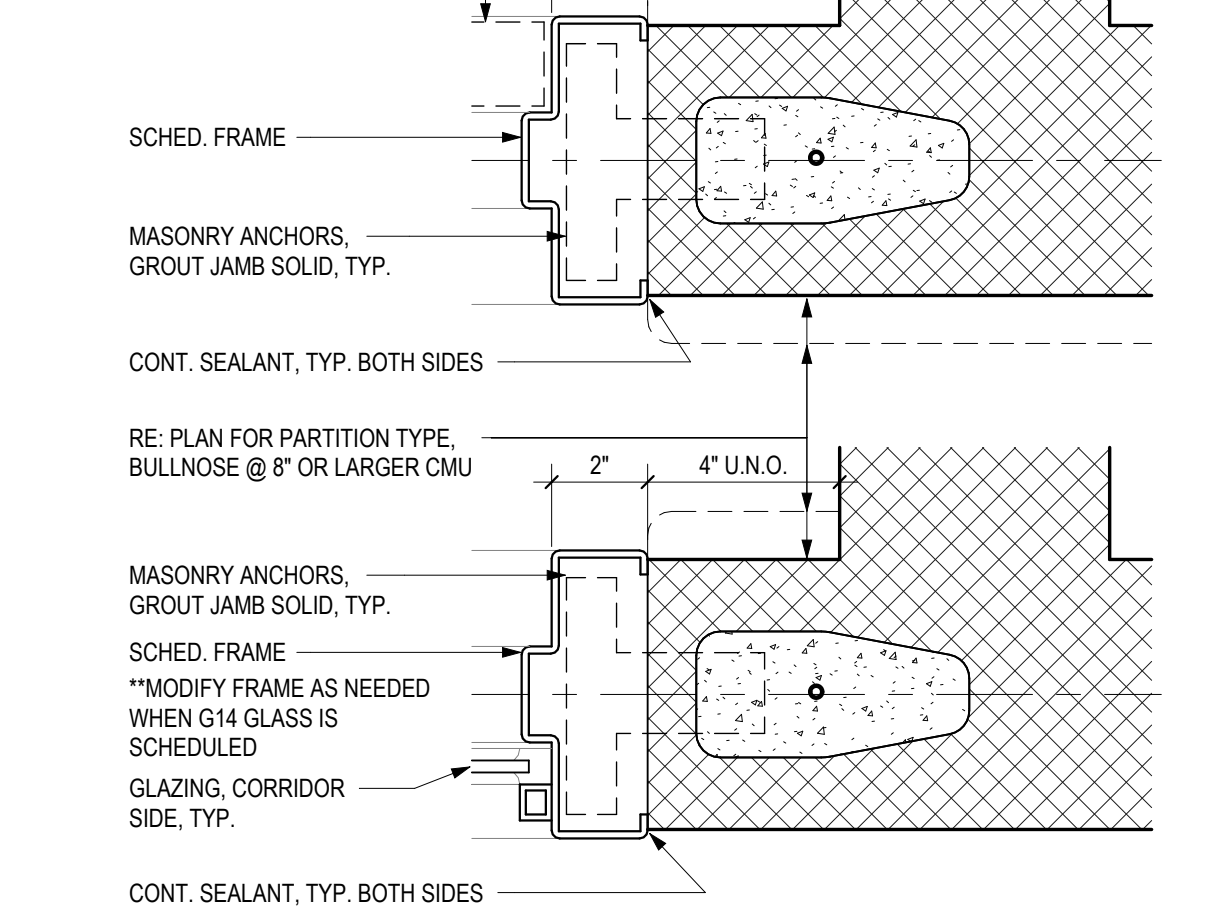
18 EXT ALUM WND SILL @ CMU-PLAM  
3" = 1'-0"



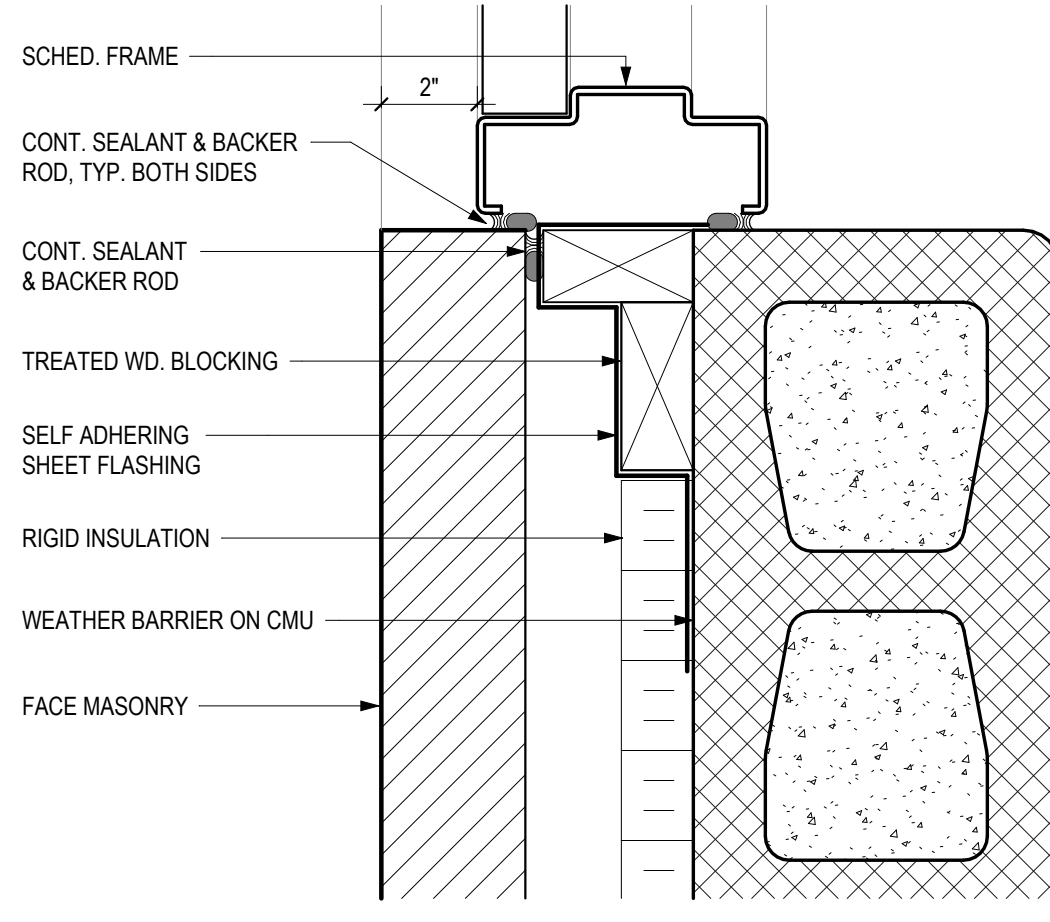
12 EXT ALUM. WND JAMB @ EX MAS-CMU  
3" = 1'-0"



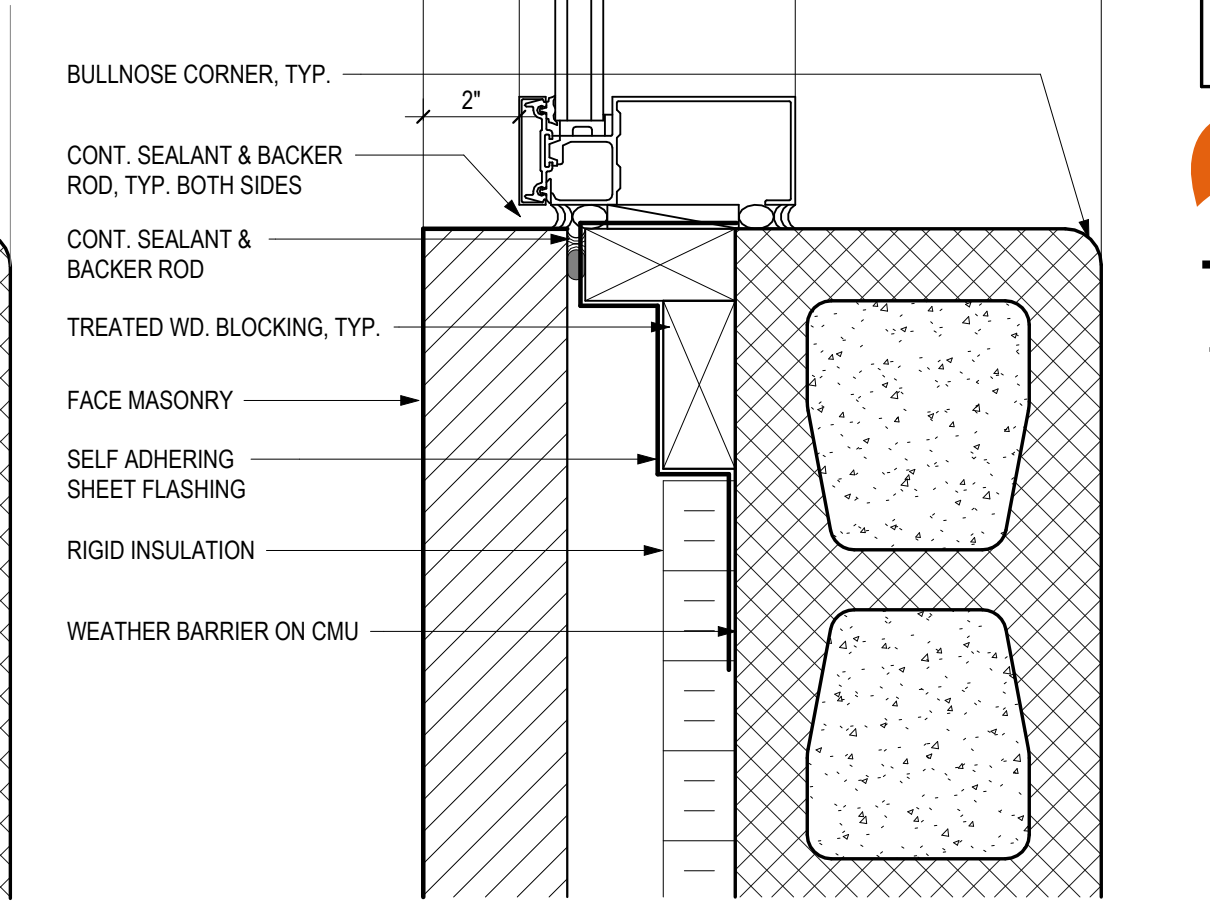
16 INT HM HEAD @ BRK/CMU  
3" = 1'-0"



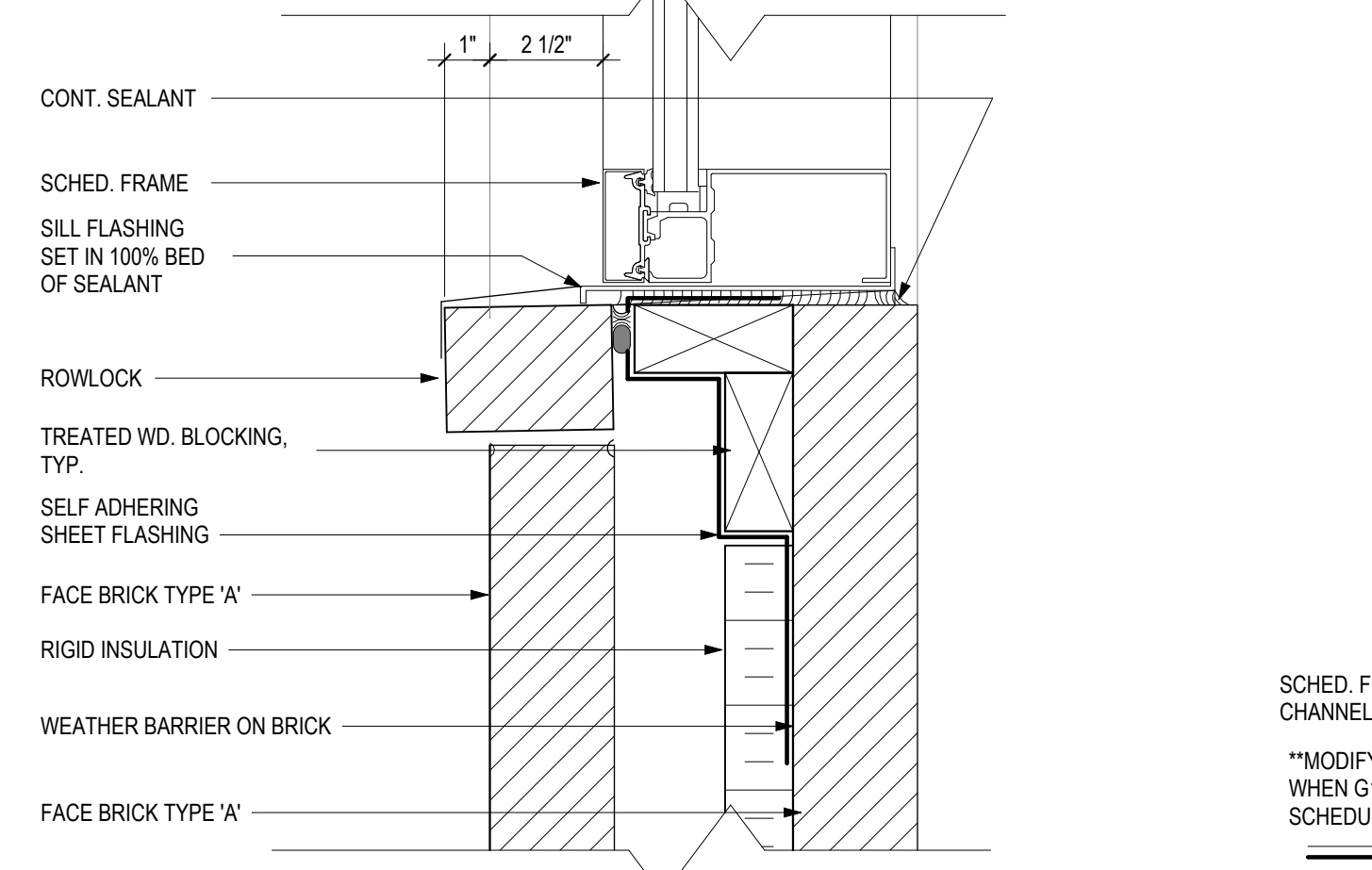
15 INT HM HEAD @ CMU  
3" = 1'-0"



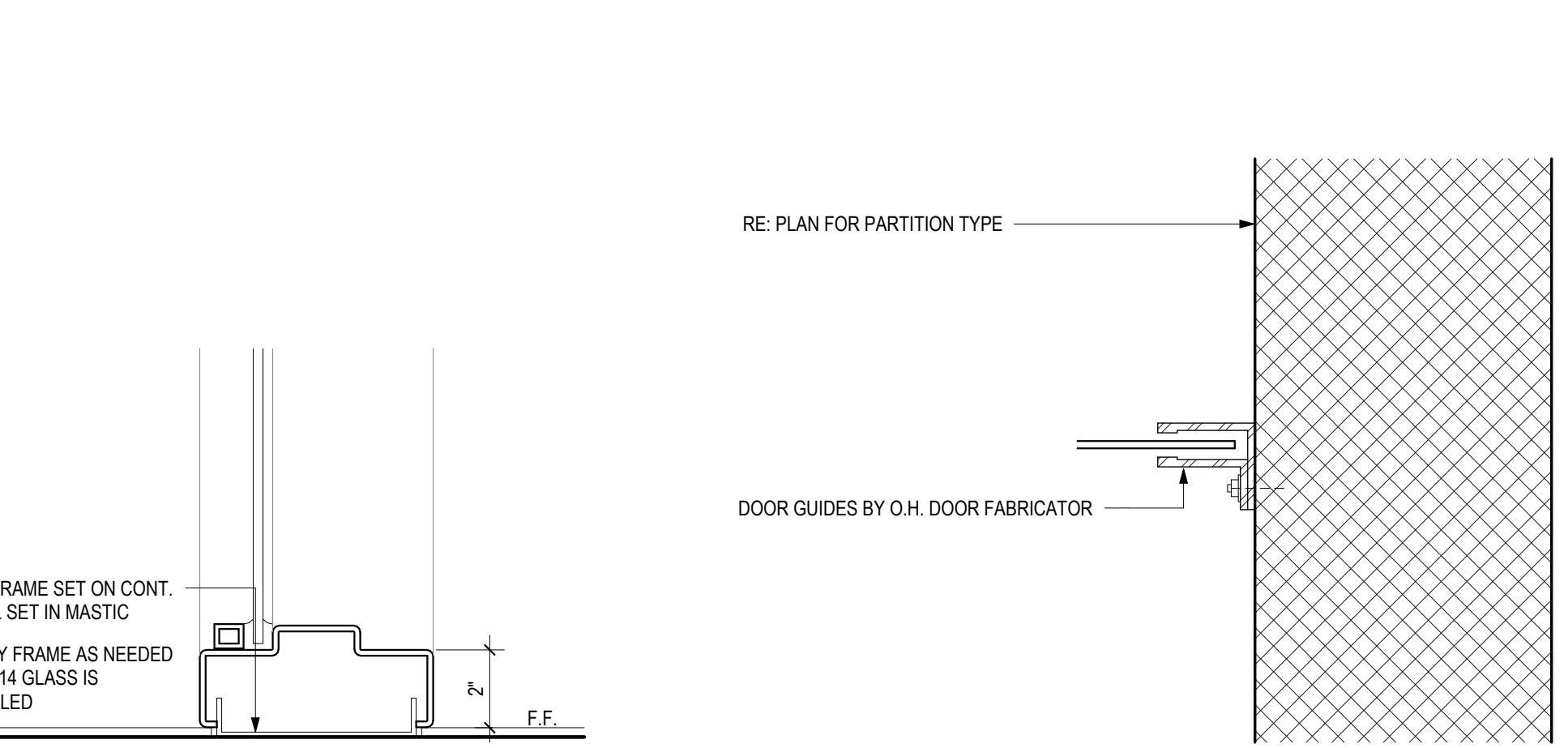
14 EXT HM DOOR HEAD @ MAS-CMU  
3" = 1'-0"



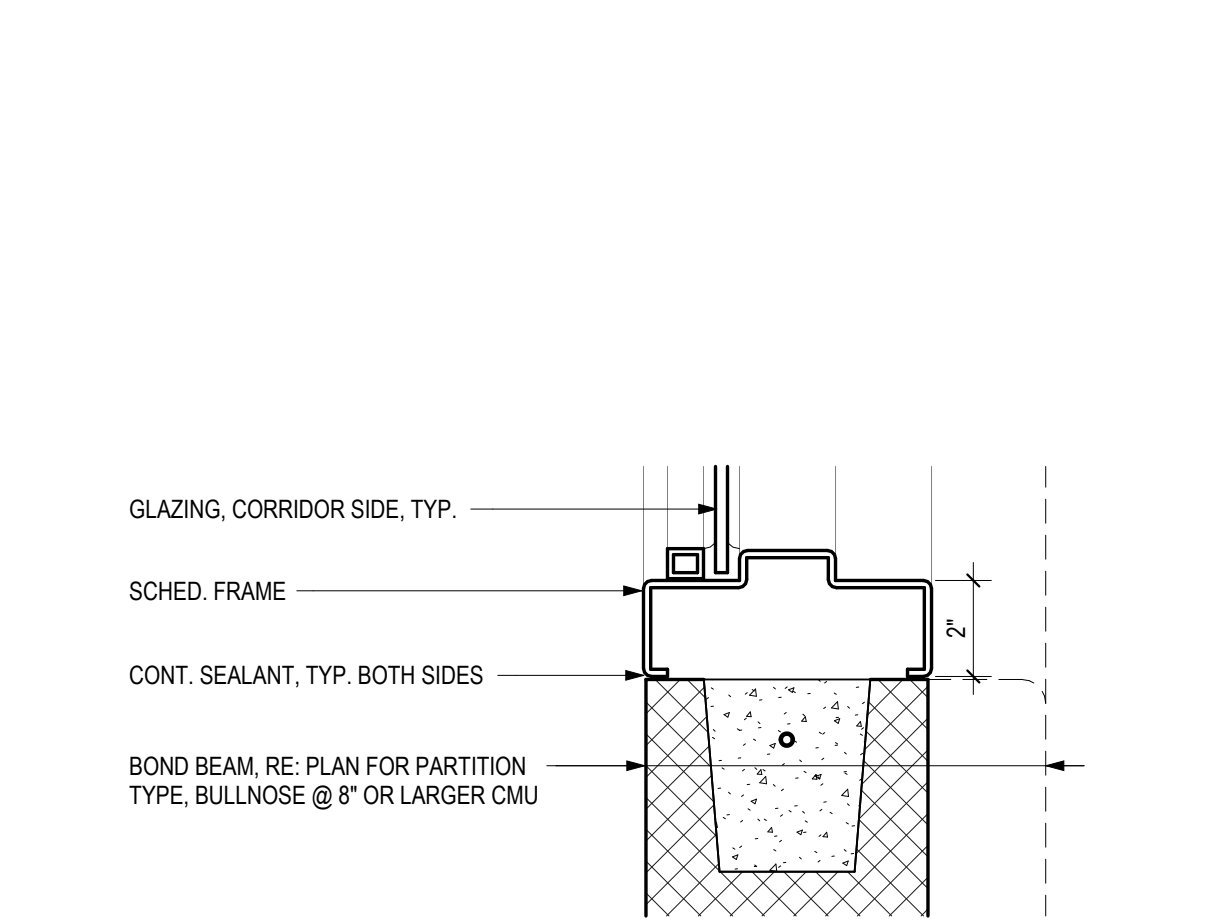
13 EXT ALUM WND HEAD @ MAS-CMU  
3" = 1'-0"



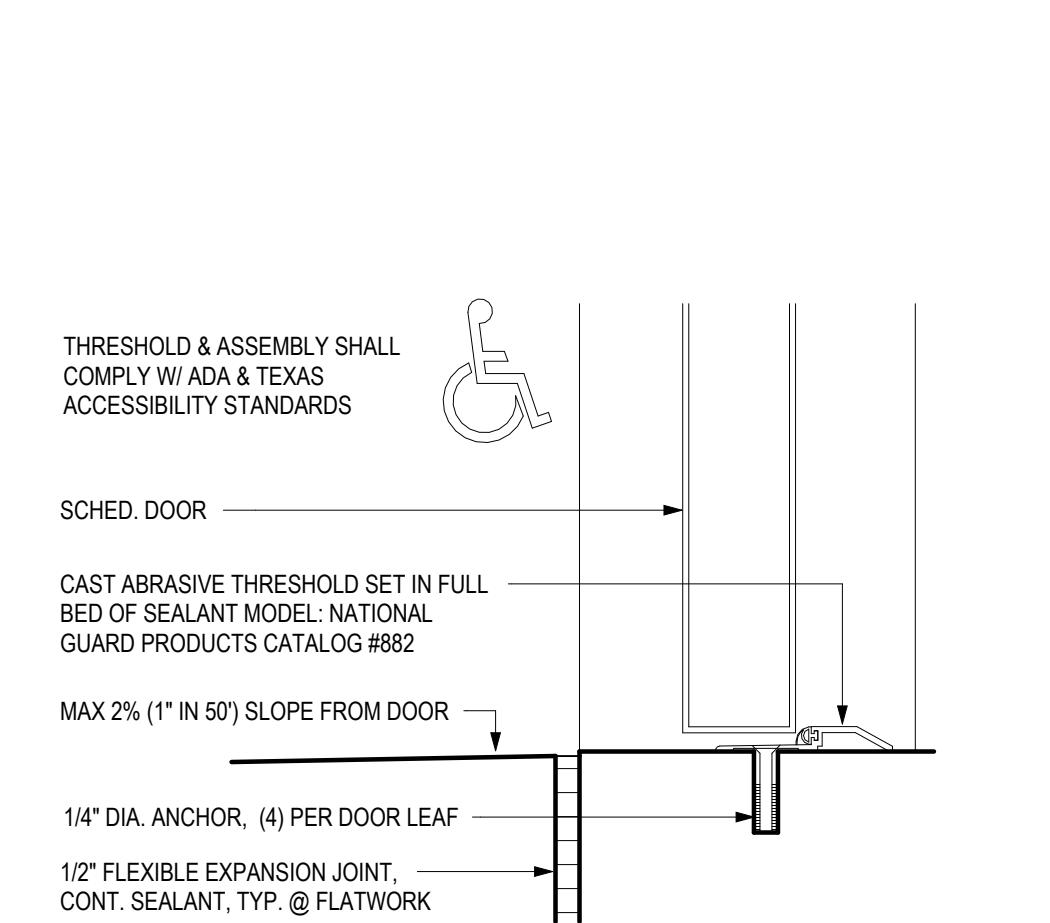
6 EXT ALUM WIND SILL @ NEW TO EXIST.  
3" = 1'-0"



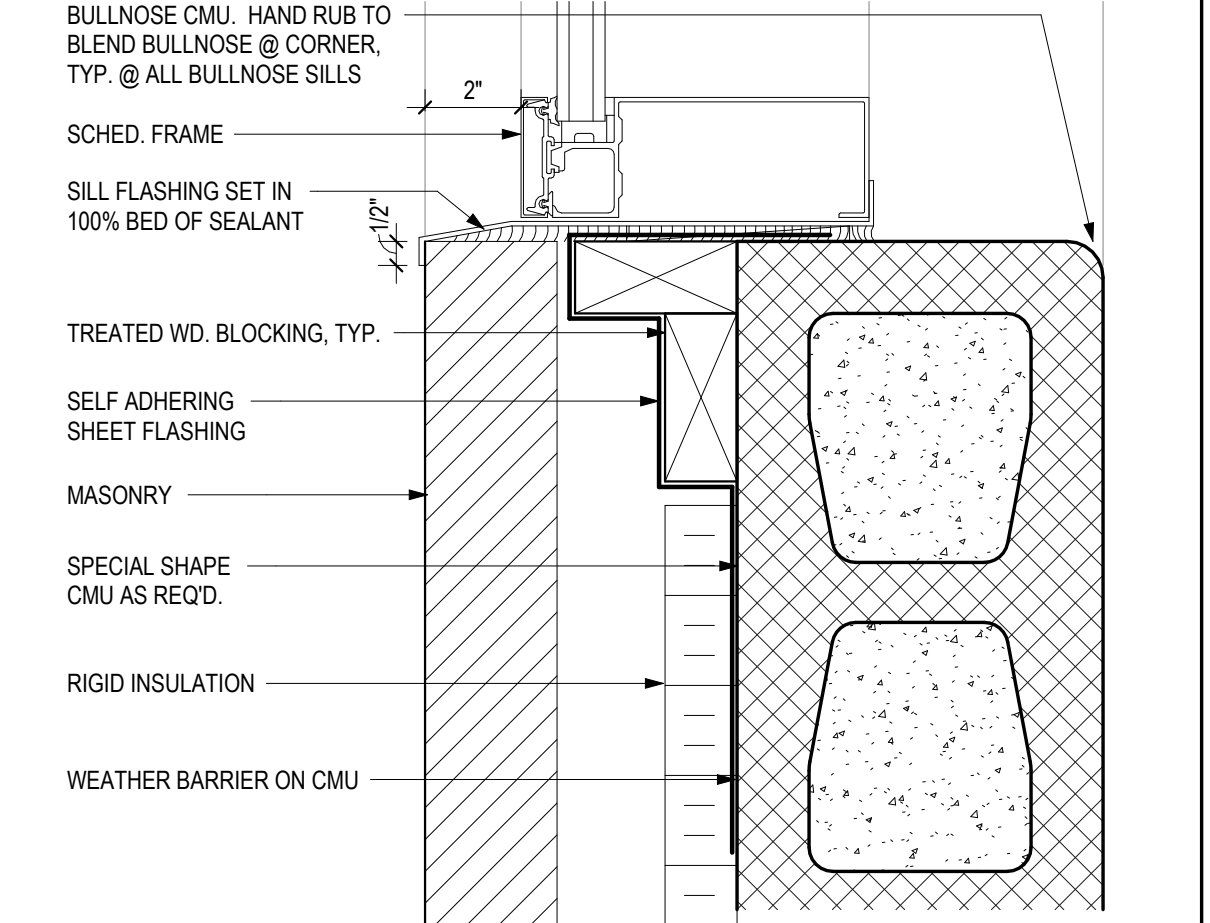
11 INT HM JAMB @ BRK/CMU  
3" = 1'-0"



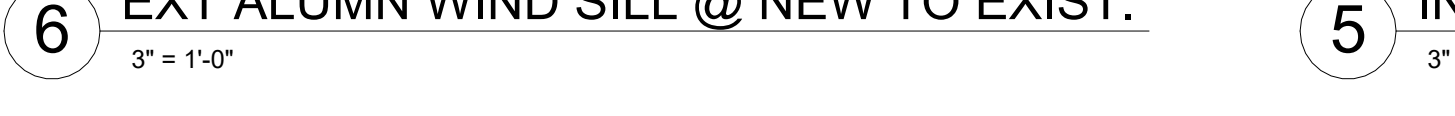
9 INT HM JAMB @ CMU  
3" = 1'-0"



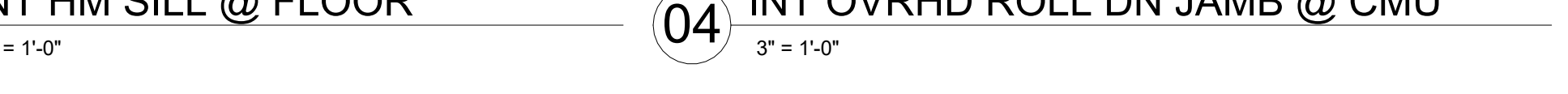
8 EXT HM DOOR JAMB @ MAS-CMU  
3" = 1'-0"



7 EXT ALUM WND JAMB @ MAS-CMU  
3" = 1'-0"



5 INT HM SILL @ FLOOR  
3" = 1'-0"



04 INT OVRHD ROLL DN JAMB @ CMU  
3" = 1'-0"



3 INT HM SILL @ CMU  
3" = 1'-0"



2 EXT DOOR THRSHLD @ FOUND  
3" = 1'-0"



1 EXT ALUM WND SILL @ MAS-CMU  
3" = 1'-0"

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MEP  
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Houston, TX 77064  
Tel: 281.664.1900

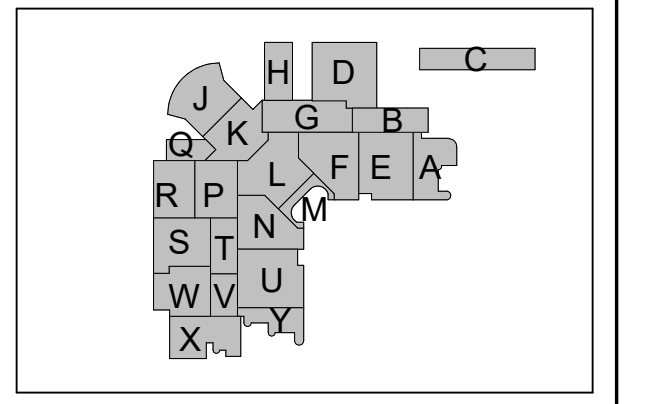
CIVIL  
Brooks and Sparks, Inc.  
21020 Park Row Dr.  
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Tel: 281.578.9595

FOODSERVICE  
Surcana Foodservice Design  
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**2024 CYPRESS FALLS HIGH SCHOOL RENOVATION**

CYPRESS-FAIRBANKS ISD  
9811 Huffmeister Rd, Houston, TX 77095

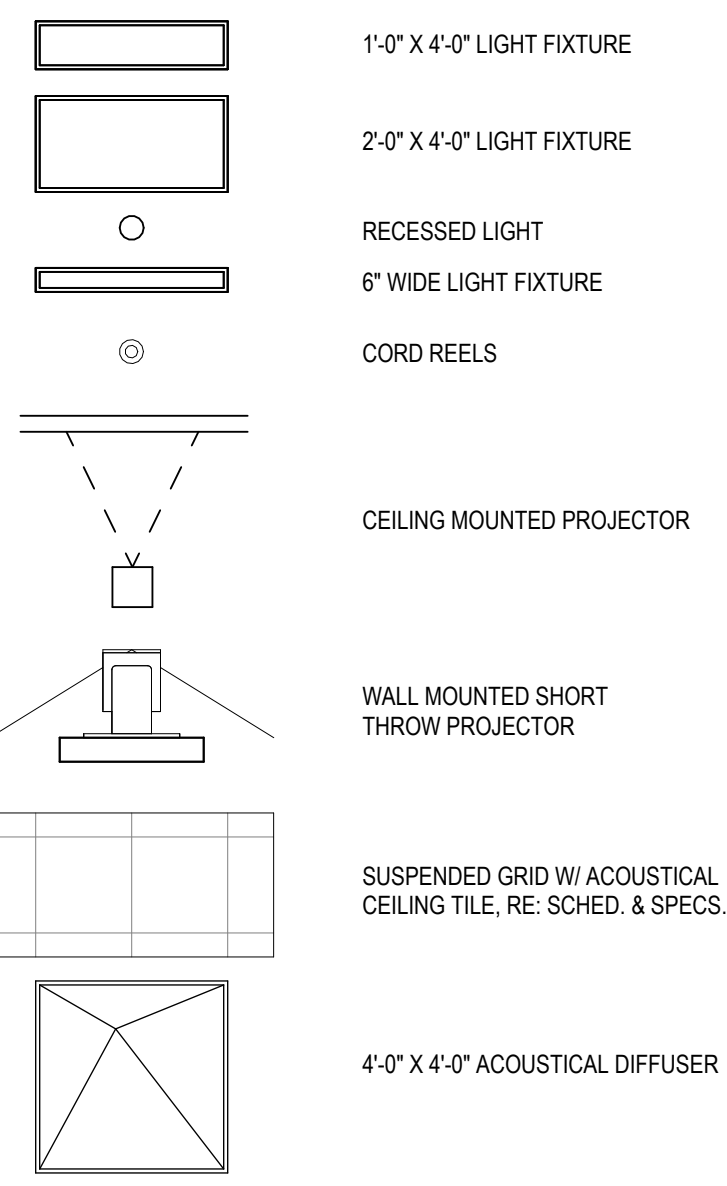
**ARCADIS**  
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1330 POST OAK BOULEVARD, SUITE 2250  
HOUSTON, TX 77056  
tel 281.286.6605, fax 713.977.4620

REGISTERED ARCHITECT  
STATE OF TEXAS  
01/24/2025

PROJECT #: 202318  
DATE: 2025-01-13  
DRAWN: VP  
CHECKED: CA

DATE: 2025-01-13  
ISSUE: PERMIT AND PROPOSAL ADDENDUM No. 02

**A9.02**  
FRAME OPENING DETAILS



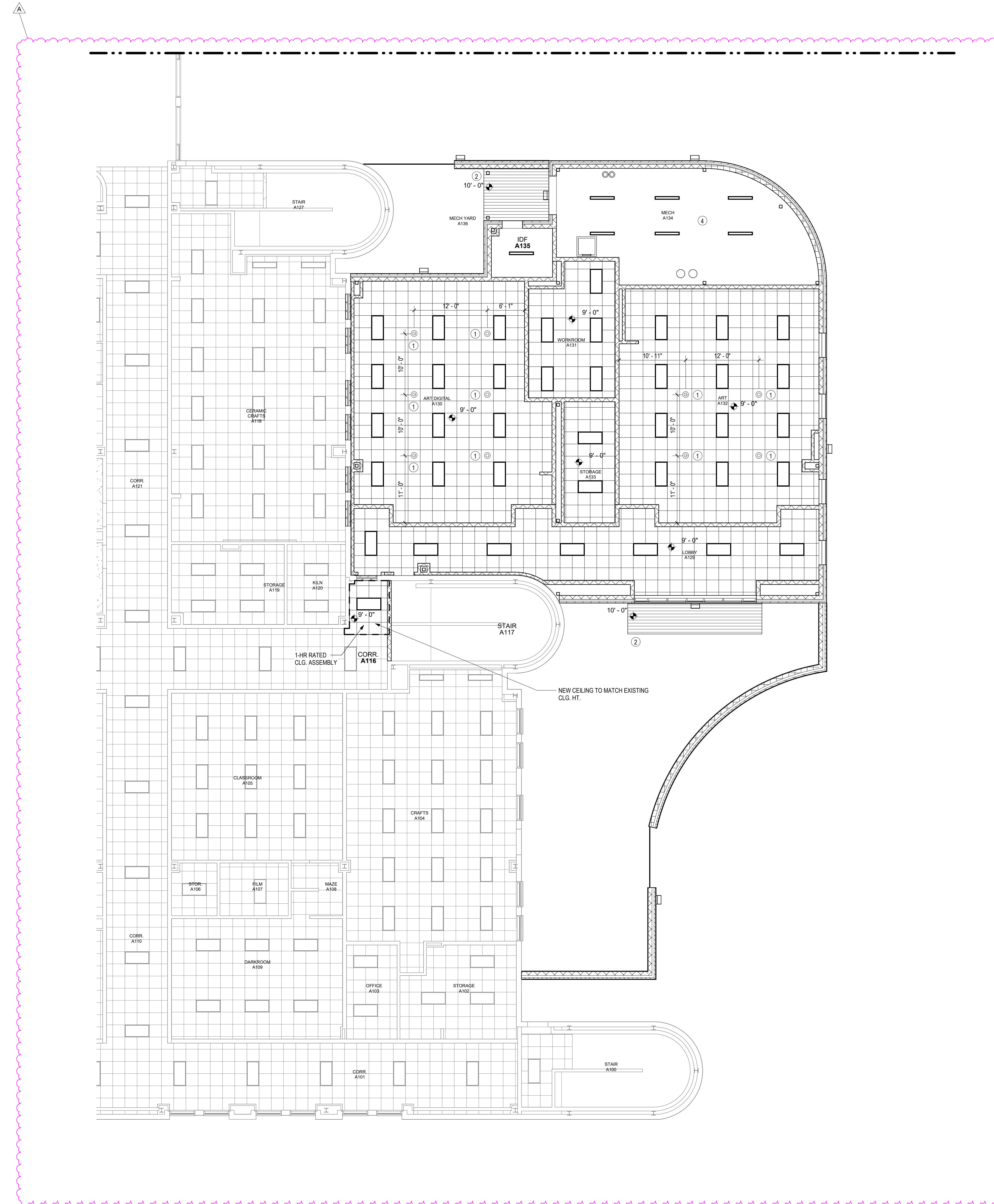
**LEGEND - RCP**

1/4" = 1'-0"

- ① CORD REELS
- ② CANOPY
- ③ EXHAUST HOOD
- ④ EXPOSED STRUCTURE

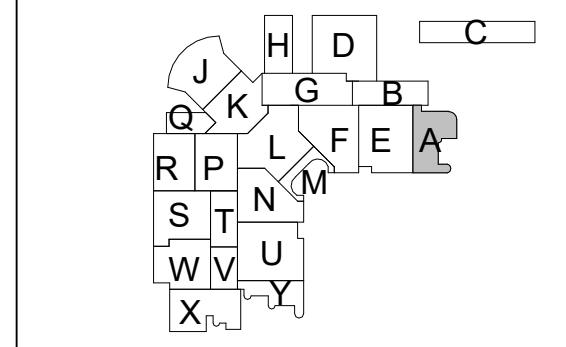
**KEYNOTES - RCP**

1/4" = 1'-0"



**1** AREA 'A1' - RCP  
 1/8" = 1'-0"

**CONSULTANTS**  
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**LANDSCAPE & IRRIGATION**  
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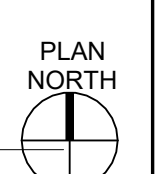
**2024 CYPRESS FALLS HIGH SCHOOL RENOVATION**  
 CYPRESS-FAIRBANKS ISD  
 9811 Huffmeister Rd, Houston, TX 77095

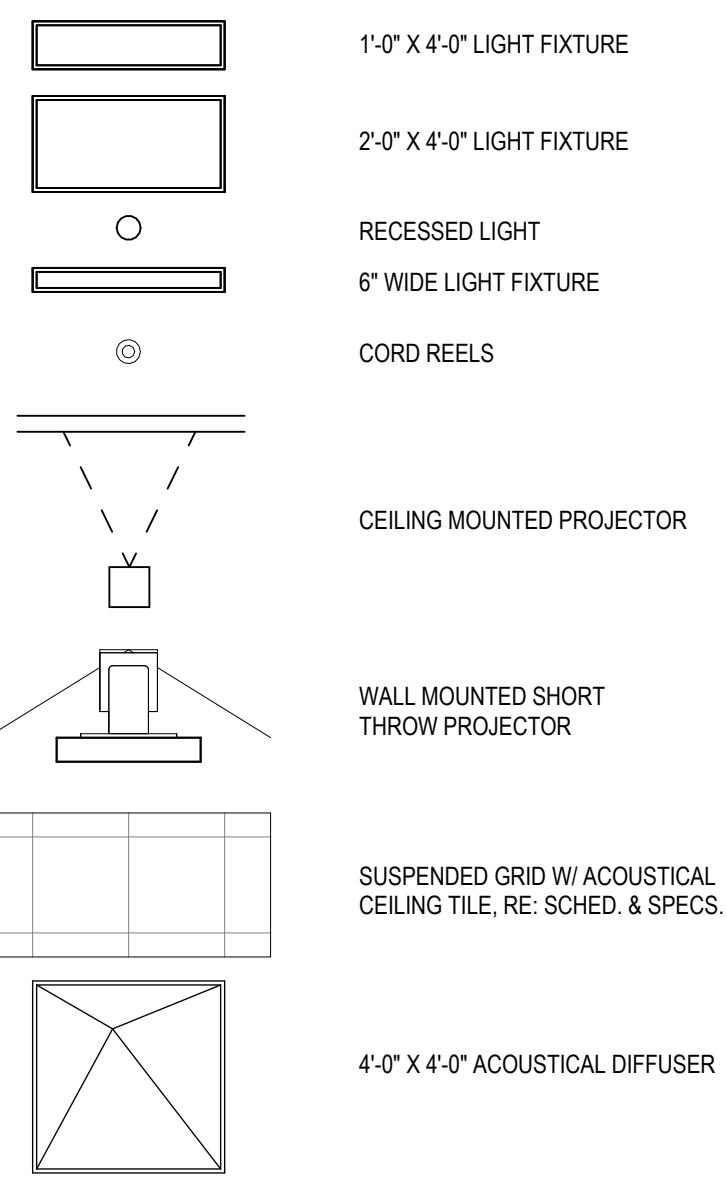
**ARCADIS**  
**TEXAS ARCADIS INC.**  
 1330 POST OAK BOULEVARD, SUITE 2250  
 HOUSTON, TX 77056  
 tel 281.286.6605, fax 713.977.4620



|            |                     |
|------------|---------------------|
| PROJECT #: | 202318              |
| DATE:      | 2025-01-13          |
| DRAWN:     | LP                  |
| CHECKED:   | CA                  |
| DATE       | ISSUE               |
| 2025-01-13 | PERMIT AND PROPOSAL |
| 2025-01-24 | ADDENDUM No. 02 A   |

**A10.01**  
 AREA 'A1' 1ST FLOOR RCP





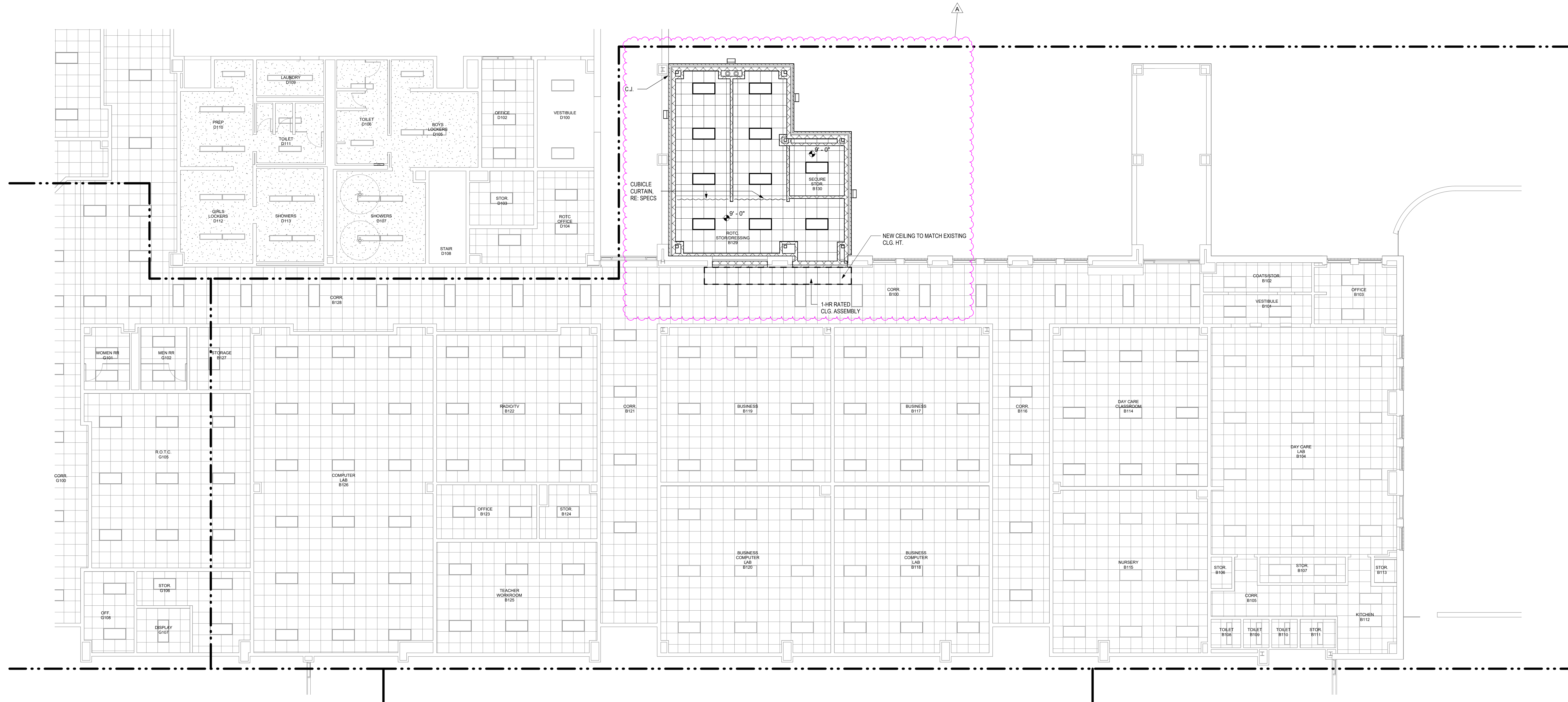
**LEGEND - RCP**

1/4" = 1'-0"

- 1 CORD REELS
- 2 CANOPY
- 3 EXHAUST HOOD
- 4 EXPOSED STRUCTURE

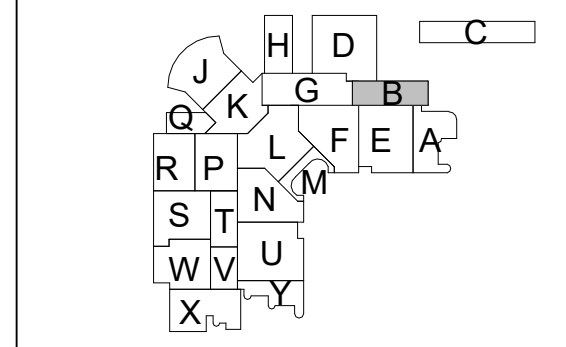
**KEYNOTES - RCP**

1/4" = 1'-0"



1 AREA 'B1' - RCP  
1/8" = 1'-0"

**CONSULTANTS**  
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 Tel: 512.476.3464  
**THEATRE**  
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 LANDESIGN Group  
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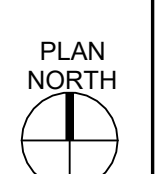
**2024 CYPRESS FALLS HIGH SCHOOL RENOVATION**  
 CYPRESS-FAIRBANKS ISD  
 9811 Huffmeister Rd, Houston, TX 77095

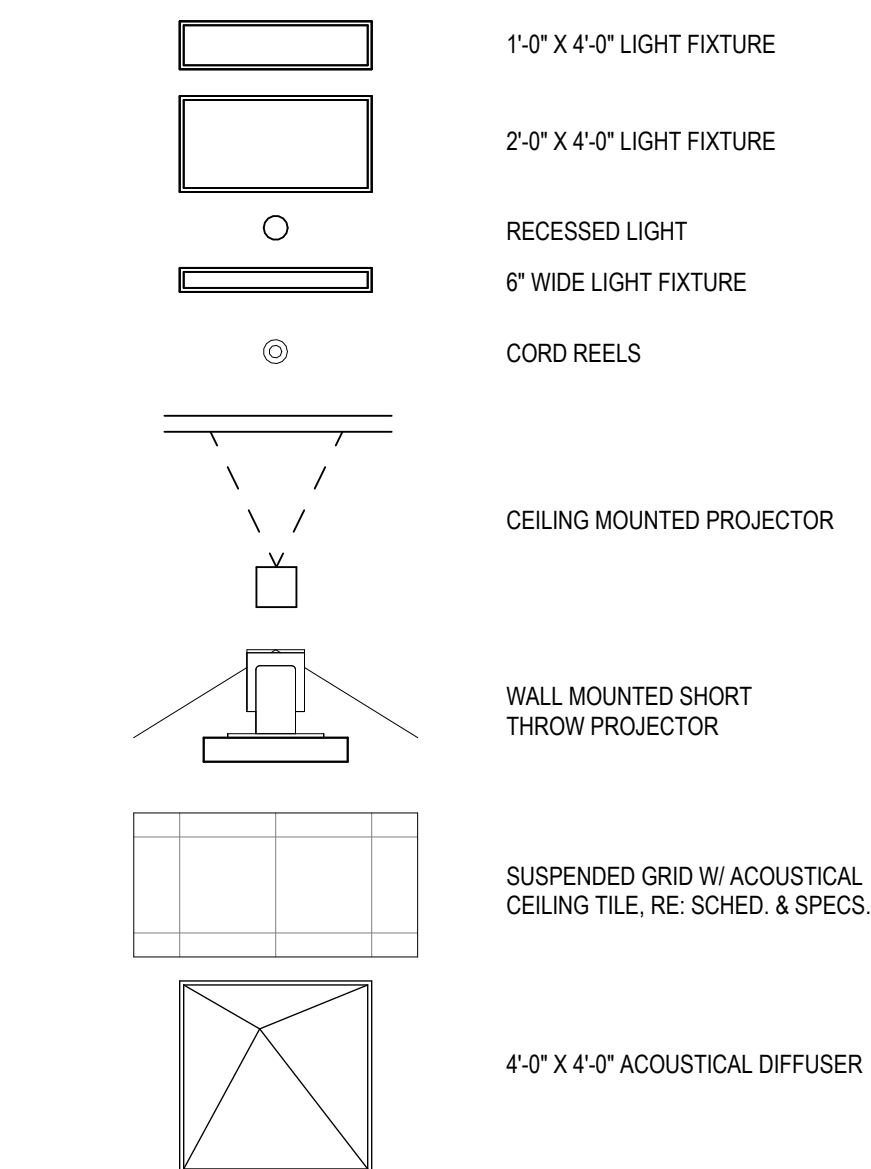
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|            |                                       |
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| PROJECT #: | 202318                                |
| DATE:      | 2025-01-13                            |
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**A10.02**  
 AREA 'B1' 1ST FLOOR RCP





- LEGEND - RCP**  
 1/4" = 1'-0"
- ① CORD REELS
  - ② CANOPY
  - ③ EXHAUST HOOD
  - ④ EXPOSED STRUCTURE
- KEYNOTES - RCP**  
 1/4" = 1'-0"



1 AREA 'D1' - RCP  
 1/8" = 1'-0"

**CONSULTANTS**  
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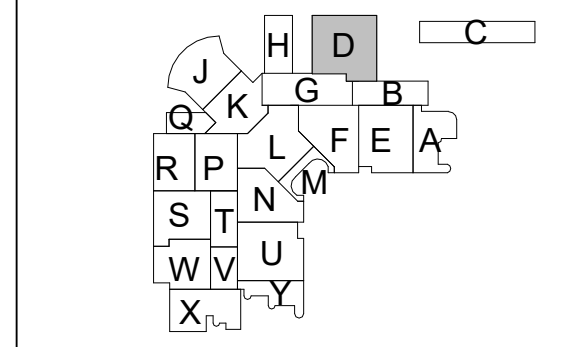
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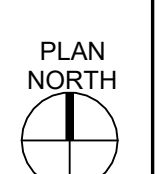
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 9811 Huffmeister Rd, Houston, TX 77095

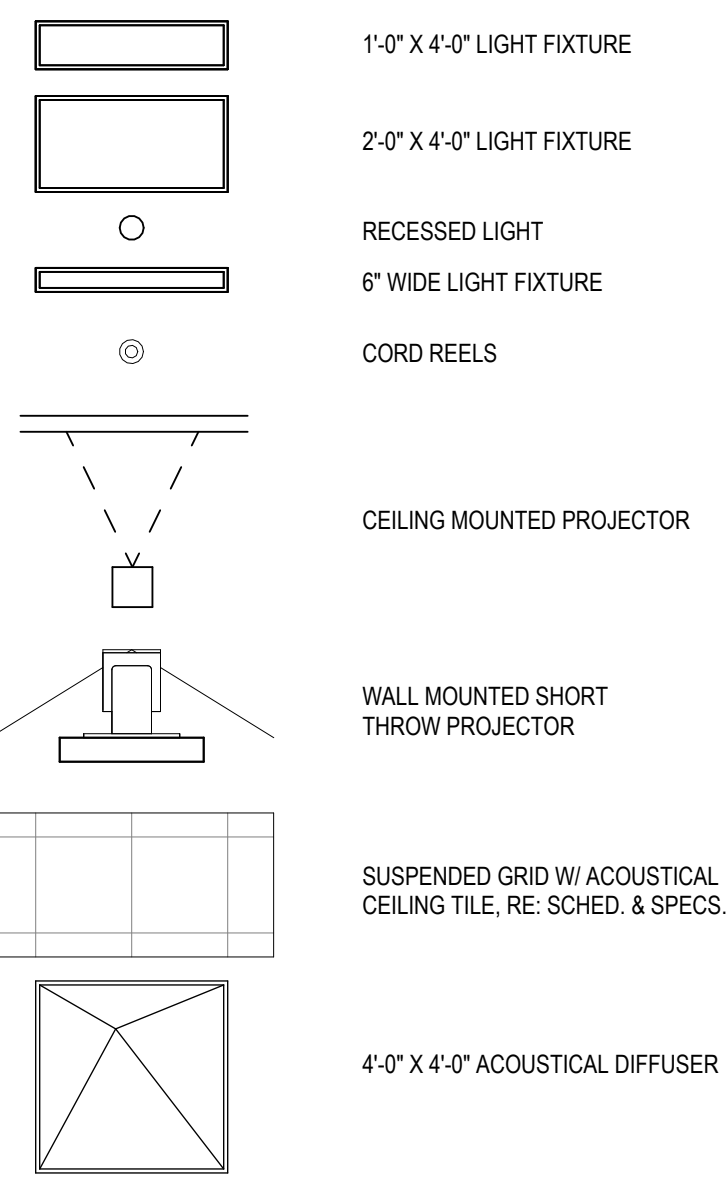
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**A10.03**  
 AREA 'D1' 1ST FLOOR RCP





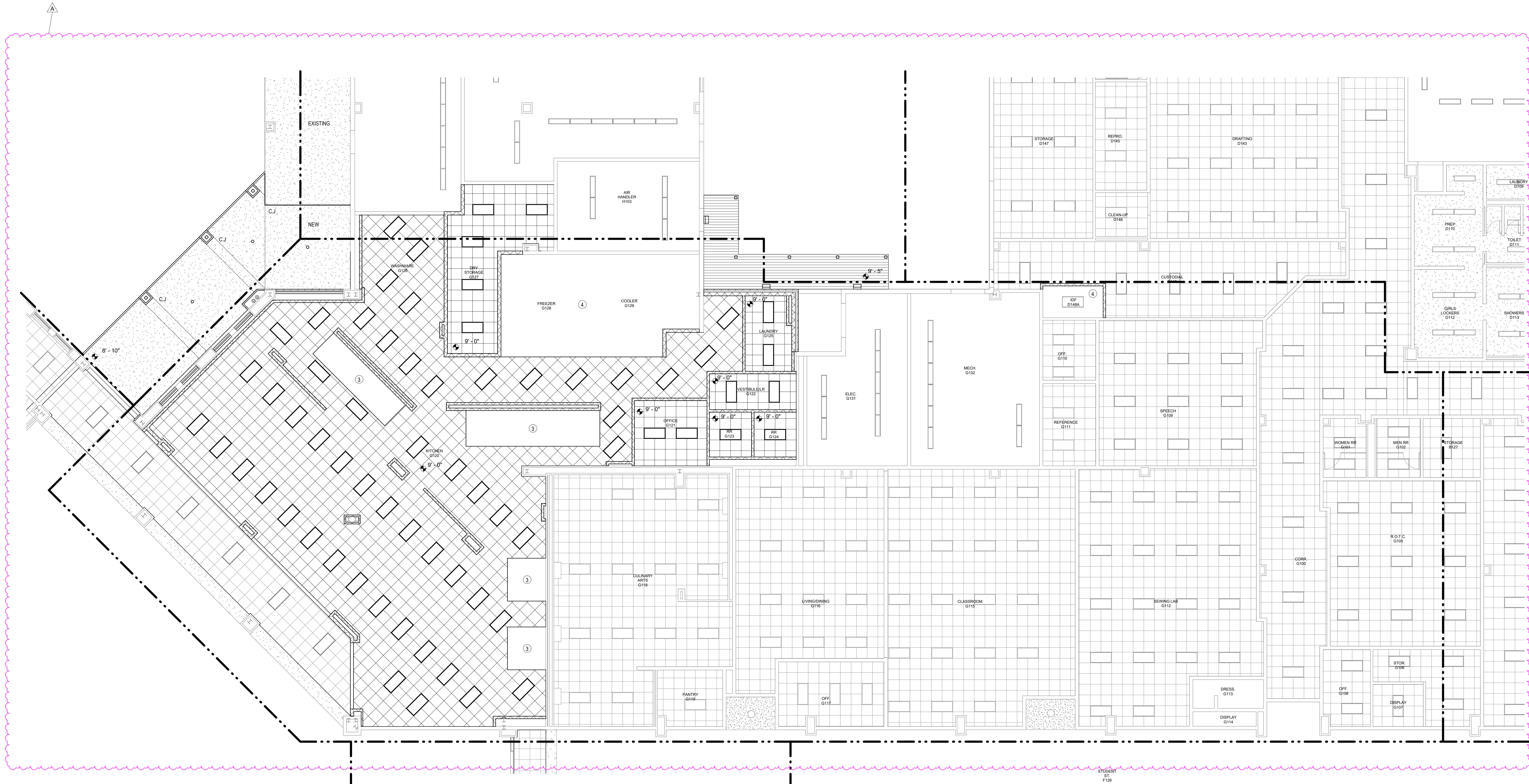
**LEGEND - RCP**

1/4" = 1'-0"

- ① CORD REELS
- ② CANOPY
- ③ EXHAUST HOOD
- ④ EXPOSED STRUCTURE

**KEYNOTES - RCP**

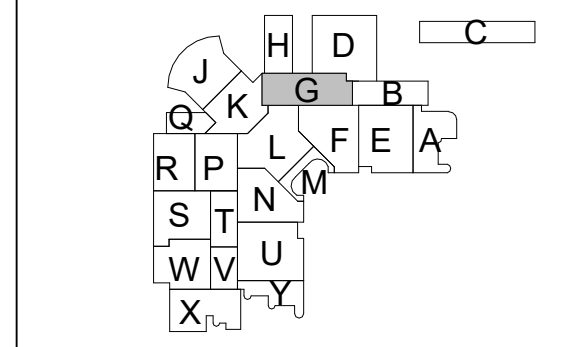
1/4" = 1'-0"



**1 AREA 'G1' - RCP**

1/8" = 1'-0"

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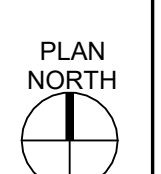
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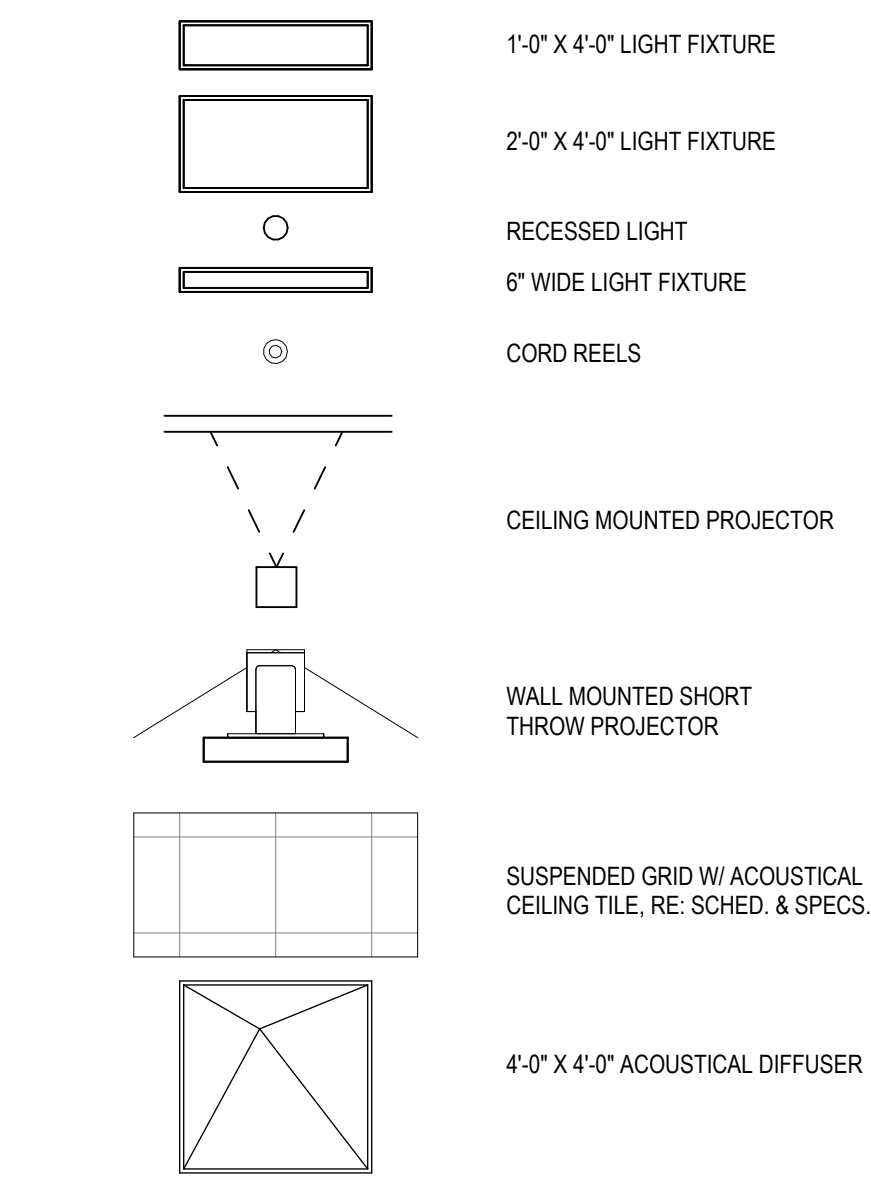
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**A10.04**  
 AREA 'G1' 1ST FLOOR RCP





**LEGEND - RCP**

1/4" = 1'-0"

- ① CORD REELS
- ② CANOPY
- ③ EXHAUST HOOD
- ④ EXPOSED STRUCTURE

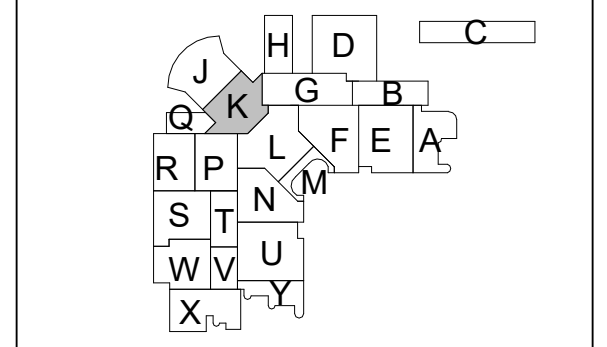
**KEYNOTES - RCP**

1/4" = 1'-0"



① AREA 'K1' - RCP  
1/8" = 1'-0"

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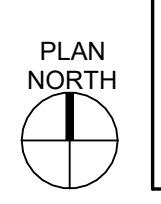
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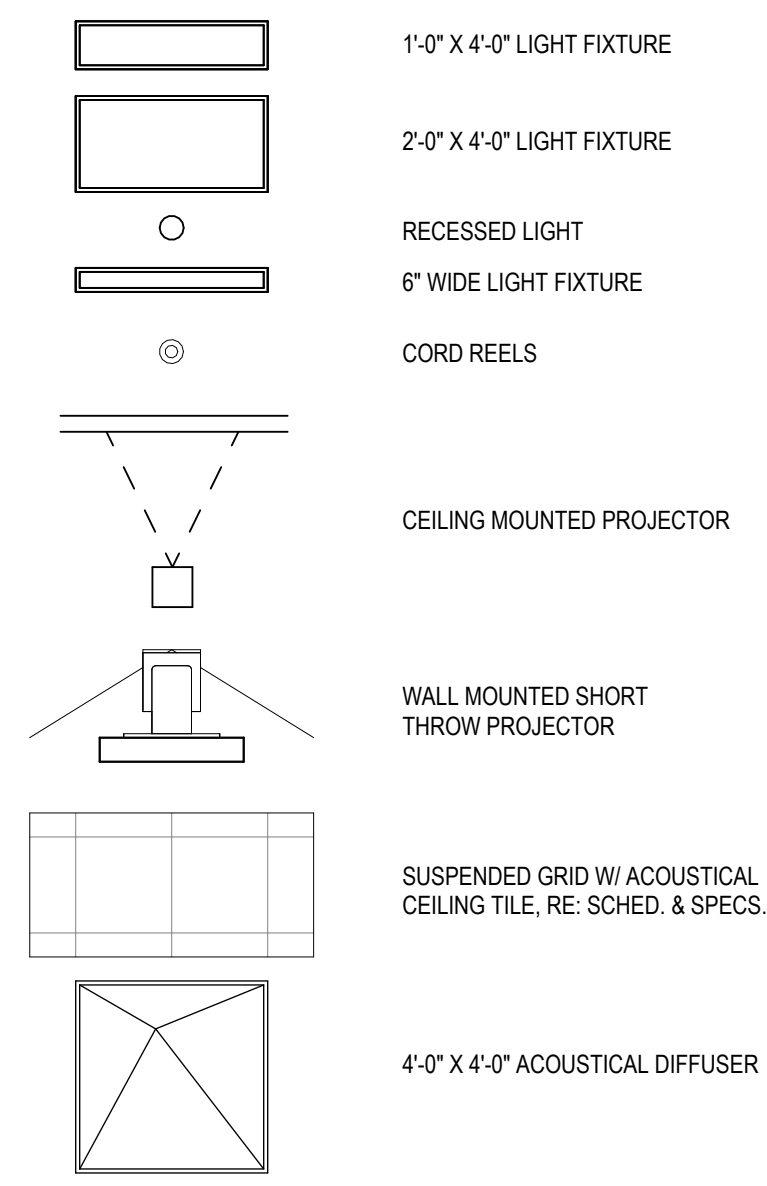


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| 2025-01-24 | A                   |

**A10.05**  
 AREA 'K1' 1ST FLOOR RCP







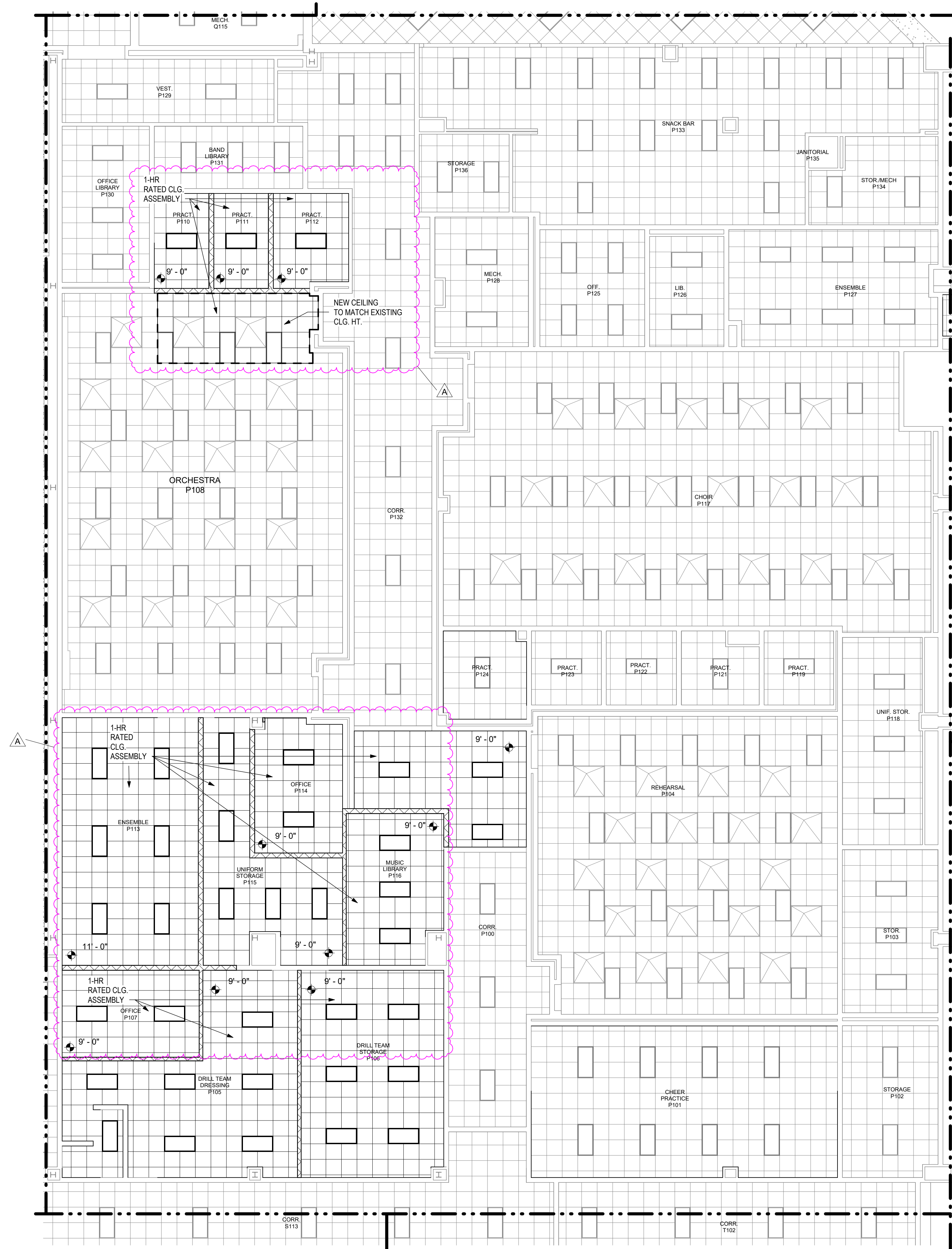
**LEGEND - RCP**

1/4" = 1'-0"

- ① CORD REELS
- ② CANOPY
- ③ EXHAUST HOOD
- ④ EXPOSED STRUCTURE

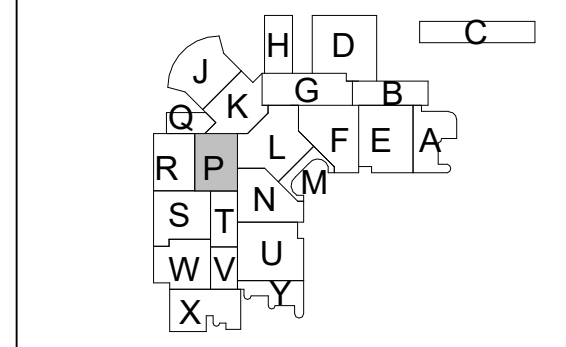
**KEYNOTES - RCP**

1/4" = 1'-0"



**1 AREA 'P1' - RCP**  
1/8" = 1'-0"

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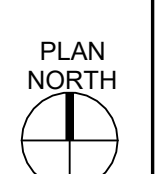
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**A10.06**  
 AREA 'P1' 1ST FLOOR RCP



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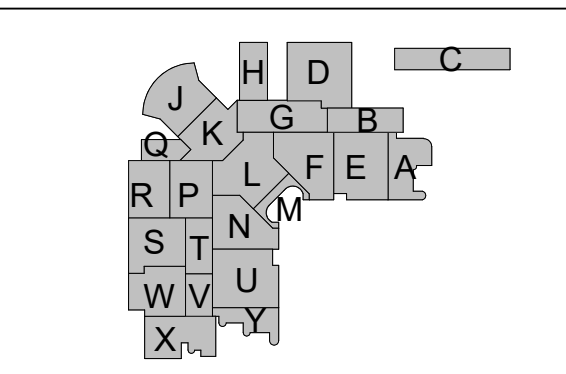
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 2025-01-24

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 ADDENDUM No. 02 A

**A11.00**  
 INTERIOR FINISH  
 LEGEND

| FLOORS |  | WALLS  |  | WALLS |   | BASE   |  | DOORS + CASEWRK. + COUNTERTOPS. |   | CEILING |  |
|--------|--|--------|--|-------|---|--------|--|---------------------------------|---|---------|--|
| CPT-1  | CARPET (FIELD)<br>MFR: TARKETT<br>SERIES: AFTERMATH II 03026<br>COLOR: POTPOURRI 2310<br>BACKING: POWERBOND RS<br>SIZE: ROLL             | AWP-1  | ACOUSTICAL WALL PANEL<br>MFR: GUILFORD OF MAINE<br>SERIES: ANCHORAGE<br>COLOR: BIRCH 2129  | TW-1A | TILE WALLS<br>MFR: CROSSVILLE<br>SERIES: SHADES<br>COLOR: FOG<br>SIZE: 12" X 24"<br>TYPE: PORCELAIN   | RB-1   | RUBBER BASE<br>MFR: ROPPE<br>COLOR: BLACK BROWN  | PL-1                            | PLASTIC LAMINATE (DOORS & CASEWORK)<br>MFR: WILSONART<br>COLOR: WALNUT HEIGHTS 7865   | PT-10   | PAINT<br>MFR: SHERWIN WILLIAMS<br>COLOR: MINDFUL GRAY 7016<br>LOCATION: GYPSUM CEILING |
| EPX-1  | URETHANE FLOORING<br>MFR: DEX-O-TEX<br>SERIES: TEK-CRETE SL-CO<br>COLOR: DFS-B-10  | AWP-2  | ACOUSTICAL WALL PANEL<br>MFR: GUILFORD OF MAINE<br>SERIES: ANCHORAGE<br>COLOR: ONYX 2016<br>LOCATION: BLACK BOX  | TW-1B | TILE WALLS<br>MFR: CROSSVILLE<br>SERIES: SHADES<br>COLOR: FOG<br>SIZE: 6" X 24"<br>TYPE: PORCELAIN  | TB-1   | TILE BASE<br>MFR: CROSSVILLE<br>SERIES: SHADES<br>COLOR: FOG<br>SIZE: 6" X 12" COVE TRIM<br>TYPE: PORCELAIN                  | PL-2                            | PLASTIC LAMINATE (COUNTERTOPS)<br>MFR: WILSONART<br>COLOR: DESERT ZEPHYR 4841         |         |  |
| LVT-1  | LUXURY VINYL TILE (RESILIENT FLOORING)<br>MFR: MOHAWK<br>SERIES: MOLVENO WOODS C0110<br>COLOR: TOUCH OF SAND 121<br>SIZE: 8" X 60" PLANK | CC-1   | CLINIC CURTAIN<br>MFR: CONSTRUCTION SPECIALTIES<br>LINE: CSELECT FABRIC<br>PATTERN: SEAGRASS<br>COLOR: TBD   | TW-2  | TILE WALLS<br>MFR: CROSSVILLE<br>SERIES: SHADES<br>COLOR: PROFIT<br>SIZE: 6" X 24"<br>TYPE: PORCELAIN   | TB-2   | TILE BASE<br>MFR: CROSSVILLE<br>SERIES: ARGENT 2.0<br>COLOR: MARBLE FAUN<br>SIZE: 6" X 12" COVE TRIM<br>TYPE: PORCELAIN      | PL-3                            | PLASTIC LAMINATE (CASEWORK + COUNTERTOPS)   |         |  |
| MCT-1  | MARMOLEUM COMPOSITE TILE (RESILIENT FLOORING)<br>MFR: FORBO<br>SERIES: MCT<br>COLOR: SPARROW 3252<br>SIZE: 13" X 13"                     | SGTW-1 | STRUCTURAL GLAZED TILE<br>MFR: SPECTRA GLAZE<br>SIZE: 8" (FIELD VERIFY)<br>COLOR: SPECIAL BLACK  | TW-3A | TILE WALLS<br>MFR: CROSSVILLE<br>SERIES: SHADES<br>COLOR: CLAY<br>SIZE: 6" X 24"<br>TYPE: PORCELAIN   | TB-3   | TILE BASE<br>MFR: DAL TILE<br>SERIES: QUARRY TILE<br>COLOR: ARID GRAY 0042<br>SIZE: 6" X 6"<br>TYPE: QUARRY                  | QTZ-1                           | QUARTZ COUNTERTOPS<br>MFR: SILESTONE<br>COLOR: ALPINA WHITE 08<br>LOCATION: RECEPTION |         |  |
| MCT-2  | MARMOLEUM COMPOSITE TILE (RESILIENT FLOORING)<br>MFR: FORBO<br>SERIES: MCT<br>COLOR: BLACK 2939<br>SIZE: 13" X 13"                       | SGTW-2 | STRUCTURAL GLAZED TILE<br>MFR: SPECTRA GLAZE<br>SIZE: 8" (FIELD VERIFY)<br>COLOR: TBD. ALLOW FOR SELECTION FROM FULL LINE OF COLORS INCLUDING STANDARD, VARI-TONE, AND DESIGNER. | TW-3B | TILE WALLS<br>MFR: CROSSVILLE<br>SERIES: SHADES<br>COLOR: GLAY<br>SIZE: 6" X 6"<br>TYPE: PORCELAIN  | TB-4   | TILE BASE<br>MFR: CROSSVILLE<br>SERIES: COLOR BLOX 2.0<br>COLOR: MATCH EXISTING CORRIDOR<br>SIZE: 6" X 6"<br>TYPE: PORCELAIN | QTZ-2                           | QUARTZ COUNTERTOPS<br>MFR: CAIBRA<br>COLOR: FAIRBORNE<br>LOCATION: ART AND PRESS BOX  |         |  |
| SC-1   | SEALED CONCRETE<br>RE: SPECS   | SGTW-3 | STRUCTURAL GLAZED TILE<br>MFR: SPECTRA GLAZE<br>SIZE: 8" (FIELD VERIFY)<br>COLOR: TBD. ALLOW FOR SELECTION FROM FULL LINE OF COLORS INCLUDING STANDARD, VARI-TONE, AND DESIGNER. | TW-4  | TILE WALLS<br>MFR: CROSSVILLE<br>SERIES: SHADES<br>COLOR: INK<br>SIZE: 6" X 24"<br>TYPE: PORCELAIN  | SGTB-1 | STRUCTURAL GLAZED TILE BASE<br>MFR: SPECTRA GLAZE<br>SIZE: 4 X 4 X 16<br>COLOR: SPECIAL BLACK                                |                                 |   |         |  |
| PC-1   | POLISHED CONCRETE<br>RE: SPECS   | SGTW-4 | STRUCTURAL GLAZED TILE<br>MFR: SPECTRA GLAZE<br>SIZE: 8" (FIELD VERIFY)<br>COLOR: TBD. ALLOW FOR SELECTION FROM FULL LINE OF COLORS INCLUDING STANDARD, VARI-TONE, AND DESIGNER. | TW-5  | TILE WALLS<br>MFR: AMERICAN OLEAN<br>SERIES: THEORETICAL BOLD<br>COLOR: GENUINE GREEN<br>SIZE: 6" X 6"<br>TYPE: PORCELAIN   |        |  |                                 |   |         |  |
| TRZ-1  | TERRAZZO (MATCH EXISTING LIGHT COLOR)<br>RE: SPECS   | PT-1   | PAINT (FIELD)<br>MFR: SHERWIN WILLIAMS<br>COLOR: SHITAKE SW 9173   | TW-6  | TILE WALLS<br>MFR: AMERICAN OLEAN<br>SERIES: THEORETICAL BOLD<br>COLOR: PRIMARY YELLOW<br>SIZE: 6" X 6"<br>TYPE: PORCELAIN  |        |  |                                 |   |         |  |
| TRZ-2  | TERRAZZO (MATCH EXISTING MEDIUM COLOR)<br>RE: SPECS  | PT-2   | PAINT<br>MFR: SHERWIN WILLIAMS<br>COLOR: TONY TAUPE SW 7038  | TW-7  | TILE WALLS<br>MFR: DAL TILE<br>SERIES: COLORMATCH<br>COLOR: CUSTOM MATCH TO EXISTING NEUTRAL FIELD TILE (SEMI-GLOSS FINISH)<br>SIZE: MATCH EXISTING 4" X 4" (FIELD VERIFY)<br>TYPE: CERAMIC |        |  |                                 |   |         |  |
| TF-1   | TILE FLOORS<br>MFR: CROSSVILLE<br>SERIES: ARGENT 2.0<br>COLOR: WINTER GARDEN<br>SIZE: 12" X 12"<br>TYPE: PORCELAIN                       | PT-3   | PAINT<br>MFR: SHERWIN WILLIAMS<br>COLOR: VIRTUAL TAUPE SW 7039   |       |   |        |  |                                 |   |         |  |
| TF-2   | TILE FLOORS<br>MFR: CROSSVILLE<br>SERIES: ARGENT 2.0<br>COLOR: MARBLE FAUN<br>SIZE: 12" X 12"<br>TYPE: PORCELAIN                         | PT-4   | PAINT<br>MFR: SHERWIN WILLIAMS<br>COLOR: ARTICHOKE SW 6179   |       |   |        |  |                                 |   |         |  |
| TF-3   | TILE FLOORS<br>MFR: DAL TILE<br>SERIES: QUARRY TILE<br>COLOR: ARID GRAY 0042<br>SIZE: 6" X 6"<br>TYPE: QUARRY                            | PT-5   | PAINT<br>MFR: SHERWIN WILLIAMS<br>COLOR: MANNERED GOLD SW 6130   |       |   |        |  |                                 |   |         |  |
| TF-4   | TILE FLOORS<br>MFR: CROSSVILLE<br>SERIES: COLOR BLOX 2.0<br>COLOR: MATCH EXISTING CORRIDOR<br>SIZE: 12" X 12"<br>TYPE: PORCELAIN         | PT-6   | PAINT<br>MFR: SHERWIN WILLIAMS<br>COLOR: GREENS SW 6148  |       |   |        |  |                                 |   |         |  |
| WM-1   | WALK-OFF MAT<br>MFR: TARKETT<br>SERIES: ASSERTIVE ACTION 04837<br>COLOR: CHROMIUM 26201<br>BACKING: POWERBOND RS<br>SIZE: ROLL           | PT-7   | PAINT (HOLLOW METAL FRAMES)<br>MFR: SHERWIN WILLIAMS<br>COLOR: BLACK FOX SW 7020   |       |   |        |  |                                 |   |         |  |
|        |  | PT-8   | PAINT (BLACK BOX)<br>MFR: SHERWIN WILLIAMS<br>COLOR: BLACK MAGIC SW 6991   |       |   |        |  |                                 |   |         |  |

NOTE: ALL OPTIONS, SIZES, AND PATTERNS ARE SUBJECT TO CHANGE UPON OWNER APPROVAL

1 INTERIOR FINISH LEGEND  
 3/8" = 1'-0"

ROOM NAME ROOM NUMBER  
 CPT-1 FLOOR FINISH  
 RB-1 BASE FINISH  
 PT-1 WALL FINISH

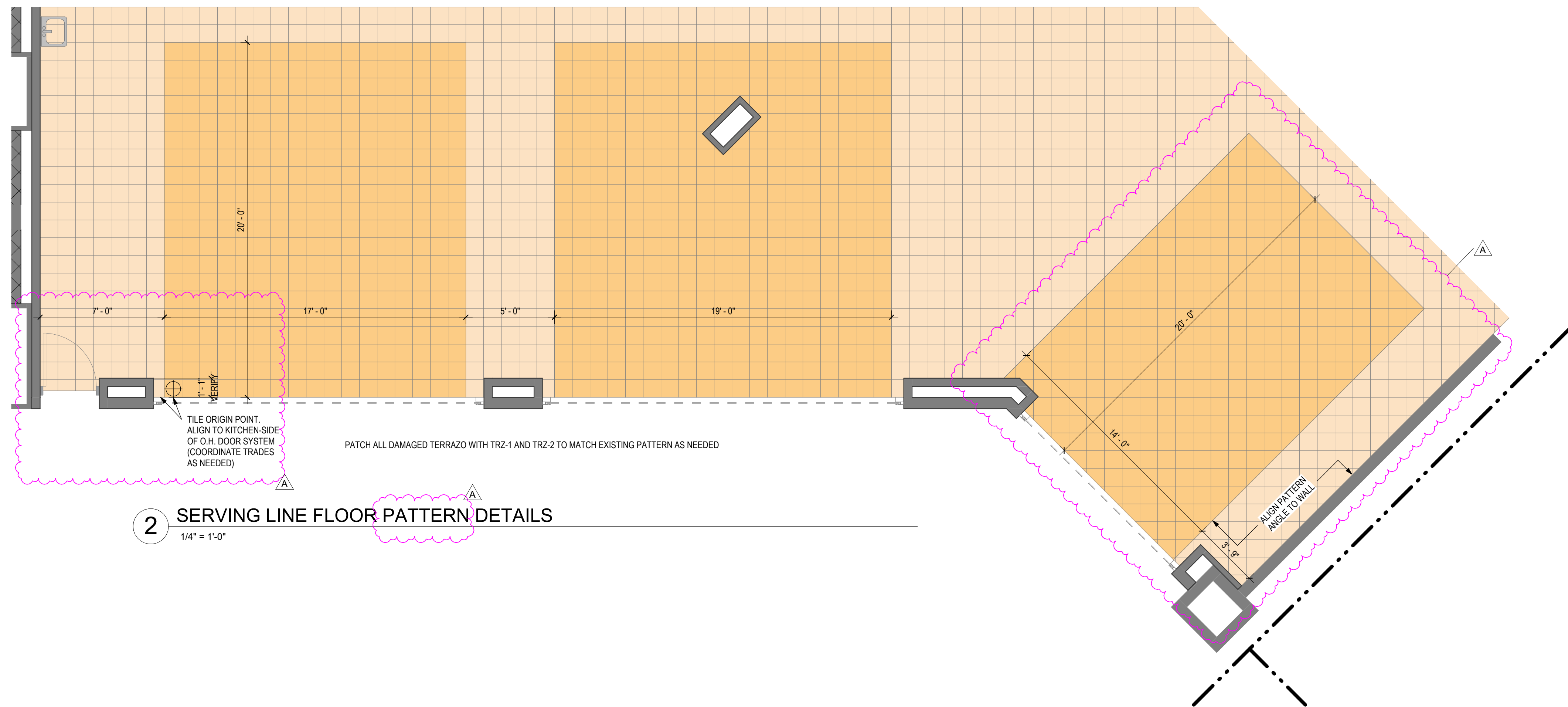
1. RE. ROOM FINISH SCHEDULES FOR MATERIAL LOCATIONS.  
 2. RE. A11 SERIES DWGS. FOR TILE PATTERN ORIGIN POINTS.  
 3. ALL CHANGES IN FLOOR MATERIAL BETWEEN ROOMS SHALL OCCUR @ CENTERLINE OF DOORWAY UNLESS OTHERWISE NOTED.

NOTES - GENERAL FINISH PLAN

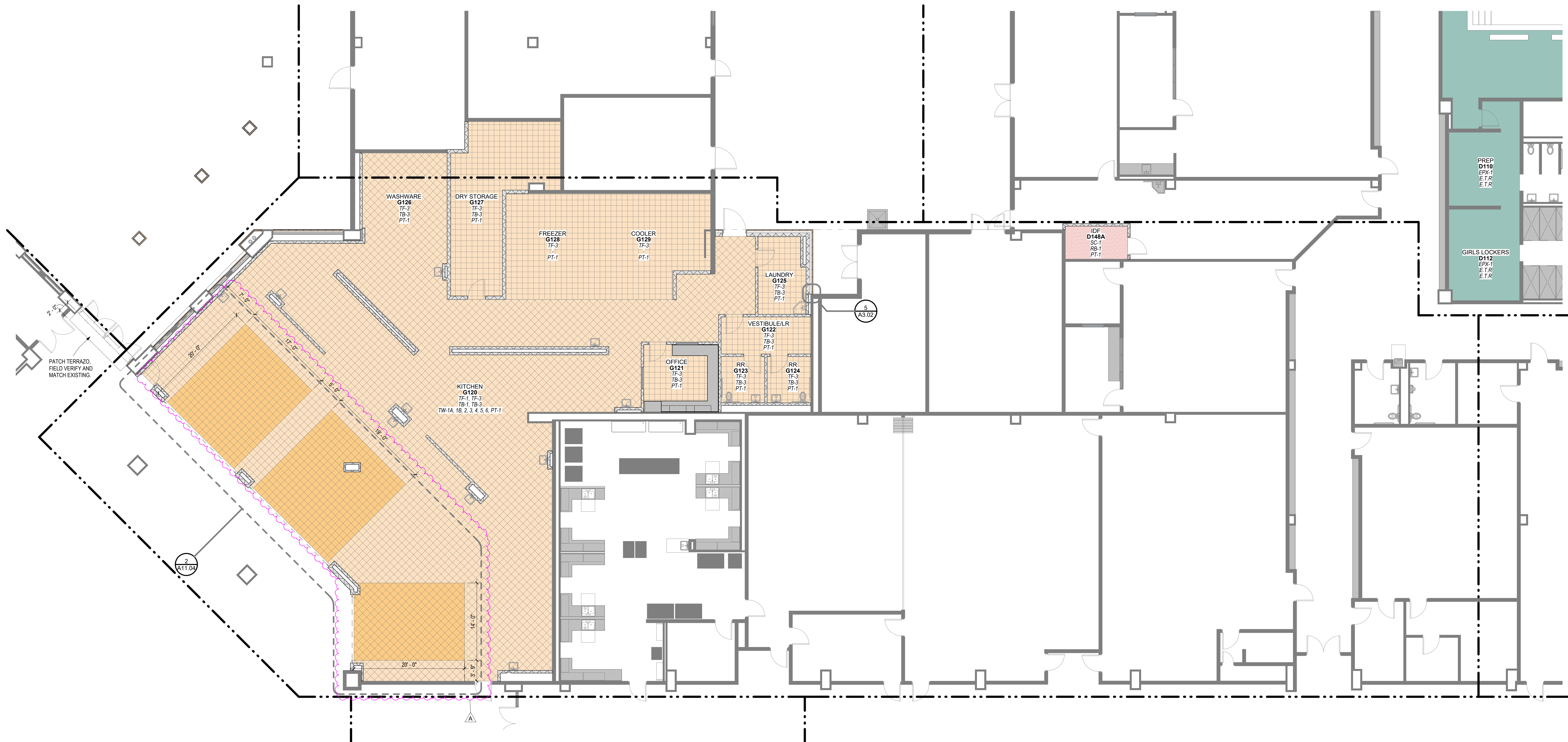
1/4" = 1'-0"

FLOOR FINISH LEGEND

|  |       |  |       |
|--|-------|--|-------|
|  | CPT-1 |  | TF-1  |
|  | EPX-1 |  | TF-2  |
|  | LVT-1 |  | TF-3  |
|  | MCT-1 |  | TF-4  |
|  | MCT-2 |  | TRZ-1 |
|  | PC-1  |  | TRZ-2 |
|  | SC-1  |  | WM-1  |



2 SERVING LINE FLOOR PATTERN DETAILS  
 1/4" = 1'-0"



1 AREA 'G1' - 1ST FLOOR FINISH PLAN  
 1/8" = 1'-0"

CONSULTANTS

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MEP  
 Salas O'Brien  
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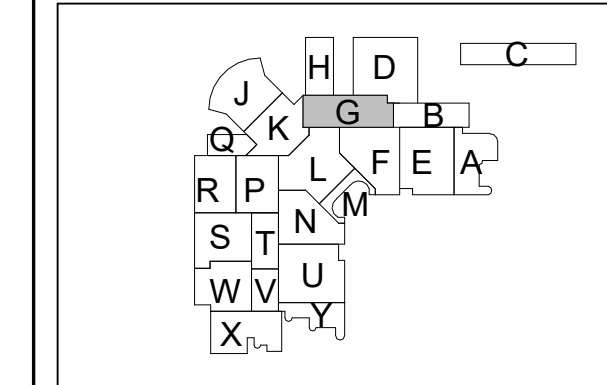
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**2024 CYPRESS FALLS HIGH SCHOOL RENOVATION**

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REGISTERED ARCHITECT  
 STATE OF TEXAS  
 01/24/2025

PROJECT #: 202318  
 DATE: 2025-01-13  
 DRAWN: DS/LP  
 CHECKED: CA

DATE: 2025-01-13  
 2025-01-24

ISSUE: PERMIT AND PROPOSAL ADDENDUM No. 02 A

**A11.04**  
 AREA 'G1' 1ST FLOOR FINISH PLAN

