



2024-12-20

ADDENDUM NO. 01

Date of Issuance: December 20, 2024

Project: **2024 Jersey Village High School Renovation**
Cypress-Fairbanks Independent School District

Issued by: Texas Arcadis Inc.
P.O. Box 891209
Houston, Texas 77289
281-286-6605

Texas Arcadis Inc.
Project No.: 202319

Prepared for: Prospective Proposers

PART A: NOTICE TO PROPOSERS:

1. Receipt of this Addendum shall be acknowledged on the Proposal Form. Failure to do so may subject Proposers to disqualification. Each proposer shall make necessary adjustments and submit his proposal with full knowledge of all modifications, clarification, and supplemental data included therein.
2. This Addendum forms part of the Contract Documents and shall be incorporated integrally therewith. Where provisions of the following supplemental data differ from those of previously issued documents, this Addendum shall govern.
3. The following Contract Documents have been issued to date delineating the Work (Project).

Contract Documents	December 16, 2024
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4. This Addendum consists of: thirteen (13) 8-1/2x11 written pages, twenty (20) 8-1/2x11 pages Spec Section(s) - AC Proposal Forms, 02 41 16.13, and 32 18 23.33, and twenty-one (21) full-size New or Re-issued Sheets / Drawings as described in PARTS E and F below; as prepared by Arcadis. Total pages: fifty-four (54).

PART B: GENERAL PROJECT CLARIFICATIONS

5. Pre-Proposal Conference
 - a. Pre-Proposal Sign-In sheet attached for information. (3 pages)
6. Abatement Walk #2
 - a. *We highly encourage Proposers and Abatement Subcontractors to Abatement Walk #2 at the school on 12/30/2025 Monday at 1:00pm. Please contact EFI (Kenneth Capps: Kenneth.capps@efiglobal.com)*

PART C: CHANGES TO PRIOR ADDENDUM

- 7. None

PART D: CHANGES TO THE PROJECT MANUAL

- 8. Table of Contents
 - a. Add Section AC – Proposal Forms.....1-9
 - b. Add Section 02 41 16.131-4
 - c. Add Section 32 18 23.33 – Track and Field Surfacing1-7

- 9. Section AC – Proposal Forms
 - a. Add this spec section in its entirety. (9 pages)

- 10. Section 01 10 00 – Summary of Work
 - a. Page 1, Part 1, Article 1.1, Paragraph C, Subparagraph 1: Revise as follows:
 - 1. Substantial Completion date: July 26, 2026 (**entire project**)
July 15, 2025 (football field turf)

- 11. Section 01 22 00 – Unit Prices
 - a. Page 7, Part 3, Article 3.1, Paragraph A: Add unit price 17 as follows:
UNIT PRICE 17: WALL SLEEVES
This unit cost shall establish the amount to be added to the contract price for the Contractor to install two (2) 2 inch conduit sleeves, which shall be reserved as follows:
 - One (1) 2 inch conduit pathway reserved for fire alarm cabling.
 - One (1) 2 inch conduit pathway reserved for intercommunications system cablingProvide conduit wall sleeves for horizontal cable access into spaces, as necessary. Locate 6 inches to 8 inches above accessible ceiling. Sleeve shall extend 6 inches from wall on both sides. Provide non-split nylon bushings on ends of each sleeve. Fire stop as necessary. Adjust location as to not interfere with other conduits, lighting, plumbing, mechanical equipment, architectural features, and building structure.

- 12. Section 02 41 16.13 – Building Demolition
 - a. Add this spec section in its entirety. (4 pages)

- 13. Section 11 40 00 Food Service Equipment
 - a. Page 34, Part 4, Article 4.5: Add Item 31 as follows:
ITEM NO. 31 SELF CONTAINED WALK-IN ASSEMBLY
QUANTITY 4 (2 COOLERS / 2 FREEZERS)

Manufacturer:	Portabull
Model:	8' x 20' x 9'6"H Outdoor Self Contained WI
Size and Shape:	Refer to drawings
Utilities:	208V 3phase (Step Up Transformer to be used)
Alternate:	Conexwest or Equal

- 01. Units to be delivered by manufacturer and arrive fully assembled. Units to be ready for Outdoor operation only requiring power to the units electrical disconnect
- 02. Units to have an exterior ramp for smooth transition into WI Assembly.

03. Units to be delivered to site, unloaded and set in place where located on drawings
04. Units to be picked up from site and returned after usage is completed.
05. Units to be self contained with refrigeration package capable of Low (-10 degrees) and or Medium temps (34 degrees)
06. Single Butcher Entry door to be large enough to accommodate pallet jack & assembly floors to be smooth flat or Diamond tread plated and rated for pallet jack traffic. Units to have manufactured supplied interior lighting.
07. KEC to remove Owners Existing shelving and dunnage and erect inside the temporary WI Assemblies.
08. Each WI Assembly to have a temperature alarm with remote monitoring capability, safety/panic alarms, dry contacts and a data line connection that meets CyFair ISD's requirements. Units must be connected to owners alarms.
09. Manufacturer to provide 24/7 service and warranty products during entire rental period.

Specific Notes:

Units to be Rented/Leased during construction renovations and then returned. If manufactures Remote Temp/Alarm monitoring system does not meet CyFair ISD requirements, contractor to provide third party system and temporarily install during rental/lease duration.

14. Section 09 65 83 Weight Room Flooring
 - a. Page 3, Part 2, Article 2.2, Paragraph A, Subparagraph 02: Revise to be 1" thick in lieu of 1/2".
 - b. Page 3, Part 2, Article 2.2, Paragraph A, Subparagraph 06, Item c: Revise to be 1 inch thick in lieu of 1/2 inch.
15. Section 11 57 16 Paint Spray Booth
 - a. Page 3, Part 2, Article 2.2, Paragraph A, Subparagraph 07, item d: Revise as follows:
 - d. Provide filter intake doors, **if the filter cannot be removed from the front frame or rack**, and filtered exhaust plenum
 - b. Page 3, Part 2, Article 2.2, Paragraph A, Subparagraph 07, item e: Revise as follows:
 - e. ~~When needed only to access filters, provide access door(s) at rear of booth (or other location in booth dependent on actual booth configuration).~~ **Do not provide doors at front of booth. Paint booth to be open.**
16. Section 12 32 16 – Manufactured Plastic-Laminate Clad Casework
 - a. Page 2, Part 1, Article 1.2, Paragraph J, Subparagraph 04: Add the following sentence:

All casework keys shall be turned over to the CFISD Maintenance Department, not given to the school.
 - b. Page 12, Part 2, Article 2.8, Paragraph C, Subparagraph 09: Add the following sentence:

All casework keys shall be turned over to the CFISD Maintenance Department, not given to the school.
17. Section 32 18 23.33 – Track and Field Surfacing
 - b. Add this spec section in its entirety. (7 pages)

PART E: CHANGES TO THE DRAWINGS

18. Sheet G1.02 – Life Safety Plan
 - a. Drawing 1, updated egress door 'DOOR 42' to 'DOOR 39' on Area N corridor
19. Sheet G1.04 – Phasing 1st Floor Plan
 - a. Revise temporary cooler and freezer note to "PROVIDE TEMPORARY 10' HIGH CANOPY TO CONNECT 2 RAMPS TO BUILDING DOOR."
 - b. Revise temporary cooler and freezer note to "PROVIDE 8 FT HIGH CHAIN LINK FENCING WITH 6'-0" GATE"
20. Sheets G2.01 thru G2.24 – Areas A1 thru J2 Floor Abatement Plan
 - a. Add updated wording for Abatement Plan Keyed Notes and updated Abatement Plan General Notes to all sheets listed above:

ABATEMENT PLAN KEYED NOTES:

- 1) DAMP PROOFING BLACK MASTIC APPLIED TO EXTERIOR CMU BLOCK AND ANY ASSOCIATED MASTIC OR FLASHING AROUND DOORS/WINDOWS AND AT CLOUMNS, BEAMS OR BRICK LEDGES IN THIS AREA ARE TO BE ABATED. (NESHAP METHODS) REFER TO THE ARCHITECTURAL DRAWINGS FOR EXACT SCOPE OF DEMO AND REMOVAL. FIELD VERIFY ALL COMPONENTS/MATERIALS TO BE DEMOLISHED.
- 2) DAMP PROOFING BLACK MASTIC APPLIED TO INTERIOR (ONCE EXTERIOR WALL) CMU BLOCK AND ANY ASSOCIATED MASTIC OR FLASHING AROUND DOORS/WINDOWS AND ON CLOUMNS, BEAMS OR BRICK LEDGES IN THIS AREA ARE TO BE ABATED. (THAPR - FULL CONTAINMENT) REFER TO THE ARCHITECTURAL DRAWINGS FOR EXACT SCOPE OF DEMO AND REMOVAL. FIELD VERIFY ALL COMPONENTS/MATERIALS TO BE DEMOLISHED.
- 3) BLACK FLOOR MASTIC AND/OR ASSOCIATED VINYL COMPOSITE TILE, CARPET OR RUBBER FLOORING IN THIS AREA IS TO BE ABATED. (THAPR - FULL CONTAINMENT) REFER TO THE ARCHITECTURAL DRAWINGS FOR EXACT SCOPE OF DEMO AND REMOVAL. FIELD VERIFY ALL COMPONENTS/MATERIALS TO BE DEMOLISHED.
- 4) FIREPROFFING APPLIED TO COLUMNS AND OVERSPRAY ON BEAMS, METAL DECKING, AND/OR ADJACENT WALLS IN THIS AREA IS TO BE ABATED. (THAPR - FULL CONTAINMENT) COLUMN SURROUNDS ARE TO BE LEFT INTACT UNLESS OTHERWISE SPECIFIED. REFER TO THE ARCHITECTURAL DRAWINGS FOR EXACT SCOPE OF DEMO AND REMOVAL. FIELD VERIFY ALL COMPONENTS/MATERIALS TO BE DEMOLISHED.
- 5) FIREPROFFING DUST AND DEBRIS LOCATED ON TOP OF THE CEILINGS, LIGHTING, PIPING/INSULATION, CONDUIT, DUCT/INSULATION, CABLING, ETC... IN THIS AREA IS TO BE CLEANED. (THAPR - FULL CONTAINMENT) REFER TO THE ARCHITECTURAL/M.E.P. DRAWINGS FOR EXACT SCOPE OF DEMO AND REMOVAL. FIELD VERIFY ALL COMPONENTS/MATERIALS TO BE DEMOLISHED.
- 6) FIREPROFFING DEBRIS LOCATED ON TOP OF THE CEILINGS AND LIGHTING IN THIS AREA IS TO BE CLEANED. (THAPR - HEPA VACUUM AND WET WIPE) REFER TO THE ARCHITECTURAL/M.E.P. DRAWINGS FOR EXACT SCOPE OF DEMO AND REMOVAL. FIELD VERIFY ALL COMPONENTS/MATERIALS TO BE DEMOLISHED.
- 7) MASTIC (BLACK/WHITE) APPLIED TO DUCT INSULATION AND/OR METAL DUCT IN THIS AREA IS TO BE ABATED. REFER TO THE ARCHITECTURAL/M.E.P. DRAWINGS FOR EXACT SCOPE OF REMOVAL. FIELD VERIFY ALL COMPONENTS/MATERIALS TO BE REMOVED.
- 8) BLACK WINDOW GLAZING PUTTY IN THIS AREA IS TO BE ABATED FROM THE WINDOW FRAMING SYSTEM. (THAPR - FULL CONTAINMENT) REFER TO THE ARCHITECTURAL DRAWINGS FOR EXACT SCOPE OF REMOVAL. FIELD VERIFY ALL COMPONENTS/MATERIALS TO BE REMOVED.

- 9) SINKS WITH ASBESTOS UNDERCOATING IN THIS AREA IS TO BE ABATED. (THAPR - COMPONENT REMOVAL) REFER TO THE ARCHITECTURAL DRAWINGS FOR EXACT SCOPE OF DEMO AND REMOVAL. FIELD VERIFY ALL COMPONENTS/MATERIALS TO BE DEMOLISHED.
- 10) FIRE DOORS AND TRANSOMS IN THIS AREA IS TO BE ABATED. (THAPR - FULL CONTAINMENT) REFER TO THE ARCHITECTURAL DRAWINGS FOR EXACT SCOPE OF DEMO AND REMOVAL. FIELD VERIFY ALL SUSPECT DOORS AND TRANSOMS TO BE REMOVED. (FIRE DOORS CAN BE REMOVED VIA COMPONENT REMOVAL IF THE DOOR HARDWARE IS INTACT)
- 11) WHITE OR CREAM MASTIC APPLIED TO CHILLED WATER PIPE INSULATION RUNS AND FITTINGS IN THIS AREA IS TO BE ABATED FROM CEILING PLENUM AREAS AND/OR MECHANICAL ROOM. REFER TO THE ARCHITECTURAL/M.E.P. DRAWINGS FOR EXACT SCOPE OF REMOVAL. FIELD VERIFY ALL COMPONENTS/MATERIALS TO BE REMOVED. (THAPR - FULL CONTAINMENT OR GLOVEBAG)
- 12) WHITE OR CREAM MASTIC APPLIED TO HEATING WATER PIPE INSULATION RUNS AND FITTINGS IN THIS AREA IS TO BE ABATED FROM CEILING PLENUM AREAS AND/OR MECHANICAL ROOM. REFER TO THE ARCHITECTURAL/M.E.P. DRAWINGS FOR EXACT SCOPE OF REMOVAL. FIELD VERIFY ALL COMPONENTS/MATERIALS TO BE REMOVED. (THAPR - FULL CONTAINMENT OR GLOVEBAG)
- 13) MIRROR MASTIC AND/OR ASSOCIATED MIRROR IN THIS AREA IS TO BE ABATED. (THAPR - FULL CONTAINMENT) REFER TO THE ARCHITECTURAL DRAWINGS FOR EXACT SCOPE OF DEMO AND REMOVAL. FIELD VERIFY ALL COMPONENTS/MATERIALS TO BE DEMOLISHED.
- 14) DEMOLISH SELECT CMU BLOCK COLUMN SURROUND AND/OR WALLS (THAPR - FULL CONTAINMENT). REFER TO THE ARCHITECTURAL DRAWINGS FOR EXACT SCOPE OF DEMO AND REMOVAL. FIELD VERIFY ALL COMPONENTS/MATERIALS TO BE DEMOLISHED.
- 15) REMOVE CEILING IN FULL CONTAINMENT. REFER TO THE ARCHITECTURAL DRAWINGS FOR EXACT SCOPE OF DEMO AND REMOVAL. FIELD VERIFY ALL COMPONENTS/MATERIALS TO BE LEFT INTACT OR DEMOLISHED.
- 16) CEILINGS AND LIGHTING WITHIN A SIX FOOT (6') RADIUS OF A COLUMN WITH ACM FIREPROOFING IN THIS AREA IS TO BE CLEANED. (THAPR - HEPA VACUUM AND WET WIPE) REFER TO THE ARCHITECTURAL/M.E.P. DRAWINGS FOR EXACT SCOPE OF DEMO AND REMOVAL. FIELD VERIFY ALL COMPONENTS/MATERIALS TO BE DEMOLISHED/CLEANED.

ABATEMENT PLAN GENERAL NOTES:

1. ABATEMENT PLANS WERE DERIVED FROM EXISTING BUILDING PLANS AND ARE INTENDED TO REASONABLY PRESENT EXISTING CONDITIONS. ABATEMENT CONTRACTOR SHALL VERIFY ACTURAL CONDITIONS AND COORDINATE ABATEMENT AND DEMOLITION WORK.
2. REFERENCE ARCHITECT'S DEMOLITION SPECIFICATIONS AND DRAWINGS FOR DEMOLITION REQUIREMENTS AND EXISTING BUILDING DRAWINGS FOR BUILDING CONSTRUCTION CONDITIONS
3. THESE DRAWINGS ARE REPRESENTATIVE OF TYPICAL CONDITIONS IN THE BUILDING. HOWEVER, THE LOCATIONS OF ALL ASBESTOS CONTAINING MATERIALS ARE NOT SHOWN. ABATEMENT CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE AREAS TO BE ABATED AND THE LOCATIONS OF ALL ASBESTOS-CONTAING MATERIALS.
4. ABATEMENT CONTRACTOR SHALL BE RESPONSIBLE FOR ABATEMENT OF ALL ASBESTOS-CONTAINING MATERIALS.
5. THE ASBESTOS ABATEMENT SCOPE OF WORK IS DESCRIBED IN THE ABATEMENT SPECIFICATIONS. THE ASBESTOS ABATEMENT SCOPE OF WORK SHALL ALSO INCLUDE ANY HIDDEN ASBESTOS-CONTAINING MATERIALS THAT MAY BE ASSUMED OR UNCOVERED DURING THE BUILDING SELECTIVE DEMOLITION ACTIVITIES. THE ASBESTOS-CONTAINING MATERIALS IDENTIFIED IN THE BUILDING INCLUDE, AS A MINIMUM, THE FOLLOWING MATERIALS: INTERIOR ASBESTOS-CONTAINING MATERIALS: BLACK DAMPPROOFING MASTICS AND ASSOCIATED FLASHINGS, BLACK

FLOOR MASTICS AND ASSOCIATED FLOORING, FIREPROOFING, BLACK DUCT MASTIC, BLACK WINDOW GLAZING PUTTY, SINKS (PINK UNDERCOATING), FIRE DOORS AND TRANSOMS IDENTIFIED/ASSUMED, BLACK MIRROR MASTIC, BLACK ROOF DRAIN PIPE INSULATION MASTIC, OLD DOMESTIC HOT WATER PIPE INSULATION WITH WHITE/CREAM MASTIC, CHILLED/HEATING WATER PIPE INSULATION WITH WHITE/CREAM MASTIC. EXTERIOR ASBESTOS-CONTAINING MATERIALS: BLACK DAMPPROOFING MASTICS AND ASSOCIATED FLASHINGS.

6. ABATEMENT CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING AND VERIFYING THE ACTUAL QUANTITIES OF ALL ASBESTOS-CONTAINING MATERIALS AND OTHER REGULATED MATERIALS THAT WILL BE ABATED UNDER THE IDENTIFIED SCOPE OF WORK. WHILE SOME OF THE EXISTING AREAS OF ASBESTOS-CONTAINING MATERIALS ARE ACCESSIBLE OR EXPOSED, OTHER AREAS OF ASBESTOS-CONTAINING MATERIALS MAY BE "HIDDEN" (E.G. LOCATED ABOVE CEILINGS; IN WALLS OR CHASES; UNDER CARPET OR OTHER FLOOR FINISH MATERIALS; ABOVE AND/OR UNDER WALLS, MILLWORK, ETC.). ALL "HIDDEN" AREAS OF ASBESTOS-CONTAINING MATERIALS IN AREAS SCHEDULED FOR DEMOLITION IN THE SUBJECT BUILDING SHALL BE UNCOVERED AND ABATED BY THE ABATEMENT CONTRACTOR AS PART OF THE PROJECT SCOPE OF WORK.
 7. PERFORM SELECTIVE DEMOLITION OF WALL AREAS, CEILING AREAS, FLOOR AREAS, CHASE AREAS, ETC. AS REQUIRED TO UNCOVER AND LOCATE ALL "HIDDEN" AREAS OF ASBESTOS-CONTAINING MATERIALS IN AREAS SCHEDULED FOR DEMOLITION IN THE SUBJECT BUILDING.
 8. REMOVE AND DISPOSE OF CARPET TO FACILITATE REQUIRED ABATEMENT WORK. DISPOSE OF NON-CONTAMINATED CARPET AS CONSTRUCTION WASTE. WHERE CARPET IS ADHERED TO FLOOR TILE/MASTIC WITH ADHESIVE OR MASTIC, AND THE FLOOR TILE/MASTIC IS REMOVED ALONG WITH THE CARPET, REMOVE AND DISPOSE OF CARPET UNDER ABATEMENT CONDITIONS.
 9. ANY LIGHTING, PIPING/INSULATION, CONDUIT, DUCT/INSULATION, CABLING, ETC... TO REMAIN OUTSIDE OF THE DEMOLITION SCOPE AND WILL BE IN A CONTAINMENT AREA IS TO BE CLEANED VIA HEPA VACUUMING AND WET WIPING, THEN PREPED AS DEFINED IN THE ABATEMENT WORK PROCEDURES.
21. Sheet A0.01 - Area 'A1' - 1st Floor Demo Plan
 - a. Removed keynote 2 from teacher cabinet at "CR ENGLISH IV A120 1334"
 22. Sheet A0.02 - Area 'B1' - 1st Floor Demo Plan
 - a. Removed keynote 2 from teacher cabinet at "PRIN. OF HEALTH SCIENCE B113 1308"
 23. Sheet A0.03 - Area 'C1' - 1st Floor Demo Plan
 - a. Removed keynote 2 from teacher cabinet at various classrooms.
 24. Sheet A0.08 - Area "H1" 1st Floor Demo Plan
 - a. Included note for quarry tile demolition at "COMMONS H110 1500"
 25. Sheet A0.09 - Area "J1" 1st Floor Demo Plan
 - a. Removed incorrect demo symbol at door, CORR J119 1640
 - b. Removed keynote 11 at PHYS. ED G J103 1604, STAIR J108 1605, LCKR COACH J109 1616, STOR J115 1624, STOR G ATHLE J113, 1626, STAIR J118, TLT J127 1633 to align with A11.09 sheet.
 26. Sheet A0.11 - Area "L1" 1st Floor Demo Plan
 - a. Included room name CR DRAFTING L106.
 27. Sheet A0.12 - Area "M1" 1st Floor Demo Plan

- a. Removed keynote 11 at STOR M103 1701, TLT M M105 1713, TLT W M106 1711, TLT M M124 1717, TLT W M125 1715.
 - b. Revise M110 room name to "COSMETOLOGY"
28. Sheet A0.14 - Area "P1" 1st Floor Demo Plan
- a. Included keynote 11 at SERVING P101 1502, KITCHEN P102 1503, TLT KIT P106 1509, OFF KIT P104 1507, LAUNDRY KIT P103 1508.
29. Sheet A0.18 - Area "B2" 2nd Floor Demo Plan
- a. Included keynote 11 at CORR B200 2300.
30. Sheets A0.25 thru A0.49 – Areas 'A1' thru 'J2' Demo RCP
- a. Add to General RCP Demolition Notes on all demolition sheets listed above:

16) CONTRACTOR TO PROTECT EXISTING CEILING GRIDS FOR WORK ABOVE CEILINGS. CONTRACTOR TO REPAIR GRID OR PROVIDE NEW GRID AS REQUIRED FOR ANY DAMAGED GRID DURING CONSTRUCTION.
31. Sheet A2.08 - Area "H1" 1st Floor Plan
- a. Revised STOR EQUIP H105 1006 to be 1005
32. Sheet A2.09 - Area "J1" 1st Floor Plan
- a. Remove red text rooms LCKR B FOOTBALL FRESHMAN K106 1853 & LCKR B FOOTBALL FRESHMAN K112 1846.
33. Sheet A2.15 – Area "Q1" 1st Floor Plan
- a. Revise Q141 room name to "ORCH ENSEMBLE"
34. Sheet A2.25 – Door Schedules
- a. Add note: "SITE DOORS ARE SHOWN ON DOOR/GATE SCHEDULE SHEET C1.12"
35. Sheet A4.00.1 – Roof Demo Plan
- a. Add note across whole roof: "REFER TO MEP FOR DEMOLITION SCOPE OF ROOF EQUIPMENT (RE: ARCH & STRUCT ROOF DETAILS FOR PENETRATIONS)".
36. Sheet A7.02 – Interior Elevations
- a. Revise detail names Q141 room name to "ORCH ENSEMBLE" on details 1, 2, 3 and 4.
37. Sheet A10.12 – Area "M1" 1st Floor RCP
- a. Revise M110 room name to "COSMETOLOGY"
38. Sheet A10.15 – Area "Q1" 1st Floor RCP
- a. Revise Q141 room name to "ORCH ENSEMBLE"
39. Sheet A10.16 – Area "R1" 1st Floor RCP
- a. Revise R121 room name to "ART DIGITAL"
40. Sheet A11.00 – Interior Finish Legend
- a. Revise size of Weight Room Flooring WRF-1 to read "Re: Specs" in lieu of "TBD".

41. Sheet A11.12 – Area “M1” 1st Floor Finish Plan
 - a. Revise M110 room name to “COSMETOLOGY”
42. Sheet A11.10 - Area “K1” 1st Floor Finish Plan
 - a. Updated floor and wall finish to be ETR at LCKR M WRESTLING K102 and LCKR W WRESTLING K103
43. Sheet A11.15 – Area “Q1” 1st Floor Finish Plan
 - a. Revise Q141 room name to “ORCH ENSEMBLE”
44. Sheet A11.16 – Area “R1” - 1st Floor Finish Plan
 - a. Revise R121 room name to “ART DIGITAL”
45. Sheet A12.04 – Room Graphics Plan – Area ‘M1’
 - a. Revise M110 room name to “COSMETOLOGY”
46. Sheet A12.06 – Room Graphics Plan - Area “Q1”
 - a. Revise Q141 room name to “ORCH ENSEMBLE”
47. Sheet A12.07 – Room Graphics Plan - Area “R1”
 - a. Revise R121 room name to “ART DIGITAL”

PART F: RE-ISSUED SHEETS

55. Sheet A0.07 - Area “G1” 1nd Floor Demo Plan
 - a. Revise G120 “STOR COSTUME” demolished casework
 - b. Revise G121 “SHOP SCENE” demolished casework
56. Sheet A0.10 - Area “K1” 1st Floor Demo Plan
 - a. Revise demo scope per reissued sheet.
57. Sheet A0.13 - Area “N1” 1nd Floor Demo Plan
 - a. Revise N110 “CR PHOTO”, N115 “CR PHOTO”, N11 “CR PHOTO” and N112 “CR PHOTO” demolished casework.
58. Sheet A0.16 - Area “R1” 1st Floor Demo Plan
 - a. Revise CR ART R110, CR SCULPTURE R106 demolished casework
59. Sheet A0.24 - Area “J2” 2nd Floor Plan
 - a. Remove red text reading “83 (4 TIER)” from LCKR B PE J213 2388.
 - b. Remove red text reading “6 (2 TIER)” from room LCKR B PE FRESHMAN J219 2389 & LCKR B PE SOPHMORE J218 2390.
 - c. Remove red text reading “93 (4 TIER) 372” from LCKR B BSKTBALL J203 2385.
 - a. Revise demo scope per reissued sheet.
60. Sheet A2.07 – Area “G1” 1st Floor Plan
 - a. Revise Casework and Window G102 “RECEPTION”
 - b. Revise Casework G116 “STOR COSTUME”, G118 “LCKR DRESS B”, G120 “STOR COSTUME”, G11 “CONTROL RM”, G121 “SHOP SCENE”

- 61. Sheet A2.10 – Area “K1” 1st Floor Plan
 - a. Add new locker room benches per reissued sheet, reference detail 7/A8.04. Add dimensions to new locker room benches.
- 62. Sheet A2.12 - Area “M1” 1st Floor Plan
 - a. Revise M100 “COSMETOLOGY”, M116 “LAUNDRY”, M112 “STOR”, M114 “OFF” casework.
- 63. Sheet A2.13 - Area “N1” 1st Floor Plan
 - a. Revise N118, N117, N109, N110, N115, N111, N112 “CR PHOTO” casework
 - b. Revise N121 and N122 “OFF” casework
- 48. Sheet A2.14 - Area “P1” 1st Floor Plan
 - a. Revise P104 “OFF KIT” casework
- 49. Sheet A2.16 – Area “R1” 1st Floor Plan
 - a. Revise R113 “EDITING” room casework
 - b. Revise R146 “FASHION LAB” casework
 - c. Revise R110 “CR ART”, R106 “CR SCULPTURE” caseworks
 - d. Revise R122 “ART STOR” caseworks
 - e. Revise R123 “ART WRK RM” caseworks
 - f. Revise R121 “ART DIGITAL” caseworks
 - g. Revise R124 “CR ART” caseworks

- 61. Sheet A2.24 - Area “J2” 2nd Floor Finish Plan
 - a. Install new benches per reissued sheet, reference detail 7/A8.04.
 - b. Add dimensions to new locker room benches.
- 61. Sheet A4.03 – Roof Details
 - a. Revise roof opening details per reissued sheet.
- 62. Sheet A4.04 – Roof Details
 - a. Revise roof opening details per reissued sheet.
- 63. Sheet A8.00 – Casework Sections.
 - a. Revise casework sections per reissued sheet.
- 64. Sheet A8.01 – Casework elevations and details.
 - a. Revise casework elevations and details per reissued sheet.
- 65. Sheet A8.02 – Casework elevations and details
 - a. Revise casework elevations and details per reissued sheet.
- 66. Sheet A8.03 – Casework elevations and details
 - a. Revise casework elevations and details per reissued sheet.

- 64. Sheet A12.11 – Graphic Schedules
 - a. Added the New/Re-Numbered Exterior Door Graphics Schedule
 - b. Added the Plaque Type, Sex ID, ADA Symbol and Quantity in Area G1, H1, M1, P1, Q1, R1 Graphic Schedules

PART G: NEW ISSUED SHEETS

65. Sheet A8.00.A – Casework sections
 - a. Issue new sheet in its entirety.

66. Sheet A8.03.A – Casework Elevations and Details
 - a. Issue new sheet in its entirety.

END OF ADDENDUM NO. 01



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Pre-Proposal Conference Sign-In Sheet

Date: December 18, 2024

Meeting Time: 10:00am

Meeting Location: CFISD Facilities Planning & Construction Office

Project Name: **2024 Jersey Village HS Renovation**

Project No.: 202319

NAME	COMPANY	PHONE	EMAIL
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Pre-Proposal Conference Sign-In Sheet *(continued)*

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Pre-Proposal Campus Walk Sign-In Sheet

Date: December 18, 2024

Time: 1:00 pm

Project Name: 2024 Jersey Village HS Renovation

Arcadis Project No.: 202319

NAME	COMPANY	PHONE	EMAIL
Brandon Watron	Division One	713 688 7330	bid@d4construction.com
Greg Wang	Arcadis		greg.wang@arcadis.com
Oscar Pacas	SIPLAST	346-275-8916	OSCAR.PACAS@SIPLAST.COM
Phillip Anderson	CFST		
Touss Otegbade	ARCADIS		touss.otegbade@arcadis.com
Jose A. Vela	MIRION ROOFING	(713) 539-5203	jvela@mriitexas.com
Mark Koehler	MIRION SIPLAST	(713) 302-6636	mark.koehler@siplast.com

FORM AC
COMPETITIVE SEALED PROPOSAL FORM - BASE PROPOSAL

2024 JERSEY VILLAGE HS RENOVATION
Cypress-Fairbanks Independent School District
Cypress-Fairbanks I.S.D. Proposal Number: 24-02-5743R-RFP
Attn: Mr. Jesse Clayburn, Asst. Superintendent of Facilities & Construction

Submitted by: _____

Date: _____ Phone No.: _____

To: Board of Trustees
Cypress-Fairbanks Independent School District
Facilities and Construction
11430-B Perry Road
Houston, Texas 77064

Having examined Proposal and Contract Documents prepared by Texas Arcadis, Inc. dated **December 16, 2024**, and having examined site conditions, the undersigned proposes to furnish all labor, equipment and materials and perform all work for the completion of the above-named project for the sum indicated below.

In submitting his Proposal, the undersigned agrees to the following:

1. Hold Base Proposal open for acceptance sixty (60) days.
2. Accept right of Owner to reject any or all proposals, to waive formalities and to accept proposal which Owner considers most advantageous.
3. Enter into and execute the contract, if awarded, for the Base Proposal and accepted Alternate Proposals.
4. Complete work in accordance with the Contract Documents within the stipulated contract time.
5. By signing, the undersigned affirms that, to the best of his knowledge, the Proposals have been arrived at independently and is submitted without collusion with anyone to obtain information or gain any favoritism that would in any way limit competition or give an unfair advantage over respondents in the award of this proposal.

I. BASE PROPOSAL

A. Undersigned agrees to complete the Work for the lump sum amount of:

_____ Dollars \$ _____
(Amount written in words governs) (Amount in figures)

II. ALLOWANCES

Undersigned certifies that the allowances specified in Section 01 21 00 are included in the Base Proposal and agrees that unexpended balance of allowance sums will revert to Owner in the final settlement of the contract.

III. CONTRACT TIME

By submittal of this proposal, the undersigned stipulates that the Base Proposal includes all costs necessary to attain Substantial Completion of the Work on or before the date stipulated in AIA Document A101™-2017.

THIS PAGE OF PROPOSAL FORM MUST BE SUBMITTED BY 2:00 PM, January 14, 2025
COMPETITIVE SEALED PROPOSAL FORM - BASE PROPOSAL

IV. ADDENDA

Undersigned acknowledges receipt of Addenda Nos. _____ dated _____, _____.

V. CHANGES IN THE WORK

Undersigned understands that changes in the work shall be performed in accordance with the Supplementary Conditions.

VI. LIQUIDATED DAMAGES

By submittal of this proposal, the undersigned stipulates an agreement that if Substantial Completion of the Work is not attained on or before the date stipulated in AIA Document A101™-2017, the undersigned and his Surety shall be liable for and shall pay the Owner the sums stipulated as Liquidated Damages as defined in AIA Document A201™-2017.

It is understood that the right is reserved by the Owner to reject any or all proposals, or waive any informalities in the proposal process.

Authorized Signature

Printed Name

Title

(Seal, if a Corporation)
State whether Corporation,
Partnership or Individual

Name of Contracting Firm

Address

Telephone

Date

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COMPETITIVE SEALED PROPOSAL FORM - BASE PROPOSAL

FORM AC
COMPETITIVE SEALED PROPOSAL FORM - ALTERNATE PROPOSALS

2024 JERSEY VILLAGE HS RENOVATION
Cypress-Fairbanks Independent School District
Cypress-Fairbanks I.S.D. Proposal Number: 24-02-5743R-RFP
Attn: Mr. Jesse Clayburn, Asst. Superintendent of Facilities & Construction

Submitted by: _____

Date: _____ Phone No.: _____

To: Board of Trustees
Cypress-Fairbanks Independent School District
Facilities and Construction
11430-B Perry Road
Houston, Texas 77064

Having examined Proposal and Contract Documents prepared by Texas Arcadis, Inc. dated **December 16, 2024**, and having examined site conditions, the undersigned proposes to furnish all labor, equipment and materials and perform all work for the completion of the above-named project for the sum indicated below.

In submitting his Proposal, the undersigned agrees to the following:

1. Hold Alternate Proposal open for acceptance one hundred twenty (120) days.
2. Accept right of Owner to reject any or all proposals, to waive formalities and to accept proposal which Owner considers most advantageous.
3. Enter into and execute the contract, if awarded, for the Base Proposal and accepted Alternate Proposals.
4. Complete work in accordance with the Contract Documents within the stipulated contract time.
5. By signing, the undersigned affirms that, to the best of his knowledge, the Proposals have been arrived at independently and is submitted without collusion with anyone to obtain information or gain any favoritism that would in any way limit competition or give an unfair advantage over respondents in the award of this proposal.

I. ALTERNATES

If the Owner accepts any or all of the Alternates, the undersigned agrees to modify the Base Proposal as stipulated below:

A. Alternate Number 1 – **Base Bid Adjustment**

ADD/DEDUCT _____ Dollars \$ _____
(Amount written in words governs) (Amount in figures)

II. UNIT PRICES

If the Owner accepts any or all of the Alternates, the undersigned agrees to add or subtract the following units of work:

UNIT PRICE 1: ELECTRICAL DUPLEX RECEPTACLE \$ _____ each

UNIT PRICE 2: DATA DROP \$ _____ each

UNIT PRICE 3: 4 1/2" THICK CONCRETE WALK PER SQUARE FOOT \$ _____ each

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UNIT PRICE 4: 7" THICK CONCRETE DRIVE PER SQUARE FOOT \$_____ each

UNIT PRICE 5: CHAIN LINK FENCE

- | | | | |
|----|--------------------------------|----------|-------------|
| 1. | 4-foot-high fence | \$_____/ | linear foot |
| 2. | 4-foot-high x 3-foot-wide gate | \$_____/ | per leaf |
| 3. | 4-foot-high x 6-foot-wide gate | \$_____/ | per leaf |
| 4. | 6-foot-high fence | \$_____/ | linear foot |
| 5. | 6-foot-high x 3-foot-wide gate | \$_____/ | per leaf |
| 6. | 6-foot-high x 6-foot-wide gate | \$_____/ | per leaf |

UNIT PRICE 6: LIFE SAFETY DEVICES (including all associated cabling and programming)

- | | | | |
|-----|--------------------------------|---------|------|
| 1. | Exterior Horn to Speaker | \$_____ | each |
| 2. | Interior Horn to Speaker | \$_____ | each |
| 3. | Interior Visual Strobe | \$_____ | each |
| 4. | Interior Speaker/Visual Strobe | \$_____ | each |
| 5. | Smoke Detector | \$_____ | each |
| 6. | Heat Detector | \$_____ | each |
| 7. | Manual Pull Station | \$_____ | each |
| 8. | Stopper 2 Pull Station Cover | \$_____ | each |
| 9. | Annunciator Panel | \$_____ | each |
| 10. | Duct Detector | \$_____ | each |
| 11. | Relay | \$_____ | each |
| 12. | Supervisory | \$_____ | each |
| 13. | Waterflow | \$_____ | each |
| 14. | Amplifier | \$_____ | each |
| 15. | Remote Power Supply | \$_____ | each |

UNIT PRICE 7: 4" RESILIENT BASE 100 LINEAR FEET \$_____ each

UNIT PRICE 8: GRAPHIC SIGNS

- | | | | |
|----|-------------|----------|------|
| 1. | Sign Type A | \$_____/ | each |
| 2. | Sign Type B | \$_____/ | each |
| 3. | Sign Type C | \$_____/ | each |
| 4. | Sign Type D | \$_____/ | each |
| 5. | Sign Type E | \$_____/ | each |
| 6. | Sign Type F | \$_____/ | each |

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7.	Max Occupancy Signage	\$_____ /	each
8.	FDC Connection Signage	\$_____ /	each
9.	Wayfinding Signage (2 lines text)	\$_____ /	each
10.	Wayfinding Signage (3 lines text)	\$_____ /	each
11.	Wayfinding Signage (4 lines text)	\$_____ /	each

UNIT PRICE 9: PAINTING \$_____ each

UNIT PRICE 10: EXIT SIGN \$_____ each

UNIT PRICE 11: ORNAMENTAL FENCE

- | | | | |
|----|--------------------------------|-----------|-------------|
| 1. | 6-foot-high fence | \$_____ / | linear foot |
| 2. | 6-foot-high x 4-foot-wide gate | \$_____ / | per leaf |
| 3. | 6-foot-high x 6-foot-wide gate | \$_____ / | per leaf |

UNIT PRICE 12: SECURITY FILM

- | | | | |
|----|--------------|-----------|-------------|
| 1. | Armoured One | \$_____ / | Square foot |
|----|--------------|-----------|-------------|

UNIT PRICE 13: ACCESS CONTROL/INTRUSION DEVICES \$_____ each

UNIT PRICE 14: DATA INFRASTRUCTURE \$_____ each

UNIT PRICE 15: REPLACE UNDERREAMED FOOTINGS WITH STRAIGHT SHAFT DRILLED FOOTING

- | | | | |
|----|------------------|-----------|----|
| 1. | 36 inch diameter | \$_____ / | LF |
| 2. | 48 inch diameter | \$_____ / | LF |
| 3. | 60 inch diameter | \$_____ / | LF |
| 4. | 66 inch diameter | \$_____ / | LF |
| 5. | 72 inch diameter | \$_____ / | LF |
| 6. | 78 inch diameter | \$_____ / | LF |
| 7. | 84 inch diameter | \$_____ / | LF |
| 8. | 90 inch diameter | \$_____ / | LF |

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UNIT PRICE 16: ASBESTOS ABATEMENT COMPONENTS

Identified ACBM at Jersey Village High School

No.	Unit Price Description	Add (\$/Figures)	Deduct (\$/Figures)	Unit of Measure
ASB-1	Price per square foot for the proper removal, transportation, and disposal of interior ACBM black damp proofing mastic behind brick veneer . All work to be completed in compliance with AHERA and TAHPR regulations. – Full Containment	_____	_____	Square Foot
ASB-2	Price per square foot for the proper removal, transportation, and disposal of exterior ACBM black damp proofing mastic behind brick veneer . All work to be completed in compliance with NESHAP regulations.	_____	_____	Square Foot
ASB-3	Price per square foot for the proper removal, transportation, and disposal of ACBM fireproofing and/or overspray . All work to be completed in compliance with AHERA and TAHPR regulations. – Full Containment	_____	_____	Square Foot
ASB-4	Price per square foot for the proper removal, transportation, and disposal of ACBM fireproofing and/or overspray , with the proper cleaning, wet wiping and HEPA vacuuming above ceiling surfaces (beams, ductwork, piping, wiring, etc.) that is to remain. All work to be completed in compliance with AHERA and TAHPR regulations. – Full Containment	_____	_____	Square Foot
ASB-5	Price per square foot for the proper cleaning, wet wiping and HEPA vacuuming above ceiling surfaces (ceiling panels/surfaces, ductwork, piping, wiring, etc.), transportation, and disposal of ACBM fireproofing and/or overspray dust/debris . All work to be completed in compliance with AHERA and TAHPR regulations. – Minimum prep per TAHPR	_____	_____	Square Foot
ASB-6	Price per square foot for the proper cleaning, wet wiping and HEPA vacuuming above ceiling surfaces (ceiling panels/surfaces, ductwork, piping, wiring, etc.), transportation, and disposal of ACBM fireproofing and/or overspray dust/debris . All work to be completed in compliance with AHERA and TAHPR regulations. – Full Containment	_____	_____	Square Foot
ASB-7	Price per square foot for the proper removal, transportation, and disposal of ACBM vinyl floor tile and/or black mastic . All work to be completed in compliance with AHERA and TAHPR regulations. – Full Containment	_____	_____	Square Foot
ASB-8	Price per linear foot for the proper removal, transportation, and disposal of ACBM pipe insulation with mastic coating and/or mudded fittings via glovebag removal method including all necessary regulated work area preparation and PPE	_____	_____	Linear Foot
ASB-9	Price per linear foot for the proper removal, transportation, and disposal of ACBM pipe insulation with mastic coating and/or mudded fittings . All work to be completed in compliance with AHERA and TAHPR regulations. – Full Containment	_____	_____	Linear Foot

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ASB-10	Price per linear foot for the proper removal, transportation, and disposal of ACBM black window glazing putty . All work to be completed in compliance with AHERA and TAHPR regulations. – Full Containment	_____	_____	Linear Foot
ASB-11	Price per unit for the proper removal, transportation, and disposal of ACBM black mirror mastic . All work to be completed in compliance with AHERA and TAHPR regulations. – Full Containment	_____	_____	Unit
ASB-12	Price per linear foot for the proper removal, transportation, and disposal of ACBM black mastic on duct insulation . All work to be completed in compliance with AHERA and TAHPR regulations. (Full Containment)	_____	_____	Linear Foot
ASB-13	Price per linear foot for the proper removal, transportation, and disposal of ACBM black mastic on duct insulation via glovebag removal method including all necessary regulated work area <u>preparation and PPE</u>	_____	_____	Linear Foot
ASB-14	Price per unit for the proper removal, transportation, and disposal of ACBM sinks . All work to be completed in compliance with AHERA and TAHPR regulations. (Component Removal)	_____	_____	Unit
ASB-15	Price per unit for the proper removal, transportation, and disposal of ACBM fire doors and/or door transoms . All work to be completed in compliance with AHERA and TAHPR regulations. (Component Removal)	_____	_____	Unit
ASB-16	Price per linear foot for the proper removal, transportation, and disposal of ACBM underground transite pipe . via glovebag removal method including all necessary regulated work area <u>preparation and PPE</u>	_____	_____	Linear Foot
ASB-17	Price per linear foot for the proper removal, transportation, and disposal of exterior ACBM underground transite pipe . All work to be completed in compliance with NESHAP regulations. <u>Without</u> excavation.	_____	_____	Linear Foot
ASB-18	Price per linear foot for the proper removal, transportation, and disposal of exterior ACBM underground transite pipe . All work to be completed in compliance with NESHAP regulations. <u>With</u> excavation.	_____	_____	Linear Foot

UNIT PRICE 17: WALL SLEEVES \$ _____ LF

III. CONTRACTOR’S PROJECT TEAM MEMBERS

The undersigned proposes the following project team members (include resumes):

Project Manager _____

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Superintendent _____

Asst. Superintendent(s) _____

Project Engineer _____

IV. PROPOSED SUBCONTRACTORS

The undersigned proposes the following subcontractors. Note – Not all trades listed below will apply to every project.

Paving: _____

Abatement: _____

Dampproofing/insulator: _____

Masonry: _____

Roofing: _____

Drywall: _____

Casework: _____

Concrete: _____

Plumbing: _____

Mechanical: _____

Electrical: _____

Fire Alarm: _____

Sprinkler: _____

Low Voltage/Security: _____

Site Utilities: _____

Earthwork/Site Prep: _____

Fencing: _____

Pre-Engineered Metal Building: _____

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Glazing: _____

It is understood that the right is reserved by the Owner to reject any or all proposals, or waive any informalities in proposal process.

Authorized Signature

Printed Name

Title

(Seal, if a Corporation)
State whether Corporation,
Partnership or Individual

Name of Contracting Firm

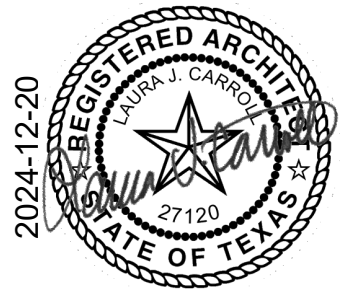
Address

Telephone

Date

END OF FORM

SECTION 02 41 16.13
BUILDING DEMOLITION



CONDITIONS OF THE CONTRACT, SECTIONS AA THROUGH CB AND DIVISION 1 APPLY TO THIS SECTION.

PART 1 - GENERAL

1.1 DESCRIPTION

- A. Refer to Section AB – Instructions to Proposers, Section AF – Subcontractor / Manufacturer Prequalification, and Section 01 25 00 – Request for Substitution Procedures.
- B. Scope of Work:
 - 01 Substantial to complete building demolition of all existing buildings on site as indicated on the Drawings.
 - 02 Complete demolition of site paving, concrete flatwork, underground utilities and similar existing improvements on site as indicated on the Drawings.
 - 03 Removal of all demolition debris from the site.
 - 04 Backfilling excavations.
 - 05 Refer to Drawings for general demolition information.
 - 06 Contractor shall field verify all existing conditions at existing work to be removed prior to start of demolition activities.
- C. Related Work:
 - 01 Section 01 36 13 – Renovation Project Procedures
 - 02 Section 01 36 13.13 – Cutting and Patching
 - 03 Section 01 56 39 – Temporary Tree and Plant Protection
 - 04 Section 02 41 19 – Selective Demolition
 - 05 Section 02 82 13 – Asbestos Abatement

1.2 QUALITY ASSURANCE

- A. Project Conditions:
 - 01 Visit the site as required to become familiar with existing conditions.
 - 02 Note all conditions as to character and extent of work involved for demolition.
- B. Permit, Ordinances, Etc.:
 - 01 Procure and pay for all necessary governmental permits or certificates required to complete the work specified.
 - 02 Make any and all notifications required by governing authorities.
 - 03 Verify requirements and comply with all applicable Federal, State and local ordinances.
- C. Coordinate with all utility providers as required for demolition of electrical, water, sanitary and storm services presently on site.
- D. Make any and all required notifications and comply with all applicable Federal, State and local ordinances.
- E. Demolition of building components containing asbestos or other hazardous materials shall be performed by the same (sub)contractor as stipulated in Section 02 82 13 – Asbestos Abatement.

1.3 ASBESTOS ABATEMENT

- A. All asbestos / hazardous materials shall be removed from the existing facilities by the Contractor based on reports provided by the Owner.
- B. Carefully analyze demolition conditions and sequences to all for the proper removal of all asbestos and hazardous materials.
- C. Do not start any demolition procedures that may interfere with the removal of asbestos / hazardous materials in strict accordance with governmental requirements.

1.4 SCHEDULE

- A. Submit two (2) copies of the proposed demolition schedule (showing methods of operation) to the Architect for review prior to start of demolition work.
- B. Demolition is to begin upon receipt of a Notice to Proceed, and approval of demolition schedule.

PART 2 - PROTECTION

2.1 GENERAL

- A. Execute all demolition work in an orderly and careful manner with due consideration for any existing trees and structures, including any parts of the surrounding areas which are to remain.
 - 01 Barricade and cover as necessary to protect pedestrians, workmen and adjacent properties.
 - 02 Protect any existing active service lines, indicated or not. Provide adequate protective covering to assure that no damage occurs to existing areas.
 - 03 Do not allow equipment to damage root zones of existing trees.
- B. Avoid any encroachment on adjacent properties. Repair and make good any damage to adjoining properties or improvements caused by operations, including any damage or loss to adjoining materials.
- C. Use all means necessary to prevent the spread of dust during performance of this Work.
- D. Use all means necessary to protect all existing work indicated to remain from all types of damage, including fire, water damage, and unnecessary interruption of utility services.
 - 01 In the event of damage of any kind, immediately make all repairs and replacements necessary to the approval of the Owner and Architect.
- E. Use all means necessary to protect the existing trees and vegetation indicated to remain from all types of damage.
 - 01 In the event of damage of any kind, immediately make all repairs and replacements necessary to the approval of the Owner and Architect.

PART 3 - EXECUTION

3.1 DEMOLITION

- A. Coordinate all work with the city having jurisdiction, and all applicable utility companies, and governing authorities.
- B. Before commencing the work of this Section, verify with Architect all items to be removed.
 - 01 Schedule the work in a careful manner with all necessary consideration for the public and the Owner.
 - 02 Owner shall have the right of salvage to all items of existing equipment and materials such as door hardware, scrap copper, light fixtures, plumbing fixtures, accessories or any other item of value to the Owner.
 - 03 Salvaged equipment and material shall remain the property of the Owner and Contractor shall deliver salvaged materials to an in-district location designated by the Owner.
- C. Completely remove all building structure, building slabs, and all plumbing lines that occur within 60" beneath grade. Cap all plumbing and utility lines.
 - 01 Building foundations, including grade beams shall be removed complete.
 - 02 Drilled piers shall be removed to a minimum depth of 60" below grade.
 - 03 Drilled piers which conflict with new work shall be removed completely.
- D. Remove concrete and / or asphalt pavement, drives, flatwork and walks, complete as shown on the Drawings.
 - 01 Use all means necessary to protect existing streets, curbs and other improvements in public R.O.W.'s.
 - 02 Coordinate with authority(s) having jurisdiction as required.
- E. All material removed under this Contract, which is not to be salvaged shall become the property of the Contractor and be promptly removed from the site.
 - 01 At all times, use movable debris boxes, covered, to convey the material through the building.
 - 02 Do not store or permit debris to accumulate on site.
- F. Conduct operations so as not to interfere with adjacent roads, streets, drives, walks, services lines, and the like.
- G. Disconnect any electric, telephone, gas, water, steam or other injection lines servicing the structure, per rules and regulations of authorities having jurisdiction, as specified, or as directed by the Architect.
- H. Backfill any trenches caused by demolition work, in accordance with Section 31 23 33 - Trenching and Backfilling.
- I. Remove all debris from the project site and dispose of all materials in an approved disposal facility.
 - 01 All disposal / dump fees for this shall be paid by the Contractor.
- J. All work shall be subject to phasing of construction as determined by the Contractor subject to agreement by the Architect and Owner.
- K. Keep all public pedestrian areas clear for passage at all times.
- L. Upon completion of demolition of all existing structures, drives, fences, and utility lines, grade site with imported, approved fill and re-grade so no evidence exists that structures were ever present on the site.
 - 01 Slope fills to natural drainage patterns so that ponding doesn't occur.
 - 02 Bring fill elevations up to surrounding existing grade elevations.

3.2 CLEAN-UP

- A. On completion of demolition work, remove all demolition equipment and leave property and adjacent areas clean and satisfactory to local authorities and the Architect.

END OF SECTION

SECTION 32 18 23.33

TRACK AND FIELD SURFACING



CONDITIONS OF THE CONTRACT, SECTIONS AA THROUGH CB AND DIVISION 1 APPLY TO THIS SECTION.

PART 1 - GENERAL

1.1 DESCRIPTION

- A. Refer to Section AB – Instructions to Proposers, Section AF – Subcontractor / Manufacturer Prequalification, and Section 01 25 00 – Request for Substitution Procedures.
- B. Scope of Work:
 - 01 Remove 5mm of existing track surface and recoat with 5 mm thick polyurethane track surfacing where indicated on the Drawings.
 - 02 Remove 5mm of existing track surface and recoat with 5 mm thick polyurethane track surfacing at field events as indicated on the Drawings; including high jump, long jump, triple jump and pole vault areas / runways.
 - 03 System shall include painted striping in accordance with IAAF and NFSHSA standards.
 - 04 The guidelines established in this specification are considered to be minimum acceptable standards for installing the track surface. Higher standards for materials and rates of applications of those materials as established in published and distributed specifications by individual and separate track surface manufacturers/installers shall not be lowered to comply with the minimum requirements set forth in this specification.
- C. Related Work:
 - 01 Section 03 30 00 – Cast-In-Place Concrete
 - 02 Section 31 15 00 – Site Clearing and Earthwork
 - 03 Section 31 22 19 – Finish Grading
 - 04 Section 32 13 13 – Concrete Paving and Flatwork
 - 05 Section 32 18 23.60 – Track Striping

1.2 SUBMITTALS

- A. Review and comply with all provisions of section 01 33 00 – Submittal Procedures.
- B. Product Data: Submit manufacturer’s literature, product data, certifications and supporting information for all products proposed to be furnished, as necessary to demonstrate compliance with the specified requirements.
- C. Shop Drawings: Submit complete shop drawings consisting of design, fabrication and erection / installation of proposed assemblies.
 - 01 Show detailed, dimension drawings of all track and field surfacing.
 - 02 Show detailed, dimension drawings of all striping and painting.
 - 03 Show details of field fabrications, connections and details.
- D. Installation Instructions: Submit manufacturer’s complete installation instructions for all products and / or assemblies proposed to be furnished.

- 01 Installation details submitted for review shall be specific to the work of this contract and accurately depict interface within the assembly(s) indicated on the Drawings.
 - 02 Generic details that do not depict actual conditions may not be acceptable.
- E. Maintenance Instructions: Submit manufacturer's complete maintenance instructions and recommendations for all products and / or assemblies proposed to be furnished.
- 01 Include recommended cleaning products and instructions for use.
 - 02 Where applicable, provide recommended maintenance schedules and procedures.
- F. Color / Finish Samples:
- 01 Provide two (2) samples of each finish for selection by the Architect.
 - 02 Finish samples shall be provided of / on actual material; paper or digital samples shall not be accepted.
 - 03 Minimum size shall be 3" x 3" but must be large enough to convey attributes of the proposed product.
- G. Operations and Maintenance Manuals:
- 01 Provide complete operations and maintenance manuals to the Owner.
 - 02 Refer to section 01 78 23 – Operations and Maintenance Manuals
 - 03 O & M manuals must be reviewed, accepted and delivered to the Owner prior to Owner demonstration(s).
- H. For warranties longer than one (1) year, submit a sample of the warranty proposed to be furnished.
- I. Post Award Submittals:
- 01 The name of track surface supplier/installer to be associated with this project.
 - 02 Manufacturer's technical specification for surfacing materials to be used, including rates of application and installation procedures.
 - 03 Sample of track surface system to be installed. Mark each sample with trade name or designation identification.
 - 04 Copy of Bidder's warranty for track surface system.
- J. Prior to installation submit certificate, signed by track surface Contractor, stating asphaltic and Portland cement concrete pavements are acceptable and satisfactory for the installation of the resilient track surface system.
- K. Post Installation Submittals:
- 01 Submit certificate, signed by track surface Contractor that the synthetic track surface work, including every component, complies with the requirements of the Contract Documents, and that the installation methods were adequate and proper for the conditions of installation and use.
 - 02 Certified laboratory test for the installed track surface system showing compliance with IAAF requirements for force reduction, modified vertical deformation, friction and tensile strength.
 - 03 Submit three copies of a manual describing the materials, devices, and procedures to be followed for use and maintenance of the synthetic track surface system, including the cleaning, paint application, and removal techniques. Include any precautions required by warranty.

- 04 Warranty for track surface installation.
- 05 Submit certification that running track length measured at prescribed location in lane 1 is in compliance with IAAF and NFSHSA standards and requirements.

1.3 QUALITY ASSURANCE

- A. Track surfacing installation shall have a minimum of ten (10) years of experience in the installation of running track and track & field venues.
- B. Weather Conditions:
 - 01 Place no synthetic track surface, primers or any component of the track surface system when the air temperature is 55 degrees F and falling.
 - 02 Materials may be placed after the air temperature is above 50 degrees F and rising.
 - 03 Take air temperature readings in shade away from artificial heat.
 - 04 Do not place any materials under wet or damp conditions.
- C. System Performance Criteria:

01	Force Reduction	35% to 50% (50 to 104 degrees F)
02	Modified Vertical Deformation	0.6 to 1.8 mm (50 to 104 degrees F)
03	Friction	0.5 when wet
04	Tensile Strength	minimum 0.5 MPa
05	Elongation at Break	Minimum 40%

1.4 DELIVERY AND STORAGE

- A. Deliver materials to project site in accordance with the construction progress schedule. Components shall be identified with manufacturers' original labeling and otherwise marked to indicate location of the Work. Store in dry location, protected against damage and according to manufacturers' recommendations.
- B. All of the component materials to be used in the track surfacing shall be on site and audited by the Engineer before surfacing operations can begin.
- C. All empty containers and bags shall remain on site until all track surfacing operations are complete. A final audit of materials will be made by the Engineer before empty containers and bags are removed and disposed of.

1.5 PRE-INSTALLATION MEETING

- A. Prior to commencing installation of the work a meeting will be called at the project site to review material, installation procedures. Meeting shall include the track surface Contractor, Engineer and the Owner.

1.6 WARRANTY

- A. Warranty: The track surfacing system shall be warranted against defects in workmanship, labor and materials under normal use and service for a period of five (5) years from Substantial Completion.
 - 01 The warranty coverage shall not be prorated nor limited by amount of normal usage.

PART 2 - PRODUCTS

2.1 MANUFACTURERS

- A. Design of track and field surfacing is based on products and systems manufactured by epiQ Tracks as provided by Hellas Construction. No substitutions.

2.2 PRODUCTS

- A. Design of track surfacing is based on epiQ Track Q3000 Track Surfacing System.
- B. Primer: Polyurethane-based primer or as recommended by manufacturer, specifically formulated to be compatible with the substrate and track surfacing materials.
- C. Polyurethane Binders:
 - 01 Binder: Polyurethane binder shall be a red pigmented two component system compounded from Polyol and Isocyanate components based on Methylene Diphenyle Isocyanate (MDI) considered to be Toluylene Diphenyle Isocyanate (TDI) free (non-toxic). The binder shall contain no mercury, lead or other hazardous toxic materials or clay fillers. The binder shall have none to low order and be ozone and fungus resistant. The binder shall have additives to prevent ultraviolet light degradation of the system. The binder shall have a consistent color for all applications. The mix of polyol and isocyanate shall contain no more than 60% polyol and no less than 40% isocyanate by volume.
 - 02 Impermeable Level-up: Two components red pigmented MDI based polyurethane mixed with 0.5mm to 2mm black SBR granules or red EPDM rubber granules as filler. Components shall be mixed to consistency so material will flow to fill low areas in existing pavements. Mixture shall consist of a minimum 75% polyurethane by weight of mixture.
 - 03 All polyurethane materials shall be US manufactured.
- D. Rubber Granules:
 - 01 The rubber granules shall be recycled Styrene Butadiene Rubber (SBR), cryogenically processed K chopped and graded 1mm to 2mm in size with less than 4% retained on a No. 50 sieve.
 - 02 Granules shall not contain any trace of fiber or steel.
 - 03 Maximum allowable moisture content shall be 0.75%.
- E. EPDM Granules:
 - 01 The EPDM granules shall be manmade, a minimum of 30% peroxide cured EPDM, chopped, processed and having a specific density of 1.6 +/- 0.08 gm/cc and a Shore-A hardness of 60 +/-5%.
 - 02 Sulphur-cured rubber is not acceptable.
 - 03 The granules shall be graded 1mm-3mm in size unless otherwise specified.
- F. Line Marking Paint:
 - 01 Line marking paint shall be a non-petroleum latex-based product, specifically formulated to be compatible with polyurethane track surfaces.
 - 02 Reference section 32 18 23.60 – Track Striping.

2.3 EQUIPMENT

- A. Mixer: Mixing of binder and shall be by a specifically designed mixing machine with automatic proportioning controls to meter the components of the binder such that the end product is compatible with climatic conditions. No hand mixing will be allowed.
- B. Sprayer: Polyurethane primer shall be applied by airless spray equipment.

2.4 VAULT BOX PLUGS

- A. Each pole vault box shall have a plug of track surface material. The bottom portion of the vault box plug shall consist of 50% polyurethane binder and 50% SBR granules. The 5mm top coat on the plugs shall be the same as the top coat on the athletic track.

PART 3 - EXECUTION

3.1 PREPARATION

- A. Workmanship:
 - 01 The track surfacing work shall be performed by an experienced specialty firm, which shall have installed a minimum of three (3) synthetic polyurethane track surface systems similar to the scope and specifications within the last two (2) years similar to the work required herein.
 - 02 Track surfacing contractor shall be a member in good standing with the United States Tennis Court and Track Builders Association.
 - 03 Track surfacing contractor shall have all required materials, system components and installation equipment on site prior to the start of any work so there will not be any delays in the installation process.
 - 04 Prior to start of any work, coordinate with the Architect to determine if manufacturer's standard installation guidelines differ from these specifications; and fully resolve all differences prior to start of work.
- B. Base Substrate:
 - 05 Substrates shall be clean, dry and oil-free prior to start of track surfacing.
 - 06 Prior to installation of the track surface material, the substrate shall be inspected for conformity to planarity requirements.
 - 07 The substrate surface shall not deviate more than 1/8" in 10'-0" from the designated grade when checked with a 10' straight edge.
 - 08 Prior to start of track surfacing work, the substrate surface shall be flooded with water to determine if low areas exist that could cause bird baths / ponding water on track surfacing when complete.
 - 09 The areas not in conformance with the above requirements shall be corrected prior to start of track surfacing work.
- C. Examination:
 - 01 Prior to installation of any track and field work, including substrates, coordinate with other contractors as required to ensure prerequisite work is planned and installed as required for proper interface with track surfacing installation.

- 02 Thoroughly examine all substrate work to determine it is suitable for proper installation of track surfacing work.
- 03 Confirm all track equipment embedded in substrate is installed for proper interface with track surfacing.
- 04 Notify Contractor of any discrepancies and / or issues and do not proceed until fully resolved.

3.2 INSTALLATION

- A. Impermeable Level-up.
 - 01 Low areas in the pavement surface shall be filled and leveled prior to installation of track surface materials.
 - 02 The entire low area shall be adequately filled to maintain allowable grades across the track surface.
 - 03 Place polyurethane in single or multiple lifts as recommended by the manufacturer to ensure complete cure of the material for the thickness placed.
 - 04 In areas receiving in excess of 4 mm thickness of material, SBR or EPDM granulate of 0.5 mm to 2 mm in size may be added to the polyurethane as filler at a ratio of 25% granulate and 75% polyurethane.
- B. Priming:
 - 01 The entire area to receive track surface mat shall be primed as recommended by the manufacturer.
- C. Base Mat:
 - 01 Base mat shall be comprised of multiple layers of a colored self-leveling flood coat of polyurethane.
 - 02 SBR granulate 1mm to 3mm gradation is broadcast onto the flood coat.
 - 03 Each layer shall consist of a minimum of 40-50% polyurethane and 50-60% rubber granulate and be a minimum of 5mm thick.
 - 04 Rate of application of polyurethane shall be 1.0 to 1.15 lbs./SF. for 3mm and 4mm thickness respectively.
 - 05 Loose granulate shall be removed before repeating the procedure for additional layers to obtain the desired total surface thickness.
- D. Joints:
 - 01 All joint work in base mat shall be flush with adjacent base mat.
 - 02 Joints which have cured shall be primed with binder prior to laying an adjacent base mat.
- E. Top Coat: Base mat shall cure for 24 hours before a top coat is applied.
- F. Installation:
 - 01 Topcoat is one layer of red colored self-leveling flood coat of polyurethane placed on the base mat.
 - 02 The top layers is a minimum of 5mm thick.
 - 03 Broadcast red pigmented EPDM granules 1mm to 3mm gradation on to the initial flood coat.
 - 04 Broadcast red pigmented EPDM granules 1mm to 3mm gradation at a rate of 9 PSY on to the final coat prior to initial set of polyurethane so that the granulate is embedded into the flood coat.
 - 05 After cure is complete, remove the excess granulate by sweeper.

- 06 The remaining embedded EPDM in the surface shall be equal to a minimum of 5 PSY.
- 07 The finished track surface shall have a minimum 10mm thickness when measured from the top of the embedded granulate to the bottom of the base mat.

G. Curing Time:

- 01 Initial set shall be substantially complete within 72 hours.
- 02 Final cure shall be substantially complete within 14 days, depending on weather conditions.
- 03 Use of surface shall be curtailed until final cure is substantially complete.
- 04 Track surface Contractor shall provide adequate measures to protect resilient surface during cure time

3.3 FINAL SURFACE TEST AND REPAIRS

- A. After completion of track surfacing and curing, and before track striping operations, track shall be flooded with water to determine areas that may hold water.
 - 01 All low areas holding water 30 minutes after rain or watering has stopped shall be clearly outlined so that necessary repairs can be made.
- B. In areas holding water, the base mat shall be removed.
 - 01 The size of the area to be removed will be determined by the Architect and / or Civil Engineer.
 - 02 Surface of replaced base mat shall be on equal plane with adjacent surfaces

END OF SECTION

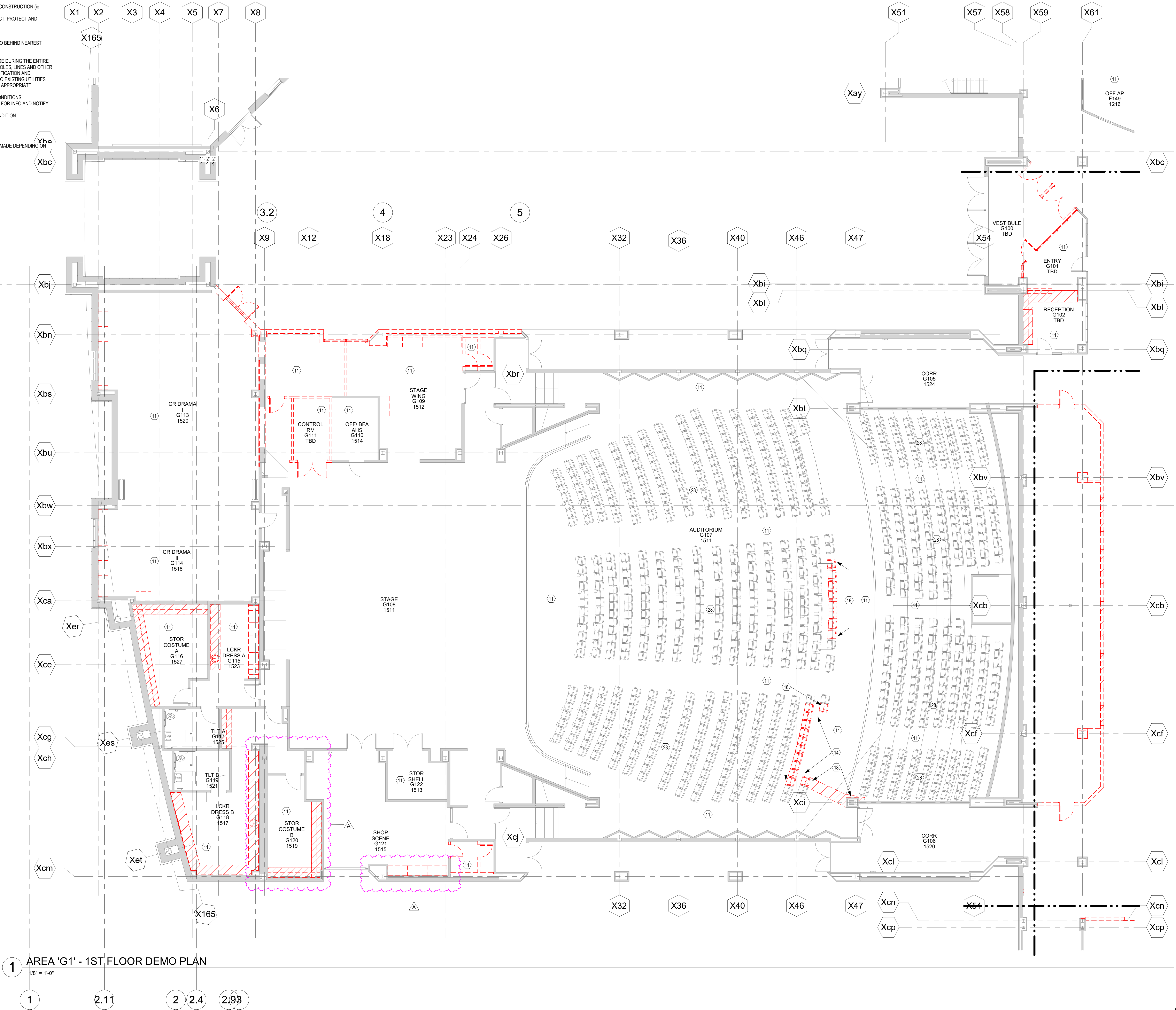
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2. THE CONTRACTOR SHALL VISIT THE SITE TO COMPARE THE EXISTING CONDITIONS TO THE INTENDED WORK AS DESCRIBED OR IMPLIED BY THE DEMOLITION PLANS. IT SHALL BE ASSUMED THAT THE CONTRACTOR HAS A THOROUGH KNOWLEDGE OF EXISTING CONDITIONS AND DEMOLITION PATCHING REQUIRED AT THE TIME BIDS ARE EVALUATED. ADDITIONAL MONEY FOR DEMOLITION OR PATCH WORK REQUIRED WILL NOT BE APPROVED IF EXISTING CONDITIONS ARE APPARENT AND SUCH WORK IS NECESSARY TO COMPLETE THE INTENDED NEW CONSTRUCTION.
3. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING THIS WORK. IN CASE OF ANY DISCREPANCIES, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND WORK SHALL NOT COMMENCE WITHOUT APPROVAL FROM THE ARCHITECT.
4. AT EXISTING WALLS THAT ARE SHOWN TO REMAIN, ANY DEMOLITION WORK WHICH ALTERS OR DAMAGES EXISTING WALLS SHALL BE REPAIRED TO MATCH EXISTING CONDITIONS, MATERIALS & FINISHES AT NO COST TO THE OWNER.
5. THE CONTRACTOR SHALL REMOVE OR RELOCATE ALL M.E.P. DEVICES, LINE CONDUITS, EQUIPMENT, ETC. AS DIRECTED BY ENGINEERS DRAWINGS (RE: TO ENGINEERS DRAWINGS FOR DEMOLITION OF EQUIPMENT NOT SHOWN HERE).
6. SAW CUT AND REPLACE SLAB FOR MEP ITEMS, RE: MEP FOR LOCATIONS.
7. REMOVE ALL EXISTING FLOOR FINISH MATERIALS WITHIN LIMIT OF CONSTRUCTION AND PREPARE FLOOR TO ACCEPT NEW FINISHES, U.N.O.
8. ALL EXISTING ITEMS SHOWN TO REMAIN SHALL BE PROTECTED DURING DEMOLITION AND NEW CONSTRUCTION. CONTRACTOR SHALL REPAIR / REPLACE ANY DAMAGED TO MATCH EXISTING CONDITIONS.
9. PIPING, CONDUIT, DEVICES AND WIRING THAT IS REMOVED AND NOT SCHEDULED FOR REUSE SHALL BE REMOVED COMPLETELY IN CEILING CAVITY AND CAPPED TO BEHIND NEW FINISH SURFACES.
10. AT AREAS OF WORK IN WHICH DEVICES ARE REMOVED FROM THE WALL, CONTRACTOR SHALL PATCH EXISTING WALL SURFACES AND REPAIR OR REFINISH AS REQUIRED TO MATCH EXISTING.
11. CONTRACTOR SHALL PROVIDE SHORING OF EXISTING WALL STRUCTURE AS REQUIRED FOR EXECUTION OF THE WORK.
12. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED SO AS TO MINIMIZE DISRUPTION TO THE SITE.
13. REMOVE EXISTING FINISHES TO STRUCTURAL SLAB/WALL SUBSTRATE WHERE NEW FINISHES ARE SCHEDULED IN EXISTING CONSTRUCTION (e.g. CARPET, VCT, WALLCOVERING).
14. DILIGENT CARE SHALL BE TAKEN IN REMOVAL OF ALL ITEMS TO BE RELOCATED. CONTRACTOR SHALL REMOVE ITEMS IN-TACT, PROTECT AND STORE UNTIL RE-INSTALLATION IN NEW LOCATION. MAKE MINOR REPAIRS AS REQUIRED DUE TO REMOVAL.
15. REFER TO CIVIL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
16. DEMOLITION PLANS ARE PRESENTED TO ASSIST THE CONTRACTOR IN PREPARING BIDS.
17. REMOVE ALL EXISTING EQUIPMENT AND/OR PARTITIONS REQUIRED TO COMPLETE NEW WORK. CAP LINES, CONDUIT, ETC. TO BEHIND NEAREST EXISTING FLOORWALL TO REMAIN.
18. REMOVE ALL DASHED WALLS, WINDOWS, DOORS, FIXTURES AND EQUIPMENT.
19. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND MODIFYING EXISTING UTILITY LINES ABOVE AND BELOW GRADE DURING THE ENTIRE CONSTRUCTION PERIOD INCLUDING ALL NECESSARY TIE-INS AND ELEVATION ADJUSTMENTS, RELOCATION OF ALL UTILITY POLES, LINES AND OTHER EXISTING SERVICES. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE WORK INCLUDING RELOCATION AND COORDINATION WITH THE APPROPRIATE AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING UTILITIES IMMEDIATELY TO INSURE NO INTERRUPTION OF SERVICE. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH APPROPRIATE AGENCIES ALL BURIED LINES THAT APPROACH THE CONSTRUCTION AREA.
20. CONTRACTOR TO REPAIR ALL PREVIOUSLY PAINTED SURFACES. CLEAN/ PREP/ FINISH SURFACES TO MATCH ADJACENT CONDITIONS.
21. REPLACE CARPET/VINYL, AND BASE THROUGHOUT FACILITY. COORDINATE WITH OWNER. RE: FINISH PLAN AND DEMO PLANS FOR INFO AND NOTIFY ARCHITECT OF DISCREPANCIES.
22. WHERE EXISTING FINISHES ARE NOTED TO REMAIN, CONTRACTOR TO THOROUGHLY CLEAN AND REPAIR TO "LIKE NEW" CONDITION.
23. G.C. TO REMOVE AND REPLACE ALL CLOSERS AND LOCK SETS, TYPICAL.
24. G.C. TO DEMOLISH ANALOG HALLWAY CLOCKS.
25. WHERE EXISTING FIREPROOFING HAS BEEN ABATED, CONTRACTOR TO PREP SUBSTRATE FOR NEW FIREPROOFING.
26. ENSURE ALL EQUIPMENT TO BE REMOVED THAT NO CURB CURBS ARE USED ON ROOF.
27. ENSURE ANY EQUIPMENT REPLACEMENT ON THE ROOF GETS NEW CURBS AND APPROPRIATE ROOFING MODIFICATIONS ARE MADE DEPENDING ON THE SIZE OF THE MODIFICATION FOR THE EQUIPMENT REPLACEMENT.
28. DO NOT REUSE EXISTING CURBS AND MODIFY TO FIT NEW EQUIPMENT.
29. CONTRACTOR TO REMOVE EXISTING CORRIDOR CLOCKS AT CEILING, COORDINATE DISPOSAL OR RETURN WITH OWNER.

GENERAL DEMOLITION NOTES

1. CAREFULLY REMOVE HATCHED PORTION OF EXISTING FLOORING AND SLAB FOR NEW PLUMBING, RE: PLUMBING.
2. REMOVE EXISTING CASEWORK IN ITS ENTIRETY, CLEAN/ PREP/ FINISH REMAINING SURFACES TO MATCH ADJACENT CONDITIONS.
3. REMOVE EXISTING RESTROOM PARTITIONS. CLEAN/ PREP/ FINISH REMAINING SURFACES FOR NEW PARTITIONS & DOORS.
4. REMOVE PORTION OF EXISTING WALL AS REQUIRED FOR RENOVATION WORK. PATCH AND REPAIR AS NECESSARY.
5. REMOVE EXISTING DASHED PORTION OF WALL, PREPARE FOR NEW DOOR.
6. EXISTING DOOR TO REMAIN, RE: DOOR COMMENTS.
7. REMOVE EXISTING DOOR HARDWARE AND REPLACE WITH OWNER SPECIFIED HARDWARE. PROTECT EXISTING DOOR AND GLASS. RE: HARDWARE SCHEDULE AND DOOR COMMENTS.
8. REMOVE EXISTING DOOR AND FRAME.
9. RENOVATE RESTROOM TO INCLUDE NEW WALL FINISH, FIXTURES, AND TOILET PARTITIONS. CLEAN/ PREP/ FINISH TO MATCH ADJACENT CONDITIONS. COORDINATE WITH OWNER TO DETERMINE WHICH RESTROOMS RECEIVE NEW FINISHES AND FIXTURES.
10. REMOVE EXISTING FLOOR FINISH AND BASE. CLEAN/ PREP/ FINISH REMAINING SURFACES TO RECEIVE NEW FINISH AND BASE. RE: FINISH SCHED.
11. REMOVE EXISTING FLOOR FINISH AND BASE. CLEAN/ PREP/ FINISH REMAINING SURFACES TO RECEIVE NEW FINISH AND BASE.
12. REMOVE EXISTING LOCKERS & CONCRETE BASES IN THEIR ENTIRETY. REPAIR AND REPOINT WALL. CLEAN/ PREP/ FINISH REMAINING SURFACES TO MATCH ADJACENT CONDITIONS.
13. REMOVE EXISTING PAINT BOOTH IN ITS ENTIRETY, CLEAN/ PREP/ FINISH REMAINING SURFACES TO MATCH ADJACENT CONDITIONS.
14. PREPARE / ROUGHEN EXIST. SLAB FOR NEW FLAT SLAB OF BOOTH. SAWCUT AS REQUIRED.
15. REMOVE EXISTING CANOPY. PATCH AND REPAIR AS NECESSARY.
16. REMOVE EXISTING SEATS AND SALVAGE TO CRFD.
17. PROTECT MARKER & TACK BOARD DURING CONSTRUCTION.
18. DEMOLISH EXISTING SLAB TO PREP FOR BOOTH CONDUIT INSTALL. (RE: MEP/AV)
19. REMOVE AND STORE MUSIC SHELL STORAGE FOR REINSTALLATION.
20. REMOVE EXISTING ICE MACHINES, COORDINATE RETURN WITH DISTRICT.
21. STRIP DOWN TOP LAYER OF EXISTING GYM FLOORS AND CLEAN/ PREP FOR REFINISHING. REFER TO CONSTRUCTION PLAN FOR NEW FINISH RE: SPICES.
22. DEMOLISH AND PREP AREA FOR NEW FUME HOODS. COORDINATE WITH DISTRICT ON EXACT ITEMS AND LOCATION.
23. REMOVE EXISTING CARD READER AND PREPARE LOCATION FOR NEW READER.
24. REMOVE EXISTING IMPACT GLASS AND CLEAN/ PREP FRAME TO RECEIVE NEW IMPACT GLASS.
25. REMOVE AND STORE PLUMBING FIXTURES, MIRROR, AND ACCESSORIES FOR REINSTALLATION.
26. REMOVE EXISTING DOOR PANELS FROM DOOR FRAME. PROTECT FRAME. EXISTING BOOKCASE CASEWORK TO REMAIN BUT REMOVE COUNTERTOP ON CASEWORK IN ITS ENTIRETY. CLEAN/ PREP/ FINISH REMAINING SURFACES TO MATCH ADJACENT CONDITIONS.
27. EXISTING SEALED CONCRETE TO REMAIN THROUGHOUT AUDITORIUM SEATING ZONES. PATRON REPAIR AS REQUIRED.
28. EXISTING INSTR. STORAGE, REMOVED & STORED DURING CONSTRUCTION, TO BE REINSTALLED.

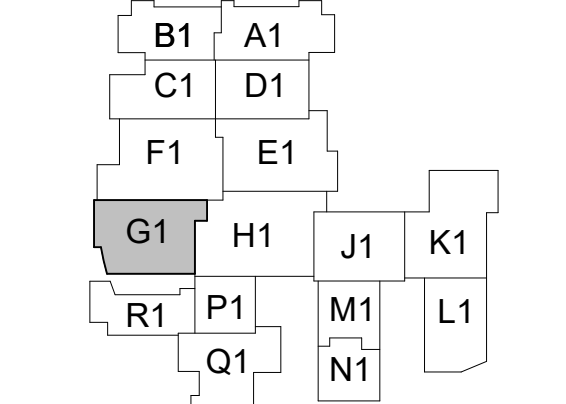
DEMOLITION KEY NOTES

1/4" = 1'-0"



1 AREA 'G1' - 1ST FLOOR DEMO PLAN
1/8" = 1'-0"

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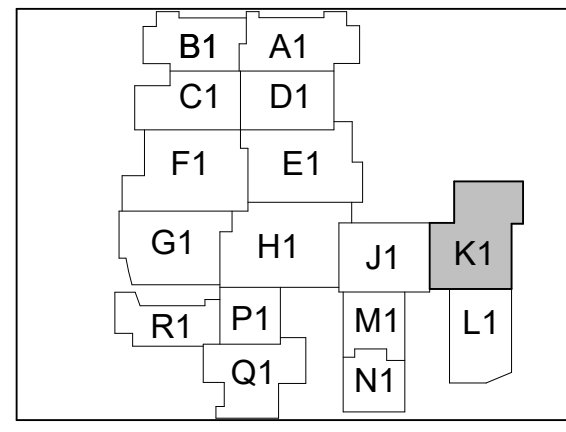


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 AREA 'K1' 1ST FLOOR DEMO PLAN

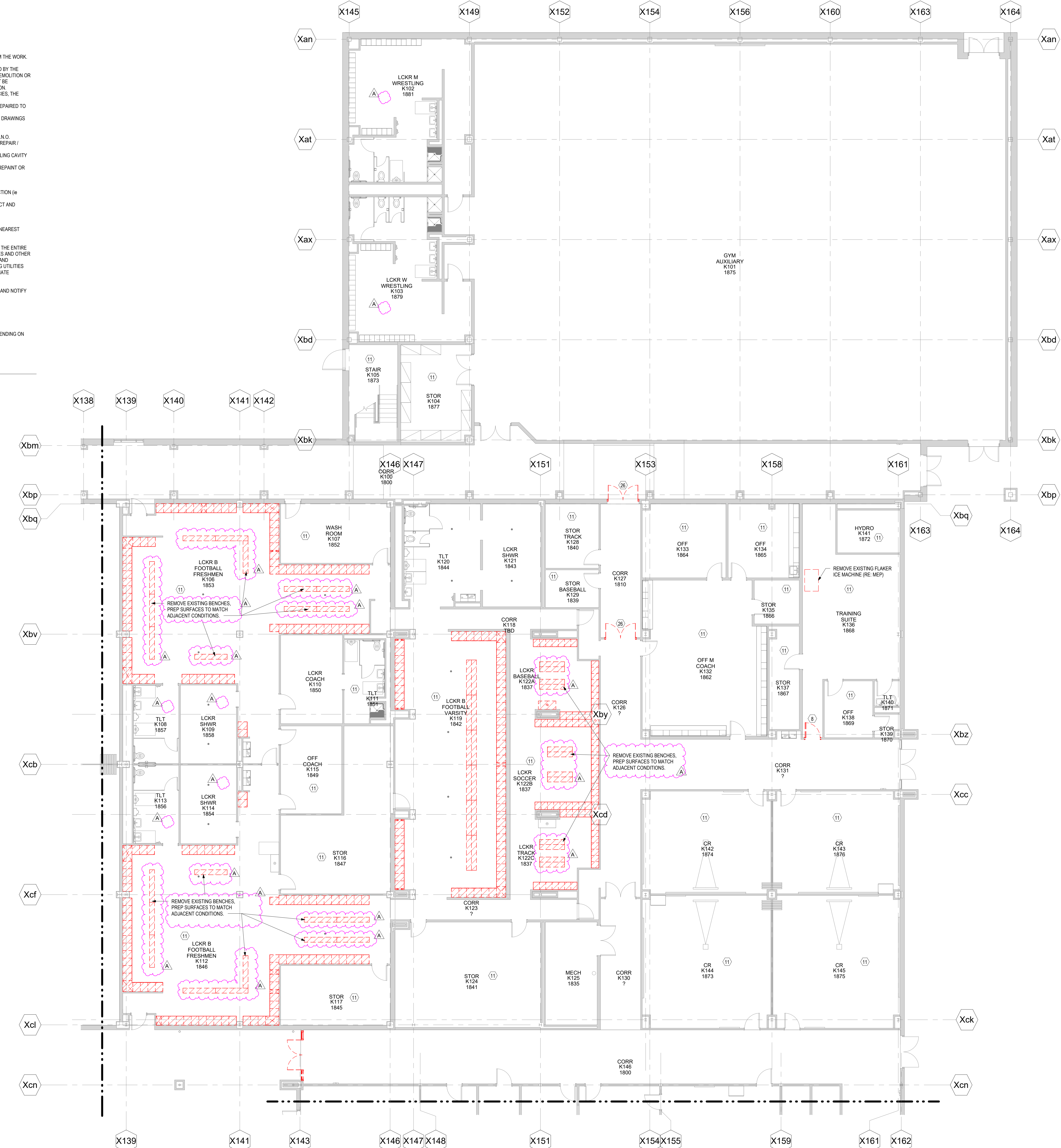
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GENERAL DEMOLITION NOTES

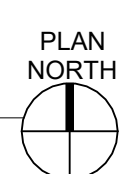
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- REMOVE EXISTING DASHED PORTION OF WALL, PREPARE FOR NEW DOOR.
- EXISTING DOOR TO REMAIN, RE: DOOR COMMENTS.
- REMOVE EXISTING DOOR HARDWARE AND REPLACE WITH OWNER SPECIFIED HARDWARE, PROTECT EXISTING DOOR AND GLASS, RE: HARDWARE SCHEDULE AND DOOR COMMENTS.
- REMOVE EXISTING DOOR AND FRAME.
- RENOVATE RESTROOM TO INCLUDE NEW WALL FINISH, FIXTURES, AND TOILET PARTITIONS. CLEAN/ PREP/ FINISH TO MATCH ADJACENT CONDITIONS. COORDINATE WITH OWNER TO DETERMINE WHICH RESTROOMS RECEIVE NEW FINISHES AND FIXTURES.
- REMOVE EXISTING FLOOR FINISH AND BASE, CLEAN/ PREP/ FINISH REMAINING SURFACES TO RECEIVE NEW FINISH AND BASE. RE: FINISH SCHEDULE.
- REMOVE EXISTING FLOOR FINISH AND BASE, CLEAN/ PREP/ FINISH REMAINING SURFACES TO RECEIVE NEW FINISH AND BASE.
- REMOVE EXISTING LOCKERS & CONCRETE BASES IN THEIR ENTIRETY, REPAIR AND REPOINT WALL. CLEAN/ PREP/ FINISH REMAINING SURFACES TO MATCH ADJACENT CONDITIONS.
- REMOVE EXISTING PAINT BOOTH IN ITS ENTIRETY, CLEAN/ PREP/ FINISH REMAINING SURFACES TO MATCH ADJACENT CONDITIONS.
- PREPARE / ROUGHEN EXIST. SLAB FOR NEW FLAT SLAB OR BOOTH, SAWCUT AS REQUIRED.
- REMOVE EXISTING CANOPY, PATCH AND REPAIR AS NECESSARY.
- REMOVE EXISTING SEATS AND SALVAGE TO CFSD.
- PROTECT MARKER & TACK BOARD DURING CONSTRUCTION.
- DEMOLISH EXISTING SLAB TO PREP FOR BOOTH CONDUIT INSTALL (RE: MEP/AV).
- REMOVE AND STORE MUSIC SHELL STORAGE FOR REINSTALLATION.
- REMOVE EXISTING ICE MACHINES, COORDINATE RETURN WITH DISTRICT.
- STRIP DOWN TOP LAYER OF EXISTING GYM FLOORS AND CLEAN/ PREP FOR REFINISHING. REFER TO CONSTRUCTION PLAN FOR NEW FINISH RE: SPICES.
- DEMOLISH AND PREP AREA FOR NEW FUME HOODS, COORDINATE WITH DISTRICT ON EXACT ITEMS AND LOCATION.
- REMOVE EXISTING CARD READER AND PREPARE LOCATION FOR NEW READER.
- REMOVE EXISTING IMPACT GLASS AND CLEAN/ PREP FRAME TO RECEIVE NEW IMPACT GLASS.
- REMOVE AND STORE PLUMBING FIXTURES, MIRROR, AND ACCESSORIES FOR REINSTALLATION.
- REMOVE EXISTING DOOR PANELS FROM DOOR FRAME, PROTECT FRAME.
- EXISTING BOOKCASE CASEWORK TO REMAIN BUT REMOVE COUNTERTOP ON CASEWORK IN ITS ENTIRETY, CLEAN/ PREP/ FINISH REMAINING SURFACES TO MATCH ADJACENT CONDITIONS.
- EXISTING SEALED CONCRETE TO REMAIN THROUGHOUT AUDITORIUM SEATING ZONES. PATCH REPAIR AS REQUIRED.
- EXISTING INSTR. STORAGE, REMOVED & STORED DURING CONSTRUCTION, TO BE REINSTALLED.

DEMOLITION KEY NOTES

1/4" = 1'-0"



1 AREA 'K1' - 1ST FLOOR DEMO PLAN
 1/8" = 1'-0"



- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL DEMOLITION AND SALVAGE OF EXISTING MATERIALS TO PERFORM THE WORK. ALL MATERIALS SALVAGED SHALL BE SORTED AS DIRECTED BY THE OWNER AND SECURED FOR REUSE WHERE APPLICABLE.
- THE CONTRACTOR SHALL VISIT THE SITE TO COMPARE THE EXISTING CONDITIONS TO THE INTENDED WORK AS DESCRIBED OR IMPLIED BY THE DEMOLITION PLANS. IT SHALL BE ASSUMED THAT THE CONTRACTOR HAS A THOROUGH KNOWLEDGE OF EXISTING CONDITIONS AND DEMOLITION OR PATCHING REQUIRED AT THE TIME BIDS ARE EVALUATED. ADDITIONAL MONEY FOR DEMOLITION OR PATCH WORK REQUIRED WILL NOT BE APPROVED IF EXISTING CONDITION WAS APPARENT AND SUCH WORK IS NECESSARY TO COMPLETE THE INTENDED NEW CONSTRUCTION.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING THIS WORK. IN CASE OF ANY DISCREPANCIES, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND WORK SHALL NOT COMMENCE WITHOUT APPROVAL FROM THE ARCHITECT.
- AT EXISTING WALLS THAT ARE SHOWN TO REMAIN, ANY DEMOLITION WORK WHICH ALTERS OR DAMAGES EXISTING WALLS SHALL BE REPAIRED TO MATCH EXISTING CONDITIONS, MATERIALS & FINISHES AT NO COST TO THE OWNER.
- THE CONTRACTOR SHALL REMOVE OR RELOCATE ALL M.E.P. DEVICES, LINE CONDUITS, EQUIPMENT, ETC. AS DIRECTED BY ENGINEERS DRAWINGS (RE: TO ENGINEERS DRAWINGS FOR DEMOLITION OF EQUIPMENT NOT SHOWN HERE).
- SAW CUT AND REPLACE SLAB FOR MEP ITEMS, RE: MEP FOR LOCATIONS
- REMOVE ALL EXISTING FLOOR FINISH MATERIALS WITHIN LIMIT OF CONSTRUCTION AND PREPARE FLOOR TO ACCEPT NEW FINISHES, U.N.O.
- ALL EXISTING ITEMS SHOWN TO REMAIN SHALL BE PROTECTED DURING DEMOLITION AND NEW CONSTRUCTION. CONTRACTOR SHALL REPAIR / REPLACE ANY DAMAGED TO MATCH EXISTING CONDITIONS.
- PIPING, CONDUIT, DEVICES AND WIRING THAT IS REMOVED AND NOT SCHEDULED FOR REUSE SHALL BE REMOVED COMPLETELY IN CEILING CAVITY AND CARPED TO BEHIND NEW FINISH SURFACES.
- AT AREAS OF WORK IN WHICH DEVICES ARE REMOVED FROM THE WALL, CONTRACTOR SHALL PATCH EXISTING WALL SURFACES AND REPAINT OR REFINISH AS REQUIRED TO MATCH EXISTING.
- CONTRACTOR SHALL PROVIDE SHORING OF EXISTING WALL STRUCTURE AS REQUIRED FOR EXECUTION OF THE WORK.
- ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED SO AS TO MINIMIZE DISRUPTION TO THE SITE.
- REMOVE EXISTING FINISHES TO STRUCTURAL SLAB/WALL SUBSTRATE WHERE NEW FINISHES ARE SCHEDULED IN EXISTING CONSTRUCTION (e.g. CARPET, VCT, WALLCOVERING).
- DILIGENT CARE SHALL BE TAKEN IN REMOVAL OF ALL ITEMS TO BE RELOCATED. CONTRACTOR SHALL REMOVE ITEMS IN-TACT, PROTECT AND STORE UNTIL RE-INSTALLATION IN NEW LOCATION. MAKE MINOR REPAIRS AS REQUIRED DUE TO REMOVAL.
- REFER TO CIVIL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
- DEMOLITION PLANS ARE PRESENTED TO ASSIST THE CONTRACTOR IN PREPARING BIDS.
- REMOVE ALL EXISTING EQUIPMENT AND/OR PARTITIONS REQUIRED TO COMPLETE NEW WORK. CAP LINES, CONDUIT, ETC. TO BEHIND NEAREST EXISTING FLOOR/WALL TO REMAIN.
- REMOVE ALL DASHED WALLS, WINDOWS, DOORS, FIXTURES AND EQUIPMENT
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND MODIFYING EXISTING UTILITY LINES ABOVE AND BELOW GRADE DURING THE ENTIRE CONSTRUCTION PERIOD INCLUDING ALL NECESSARY TIES AND ELEVATION ADJUSTMENTS, RELOCATION OF ALL UTILITY POLES, LINES AND OTHER EXISTING SERVICES. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE WORK INCLUDING VERIFICATION AND COORDINATION WITH THE APPROPRIATE AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING UTILITIES IMMEDIATELY TO INSURE NO INTERRUPTION OF SERVICE. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH APPROPRIATE AGENCIES ALL BURIED LINES THAT APPROXIMATE THE CONSTRUCTION AREA.
- CONTRACTOR TO REPAINT ALL PREVIOUSLY PAINTED SURFACES. CLEAN / PREP / FINISH SURFACES TO MATCH ADJACENT CONDITIONS.
- REPLACE CARPET/VINYL, AND BASE THROUGHOUT FACILITY, COORDINATE WITH OWNER, RE: FINISH PLAN AND DEMO PLANS FOR INFO AND NOTIFY ARCHITECT OF DISCREPANCIES.
- WHERE EXISTING FINISHES ARE NOTED TO REMAIN, CONTRACTOR TO THOROUGHLY CLEAN AND REPAIR TO "LIKE NEW" CONDITION.
- G.C. TO REMOVE AND REPLACE ALL CLOSERS AND LOCK SETS, TYPICAL.
- G.C. TO DEMOLISH ANALOG HALLWAY CLOCKS.
- WHERE EXISTING FIREPROOFING HAS BEEN ABATED, CONTRACTOR TO PREP SUBSTRATE FOR NEW FIREPROOFING.
- ENSURE ALL EQUIPMENT TO BE REMOVED THAT NO CURB CAPS ARE USED ON ROOF.
- ENSURE ANY EQUIPMENT REPLACEMENT ON THE ROOF GETS NEW CURBS AND APPROPRIATE ROOFING MODIFICATIONS ARE MADE DEPENDING ON THE SIZE OF THE MODIFICATION FOR THE EQUIPMENT REPLACEMENT.
- DO NOT REUSE EXISTING CURBS AND MODIFY TO FIT NEW EQUIPMENT.
- CONTRACTOR TO REMOVE EXISTING CORRIDOR CLOCKS AT CEILING, COORDINATE DISPOSAL OR RETURN WITH OWNER.

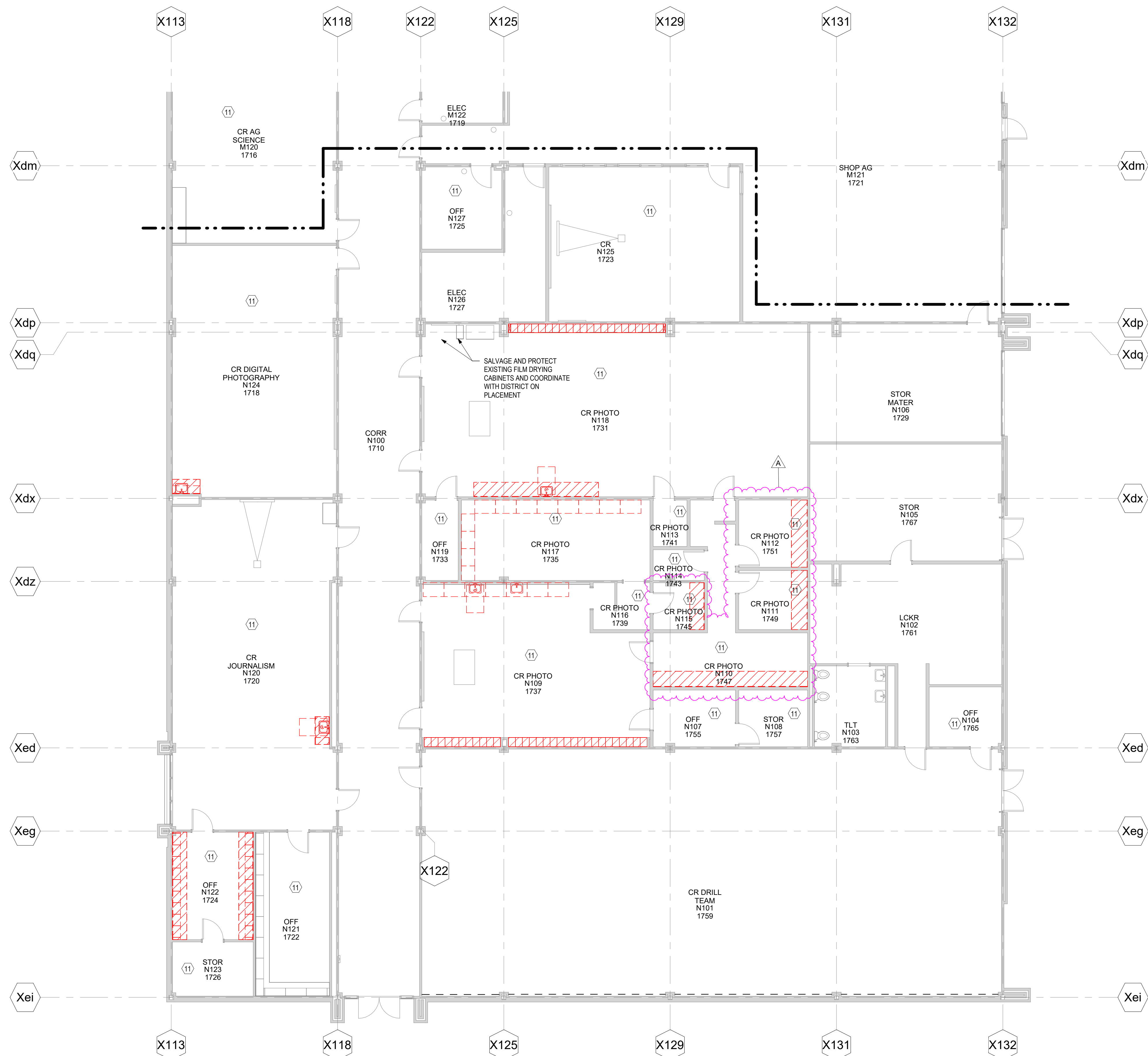
GENERAL DEMOLITION NOTES

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- CAREFULLY REMOVE HATCHED PORTION OF EXISTING FLOORING AND SLAB FOR NEW PLUMBING, RE: PLUMBING.
- REMOVE EXISTING CASEWORK IN ITS ENTIRETY. CLEAN / PREP / FINISH REMAINING SURFACES TO MATCH ADJACENT CONDITIONS.
- REMOVE EXISTING RESTROOM PARTITIONS. CLEAN / PREP / FINISH REMAINING SURFACES FOR NEW PARTITIONS & DOORS.
- REMOVE PORTION OF EXISTING WALL AS REQUIRED FOR RENOVATION WORK. PATCH AND REPAIR AS NECESSARY.
- REMOVE EXISTING DASHED PORTION OF WALL, PREPARE FOR NEW DOOR.
- EXISTING DOOR TO REMAIN, RE: DOOR COMMENTS.
- REMOVE EXISTING DOOR HARDWARE AND REPLACE WITH OWNER SPECIFIED HARDWARE. PROTECT EXISTING DOOR AND GLASS. RE: HARDWARE SCHEDULE AND DOOR COMMENTS.
- REMOVE EXISTING DOOR AND FRAME.
- RENOVATE RESTROOM TO INCLUDE NEW WALL FINISH, FIXTURES, AND TOILET PARTITIONS. CLEAN / PREP / FINISH TO MATCH ADJACENT CONDITIONS. COORDINATE WITH OWNER TO DETERMINE WHICH RESTROOMS RECEIVE NEW FINISHES AND FIXTURES.
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DEMOLITION KEY NOTES

1/4" = 1'-0"



1 AREA 'N1' - 1ST FLOOR DEMO PLAN
1/8" = 1'-0"



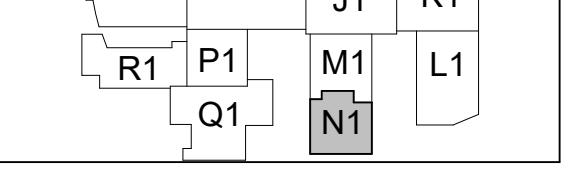
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2024-12-20

PROJECT #:	202319
DATE:	2024-12-20
DRAWN:	NA
CHECKED:	DB
DATE:	ISSUE
2024-12-20	PERMIT & PROPOSAL
2024-12-20	ADDENDUM 01
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AREA 'N1' 1ST FLOOR DEMO PLAN

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL DEMOLITION AND SALVAGE OF EXISTING MATERIALS TO PERFORM THE WORK. ALL MATERIALS SALVAGED SHALL BE SORTED AS DIRECTED BY THE OWNER AND SECURED FOR REUSE WHERE APPLICABLE.
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- SAW CUT AND REPLACE SLAB FOR MEP ITEMS, RE: MEP FOR LOCATIONS.
- REMOVE ALL EXISTING FLOOR FINISH MATERIALS WITHIN LIMIT OF CONSTRUCTION AND PREPARE FLOOR TO ACCEPT NEW FINISHES, U.N.O.
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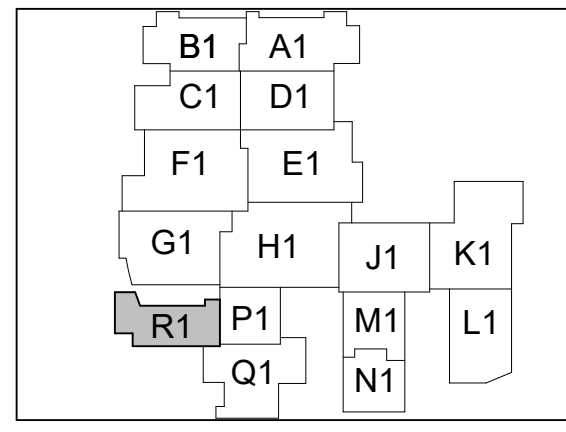
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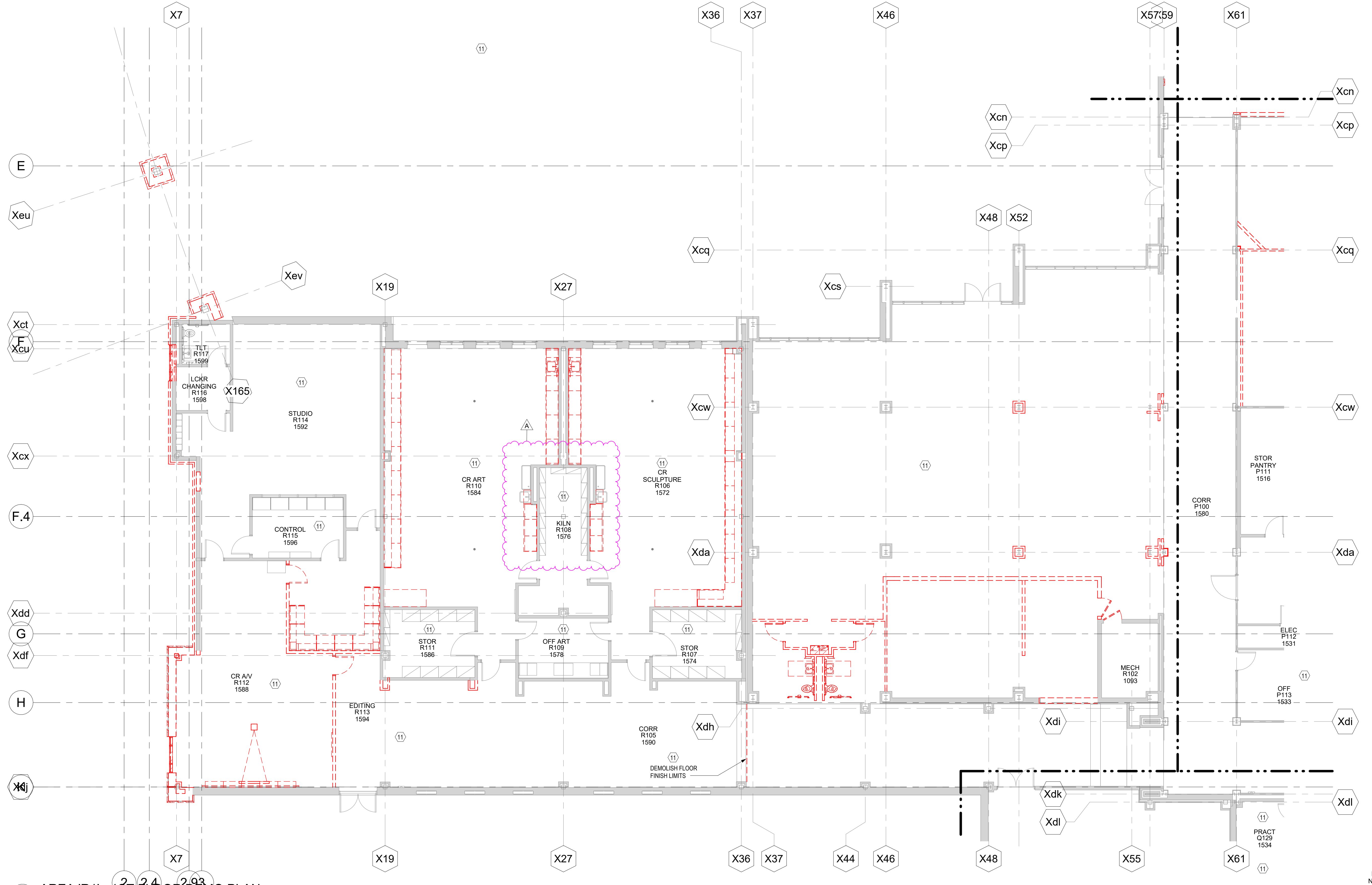
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2024-12-20	ADDENDUM 03
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 AREA 'R1' 1ST FLOOR DEMO PLAN

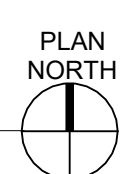
GENERAL DEMOLITION NOTES
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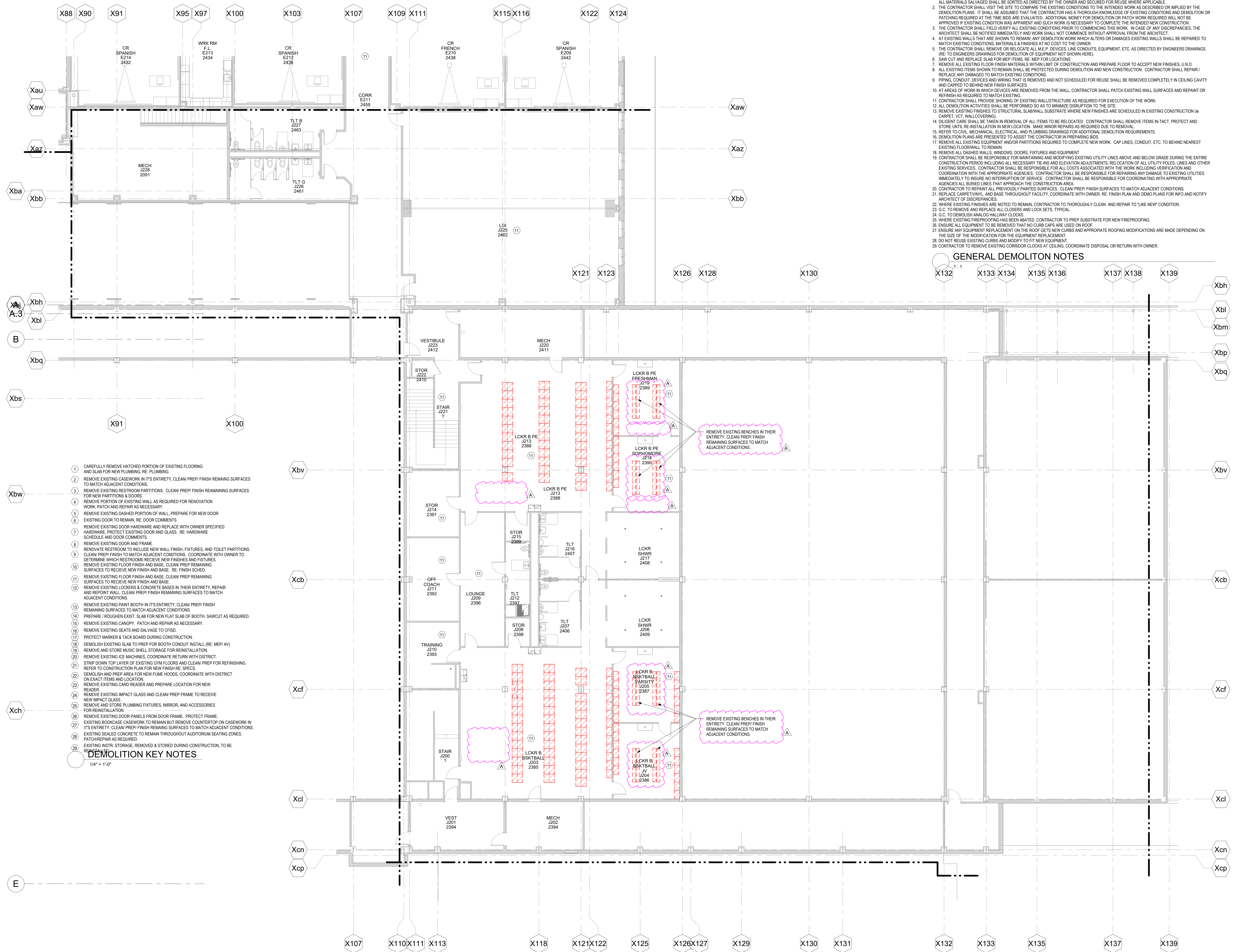
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- EXISTING DOOR TO REMAIN, RE: DOOR COMMENTS.
- REMOVE EXISTING DOOR HARDWARE AND REPLACE WITH OWNER SPECIFIED HARDWARE. PROTECT EXISTING DOOR AND GLASS. RE: HARDWARE SCHEDULE AND DOOR COMMENTS.
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DEMOLITION KEY NOTES
 1/4" = 1'-0"



1 AREA 'R1' - 1ST FLOOR DEMO PLAN
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- 1 CAREFULLY REMOVE HATCHED PORTION OF EXISTING FLOORING AND SLAB FOR NEW PLUMBING, RE PLUMBING.
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- 6 EXISTING DOOR TO REMAIN, RE DOOR COMMENTS.
- 7 REMOVE EXISTING DOOR HARDWARE AND REPLACE WITH OWNER SPECIFIED HARDWARE, PROTECT EXISTING DOOR AND GLASS, RE HARDWARE SCHEDULE AND DOOR COMMENTS.
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- 14 PREPARE / ROUGHEN EXIST. SLAB FOR NEW FLAT SLAB OF BOOTH, SAWCUT AS REQUIRED.
- 15 REMOVE EXISTING CANOPY, PATCH AND REPAIR AS NECESSARY.
- 16 REMOVE EXISTING SEATS AND SALVAGE TO CFSD.
- 17 PROTECT MARKER & TACK BOARD DURING CONSTRUCTION.
- 18 DEMOLISH EXISTING SLAB TO PREP FOR BOOTH CONDUIT INSTALL (RE: MEPI AV).
- 19 REMOVE AND STORE MUSIC SHELL STORAGE FOR REINSTALLATION.
- 20 REMOVE EXISTING ICE MACHINES, COORDINATE RETURN WITH DISTRICT.
- 21 STRIP DOWN TOP LAYER OF EXISTING GYM FLOORS AND CLEAN PREP FOR REFINISHING, REFER TO CONSTRUCTION PLAN FOR NEW FINISH RE: SPECS.
- 22 DEMOLISH AND PREP AREA FOR NEW FUME HOODS, COORDINATE WITH DISTRICT ON EXACT ITEMS AND LOCATION.
- 23 REMOVE EXISTING CARD READER AND PREPARE LOCATION FOR NEW READER.
- 24 REMOVE EXISTING IMPACT GLASS AND CLEAN PREP FRAME TO RECEIVE NEW IMPACT GLASS.
- 25 REMOVE AND STORE PLUMBING FIXTURES, MIRROR, AND ACCESSORIES FOR REINSTALLATION.
- 26 REMOVE EXISTING DOOR PANELS FROM DOOR FRAME, PROTECT FRAME.
- 27 EXISTING BOOKCASE CASEWORK TO REMAIN BUT REMOVE COUNTERTOP ON CASEWORK IN ITS ENTIRETY, CLEAN PREP/ FINISH REMAINING SURFACES TO MATCH ADJACENT CONDITIONS.
- 28 EXISTING SEALED CONCRETE TO REMAIN THROUGHOUT AUDITORIUM SEATING ZONES, PATCH/REPAIR AS REQUIRED.
- 29 EXISTING INSTR. STORAGE, REMOVED & STORED DURING CONSTRUCTION, TO BE RE-INSTALLED.

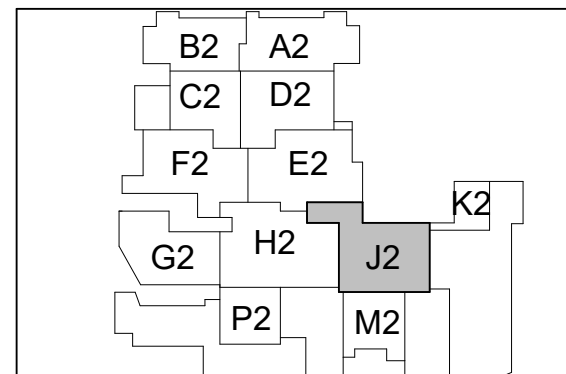
DEMOLITION KEY NOTES

1/4" = 1'-0"

GENERAL DEMOLITION NOTES

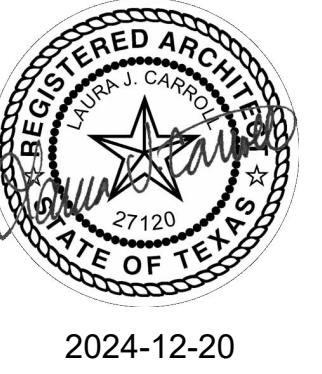
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL DEMOLITION AND SALVAGE OF EXISTING MATERIALS TO PERFORM THE WORK. ALL MATERIALS SALVAGED SHALL BE SORTED AS DIRECTED BY THE OWNER AND SECURED FOR REUSE WHERE APPLICABLE.
2. THE CONTRACTOR SHALL VISIT THE SITE TO COMPARE THE EXISTING CONDITIONS TO THE INTENDED WORK AS DESCRIBED OR IMPLIED BY THE DEMOLITION AND SALVAGE PLAN. THE CONTRACTOR HAS A THOROUGH KNOWLEDGE OF EXISTING CONDITIONS AND DEMOLITION OR PATCHING REQUIRED AT THE TIME BIDS ARE EVALUATED. ADDITIONAL MONEY FOR DEMOLITION OR PATCH WORK REQUIRED WILL NOT BE APPROVED IF EXISTING CONDITION WAS APPARENT AND SUCH WORK IS NECESSARY TO COMPLETE THE INTENDED NEW CONSTRUCTION.
3. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING THIS WORK. IN CASE OF ANY DISCREPANCIES, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND WORK SHALL NOT COMMENCE WITHOUT APPROVAL FROM THE ARCHITECT.
4. AT EXISTING WALLS THAT ARE SHOWN TO REMAIN, ANY DEMOLITION WORK WHICH ALTERS OR DAMAGES EXISTING WALLS SHALL BE REPAIRED TO MATCH EXISTING CONDITIONS. MATERIALS & FINISHES AT TWO COST TO THE OWNER.
5. THE CONTRACTOR SHALL REMOVE OR RELOCATE ALL M.E.P. DEVICES, LINE CONDUITS, EQUIPMENT, ETC. AS DIRECTED BY ENGINEERS DRAWINGS (RE: TO ENGINEERS DRAWINGS FOR DEMOLITION OF EQUIPMENT NOT SHOWN HERE).
6. SAW CUT AND REPLACE SLAB FOR MEP LOCATIONS.
7. REMOVE ALL EXISTING FLOOR FINISH MATERIALS WITHIN LIMIT OF CONSTRUCTION AND PREPARE FLOOR TO ACCEPT NEW FINISHES, U.N.O.
8. ALL EXISTING ITEMS SHOWN TO REMAIN SHALL BE PROTECTED DURING DEMOLITION AND NEW CONSTRUCTION. CONTRACTOR SHALL REPAIR / REPLACE ANY DAMAGED TO MATCH EXISTING CONDITIONS.
9. PIPING, CONDUIT, DEVICES AND WIRING THAT IS REMOVED AND NOT SCHEDULED FOR REUSE SHALL BE REMOVED COMPLETELY IN CEILING CAVITY AND GAPPED TO BEHIND NEW FINISH SURFACES.
10. AT AREAS OF WORK IN WHICH DEVICES ARE REMOVED FROM THE WALL, CONTRACTOR SHALL PATCH EXISTING WALL SURFACES AND REPAIR OR REFINISH AS REQUIRED TO MATCH EXISTING.
11. CONTRACTOR SHALL PROVIDE SHORING OF EXISTING WALL STRUCTURE AS REQUIRED FOR EXECUTION OF THE WORK.
12. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED SO AS TO MINIMIZE DISRUPTION TO THE SITE.
13. REMOVE EXISTING FINISHES TO STRUCTURAL SLAB/ SUBSTRATE WHERE NEW FINISHES ARE SCHEDULED IN EXISTING CONSTRUCTION (e.g. CARPET, VCT, WALLCOVERING).
14. DILIGENT CARE SHALL BE TAKEN IN REMOVAL OF ALL ITEMS TO BE RELOCATED. CONTRACTOR SHALL REMOVE ITEMS IN-TACT, PROTECT AND STORE UNTIL RE-INSTALLATION IN NEW LOCATION, MAKE MINOR REPAIRS AS REQUIRED DUE TO REMOVAL.
15. REFER TO CIVIL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
16. DEMOLITION PLANS ARE PRESENTED TO ASSIST THE CONTRACTOR IN PREPARING BIDS.
17. REMOVE ALL EXISTING EQUIPMENT AND/OR PARTITIONS REQUIRED TO COMPLETE NEW WORK. CAP LINES, CONDUIT, ETC. TO BEHIND NEAREST EXISTING FLOOR/WALL TO REMAIN.
18. REMOVE ALL DASHED WALLS, WINDOWS, DOORS, FIXTURES AND EQUIPMENT.
19. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND WOODPIPING EXISTING UTILITY LINES ABOVE AND BELOW GRADE DURING THE ENTIRE CONSTRUCTION PERIOD INCLUDING ALL NECESSARY TIE-INS AND ELEVATION ADJUSTMENTS, RELOCATION OF ALL UTILITY POLES, LINES AND OTHER EXISTING SERVICES. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE WORK, INCLUDING VERIFICATION AND COORDINATION WITH THE APPROPRIATE AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING UTILITIES IMMEDIATELY TO INSURE NO INTERRUPTION OF SERVICE. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH APPROPRIATE AGENCIES ALL BURIED LINES THAT APPROACH THE CONSTRUCTION AREA.
20. CONTRACTOR TO REPAIR ALL PREVIOUSLY PAINTED SURFACES. CLEAN PREP/ FINISH SURFACES TO MATCH ADJACENT CONDITIONS.
21. REPLACE CARPET/VINYL, AND BASE THROUGHOUT FACILITY. COORDINATE WITH OWNER, RE: FINISH PLAN AND DEMO PLANS FOR INFO AND NOTIFY ARCHITECT OF DISCREPANCIES.
22. WHERE EXISTING FINISHES ARE NOTED TO REMAIN, CONTRACTOR TO THOROUGHLY CLEAN AND REPAIR TO "LIKE NEW" CONDITION.
23. G.C. TO REMOVE AND REPLACE ALL CLOSERS AND LOCK SETS, TYPICAL.
24. G.C. TO DEMOLISH ANALOG HALLWAY CLOCKS.
25. WHERE EXISTING FIREPROOFING HAS BEEN ABATED, CONTRACTOR TO PREP SUBSTRATE FOR NEW FIREPROOFING.
26. ENSURE ALL EQUIPMENT TO BE REMOVED THAT NO CURB CAPS ARE USED ON ROOF.
27. ENSURE ANY EQUIPMENT REPLACEMENT ON THE ROOF GETS NEW CURBS AND APPROPRIATE ROOFING MODIFICATIONS ARE MADE DEPENDING ON THE SIZE OF THE MODIFICATION FOR THE EQUIPMENT REPLACEMENT.
28. DO NOT REUSE EXISTING CURBS AND MODIFY TO FIT NEW EQUIPMENT.
29. CONTRACTOR TO REMOVE EXISTING CORRIDOR CLOCKS AT CEILING, COORDINATE DISPOSAL OR RETURN WITH OWNER.

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A0.24
 AREA 'J2' 2ND FLOOR DEMO PLAN

1 AREA 'J2' - 2ND FLOOR DEMO PLAN
 1/8" = 1'-0"



- RE: G1 SERIES SHEETS FOR ACCESSIBLE MOUNTING HEIGHTS
- RE: A6 SERIES SHEETS FOR PARTITION TYPES
- RE: A9 SERIES SHEETS FOR DOOR & FRAME ELEVATIONS
- RE: A11 SERIES SHEETS FOR COLOR SELECTIONS IN FINISH LEGEND
- ALL CMU COLUMN FURROUTS ARE TO BE 1'-0" OFF COLUMN CENTER LINE, UNLESS NOTED OTHERWISE
- MASONRY DIMENSIONS ARE NOMINAL
- ALL DIMENSIONS ARE TO FINISH FACE OF EXTERIOR WALLS, FOUNDATION, MASONRY, OR TO CENTER LINE OF COLUMN, UNLESS NOTED OTHERWISE
- ALL WALL FINISH GOES TO DECK IN ROOMS WITHOUT CEILINGS
- ALL EXTERIOR WALLS EXTEND TO BOTTOM OF ROOF DECK
- PROVIDE EXPANSION JOINT COVERS ON INTERIOR WALLS @ BUILDING EXPANSION JOINTS RE: SPECS
- ALL SPACES W/ FLOOR DRAINS SHALL HAVE FINISHED FLOOR SLOPE TO DRAIN. VERIFY W/ ARCH. IN FIELD
- ALL EQUIP. PADS SHALL BE AS PER STRUC. DWGS. COORDINATE SIZES, THICKNESS & LOCATIONS W/ MECH. CHAMFER EDGES
- ALL EXTERIOR DOORS SHALL RECEIVE A THRESHOLD. THRESHOLD TO BE OF SUFFICIENT WIDTH TO COVER SIDEWALK TO FOUNDATION EXPANSION JOINT TO MAINTAIN ONLY 1/2" RISE & STAY ADA COMPLIANT
- PROVIDE TRANSITION STRIPS @ ALL FLOOR FINISH TRANSITIONS PER SPECS. UNLESS NOTED OTHERWISE
- ALL FLOOR MATERIAL CHANGES SHALL OCCUR @ CENTERLINE OF DOOR, UNLESS NOTED OTHERWISE
- F.E.C. DENOTES FIRE EXTINGUISHER & CABINET
- DASHED EQUIPMENT/ FURNITURE IS NOT IN CONTRACT (N.I.C.)
- PROVIDE HORIZONTAL BLINDS @ ALL NEW EXTERIOR WINDOWS, EXCEPT WINDOWS ADJACENT TO EXIT ENTRY DOORS. PROVIDE HORIZONTAL BLINDS @ ALL NEW INTERIOR WINDOW LOCATIONS
- SAWTOOTH ALL NEW MASONRY INTO EXISTING CMU OR BRICK
- REPLACE ANY DAMAGED CEILING TILES WITH SALVAGED EXISTING TILES IN THE INSTALLATION OF SPEAKERS, FIRE ALARM, ETC. AS SHOWN ON THE T SERIES DRAWINGS.
- REPLACE THE PLASTER SPOFFIT AS REQUIRED FOR THE INSTALLATION OF THE SPEAKERS AS SHOWN ON THE T SERIES DRAWINGS.
- GENERAL NOTE: FOR CONC. CURB AT BASE OF PARTITION, REFER TO PARTITION TYPES SHEET A6 SERIES PER ROOM TYPE.
- THE CONTRACTOR WILL NEED TO REMOVE CEILINGS (GYPSUM BOARD CEILINGS AND/OR CEILING TILES) AS NECESSARY TO INSTALL CONDENSATION LINES, TECHNOLOGY LINES, LIFE SAFETY THROUGHOUT THE BUILDING. ONCE INSTALLED THE CONTRACTOR WILL NEED TO REPAIR, PATCH, OR REPLACE THE CEILINGS AS REQUIRED. THE CONTRACTOR WILL NEED TO REFER TO THE MEPT SHEETS TO DETERMINE THE PATHS.
- CONTRACTOR TO INSTALL PAINTABLE METAL PLATE AT LOCATIONS WHERE CORRIDOR CLOCKS REMOVED.

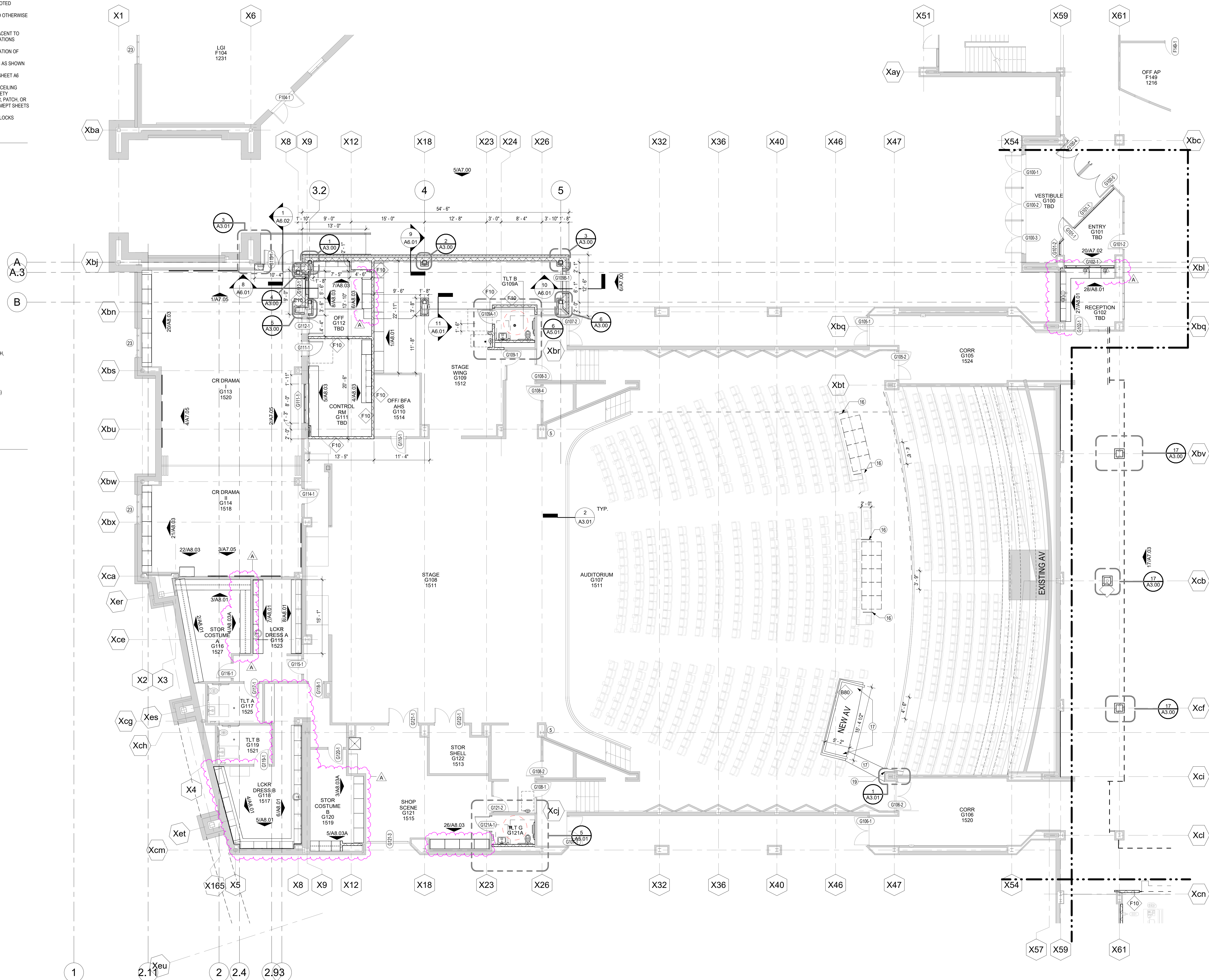
GENERAL PLAN NOTES

1:1

- DRYER, RE: SPECS
- NOT USED
- NOT USED
- NEW FLAKER ICE MACHINE (RE: MEP)
- MTL STUD MANUF. TO ENGINEER SUPPORT (RE: AUDIOVISUAL)
- COPIER/ PRINTER (N.I.C.)
- PAPER TOWEL DISPENSER
- SOMP DISPENSER
- INTERACTIVE MONITOR, O.P.C.I., CENTER ON WALL
- NEW ACCESSIBLE SINK IN NEW CASEWORK, C105
- ACCESSIBLE SINK WITH HOSE SPRAYER
- WASHER/DRYER 4" CONC. HOUSEKEEPING PAD (RE: STRUCT)
- NEW SLOTTED FUME HOODS (RE: MEP)
- NEW SOURCE CAPTURE ARM W/ EXHAUST FAN (RE: MEP)
- NEW CONC. PLATFORM ON EXISTING SLAB FOR NEW CONTROL BOOTH
- NEW 2" PIPE RAILINGS 24" W/ ANGLE BASES BOLTED TO FLOOR
- NEW FANT CONC. SLAB ON EXISTING SLAB FOR NEW CONTROL BOOTH
- NEW TEACHERS CABINET, T401
- REPAIR DEMOLISHED CONC. AS REQUIRED FOR NEW CONDUIT FURROUT AT EXISTING BRICK COLUMN WRAP
- NEW PLAM COUNTERTOP ON EXISTING BOOKCASE CASEWORK, V.I.F. COUNTER LENGTH. PROVIDE 1" OVERHANG
- EXISTING RELOCATED WENGER MUSIC STORAGE
- REMOVE AND REPLACE SECURITY GLAZING
- EXISTING GLAZING TO RECEIVE. IMPACT FILM, RE: SPECS
- NEW SLAB AND STEP (MATCH EXISTING) FOR CONDUITS (RE: AV AND ELEC. DRAWINGS)
- CORD REELS, RE: RCP
- NEW ART WALL MURAL LOCATION ALLOWANCE
- LOCKER BENCH, RE: SPECS, RE: 7/A6.04
- NEW WENGER MUSIC STORAGE, TYPE #5, RE: SPECS

PLAN KEYNOTES

1/4" = 1'-0"



1 AREA 'G1' - FLOOR PLAN
1/8" = 1'-0"

CONSULTANTS

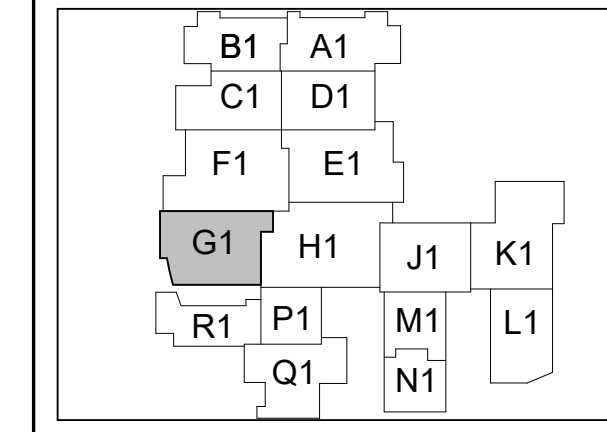
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A2.07

AREA 'G1' 1ST FLOOR PLAN

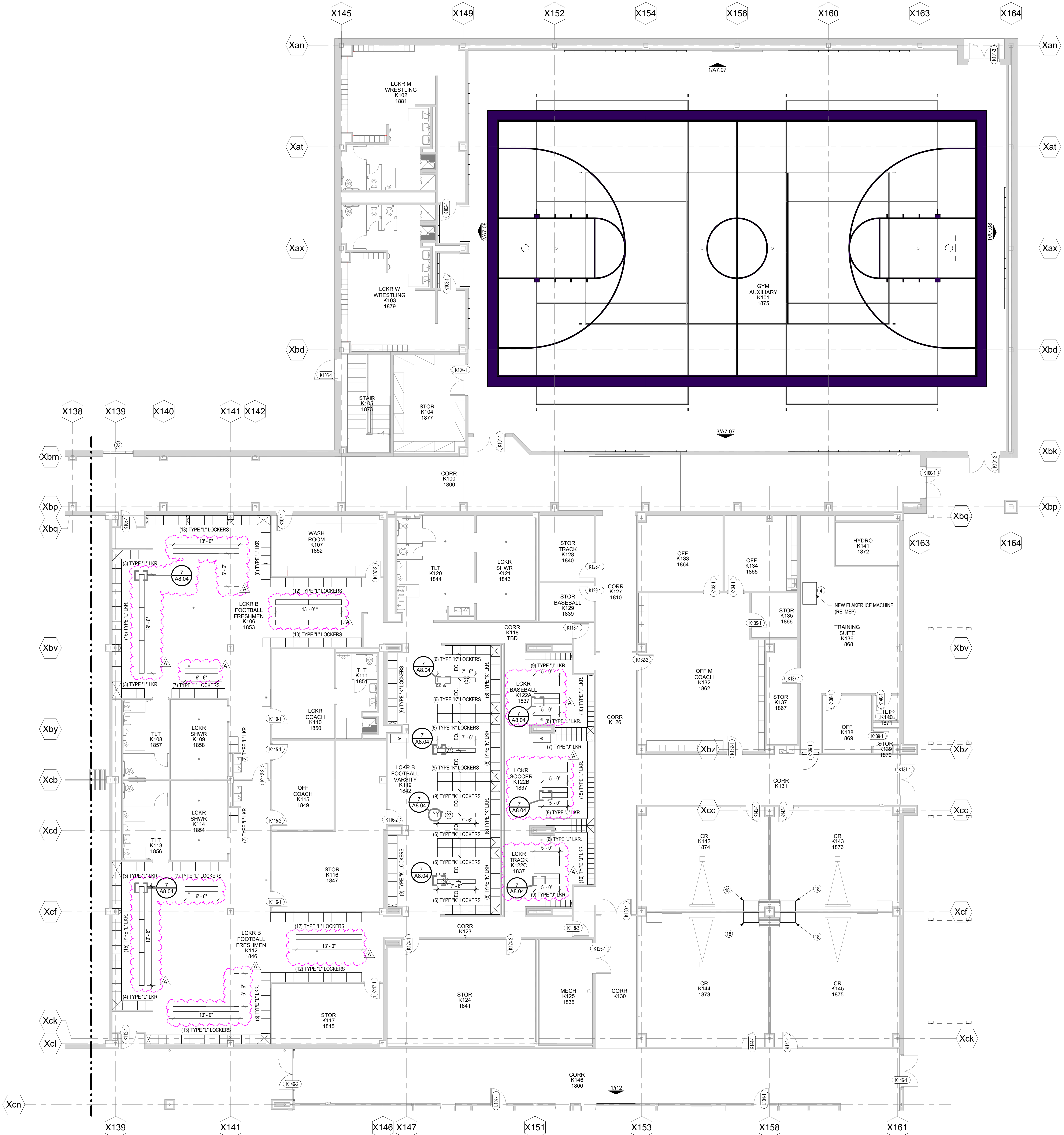


- RE: G1 SERIES SHEETS FOR ACCESSIBLE MOUNTING HEIGHTS
- RE: A6 SERIES SHEETS FOR PARTITION TYPES
- RE: A8 SERIES SHEETS FOR DOOR & FRAME ELEVATIONS
- RE: A11 SERIES SHEETS FOR COLOR SELECTIONS IN FINISH LEGEND
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- ALL DIMENSIONS ARE TO FINISH FACE OF EXTERIOR WALLS, FOUNDATION, MASONRY, OR TO CENTER LINE OF COLUMN, UNLESS NOTED OTHERWISE
- ALL WALL FINISH GOES TO DECK IN ROOMS WITHOUT CEILINGS
- ALL EXTERIOR WALLS EXTEND TO BOTTOM OF ROOF DECK
- PROVIDE EXPANSION JOINT COVERS ON INTERIOR WALLS @ BUILDING EXPANSION JOINTS RE: SPECS
- ALL SPACES W/ FLOOR DRAINS SHALL HAVE FINISHED FLOOR SLOPE TO DRAIN. VERIFY W/ ARCH. IN FIELD
- ALL EQUIP. PADS SHALL BE AS PER STRUC. DWGS. COORDINATE SIZES, THICKNESS & LOCATIONS W/ MECH. CHAMFER EDGES
- ALL EXTERIOR DOORS SHALL RECEIVE A THRESHOLD. THRESHOLD TO BE OF SUFFICIENT WIDTH TO COVER SIDEWALK TO FOUNDATION EXPANSION JOINT TO MAINTAIN ONLY 1/2" RISE & STAY ADA COMPLIANT
- PROVIDE TRANSITION STRIPS @ ALL FLOOR FINISH TRANSITIONS PER SPECS, UNLESS NOTED OTHERWISE
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- DASHED EQUIPMENT FURNITURE IS NOT IN CONTRACT (N.I.C.)
- PROVIDE HORIZONTAL BLINDS @ ALL NEW EXTERIOR WINDOWS, EXCEPT WINDOWS ADJACENT TO ENTRY DOORS. PROVIDE HORIZONTAL BLINDS @ ALL NEW INTERIOR WINDOW LOCATIONS
- SAWTOOTH ALL NEW MASONRY INTO EXISTING CMU OR BRICK
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GENERAL PLAN NOTES
1:1

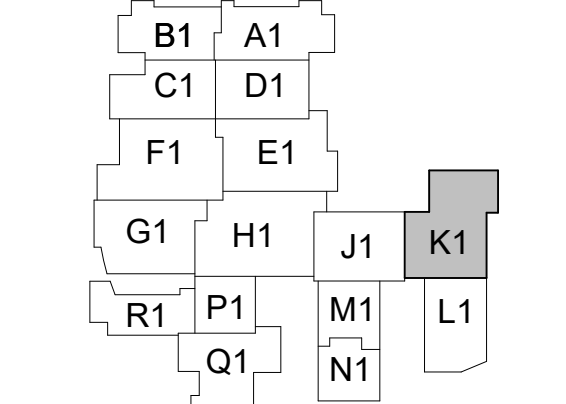
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PLAN KEYNOTES
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1 AREA 'K1' - FLOOR PLAN
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A2.10
 AREA 'K1' 1ST FLOOR PLAN



- RE: G1 SERIES SHEETS FOR ACCESSIBLE MOUNTING HEIGHTS
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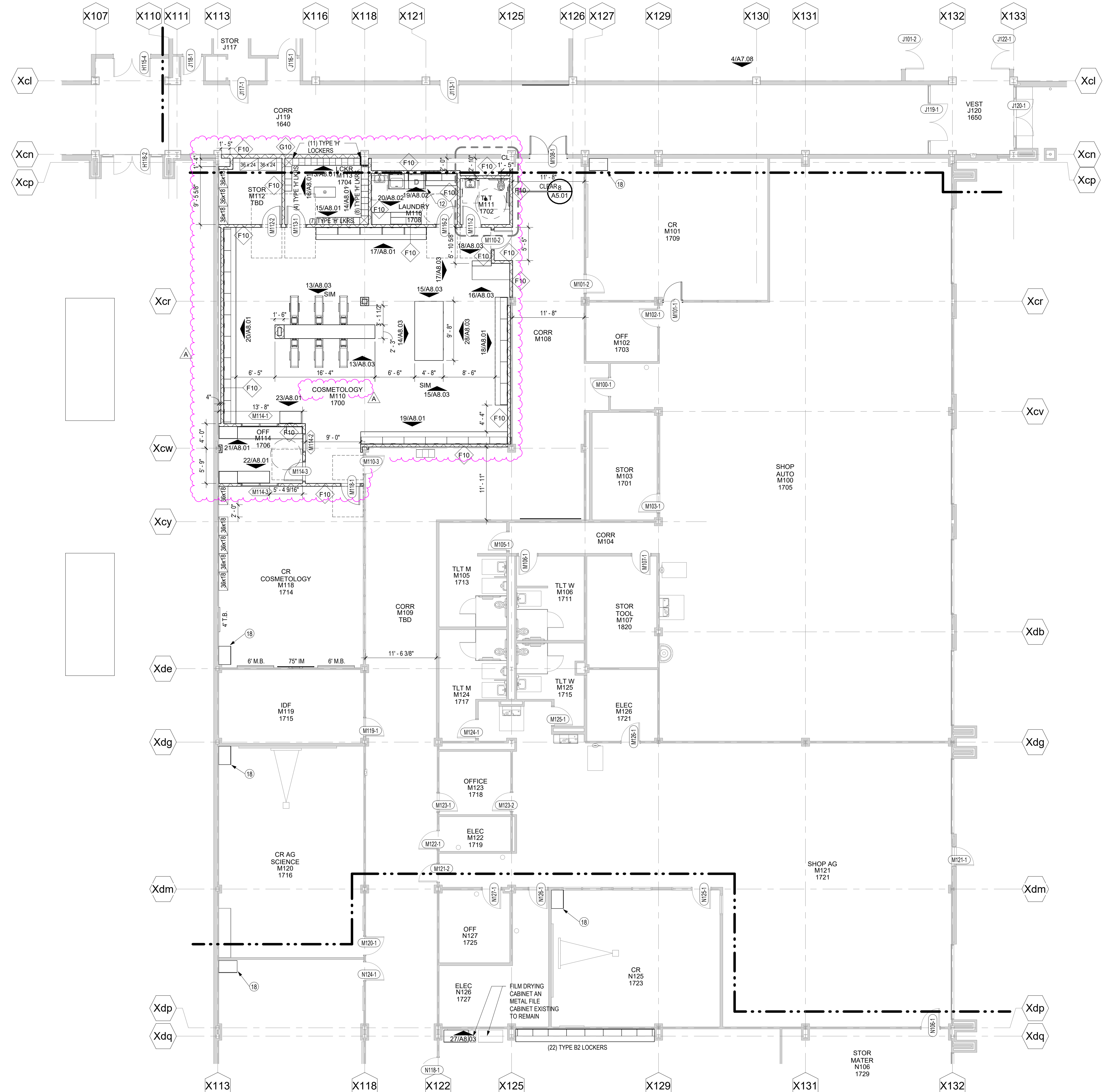
GENERAL PLAN NOTES

1:1

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- NEW SLOTTED FUME HOODS (RE: MEP)
- NEW SOURCE CAPTURE ARM W/ EXHAUST FAN (RE: MEP)
- NEW CONC. PLATFORM ON EXISTING SLAB FOR NEW CONTROL BOOTH
- NEW 2" FIRE RAILINGS 24" W/ ANGLE BASES BOLTED TO FLOOR
- NEW FLAT CONC. SLAB ON EXISTING SLAB FOR NEW CONTROL BOOTH
- NEW TEACHER'S CABINET: T401
- REPAIR DEMOLISHED CONC. AS REQUIRED FOR NEW CONDUIT FURROUT AT EXISTING BRICK COLUMN WRAP
- NEW PLAM COUNTERTOP ON EXISTING BOOKCASE CASEWORK, V.I.F. COUNTERLENGTH, PROVIDE 1" OVERHANG
- EXISTING RELOCATED WENGER MUSIC STORAGE
- REMOVE AND REPLACE SECURITY GLAZING
- EXISTING GLAZING TO RECEIVE IMPACT FILM, RE: SPECS
- NEW SLAB AND STEP (MATCH EXISTING) FOR CONDUITS (RE: AV AND ELEC. DRAWINGS)
- CORD REELS, RE: RCP
- NEW ART WALL MURAL LOCATION ALLOWANCE
- LOCKER BENCH, RE: SPECS, RE: 7/A8.04
- NEW WENGER MUSIC STORAGE, TYPE #5, RE: SPECS

PLAN KEYNOTES

1/4" = 1'-0"



1 AREA 'M1' - FLOOR PLAN

1/8" = 1'-0"



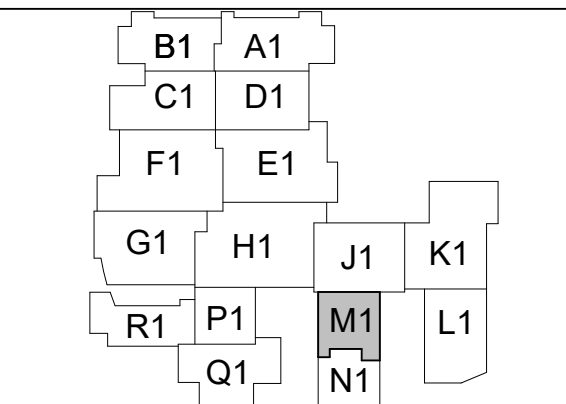
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A2.12
 AREA 'M1' 1ST FLOOR PLAN

1. RE: G1 SERIES SHEETS FOR ACCESSIBLE MOUNTING HEIGHTS
2. RE: A6 SERIES SHEETS FOR PARTITION TYPES
3. RE: A8 SERIES SHEETS FOR DOOR & FRAME ELEVATIONS
4. RE: A11 SERIES SHEETS FOR COLOR SELECTIONS IN FINISH LEGEND
5. ALL CMU COLUMN FURROUTS ARE TO BE 1'-0" OFF COLUMN CENTER LINE, UNLESS NOTED OTHERWISE
6. MASONRY DIMENSIONS ARE NOMINAL
7. ALL DIMENSIONS ARE TO FINISH FACE OF EXTERIOR WALLS, FOUNDATION, MASONRY, OR TO CENTER LINE OF COLUMN, UNLESS NOTED OTHERWISE
8. ALL WALL FINISH GOES TO DECK IN ROOMS WITHOUT CEILINGS
9. ALL EXTERIOR WALLS EXTEND TO BOTTOM OF ROOF DECK
10. PROVIDE EXPANSION JOINT COVERS ON INTERIOR WALLS @ BUILDING EXPANSION JOINTS RE: SPECS
11. ALL SPACES W/ FLOOR DRAINS SHALL HAVE FINISHED FLOOR SLOPE TO DRAIN. VERIFY W/ ARCH. IN FIELD
12. ALL EQUIP. PADS SHALL BE AS PER STRUC. DWGS. COORDINATE SIZES, THICKNESS & LOCATIONS W/ MECH. CHAMFER EDGES
13. ALL EXTERIOR DOORS SHALL RECEIVE A THRESHOLD. THRESHOLD TO BE OF SUFFICIENT WIDTH TO COVER SIDEWALK TO FOUNDATION EXPANSION JOINT TO MAINTAIN ONLY 1/2" RISE & STAY ADA COMPLIANT
14. PROVIDE TRANSITION STRIPS @ ALL FLOOR FINISH TRANSITIONS PER SPECS, UNLESS NOTED OTHERWISE
15. ALL FLOOR MATERIAL CHANGES SHALL OCCUR @ CENTERLINE OF DOOR, UNLESS NOTED OTHERWISE
16. F.E.C. DENOTES FIRE EXTINGUISHER & CABINET
17. DASHED EQUIPMENT/FURNITURE IS NOT IN CONTRACT (N.I.C.)
18. PROVIDE HORIZONTAL BLINDS @ ALL NEW EXTERIOR WINDOWS, EXCEPT WINDOWS ADJACENT TO EXIT ENTRY DOORS. PROVIDE HORIZONTAL BLINDS @ ALL NEW INTERIOR WINDOW LOCATIONS
19. SAW TOOTH ALL NEW MASONRY INTO EXISTING CMU OR BRICK
20. REPLACE ANY DAMAGED CEILING TILES WITH SALVAGED EXISTING TILES IN THE INSTALLATION OF SPEAKERS, FIRE ALARM, ETC. AS SHOWN ON THE T-SERIES DRAWINGS
21. REPLACE THE PLASTER SOFFIT AS REQUIRED FOR THE INSTALLATION OF THE SPEAKERS AS SHOWN ON THE T-SERIES DRAWINGS
22. GENERAL NOTE: FOR CONC. CURB AT BASE OF PARTITION, REFER TO PARTITION TYPES SHEET A6 SERIES PER ROOM TYPE
23. THE CONTRACTOR WILL NEED TO REMOVE CEILINGS (GYPSUM BOARD CEILINGS AND/OR CEILING TILES) AS NECESSARY TO INSTALL CONDENSATION LINES, TECHNOLOGY LINES, LIFE SAFETY THROUGHOUT THE BUILDING. ONCE INSTALLED THE CONTRACTOR WILL NEED TO REPAIR, PATCH, OR REPLACE THE CEILINGS AS REQUIRED. THE CONTRACTOR WILL NEED TO REFER TO THE MEPT SHEETS TO DETERMINE THE PATHS.
24. CONTRACTOR TO INSTALL PAINTABLE METAL PLATE AT LOCATIONS WHERE CORRIDOR CLOCKS REMOVED

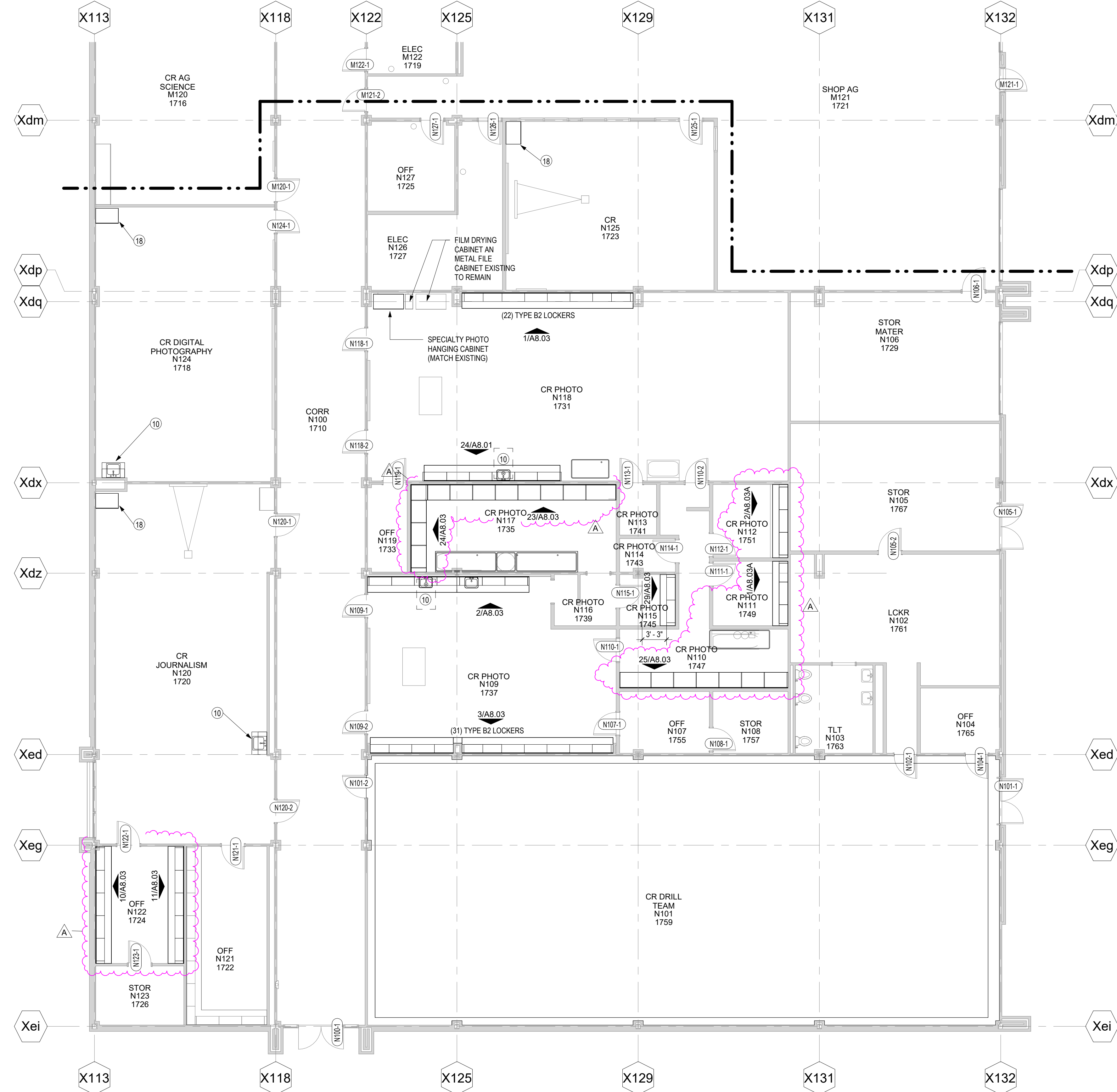
GENERAL PLAN NOTES

1:1

- 1 DRYER, RE: SPECS
- 2 NOT USED
- 3 NOT USED
- 4 NEW FLAKER ICE MACHINE (RE: MEP)
- 5 MTL STUD MANUF. TO ENGINEER SUPPORT (RE: AUDIOVISUAL)
- 6 COPIER/PRINTER (N.I.C.)
- 7 PAPER TOWEL DISPENSER
- 8 SOAP DISPENSER
- 9 INTERACTIVE MONITOR, O.P.C.I., CENTER ON WALL
- 10 NEW ACCESSIBLE SINK IN NEW CASEWORK: C105
- 11 ACCESSIBLE SINK WITH HOSE SPRAYER
- 12 WASHER/DRYER 4" CONC. HOUSEKEEPING PAD (RE: STRUCT)
- 13 NEW SLOTTED FUME HOODS (RE: MEP)
- 14 NEW SOURCE CAPTURE ARM W/ EXHAUST FAN (RE: MEP)
- 15 NEW CONC. PLATFORM ON EXISTING SLAB FOR NEW CONTROL BOOTH
- 16 NEW 2" PIPE RAILINGS 24"H W/ ANGLE BASES BOLTED TO FLOOR
- 17 NEW FLAT CONC. SLAB ON EXISTING SLAB FOR NEW CONTROL BOOTH
- 18 NEW TEACHERS CABINET, T401
- 19 REPAIR DEMOLISHED CONC. AS REQUIRED FOR NEW CONDUIT FURROUT AT EXISTING BRICK COLUMN WRAP
- 20 NEW PLAM COUNTERTOP ON EXISTING BOOKCASE CASEWORK, V.I.F. COUNTER LENGTH, PROVIDE 1" OVERHANG
- 21 EXISTING RELOCATED WENGER MUSIC STORAGE
- 22 REMOVE AND REPLACE SECURITY GLAZING
- 23 EXISTING GLAZING TO RECEIVE IMPACT FILM, RE: SPECS
- 24 NEW SLAB AND STEP (MATCH EXISTING) FOR CONDUITS (RE: AV AND ELEC. DRAWINGS)
- 25 CORO REELS, RE: RCP
- 26 NEW ART WALL MURAL LOCATION ALLOWANCE
- 27 LOCKER BENCH, RE: SPECS, RE: 7/A8.04
- 28 NEW WENGER MUSIC STORAGE, TYPE #5, RE: SPECS

PLAN KEYNOTES

1/4" = 1'-0"



1 AREA 'N1' - FLOOR PLAN
1/8" = 1'-0"

CONSULTANTS

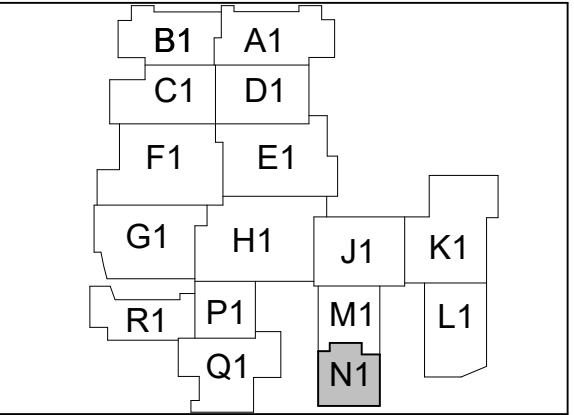
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A2.13
AREA 'N1' 1ST FLOOR PLAN



1. RE: G1 SERIES SHEETS FOR ACCESSIBLE MOUNTING HEIGHTS
2. RE: A6 SERIES SHEETS FOR PARTITION TYPES
3. RE: A9 SERIES SHEETS FOR DOOR & FRAME ELEVATIONS
4. RE: A11 SERIES SHEETS FOR COLOR SELECTIONS IN FINISH LEGEND
5. ALL CMU COLUMN FURROUTS ARE TO BE 1'-0" OFF COLUMN CENTER LINE, UNLESS NOTED OTHERWISE
6. MASONRY DIMENSIONS ARE NOMINAL
7. ALL DIMENSIONS ARE TO FINISH FACE OF EXTERIOR WALLS, FOUNDATION, MASONRY, OR TO CENTER LINE OF COLUMN, UNLESS NOTED OTHERWISE
8. ALL WALL FINISH GOES TO DECK IN ROOMS WITHOUT CEILINGS
9. ALL EXTERIOR WALLS EXTEND TO BOTTOM OF ROOF DECK
10. PROVIDE EXPANSION JOINT COVERS ON INTERIOR WALLS @ BUILDING EXPANSION JOINTS RE: SPECS
11. ALL SPACES W/ FLOOR DRAINS SHALL HAVE FINISHED FLOOR SLOPE TO DRAIN. VERIFY W/ ARCH. IN FIELD
12. ALL EQUIP. PADS SHALL BE AS PER STRUC. DWGS. COORDINATE SIZES, THICKNESS & LOCATIONS W/ MECH. CHAMFER EDGES
13. ALL EXTERIOR DOORS SHALL RECEIVE A THRESHOLD. THRESHOLD TO BE OF SUFFICIENT WIDTH TO COVER SIDEWALK TO FOUNDATION EXPANSION JOINT TO MAINTAIN ONLY 1/2" RISE & STAY ADA COMPLIANT
14. PROVIDE TRANSITION STRIPS @ ALL FLOOR FINISH TRANSITIONS PER SPECS, UNLESS NOTED OTHERWISE
15. ALL FLOOR MATERIAL CHANGES SHALL OCCUR @ CENTERLINE OF DOOR, UNLESS NOTED OTHERWISE
16. F.E.C. DENOTES FIRE EXTINGUISHER & CABINET
17. DASHED EQUIPMENT/ FURNITURE IS NOT IN CONTRACT (N.I.C.)
18. PROVIDE HORIZONTAL BLINDS @ ALL NEW EXTERIOR WINDOWS, EXCEPT WINDOWS ADJACENT TO EXISTING ENTRY DOORS. PROVIDE HORIZONTAL BLINDS @ ALL NEW INTERIOR WINDOW LOCATIONS
19. SAWTOOTH ALL NEW MASONRY INTO EXISTING CMU OR BRICK
20. REPLACE ANY DAMAGED CEILING TILES WITH SALVAGED EXISTING TILES IN THE INSTALLATION OF SPEAKERS, FIRE ALARM, ETC. AS SHOWN ON THE 'T' SERIES DRAWINGS
21. REPLACE THE PLASTER SOFFIT AS REQUIRED FOR THE INSTALLATION OF THE SPEAKERS AS SHOWN ON THE 'T' SERIES DRAWINGS
22. GENERAL NOTE: FOR CONC. CURB AT BASE OF PARTITION, REFER TO PARTITION TYPES SHEET A6 SERIES PER ROOM TYPE
23. THE CONTRACTOR WILL NEED TO REMOVE CEILINGS (GYPSUM BOARD CEILINGS AND/OR CEILING TILES) AS NECESSARY TO INSTALL CONDENSATION LINES, TECHNOLOGY LINES, LIFE SAFETY THROUGHOUT THE BUILDING. ONCE INSTALLED THE CONTRACTOR WILL NEED TO REPAIR, PATCH, OR REPLACE THE CEILINGS AS REQUIRED. THE CONTRACTOR WILL NEED TO REFER TO THE MEPT SHEETS TO DETERMINE THE PATHS.
24. CONTRACTOR TO INSTALL PAINTABLE METAL PLATE AT LOCATIONS WHERE CORRIDOR CLOCKS REMOVED.

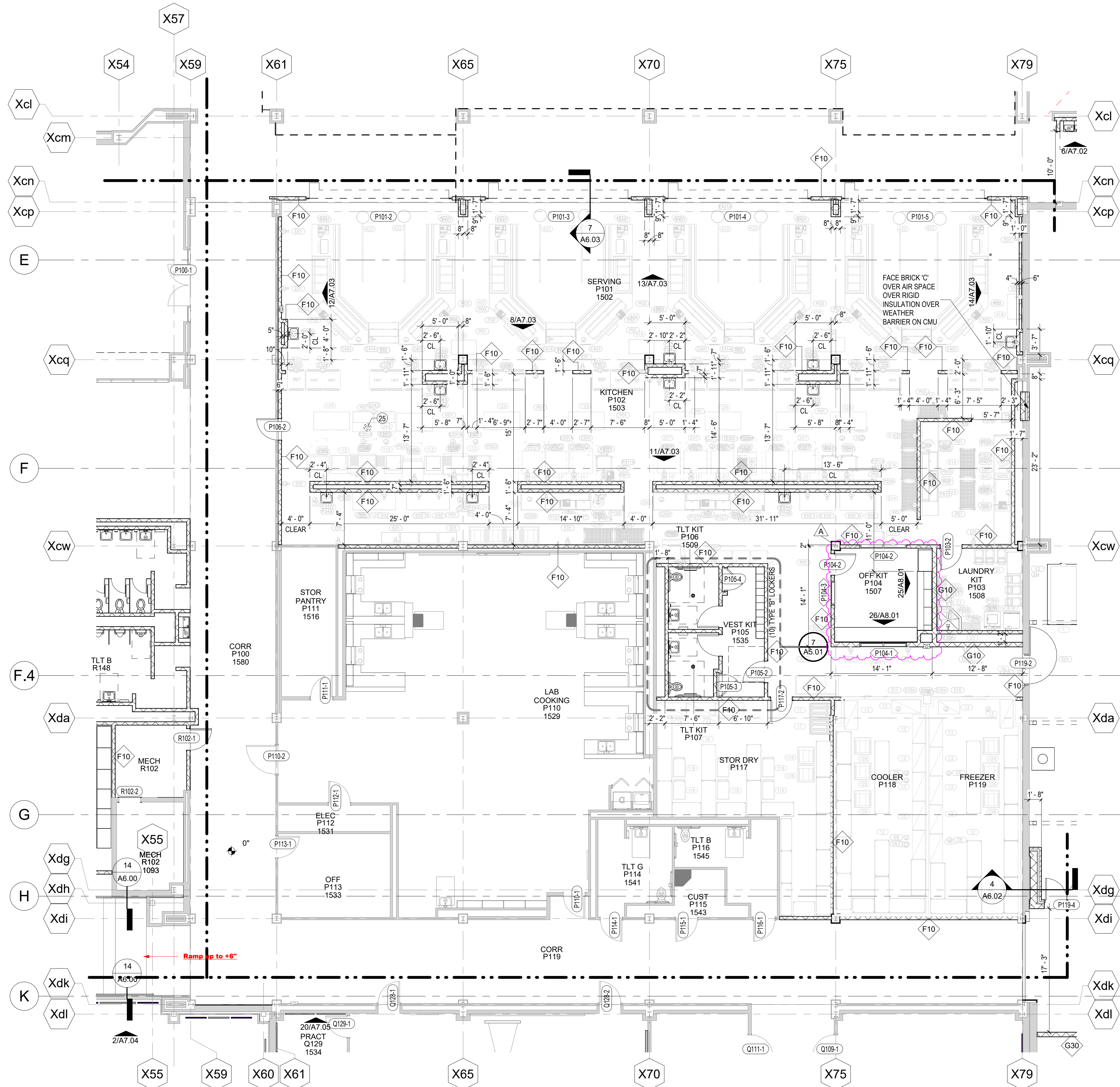
GENERAL PLAN NOTES

1:1

- 1 DRYER, RE: SPECS
- 2 NOT USED
- 3 NOT USED
- 4 NEW FLAKER ICE MACHINE (RE: MEP)
- 5 MTL STUD MANUF. TO ENGINEER SUPPORT (RE: AUDIOVISUAL)
- 6 COPIER/ PRINTER (N.I.C.)
- 7 PAPER TOWEL DISPENSER
- 8 SOAP DISPENSER
- 9 INTERACTIVE MONITOR, 0.0 P.C.I., CENTER ON WALL
- 10 NEW ACCESSIBLE SINK IN NEW CASEWORK, C105
- 11 ACCESSIBLE SINK WITH HOSE SPRAYER
- 12 WASHER/DRYER 4" CONC. HOUSEKEEPING PAD (RE: STRUCT)
- 13 NEW SLOTTED FUME HOODS (RE: MEP)
- 14 NEW SOURCE CAPTURE ARM W/ EXHAUST FAN (RE: MEP)
- 15 NEW CONC. PLATFORM ON EXISTING SLAB FOR NEW CONTROL BOOTH
- 16 NEW 2" PIPE RAILINGS 34" W/ ANGLE BASES BOLTED TO FLOOR
- 17 NEW FLAT CONC. SLAB ON EXISTING SLAB FOR NEW CONTROL BOOTH
- 18 NEW TEACHER'S CABINET, T401
- 19 REPAIR DEMOLISHED CONC. AS REQUIRED FOR NEW CONDUIT FURROUT AT EXISTING BRICK COLUMN WRAP
- 20 NEW PLAM COUNTERTOP ON EXISTING BOOKCASE CASEWORK, V.I.F. COUNTER LENGTH, PROVIDE 1" OVERHANG
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- 25 CORD REELS, RE: RCP
- 26 NEW ART WALL MURAL LOCATION ALLOWANCE
- 27 LOCKER BENCH, RE: SPECS, RE: 7/A8.04
- 28 NEW WENGER MUSIC STORAGE, TYPE #5, RE: SPECS

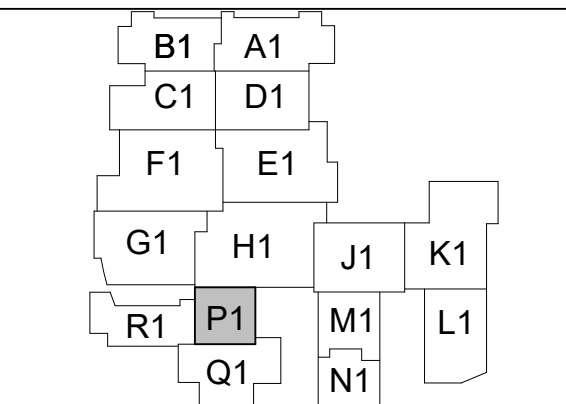
PLAN KEYNOTES

1/4" = 1'-0"



1 AREA 'P1' - FLOOR PLAN
1/8" = 1'-0"

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A2.14
 AREA 'P1' 1ST FLOOR PLAN



- RE: G1 SERIES SHEETS FOR ACCESSIBLE MOUNTING HEIGHTS
- RE: A6 SERIES SHEETS FOR PARTITION TYPES
- RE: A9 SERIES SHEETS FOR DOOR & FRAME ELEVATIONS
- RE: A11 SERIES SHEETS FOR COLOR SELECTIONS IN FINISH LEGEND
- ALL CMU COLUMN FURROUTS ARE TO BE 1'-0" OFF COLUMN CENTER LINE, UNLESS NOTED OTHERWISE
- MASONRY DIMENSIONS ARE NOMINAL
- ALL DIMENSIONS ARE TO FINISH FACE OF EXTERIOR WALLS, FOUNDATION, MASONRY, OR TO CENTER LINE OF COLUMN, UNLESS NOTED OTHERWISE
- ALL WALL FINISH GOES TO DECK IN ROOMS WITHOUT CEILINGS
- ALL EXTERIOR WALLS EXTEND TO BOTTOM OF ROOF DECK
- PROVIDE EXPANSION JOINT COVERS ON INTERIOR WALLS @ BUILDING EXPANSION JOINTS RE SPECS
- ALL SPACES W/ FLOOR DRAINS SHALL HAVE FINISHED FLOOR SLOPE TO DRAIN. VERIFY W/ ARCH. IN FIELD
- ALL EQUIP. PADS SHALL BE AS PER STRUC. DWGS. COORDINATE SIZES, THICKNESS & LOCATIONS W/ MECH. CHAMFER EDGES
- ALL EXTERIOR DOORS SHALL RECEIVE A THRESHOLD. THRESHOLD TO BE OF SUFFICIENT WIDTH TO COVER SIDEWALK TO FOUNDATION EXPANSION JOINT TO MAINTAIN ONLY 1/2" RISE & STAY ADA COMPLIANT
- PROVIDE TRANSITION STRIPS @ ALL FLOOR FINISH TRANSITIONS PER SPECS. UNLESS NOTED OTHERWISE
- ALL FLOOR MATERIAL CHANGES SHALL OCCUR @ CENTERLINE OF DOOR, UNLESS NOTED OTHERWISE
- F.E.C. DENOTES FIRE EXTINGUISHER & CABINET
- DASHED EQUIPMENT FURNITURE IS NOT IN CONTRACT (N.I.C.)
- PROVIDE HORIZONTAL BLINDS @ ALL NEW EXTERIOR WINDOWS, EXCEPT WINDOWS ADJACENT TO EXIT ENTRY DOORS. PROVIDE HORIZONTAL BLINDS @ ALL NEW INTERIOR WINDOW LOCATIONS
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- THE CONTRACTOR WILL NEED TO REMOVE CEILINGS (GYPSUM BOARD CEILINGS AND/OR CEILING TILES) AS NECESSARY TO INSTALL CONDENSATION LINES, TECHNOLOGY LINES, LIFE SAFETY THROUGHOUT THE BUILDING. ONCE INSTALLED THE CONTRACTOR WILL NEED TO REPAIR, PATCH OR REPLACE THE CEILINGS AS REQUIRED. THE CONTRACTOR WILL NEED TO REFER TO THE MEPT SHEETS TO DETERMINE THE PATHS
- CONTRACTOR TO INSTALL PAINTABLE METAL PLATE AT LOCATIONS WHERE CORRIDOR CLOCKS REMOVED

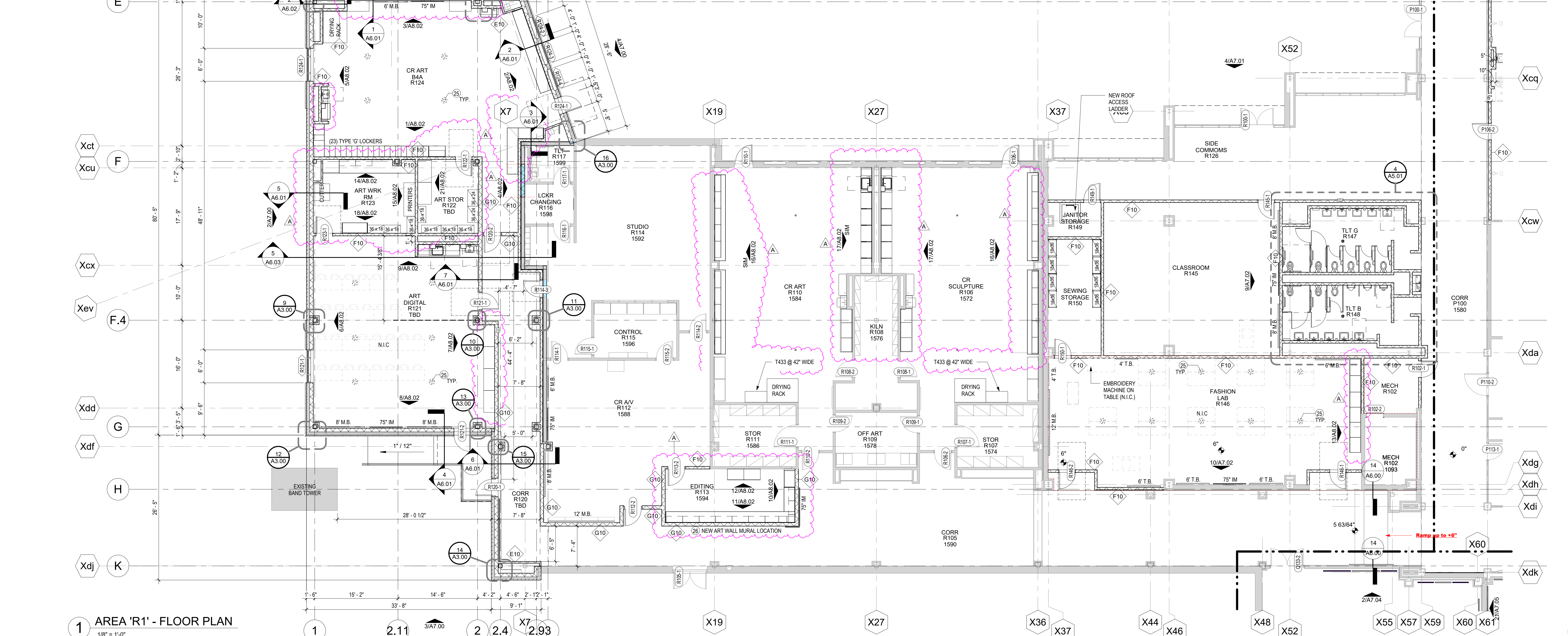
GENERAL PLAN NOTES

1:1

- DRYER, RE: SPECS
- NOT USED
- NOT USED
- NEW FLAKER ICE MACHINE (RE: MEP)
- MTL STUD MANUF. TO ENGINEER SUPPORT (RE: AUDIOVISUAL)
- COPIER/ PRINTER (N.I.C.)
- PAPER TOWEL DISPENSER
- SOAP DISPENSER
- INTERACTIVE MONITOR, O.P.C.I., CENTER ON WALL
- NEW ACCESSIBLE SINK IN NEW CASEWORK, C105
- ACCESSIBLE SINK WITH HOSE SPRAYER
- WASHER/DRYER 4' CONC. HOUSEKEEPING PAD (RE: STRUCT)
- NEW SLOTTED FUME HOODS (RE: MEP)
- NEW SOURCE CAPTURE ARM W/ EXHAUST FAN (RE: MEP)
- NEW CONC. PLATFORM ON EXISTING SLAB FOR NEW CONTROL BOOTH
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- NEW WENGER MUSIC STORAGE, TYPE #5, RE: SPECS

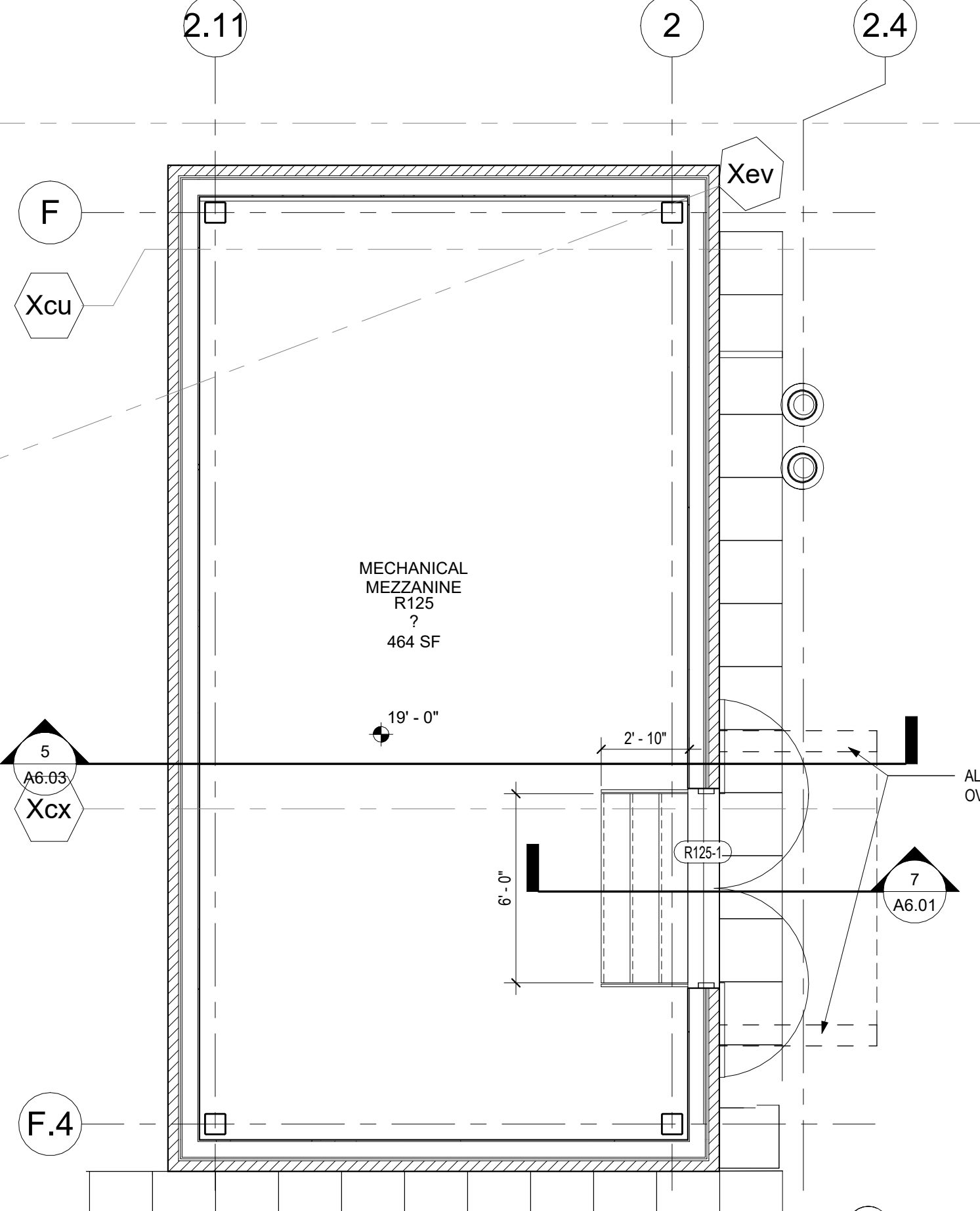
PLAN KEYNOTES

1/4" = 1'-0"

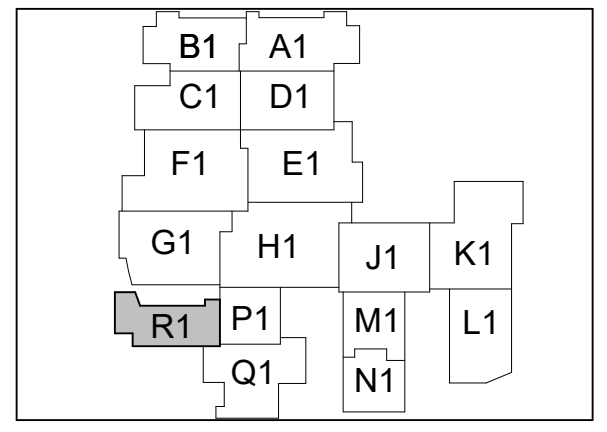


1 AREA 'R1' - FLOOR PLAN
1/8" = 1'-0"

2 MECH. PENTHOUSE
1/4" = 1'-0"



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A2.16
 AREA 'R1' 1ST FLOOR PLAN



1. RE: G1 SERIES SHEETS FOR ACCESSIBLE MOUNTING HEIGHTS
2. RE: A6 SERIES SHEETS FOR PARTITION TYPES
3. RE: A9 SERIES SHEETS FOR DOOR & FRAME ELEVATIONS
4. RE: A11 SERIES SHEETS FOR COLOR SELECTIONS IN FINISH LEGEND
5. ALL CMU COLUMN FURROUTS ARE TO BE 1'-0" OFF COLUMN CENTER LINE, UNLESS NOTED OTHERWISE
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7. ALL DIMENSIONS ARE TO FINISH FACE OF EXTERIOR WALLS, FOUNDATION, MASONRY, OR TO CENTER LINE OF COLUMN, UNLESS NOTED OTHERWISE
8. ALL WALL FINISH GOES TO DECK IN ROOMS WITHOUT CEILINGS
9. ALL EXTERIOR WALLS EXTEND TO BOTTOM OF ROOF DECK
10. PROVIDE EXPANSION JOINT COVERS ON INTERIOR WALLS @ BUILDING EXPANSION JOINTS RE: SPECS
11. ALL SPACES W/ FLOOR DRAINS SHALL HAVE FINISHED FLOOR SLOPE TO DRAIN. VERIFY W/ ARCH. IN FIELD
12. ALL EQUIP. PADS SHALL BE AS PER STRUC. DWGS. COORDINATE SIZES, THICKNESS & LOCATIONS W/ MECH. CHAMFER EDGES
13. ALL EXTERIOR DOORS SHALL RECEIVE A THRESHOLD. THRESHOLD TO BE OF SUFFICIENT WIDTH TO COVER SIDEWALK TO FOUNDATION EXPANSION JOINT TO MAINTAIN ONLY 1/2" RISE & STAY ADA COMPLIANT
14. PROVIDE TRANSITION STRIPS @ ALL FLOOR FINISH TRANSITIONS PER SPECS., UNLESS NOTED OTHERWISE
15. ALL FLOOR MATERIAL CHANGES SHALL OCCUR @ CENTERLINE OF DOOR, UNLESS NOTED OTHERWISE
16. F.C.C. DENOTES FIRE EXTINGUISHER & CABINET
17. DASHED EQUIPMENT/FURNITURE IS NOT IN CONTRACT (N.I.C.)
18. PROVIDE HORIZONTAL BLINDS @ ALL NEW EXTERIOR WINDOWS, EXCEPT WINDOWS ADJACENT TO EXIT ENTRY DOORS. PROVIDE HORIZONTAL BLINDS @ ALL NEW INTERIOR WINDOW LOCATIONS
19. SAWTOOTH ALL NEW MASONRY INTO EXISTING CMU OR BRICK
20. REPLACE ANY DAMAGED CEILING TILES WITH SALVAGED EXISTING TILES IN THE INSTALLATION OF SPEAKERS, FIRE ALARM, ETC. AS SHOWN ON THE T SERIES DRAWINGS.
21. REPLACE THE PLASTER SOFFIT AS REQUIRED FOR THE INSTALLATION OF THE SPEAKERS AS SHOWN ON THE T SERIES DRAWINGS.
22. GENERAL NOTE: FOR CONC. CURB AT BASE OF PARTITION, REFER TO PARTITION TYPES SHEET A6 SERIES PER ROOM TYPE
23. THE CONTRACTOR WILL NEED TO REMOVE CEILINGS (GYPSUM BOARD CEILINGS AND/OR CEILING TILES) AS NECESSARY TO INSTALL CONDENSATION LINES, TECHNOLOGY LINES, LIFE SAFETY THROUGHOUT THE BUILDING. ONCE INSTALLED THE CONTRACTOR WILL NEED TO REPAIR, PATCH, OR REPLACE THE CEILING AS REQUIRED. THE CONTRACTOR WILL NEED TO REFER TO THE MEPT SHEETS TO DETERMINE THE PATHS.
24. CONTRACTOR TO INSTALL PAINTABLE METAL PLATE AT LOCATIONS WHERE CORRIDOR CLOCKS REMOVED.

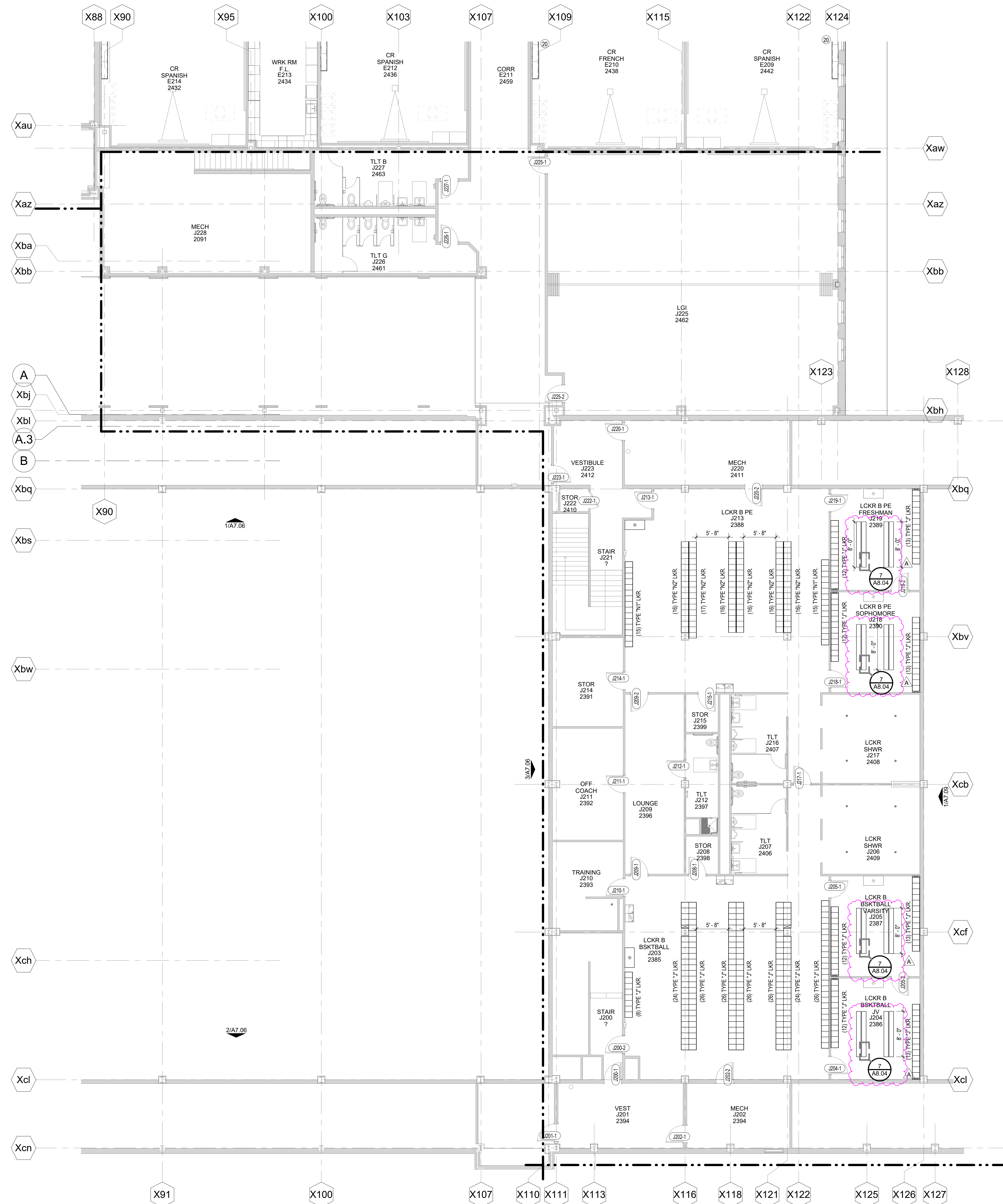
GENERAL PLAN NOTES

1:1

- 1 DRYER, RE: SPECS
- 2 NOT USED
- 3 NOT USED
- 4 NEW FLAKER ICE MACHINE (RE: MEP)
- 5 MTL STUD MANUF. TO ENGINEER SUPPORT (RE: AUDIOVISUAL)
- 6 COMPACT PRINTER (N.I.C.)
- 7 PAPER TONER DISPENSER
- 8 SOAP DISPENSER
- 9 INTERACTIVE MONITOR, O.P.C.I., CENTER ON WALL
- 10 NEW ACCESSIBLE SINK IN NEW CASEWORK: C105
- 11 ACCESSIBLE SINK WITH HOSE SPRAYER
- 12 WASHER/DRYER 4" CONC. HOUSEKEEPING PAD (RE: STRUCT)
- 13 NEW SLOTTED FUME HOODS (RE: MEP)
- 14 NEW SOURCE CAPTURE ARM W/ EXHAUST FAN (RE: MEP)
- 15 NEW CONC. PLATFORM ON EXISTING SLAB FOR NEW CONTROL BOOTH
- 16 NEW 2" PIPE RAILINGS 24" W/ ANGLE BASES BOLTED TO FLOOR
- 17 NEW FLAT CONC. SLAB ON EXISTING SLAB FOR NEW CONTROL BOOTH
- 18 NEW TEACHERS CABINET: T401
- 19 REPAIR DEMOLISHED CONC. AS REQUIRED FOR NEW CONDUIT FURROUT AT EXISTING BRICK COLUMN WRAP
- 20 NEW PLAM COUNTERTOP ON EXISTING BOOKCASE CASEWORK, V.I.F. COUNTER LENGTH, PROVIDE 1" OVERHANG
- 21 EXISTING RELOCATED WENGER MUSIC STORAGE
- 22 REMOVE AND REPLACE SECURITY GLAZING
- 23 EXISTING GLAZING TO RECEIVE IMPACT FILM, RE: SPECS
- 24 NEW SLAB AND STEP (MATCH EXISTING) FOR CONDUITS (RE: AV AND ELEC. DRAWINGS)
- 25 CORD REELS, RE: RCP
- 26 NEW ART WALL MURAL LOCATION ALLOWANCE
- 27 LOCKER BENCH, RE: SPECS, RE: 7/A8.04
- 28 NEW WENGER MUSIC STORAGE, TYPE A5, RE: SPECS

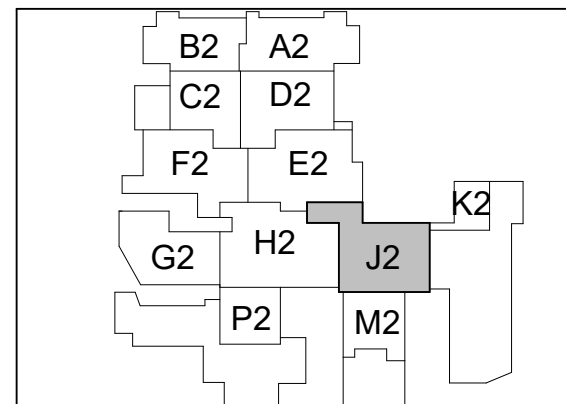
PLAN KEYNOTES

1/4" = 1'-0"



1 AREA 'J2' - FLOOR PLAN
1/8" = 1'-0"

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A2.24
 AREA 'J2' 2ND FLOOR PLAN



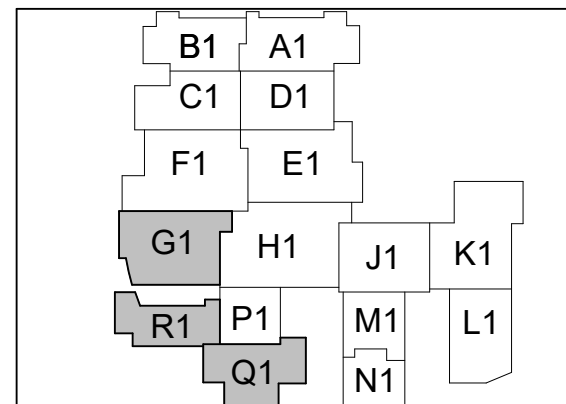
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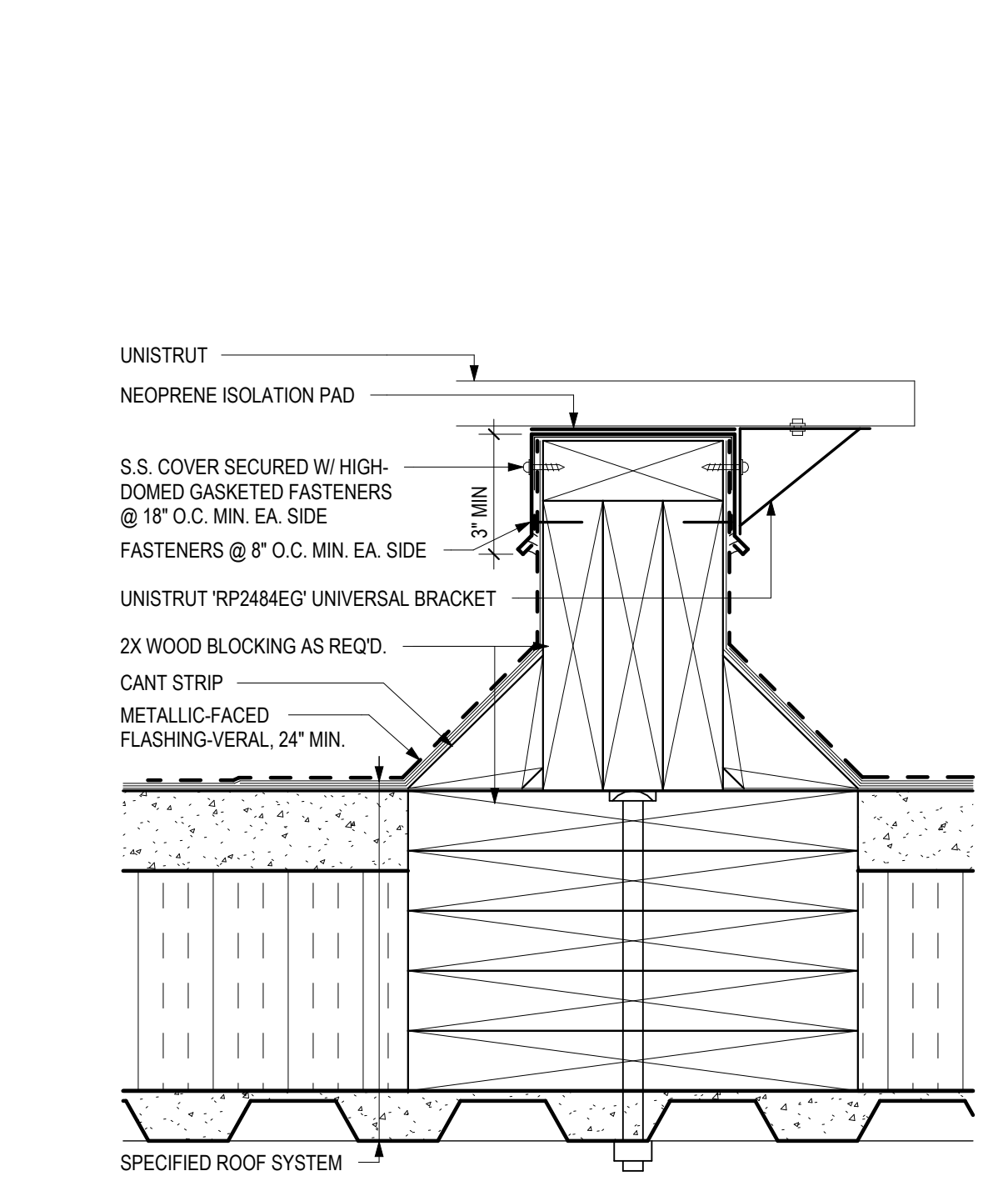


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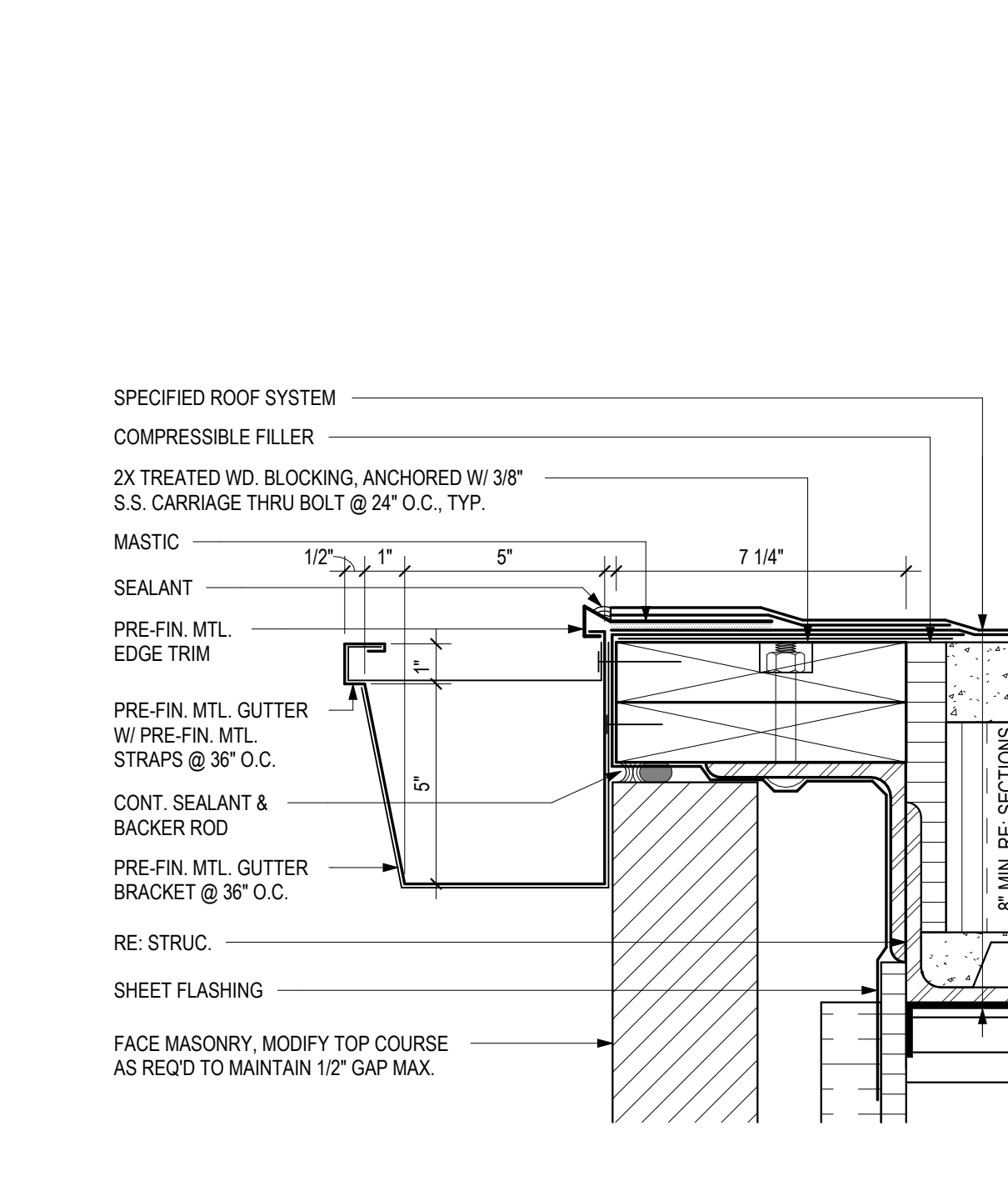
A4.03
 ROOF DETAILS



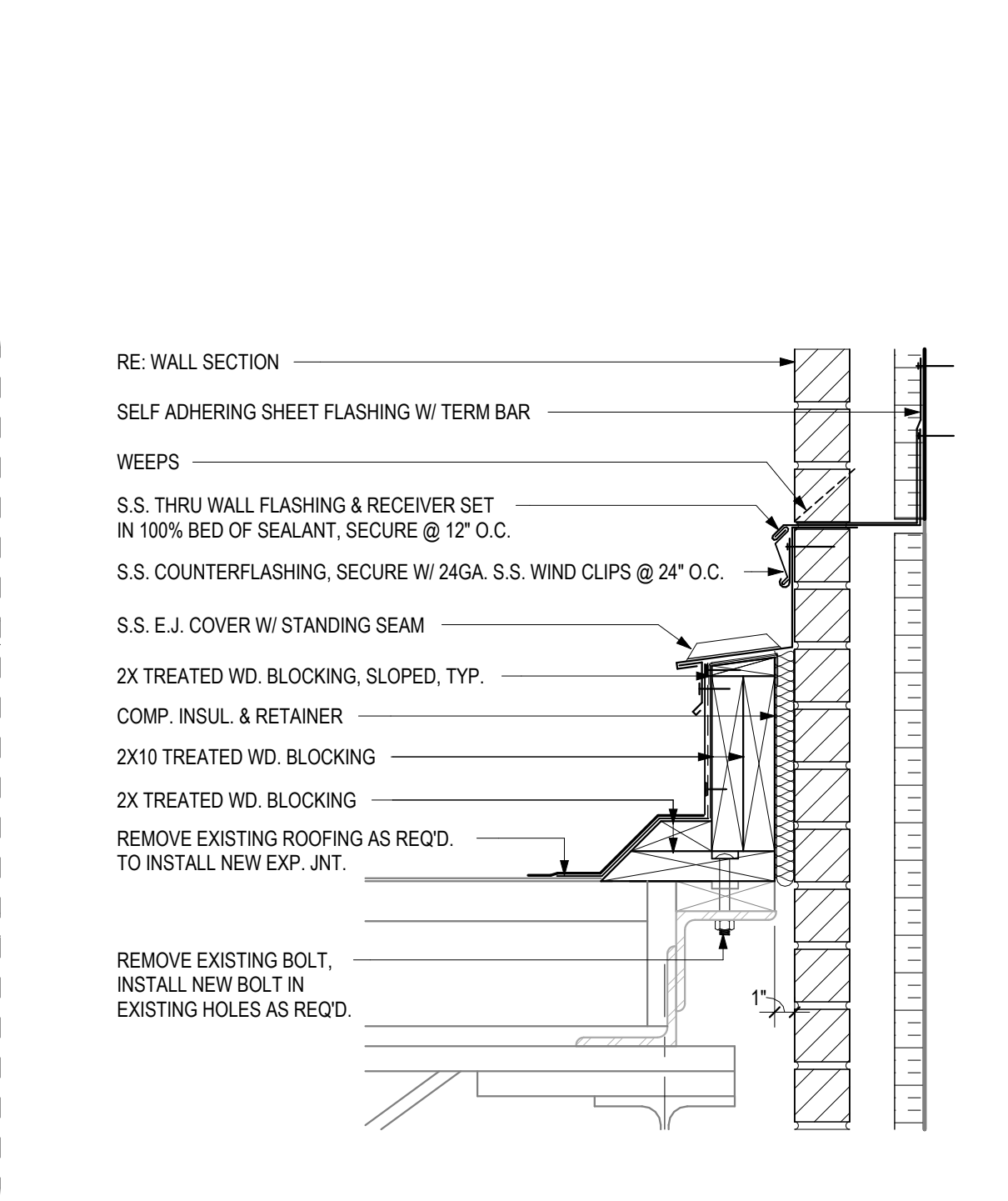
14 WALL - EXT SOFFT OT PLSTR @ BK-GP
 3/4" = 1'-0"



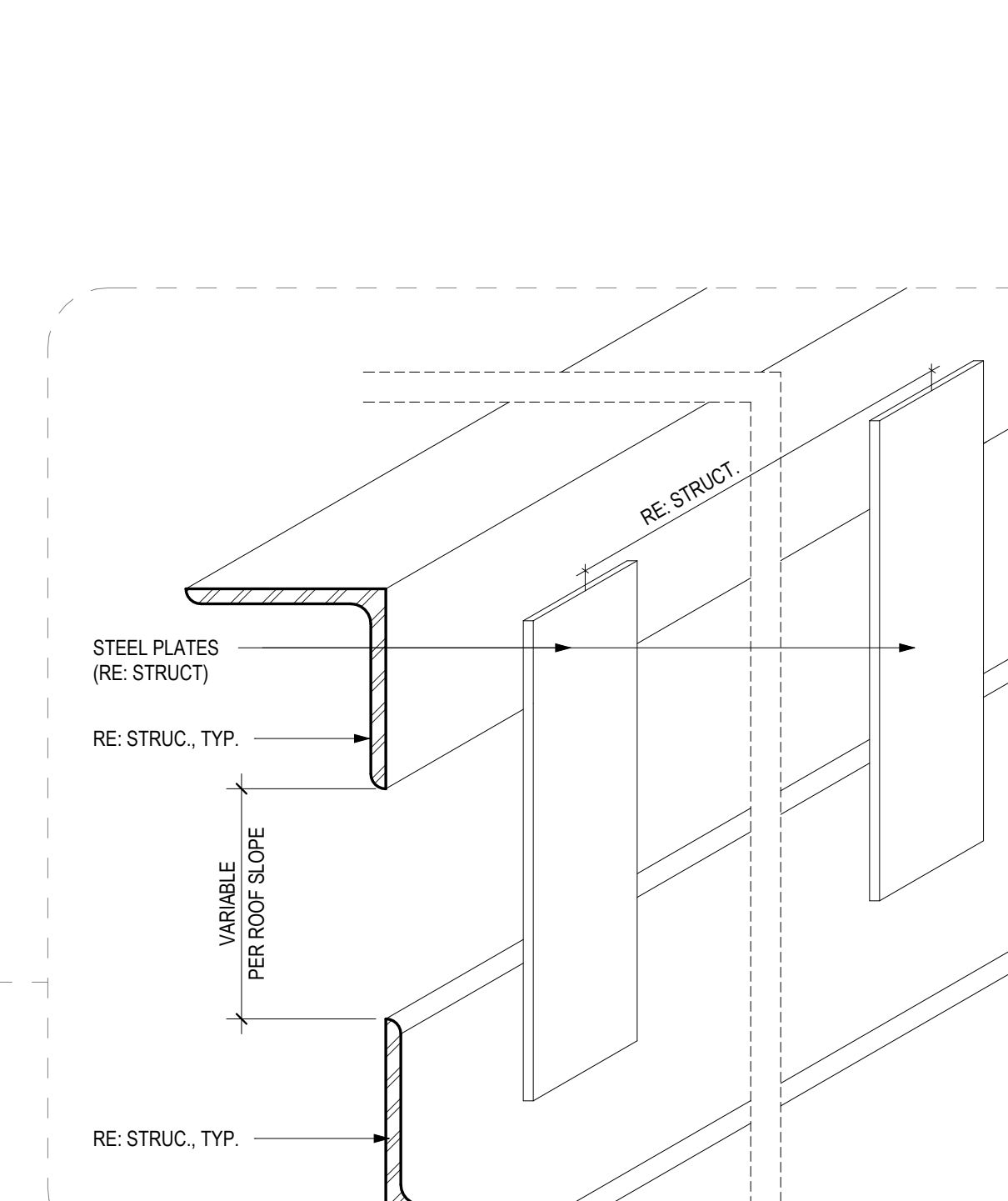
15 ROOF - EXP JNT - TERMINATION
 1 1/2" = 1'-0"



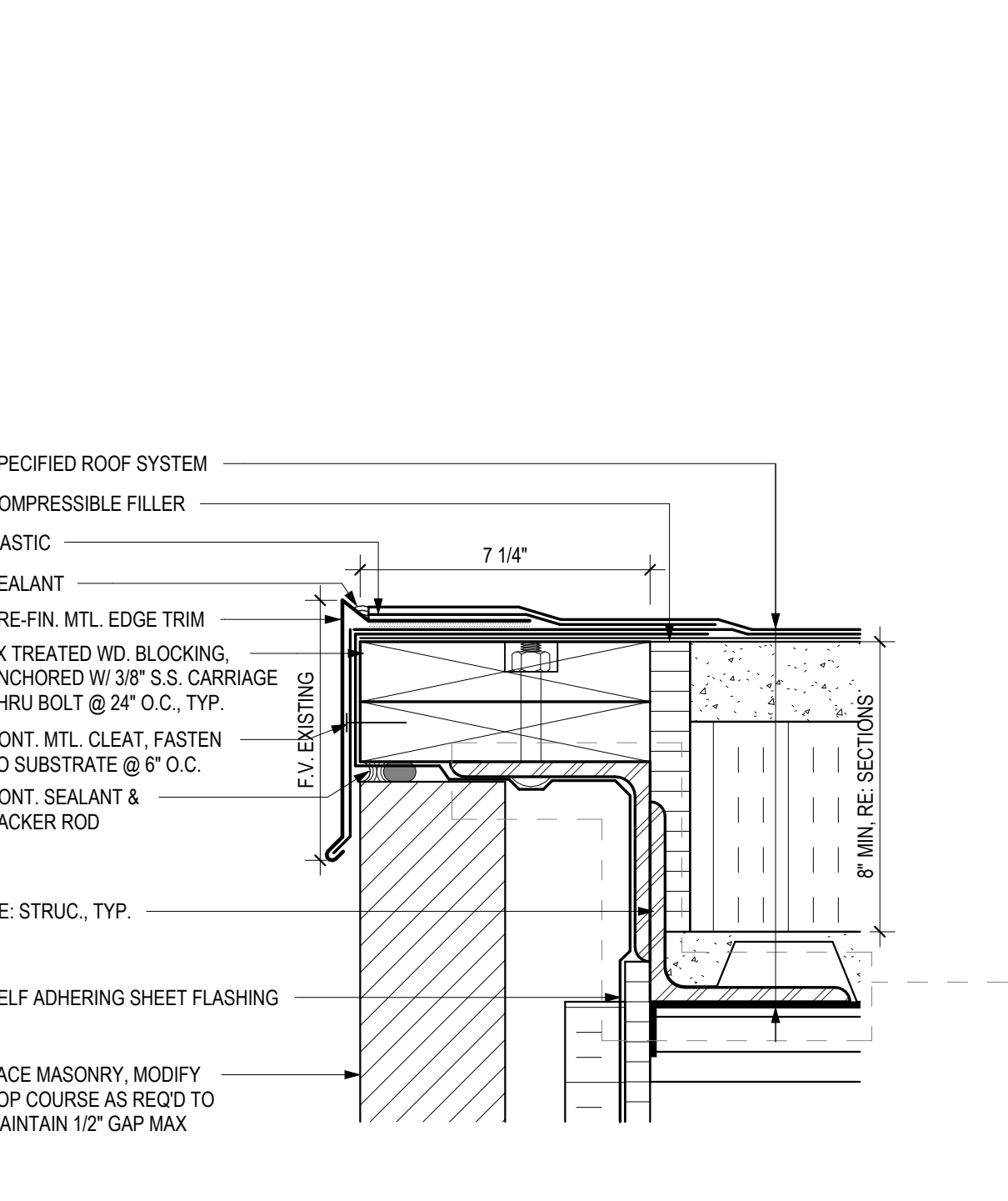
16 ROOF - PIPE SUPPORT
 1" = 1'-0"



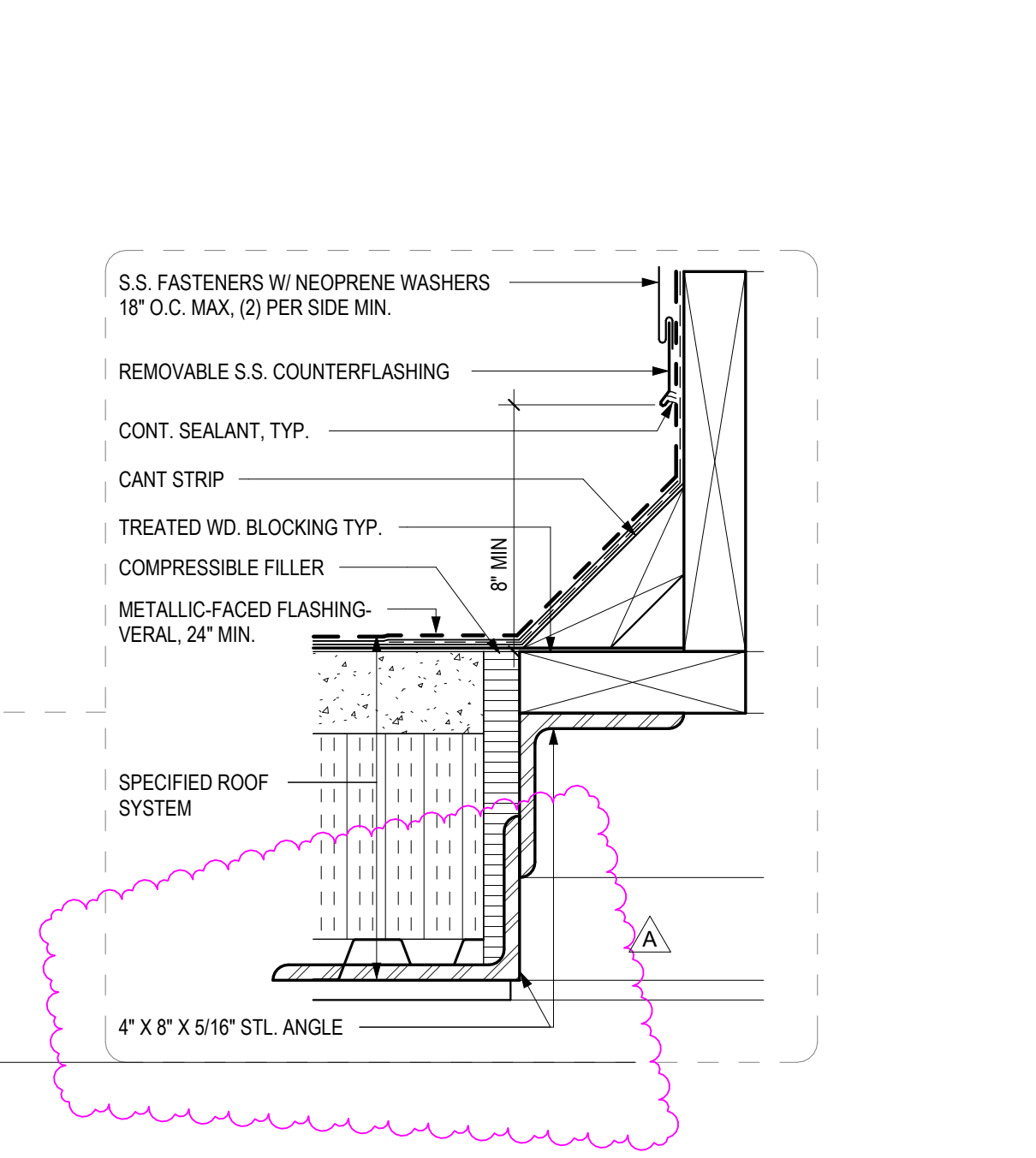
17 ROOF - EXP JNT - ROOF-EXIST WALL
 1 1/2" = 1'-0"



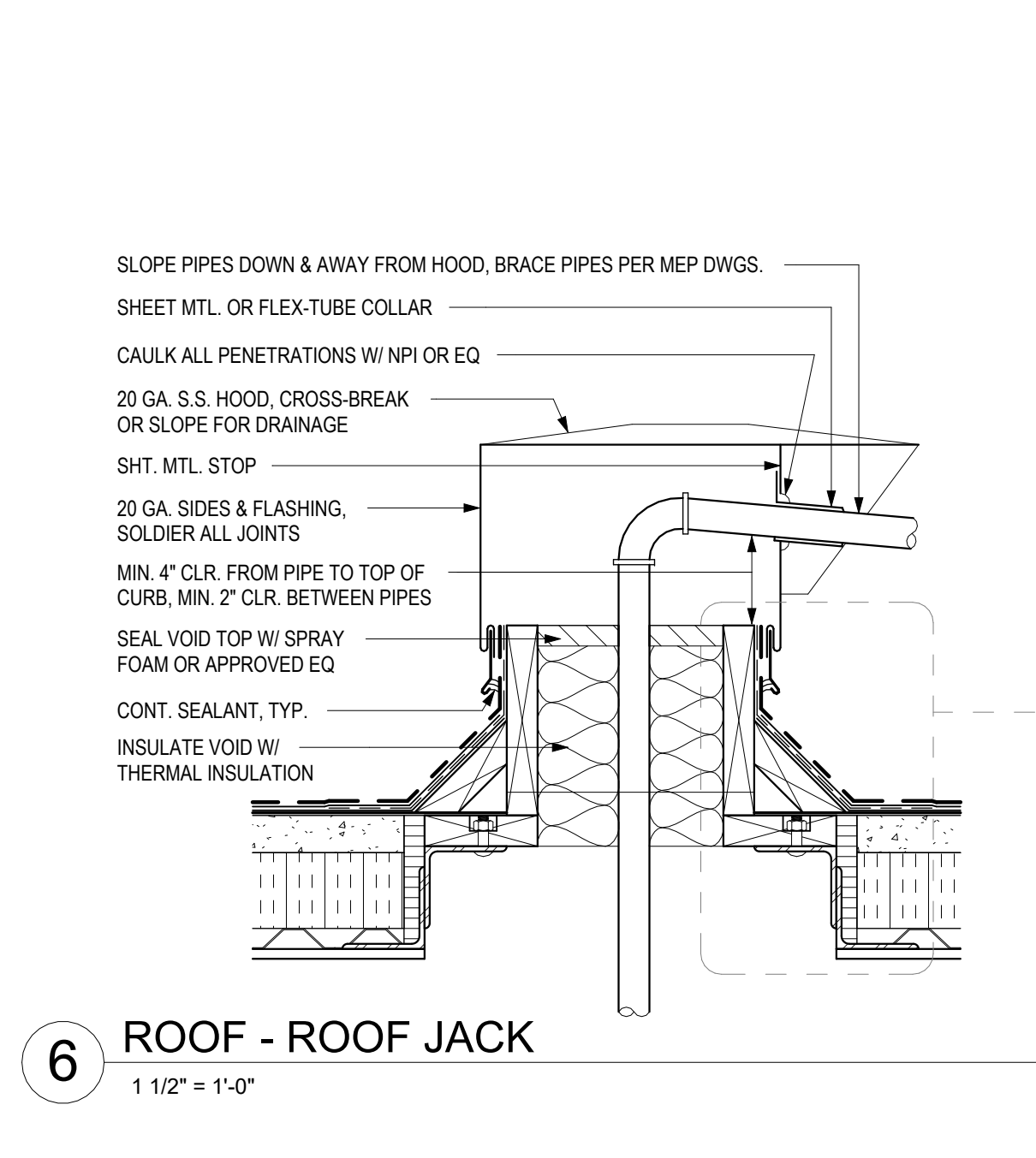
18 ROOF - ROOF DRAIN SUPPORT
 3/4" = 1'-0"



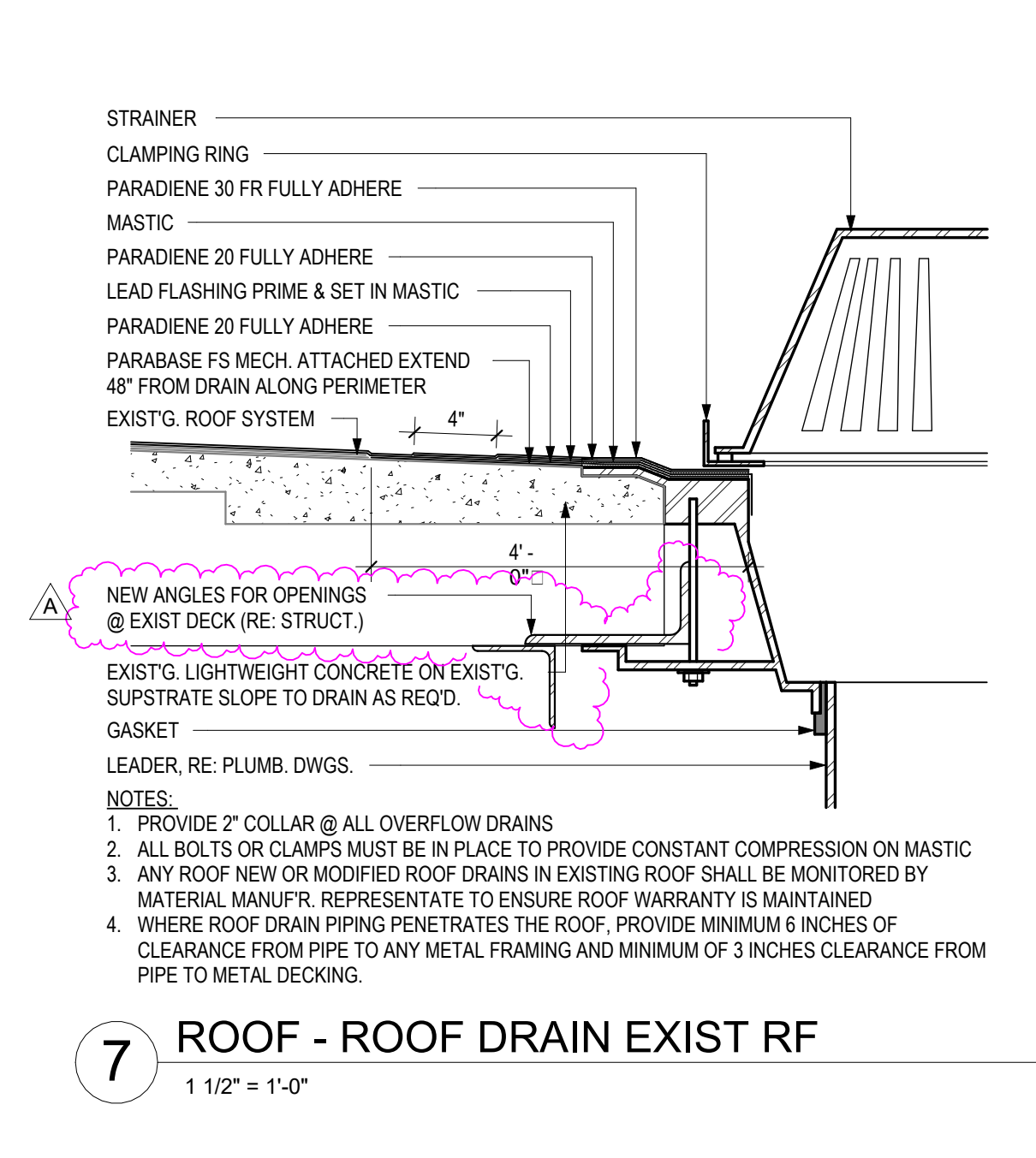
10 ROOF - EQUIPMENT SUPPORT-WD
 3" = 1'-0"



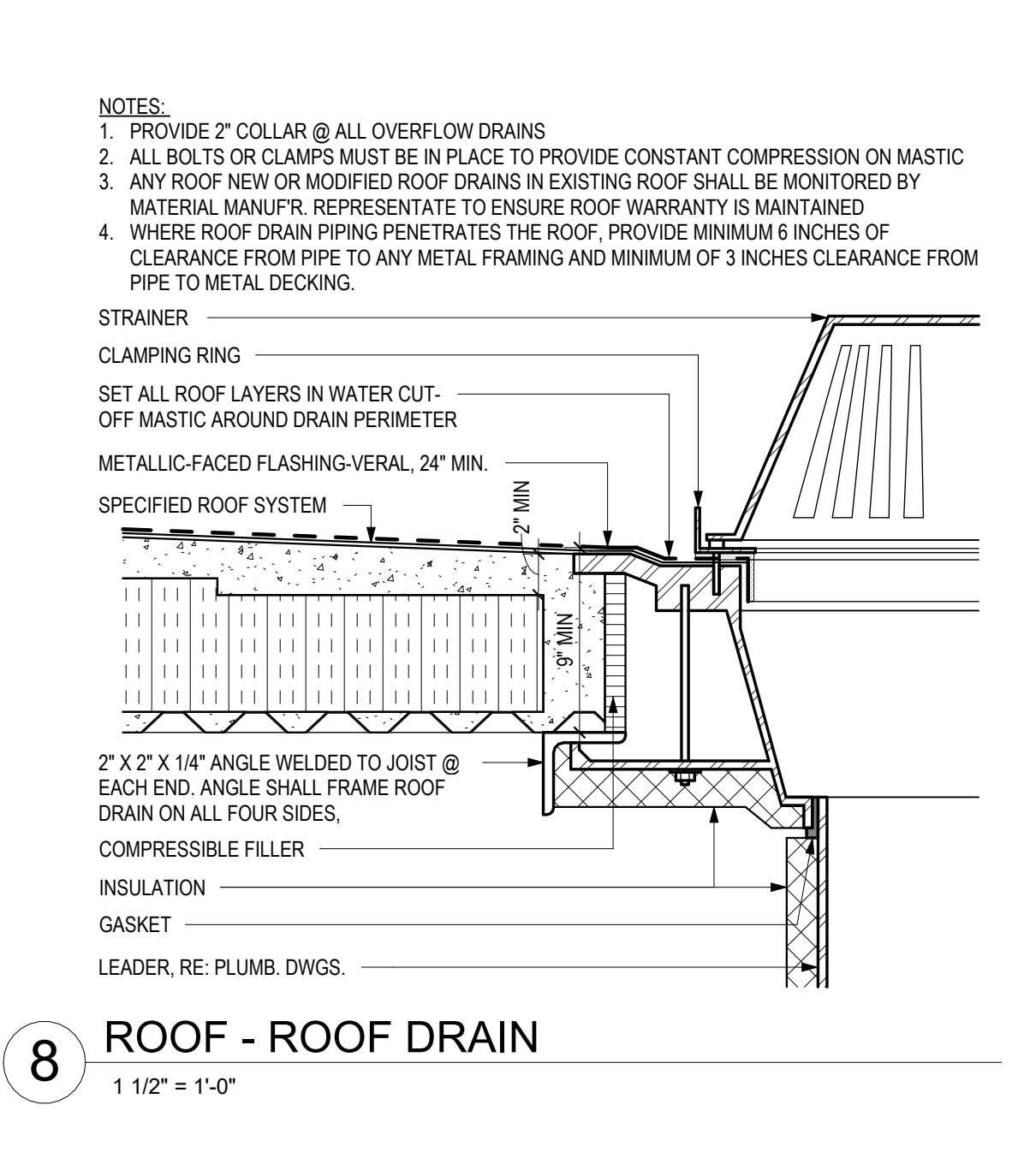
11 ROOF - EDGE @ BRK - GUTTER
 3" = 1'-0"



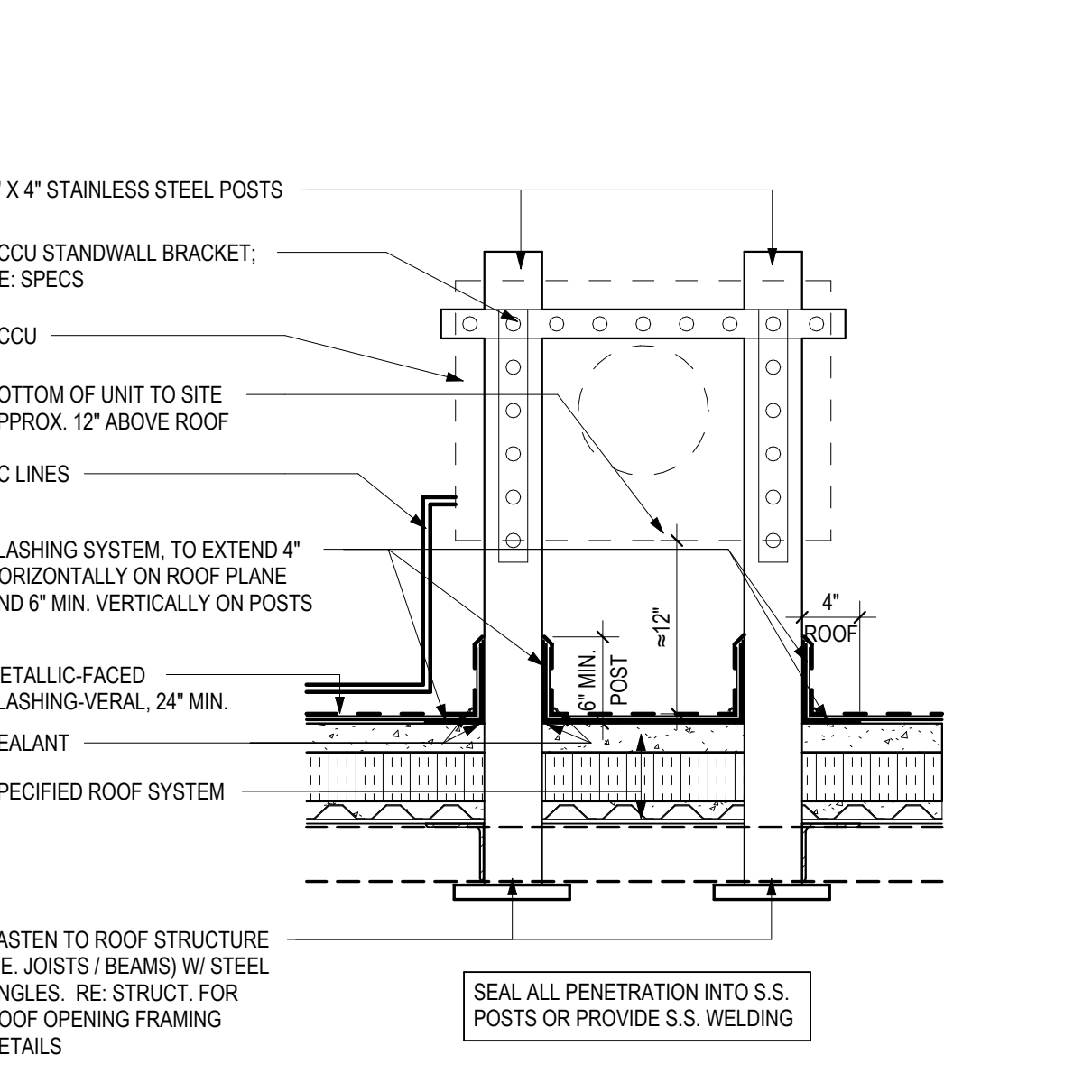
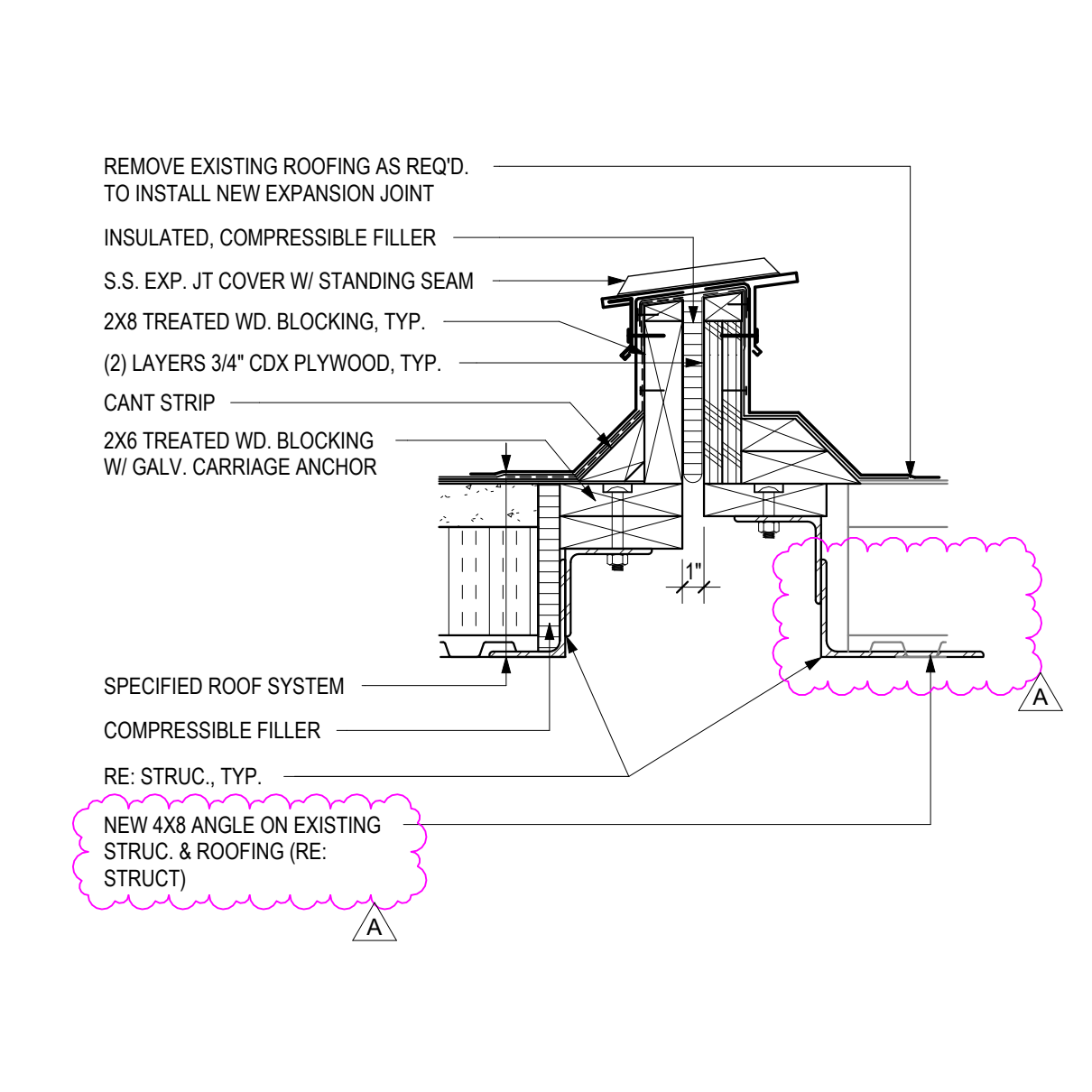
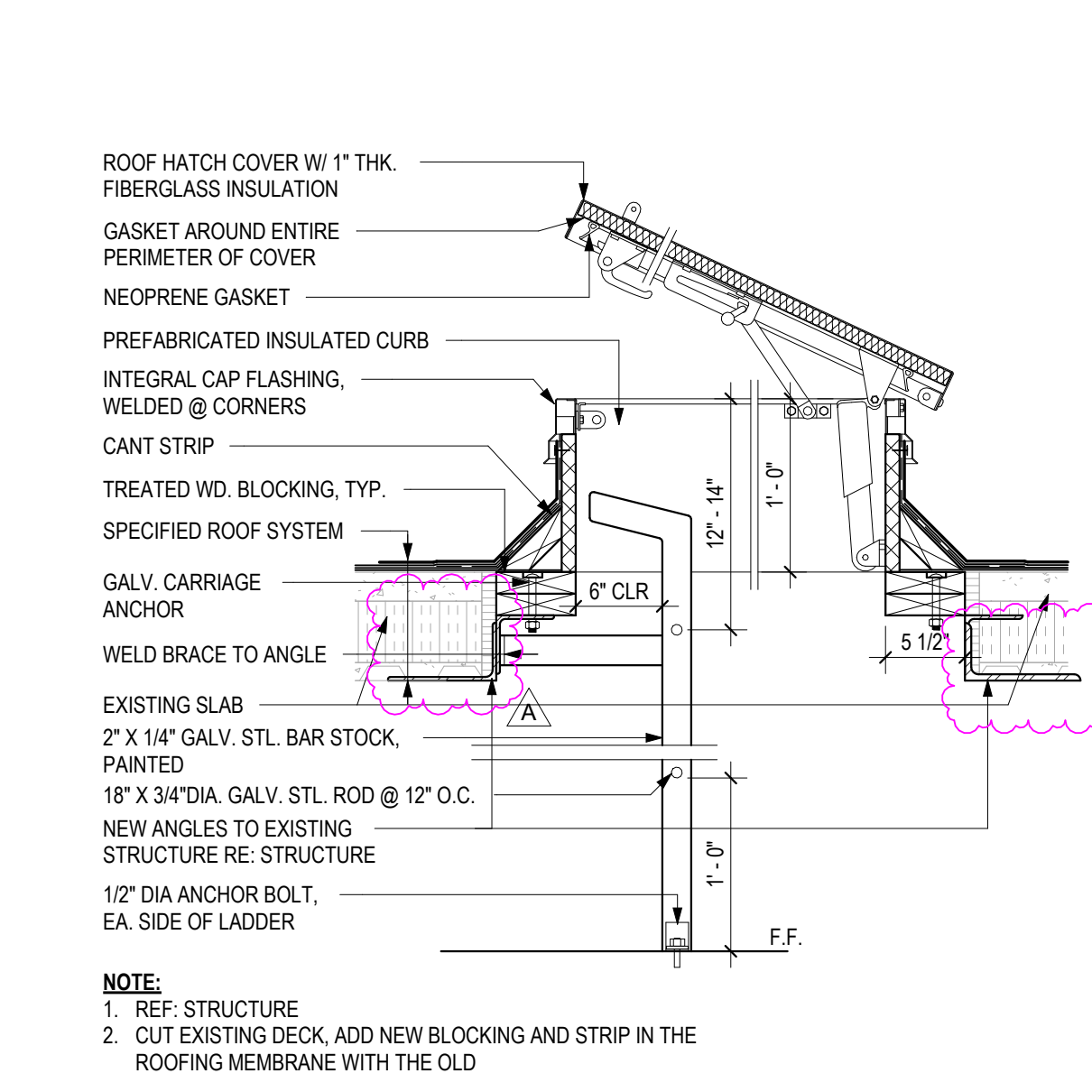
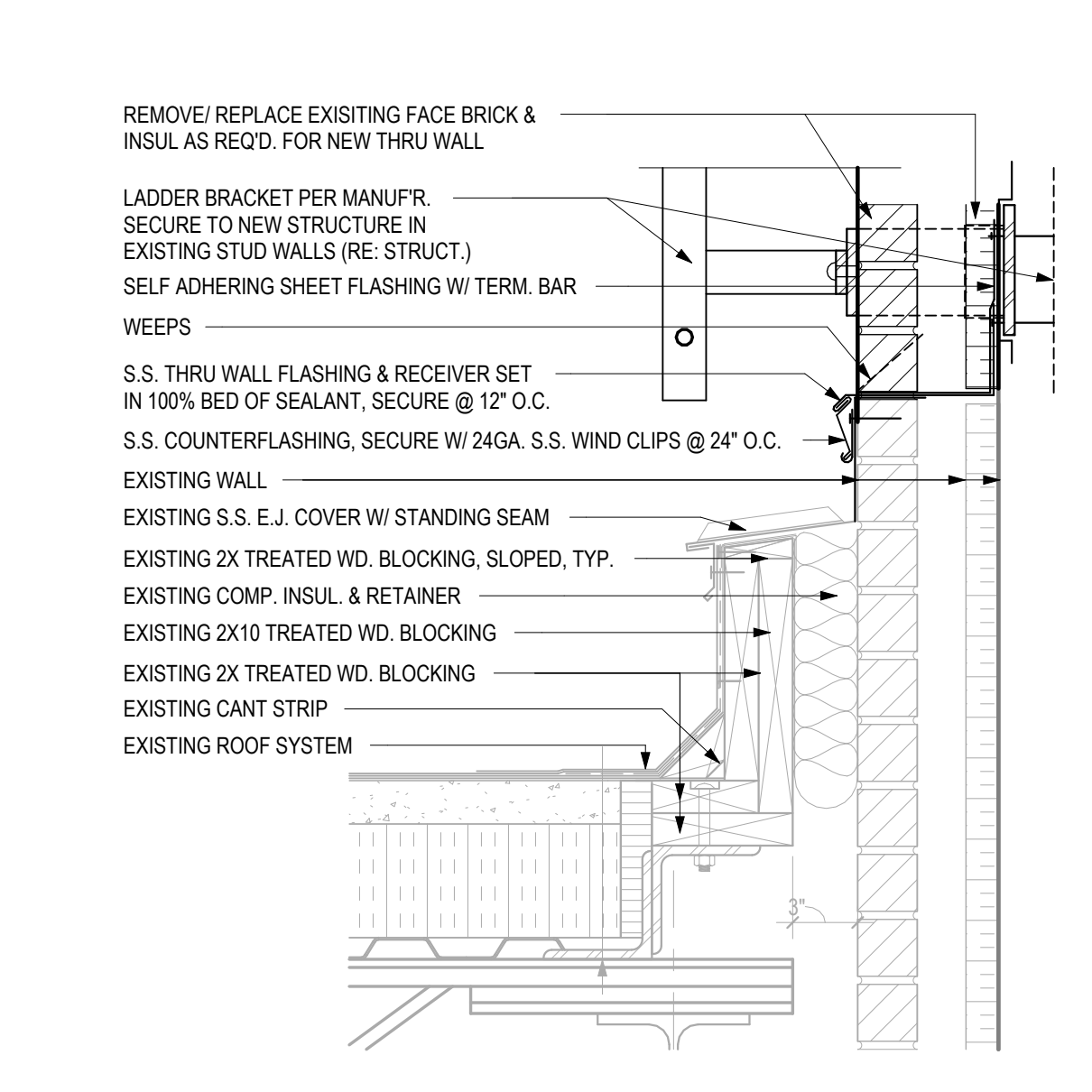
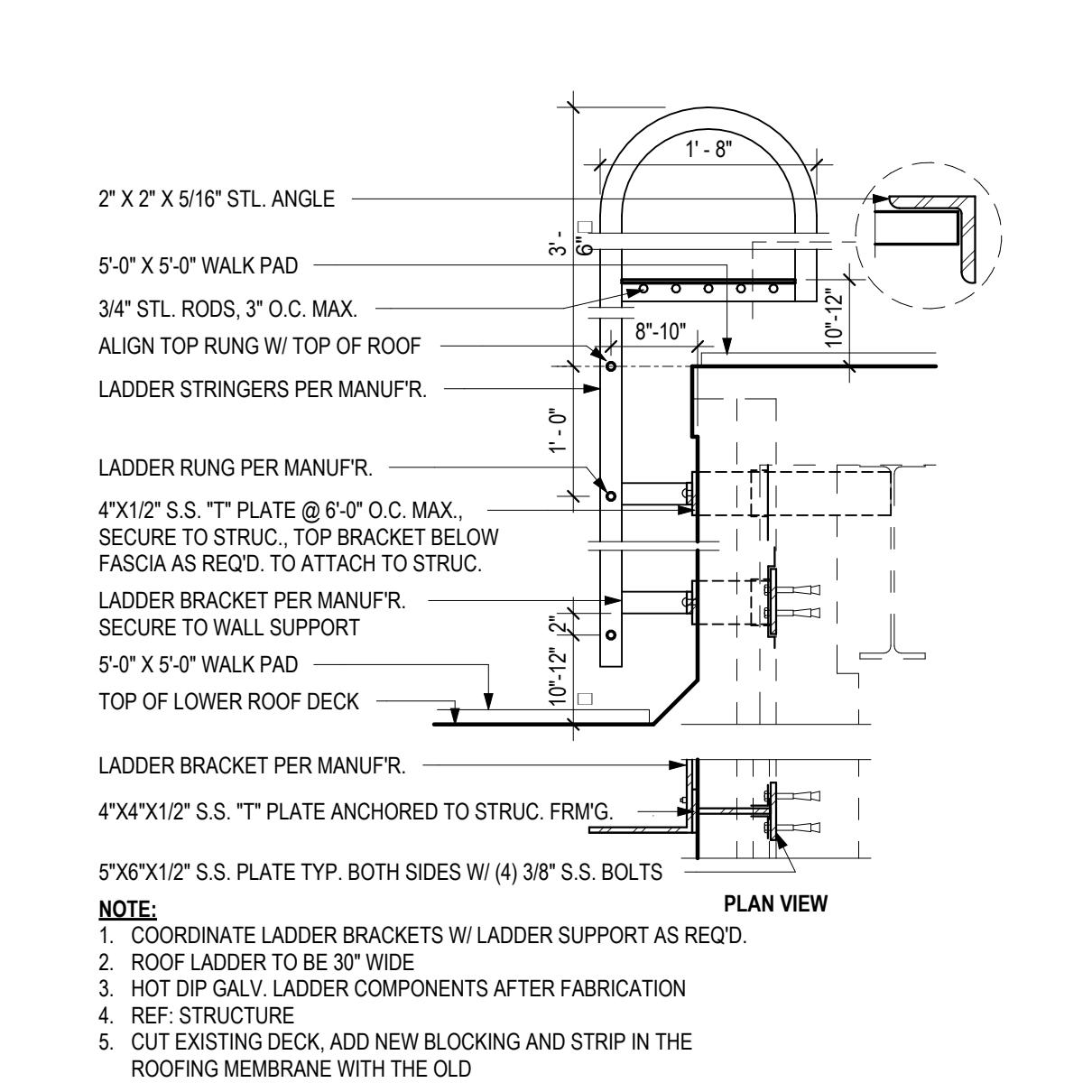
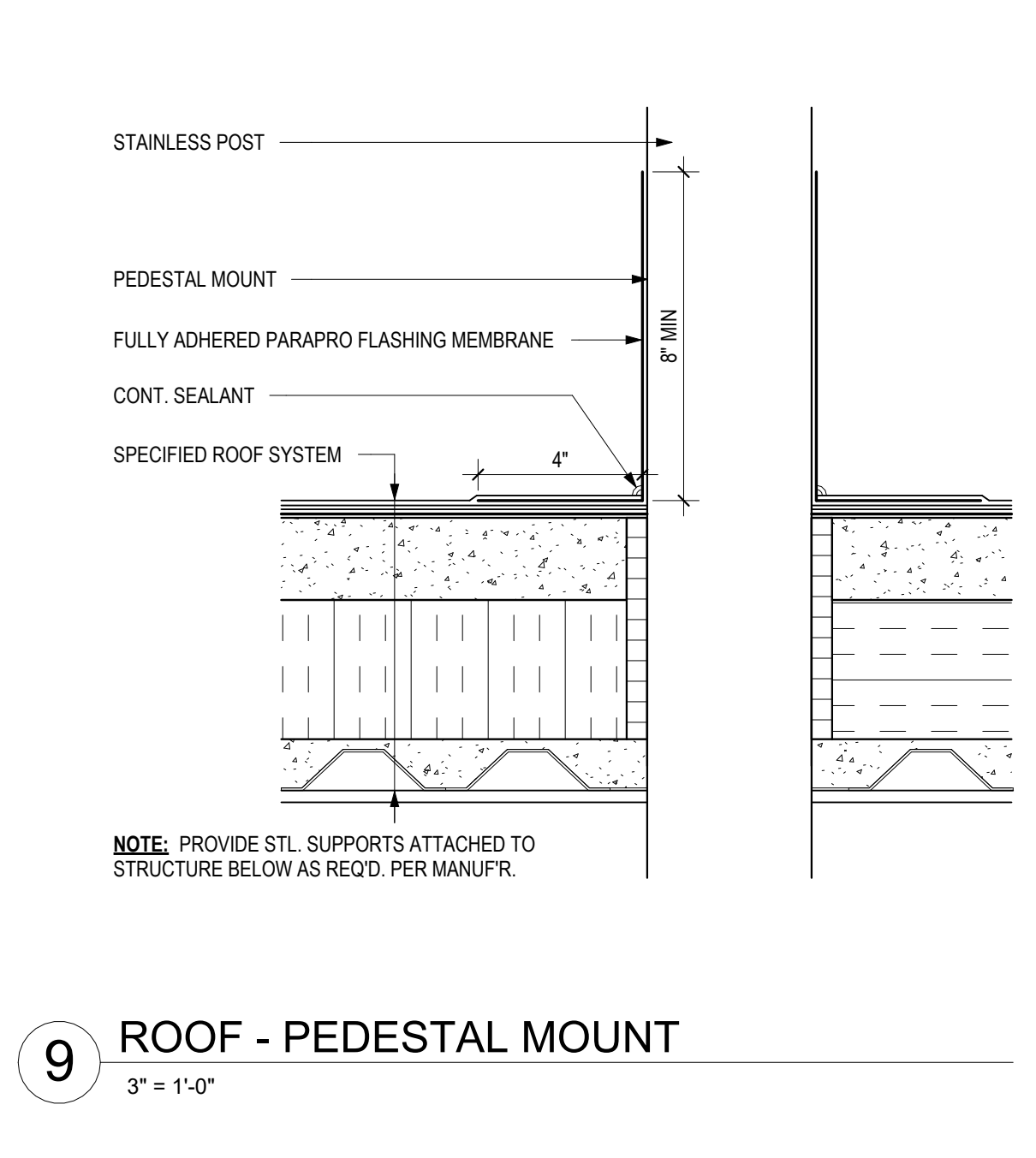
12 ROOF - EXP JNT - EXIST ROOF-WALL1
 1 1/2" = 1'-0"



8 ROOF - ROOF DRAIN
 1 1/2" = 1'-0"



13 ROOF - EDGE @ BRK W-VERT BLK
 3" = 1'-0"



1 ROOF - LADDER W-LDNG @ CMU
 3/4" = 1'-0"

2 ROOF - LADDER - EXP JNT - ROOF-EXIST WALL
 1 1/2" = 1'-0"

3 ROOF - HATCH
 1" = 1'-0"

4 ROOF - EXP JNT - ROOF-EXIST ROOF
 1 1/2" = 1'-0"

5 ROOF - ACCU BRACKET/SUPPORT
 1" = 1'-0"

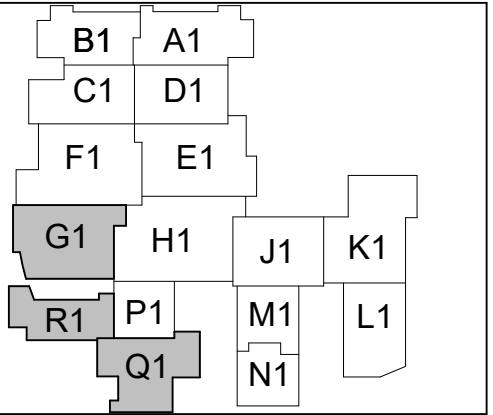
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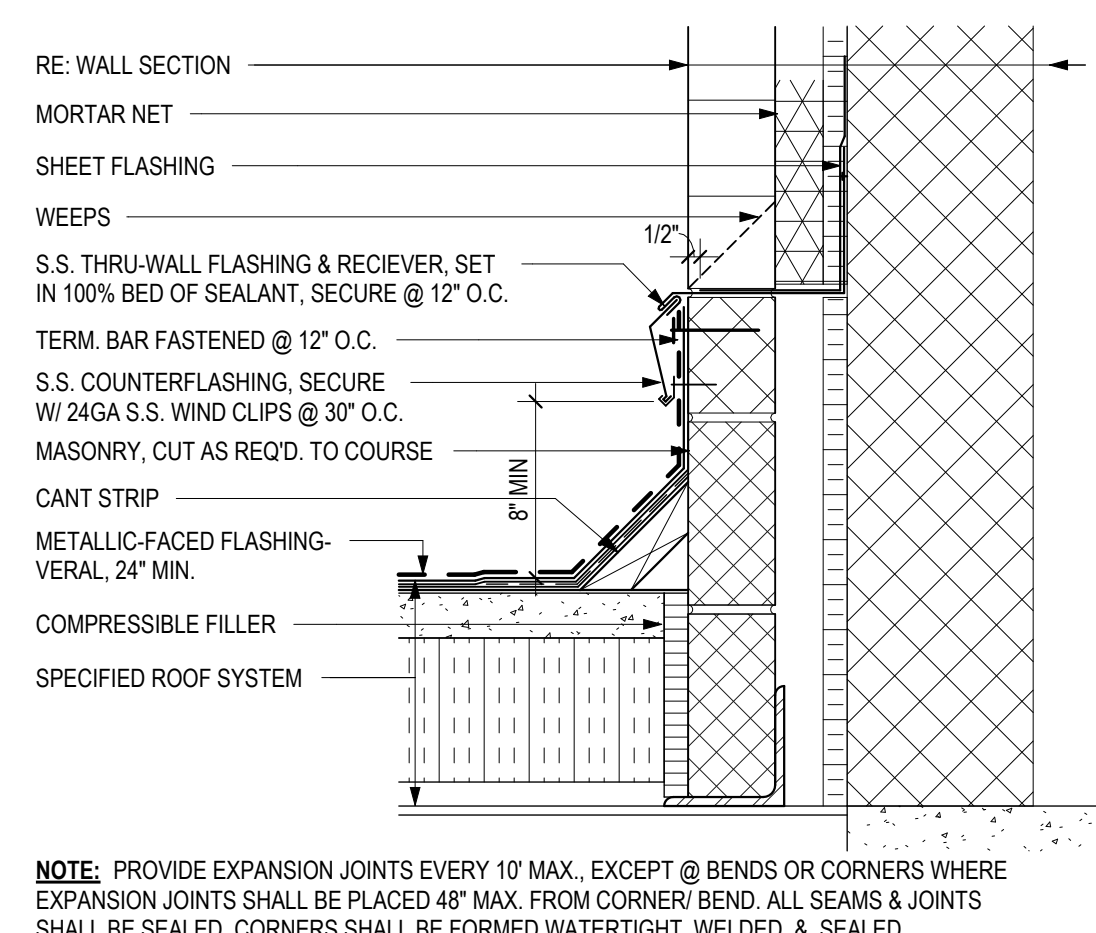
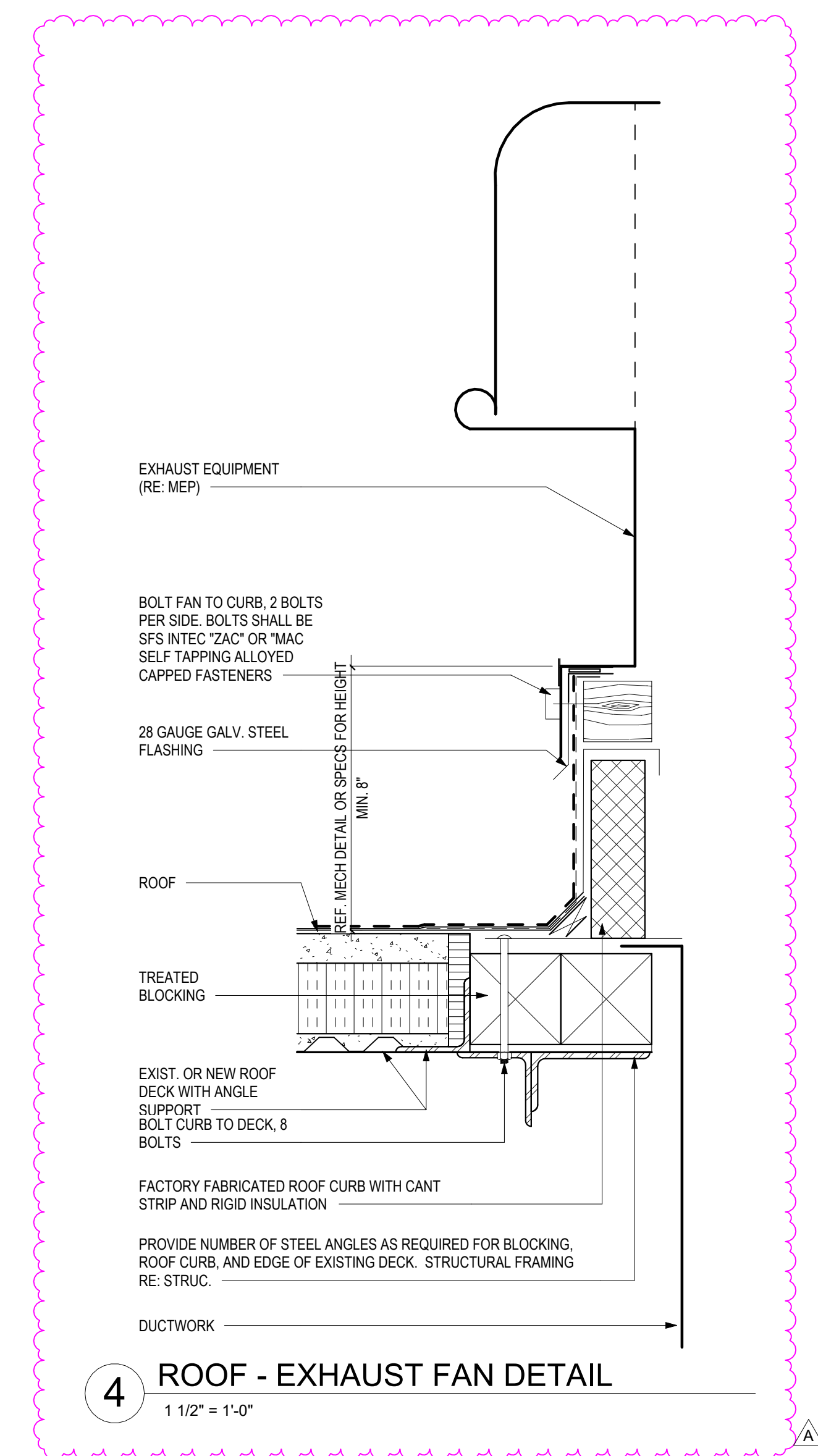


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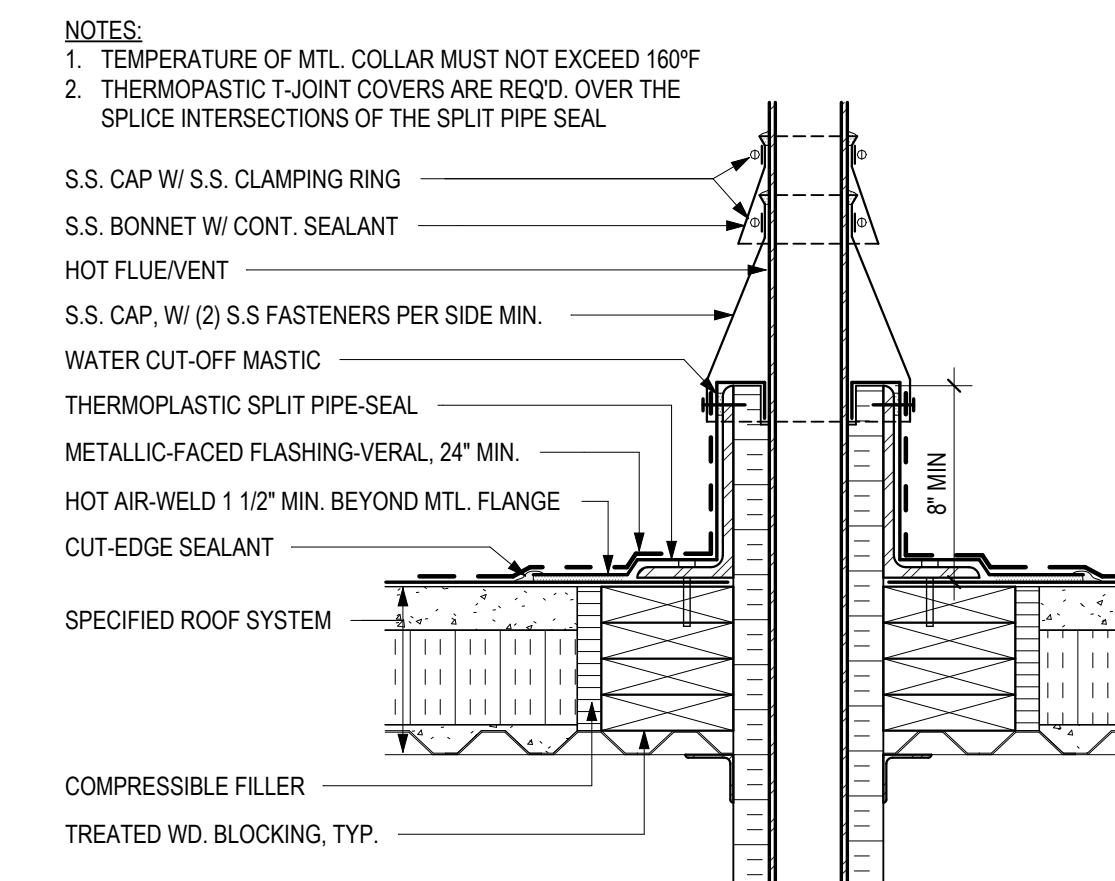
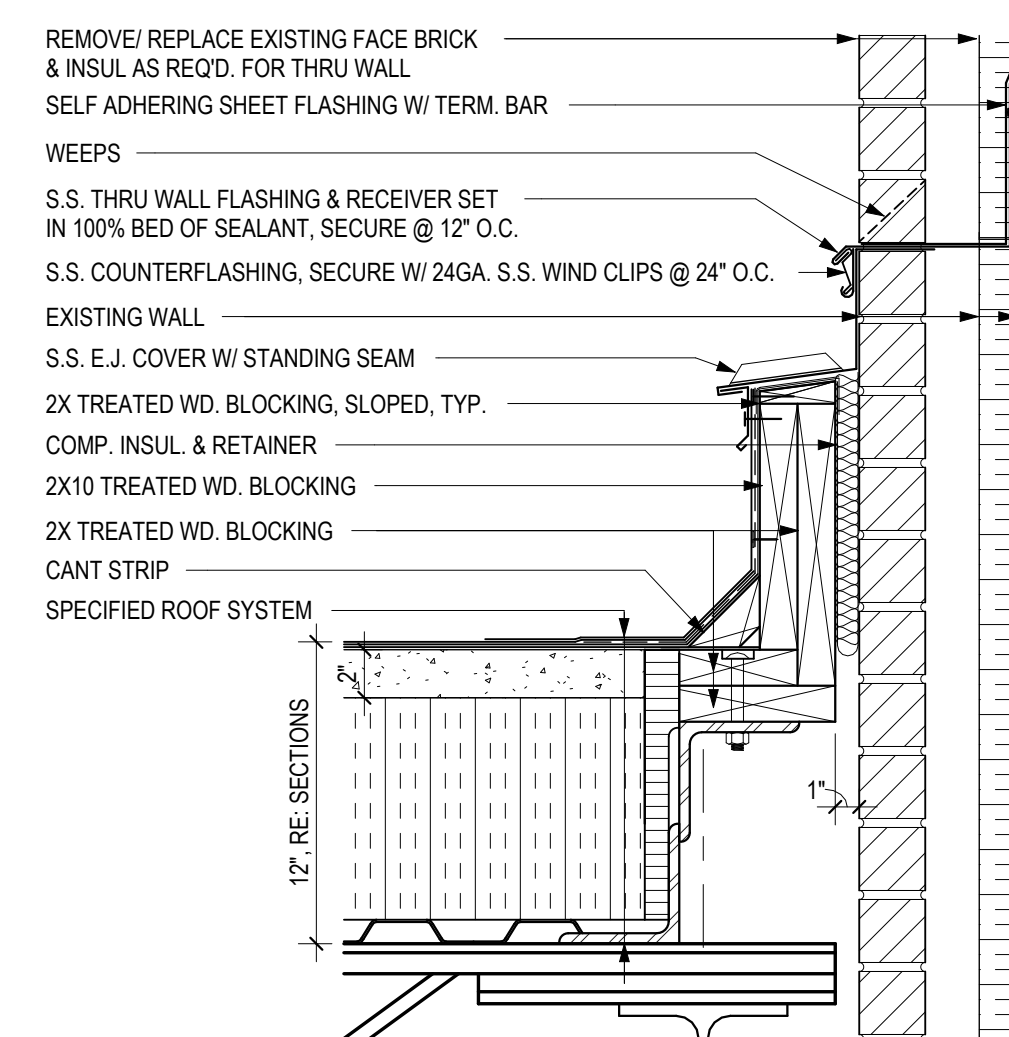
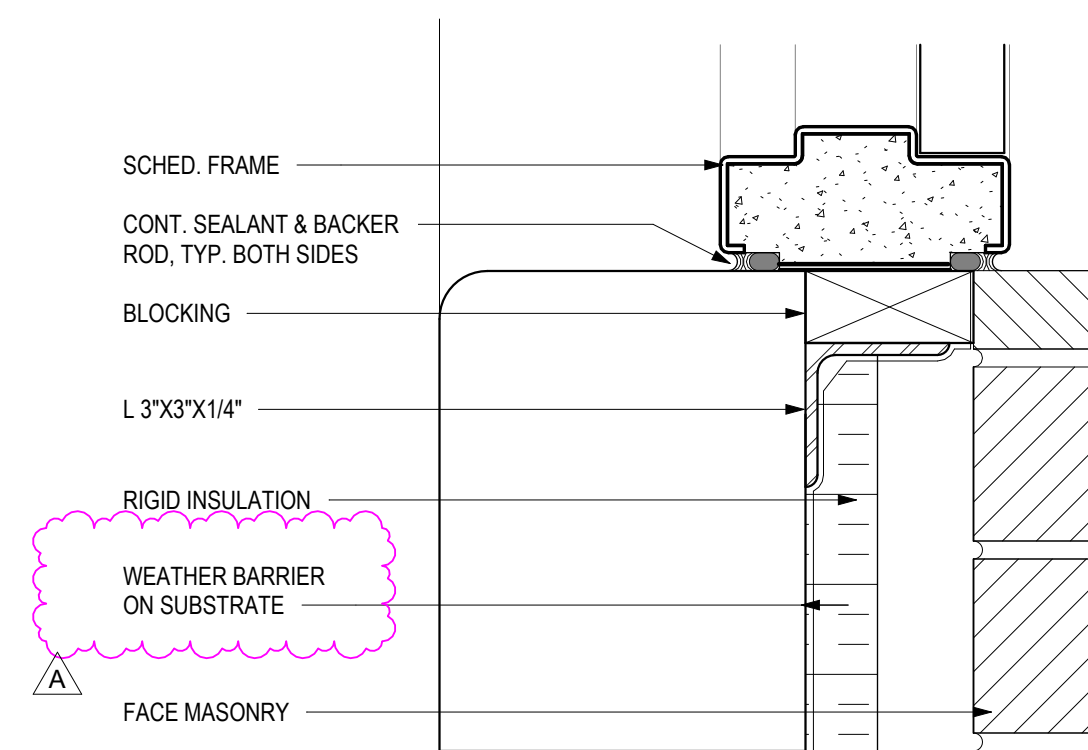
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2024-12-20



NOTE: PROVIDE EXPANSION JOINTS EVERY 10' MAX., EXCEPT @ BENDS OR CORNERS WHERE EXPANSION JOINTS SHALL BE PLACED 40" MAX. FROM CORNER/BEND. ALL SEAMS & JOINTS SHALL BE SEALED. CORNERS SHALL BE FORMED WATERTIGHT, WELDED, & SEALED

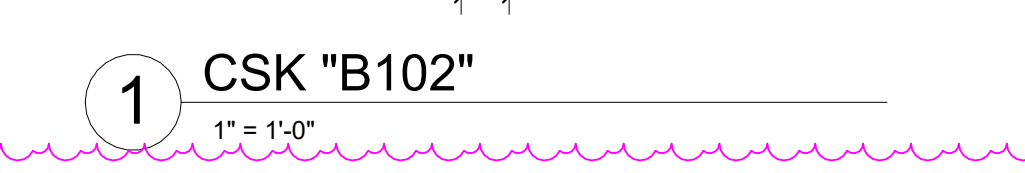
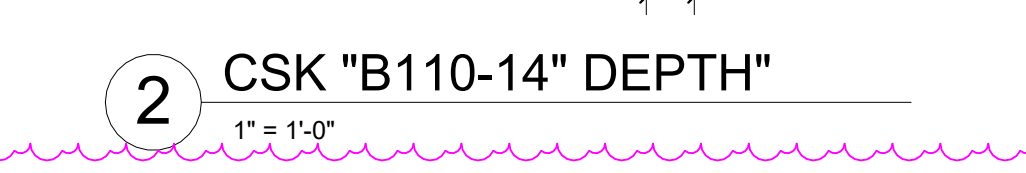
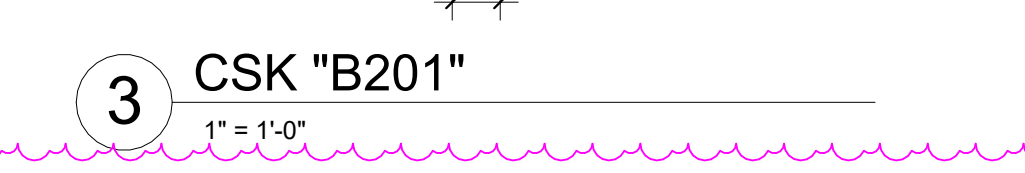
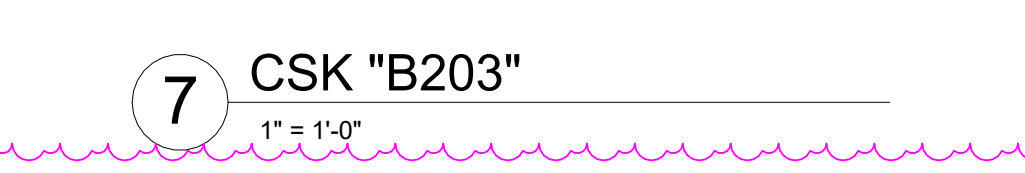
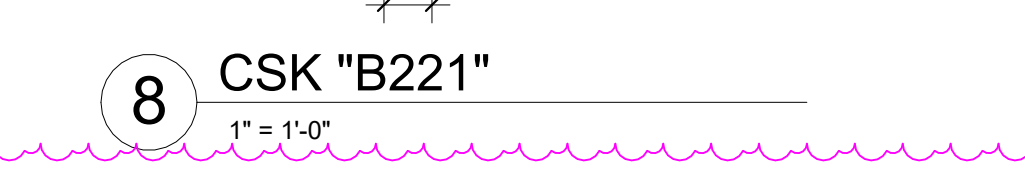
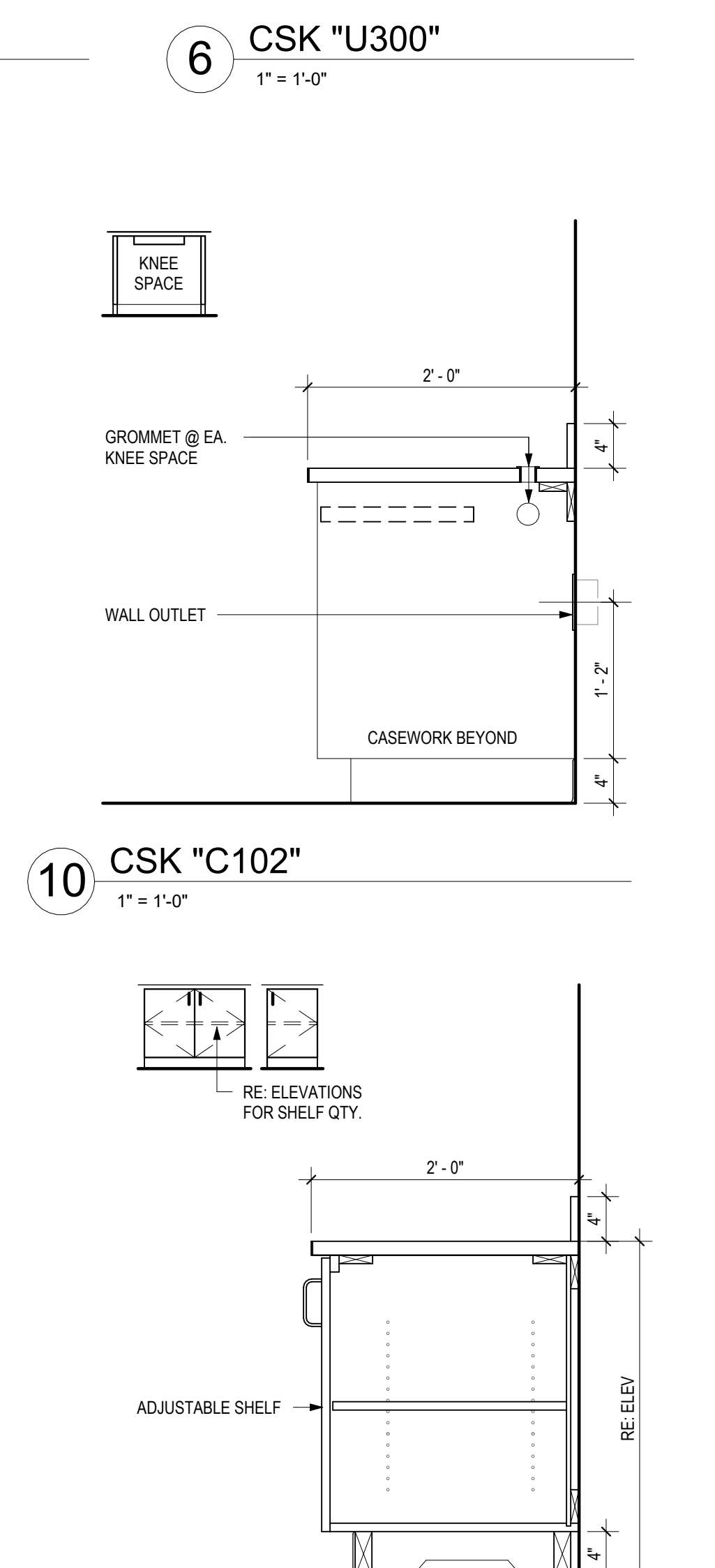
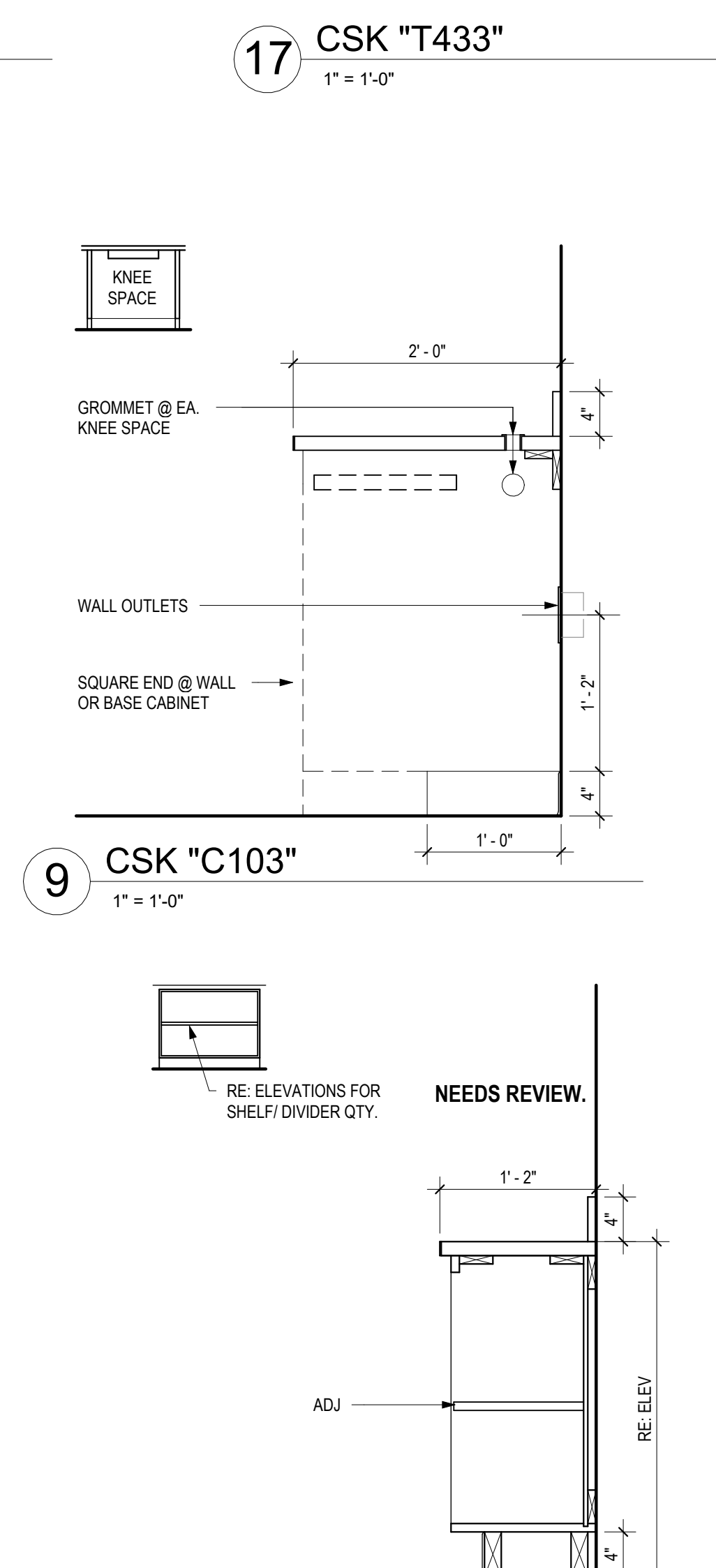
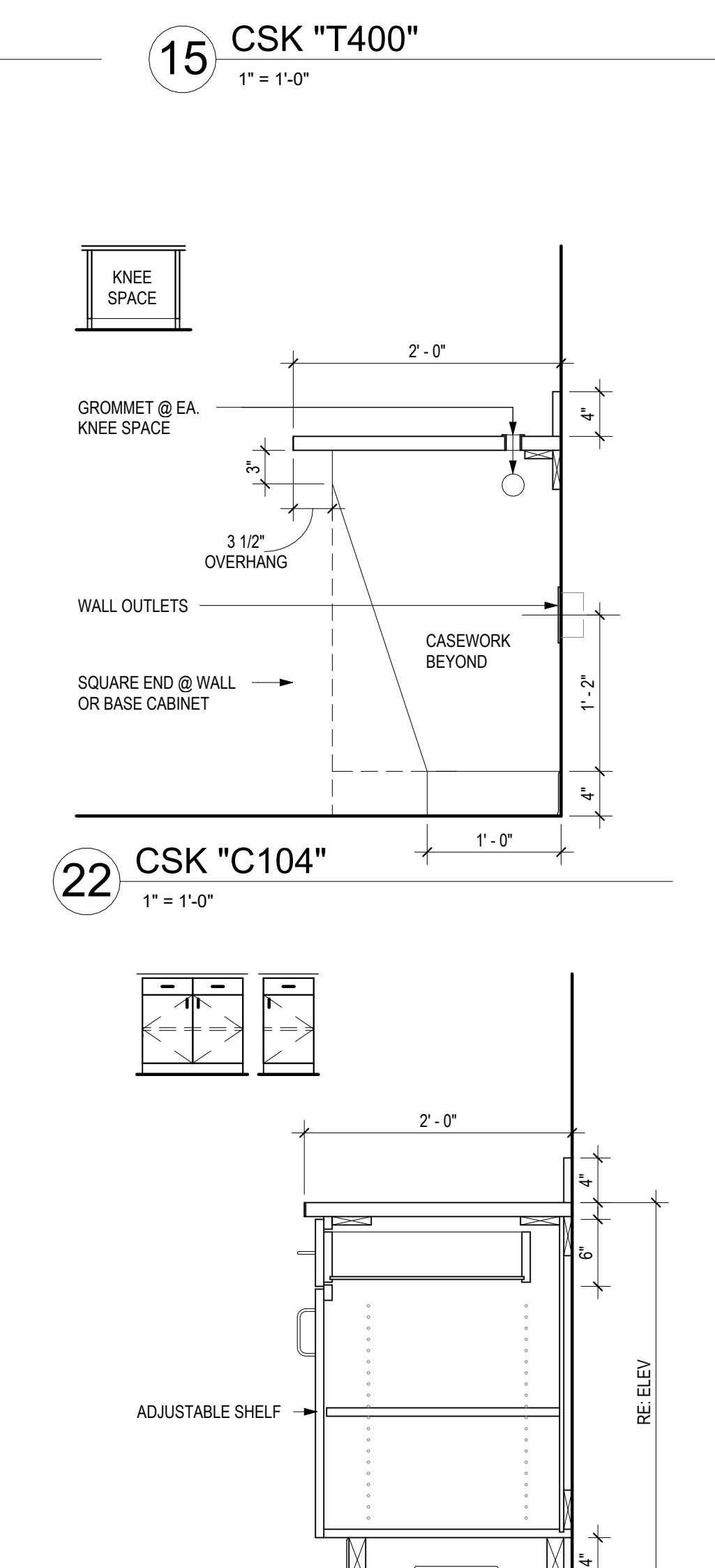
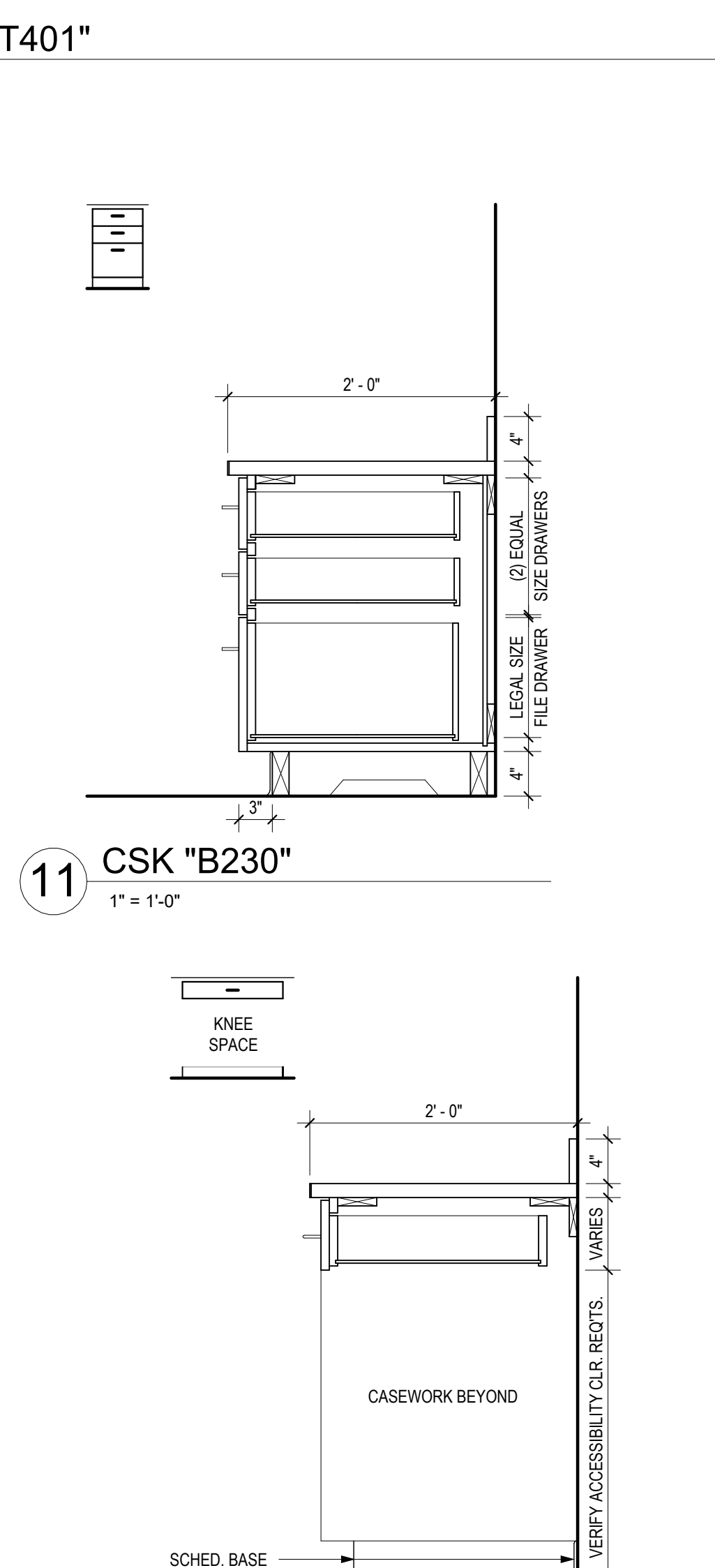
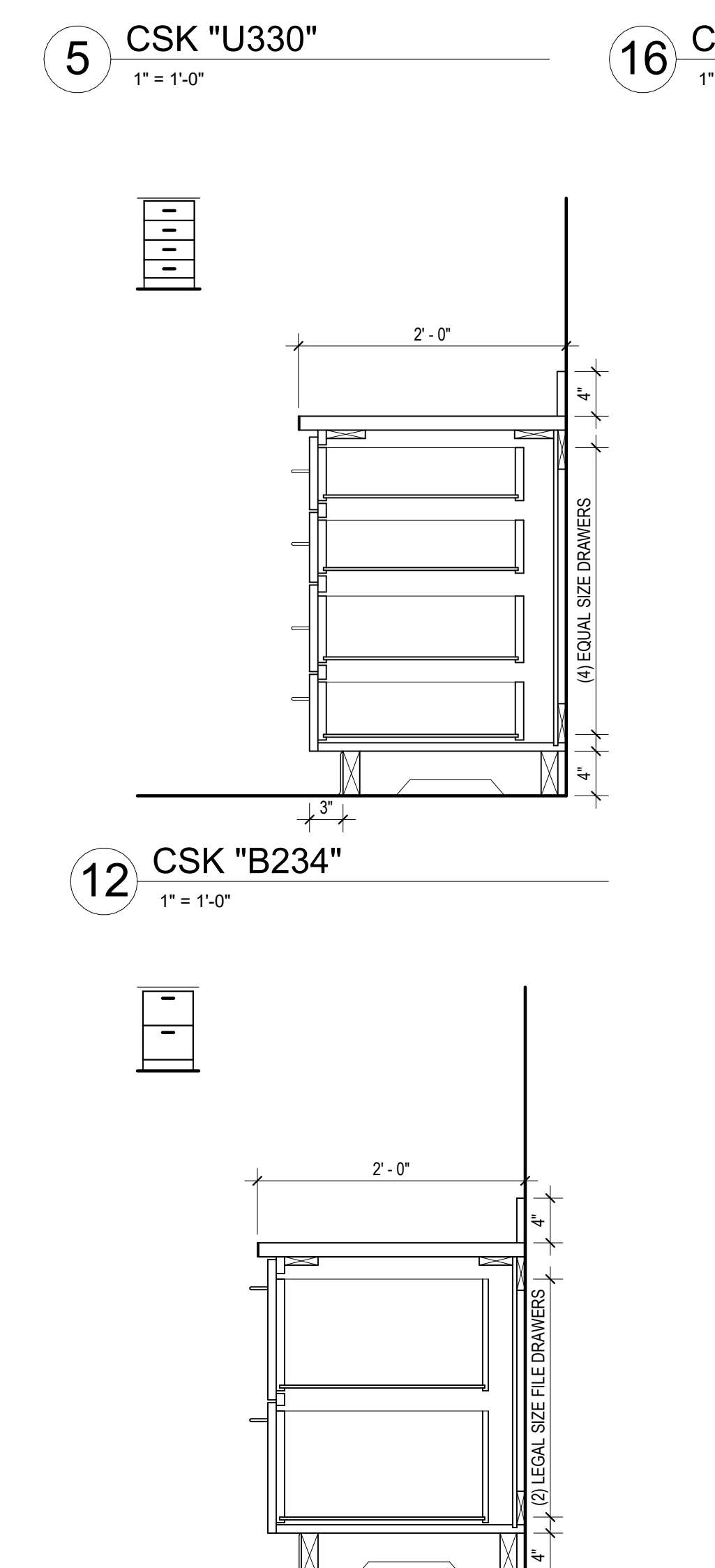
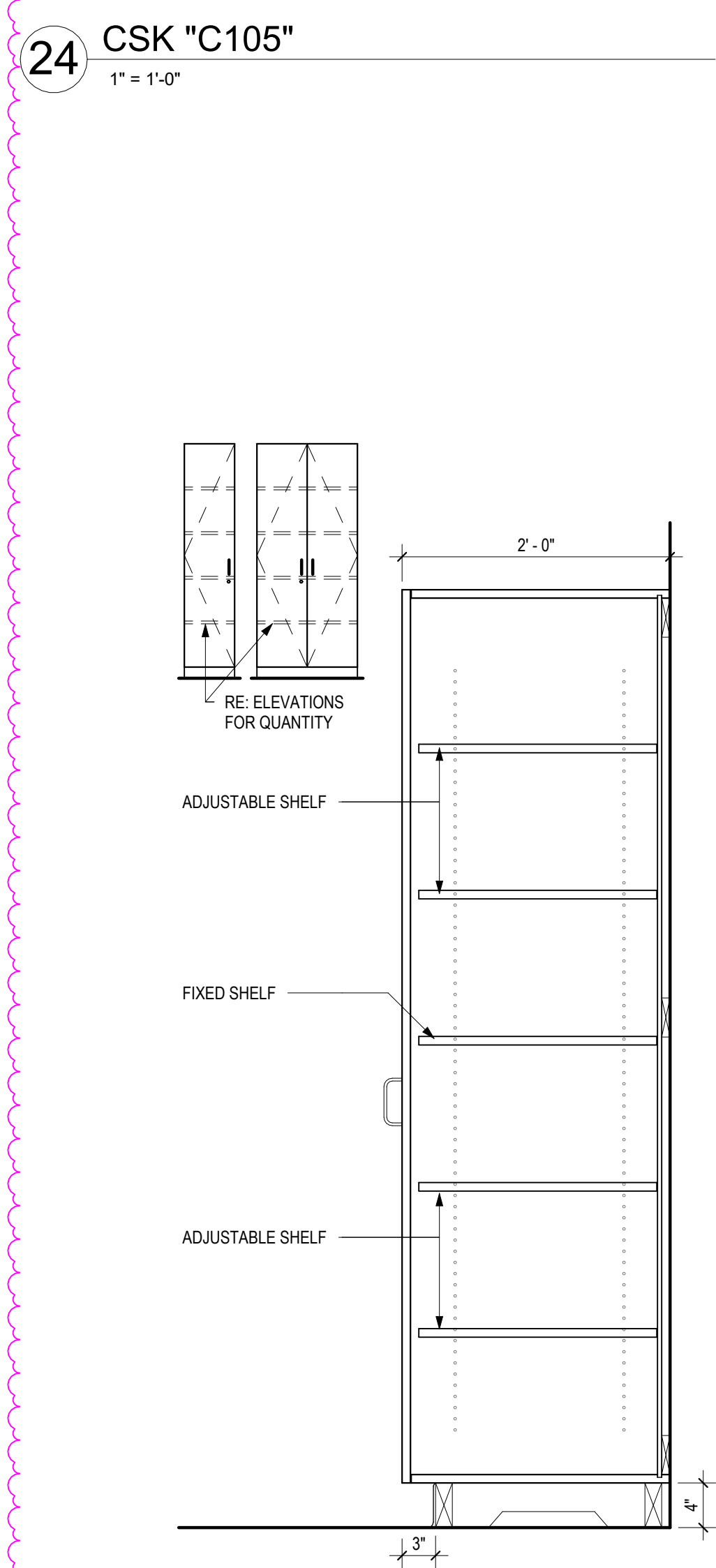
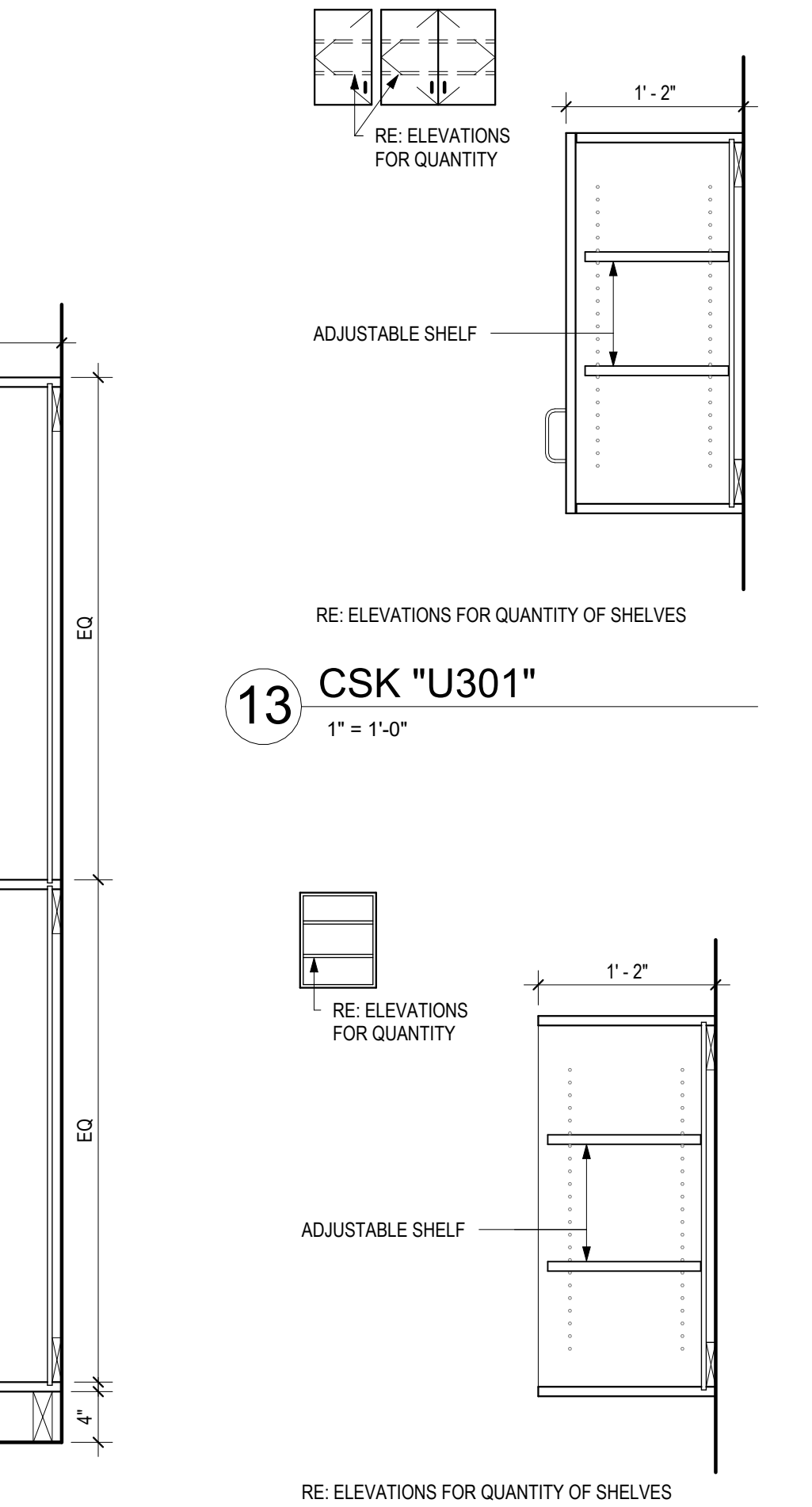
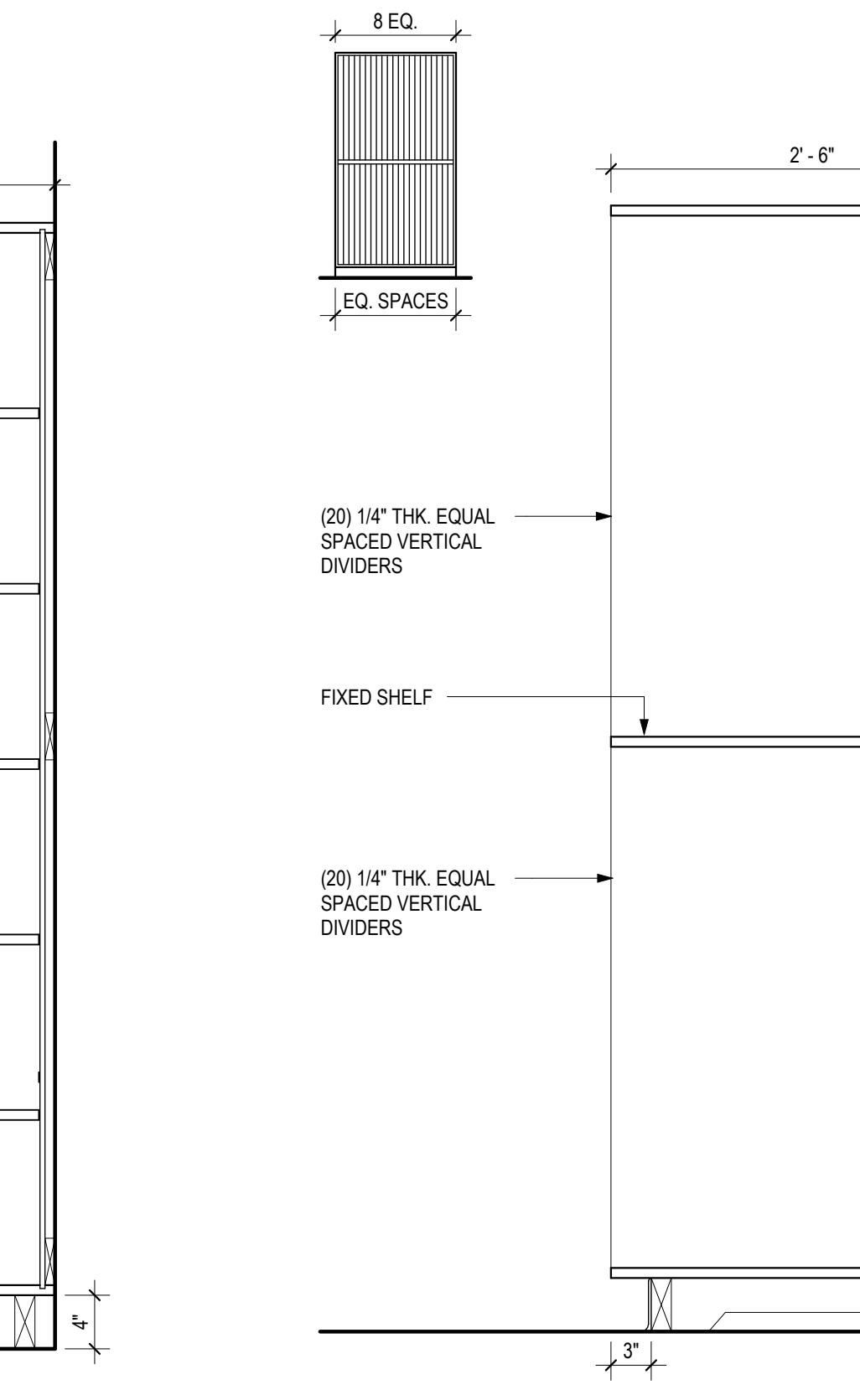
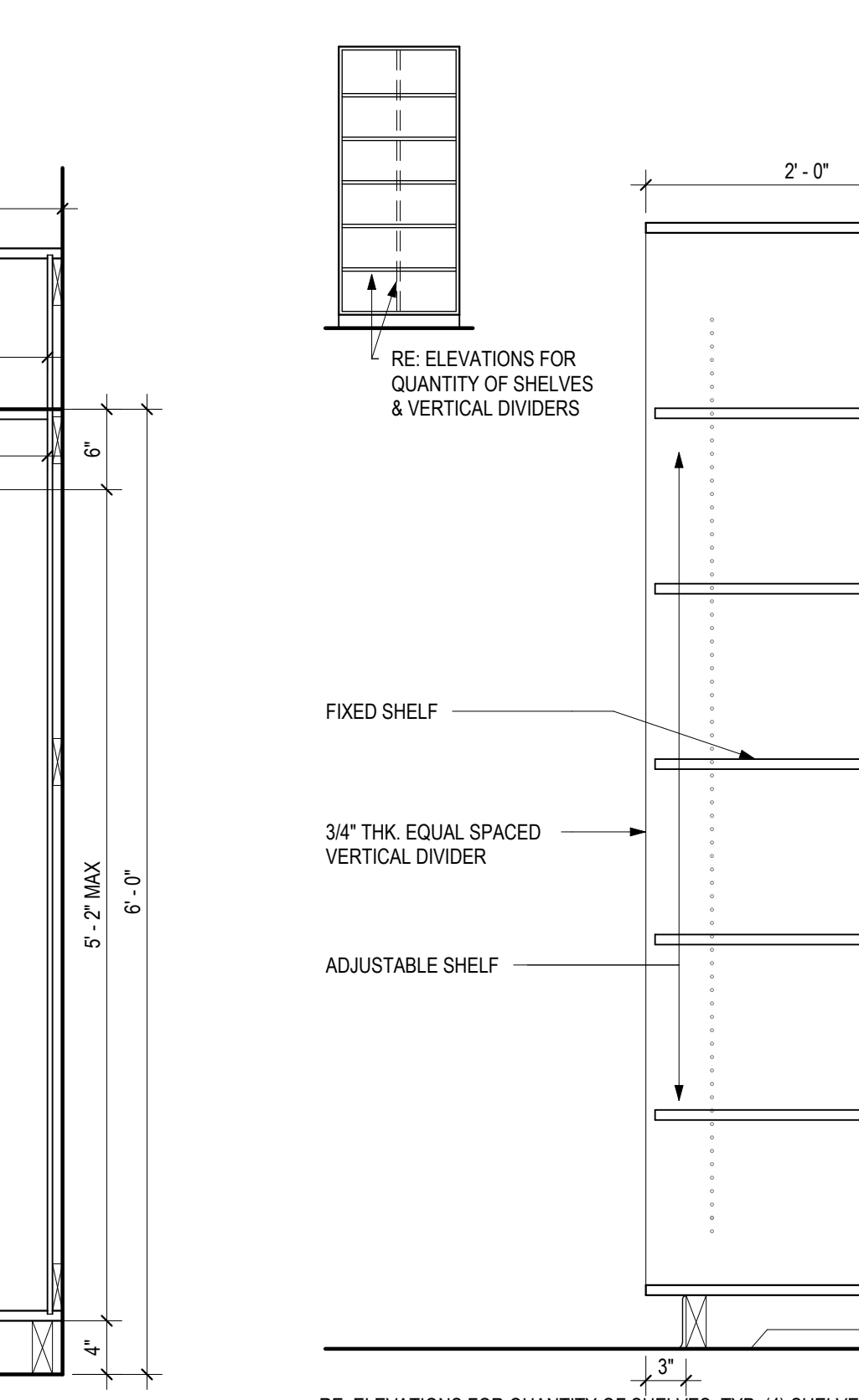
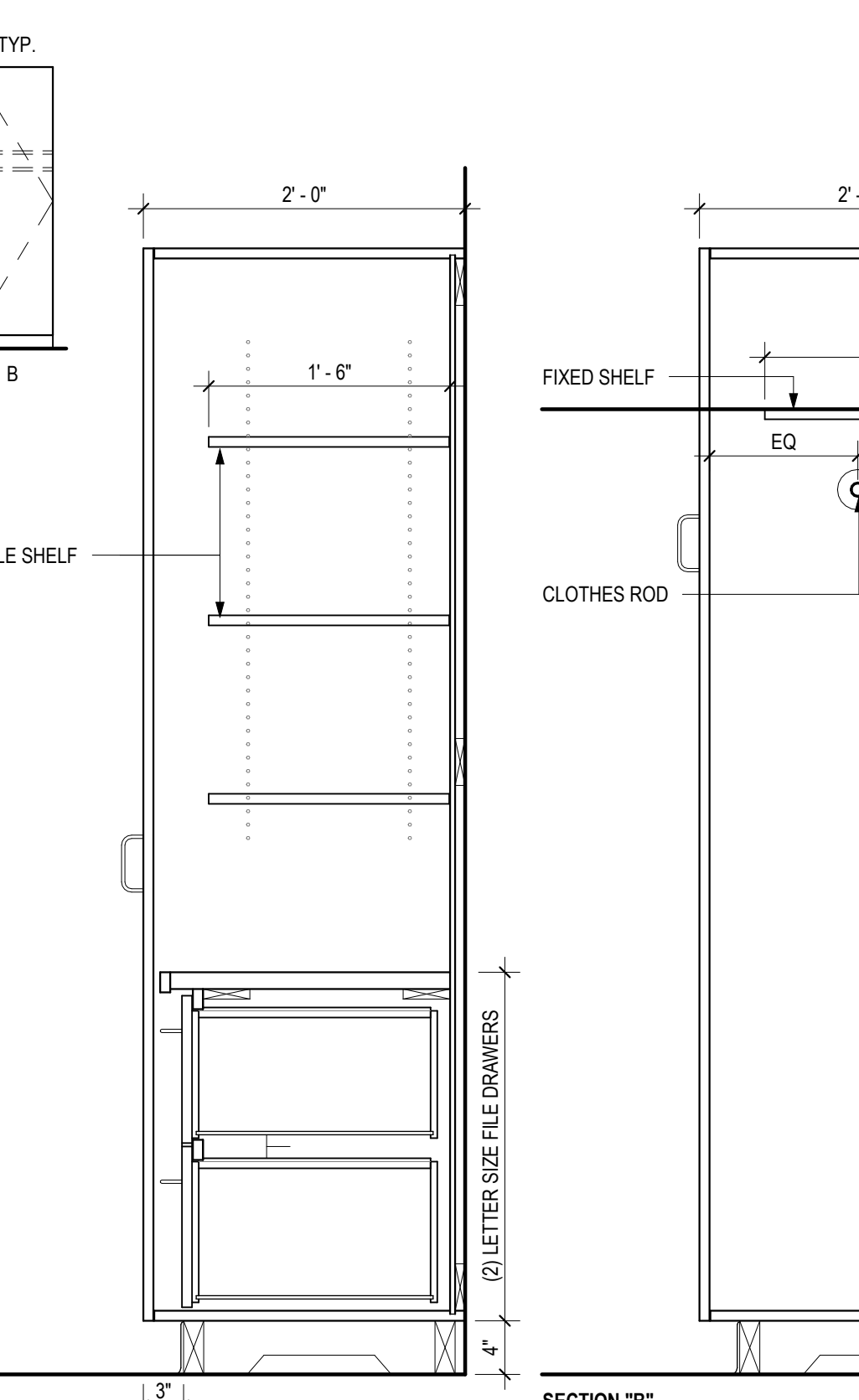
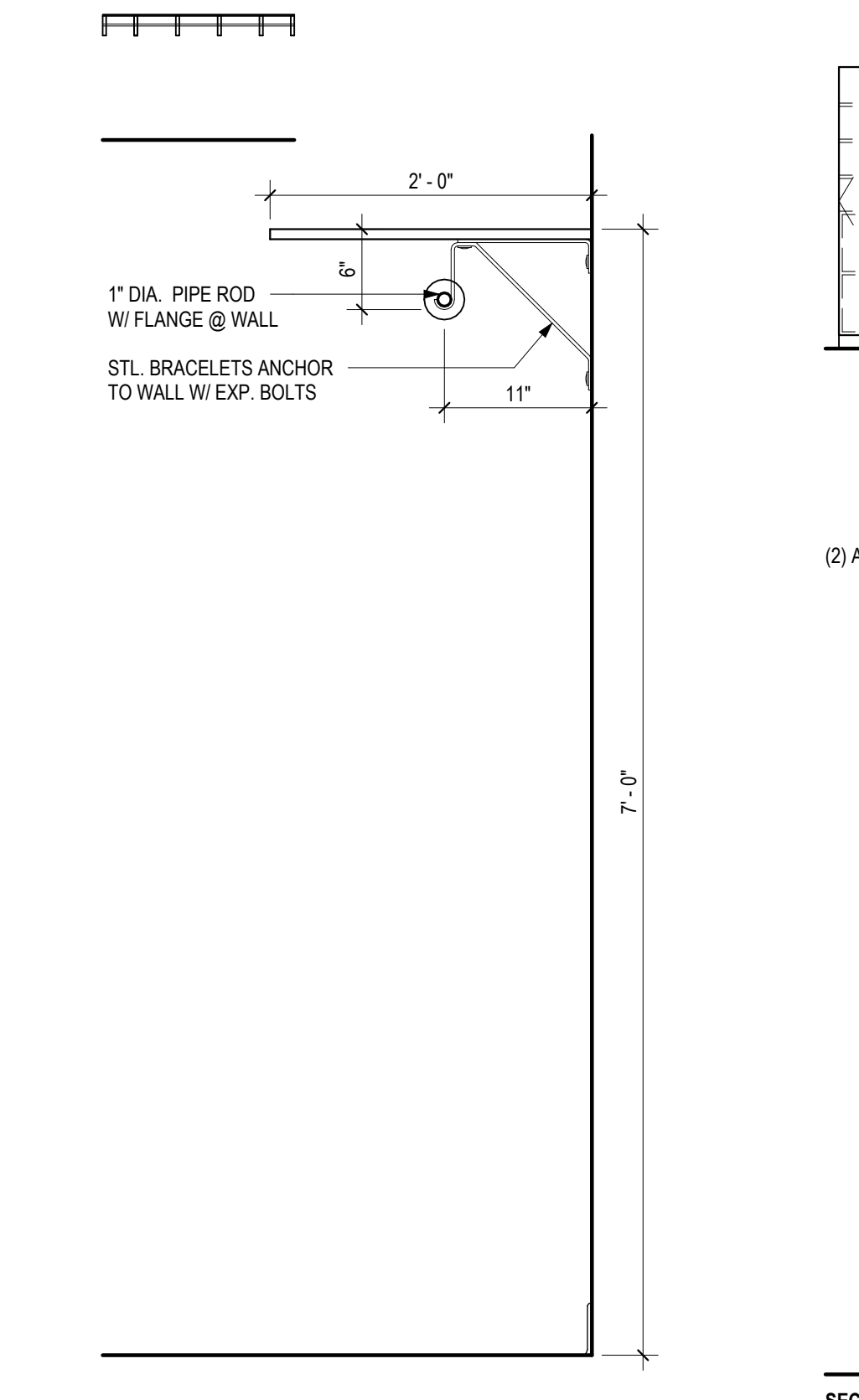
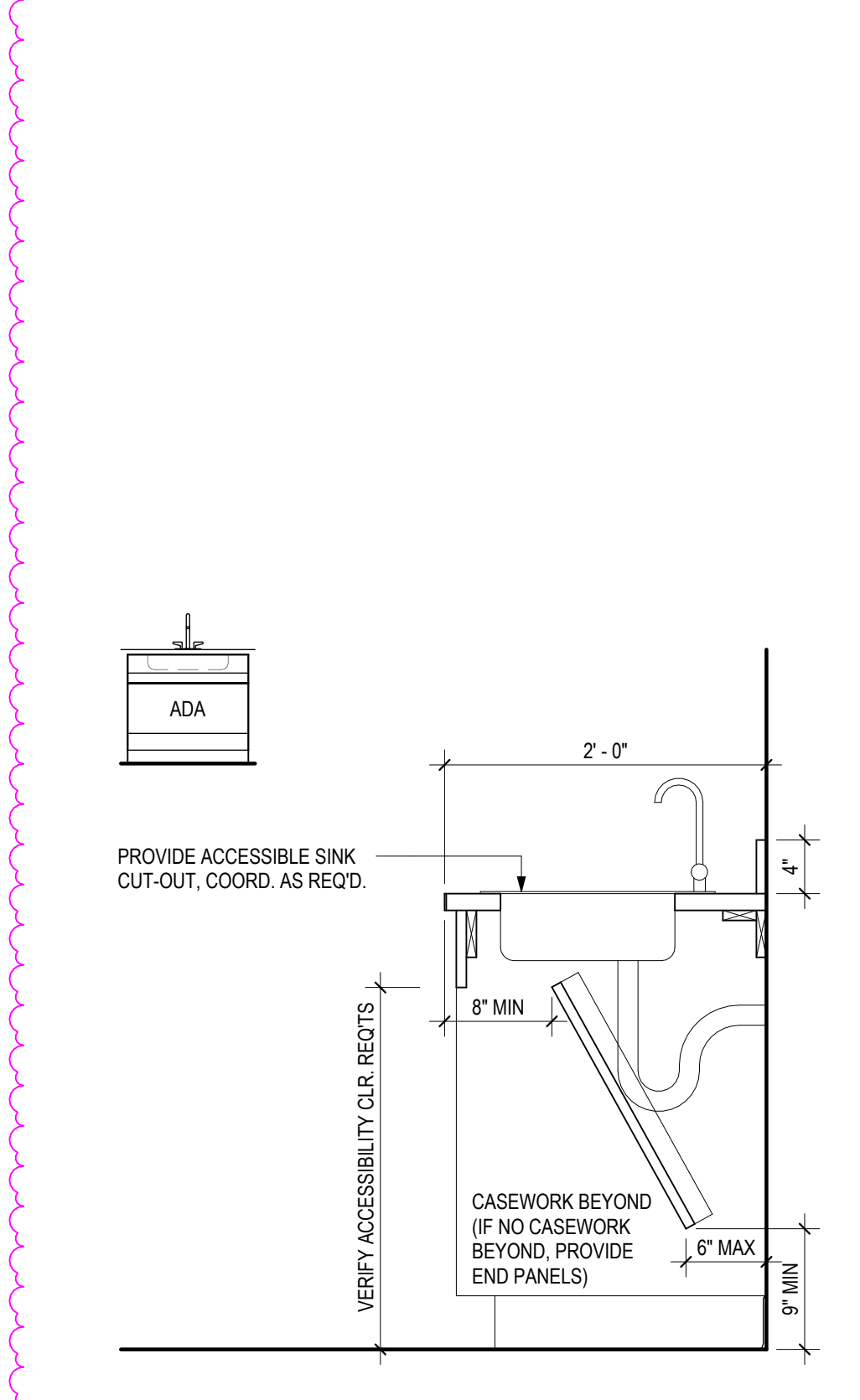
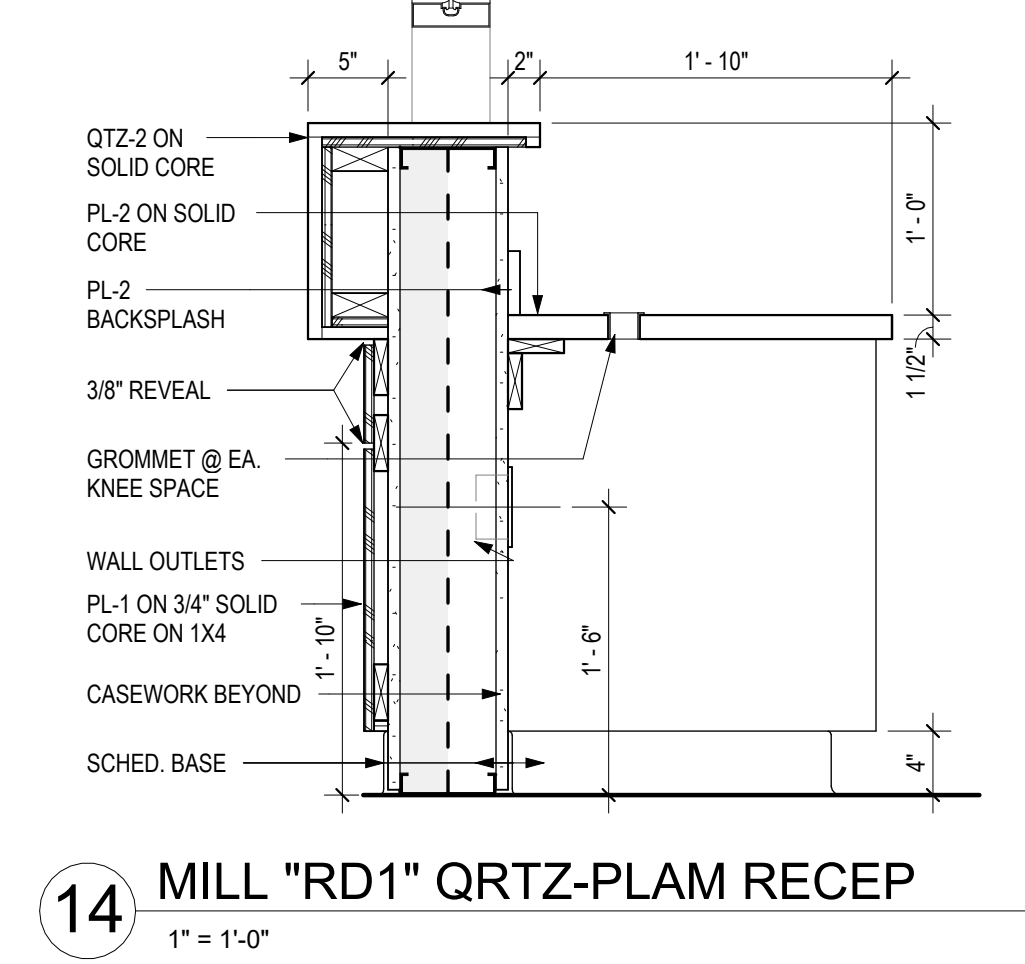
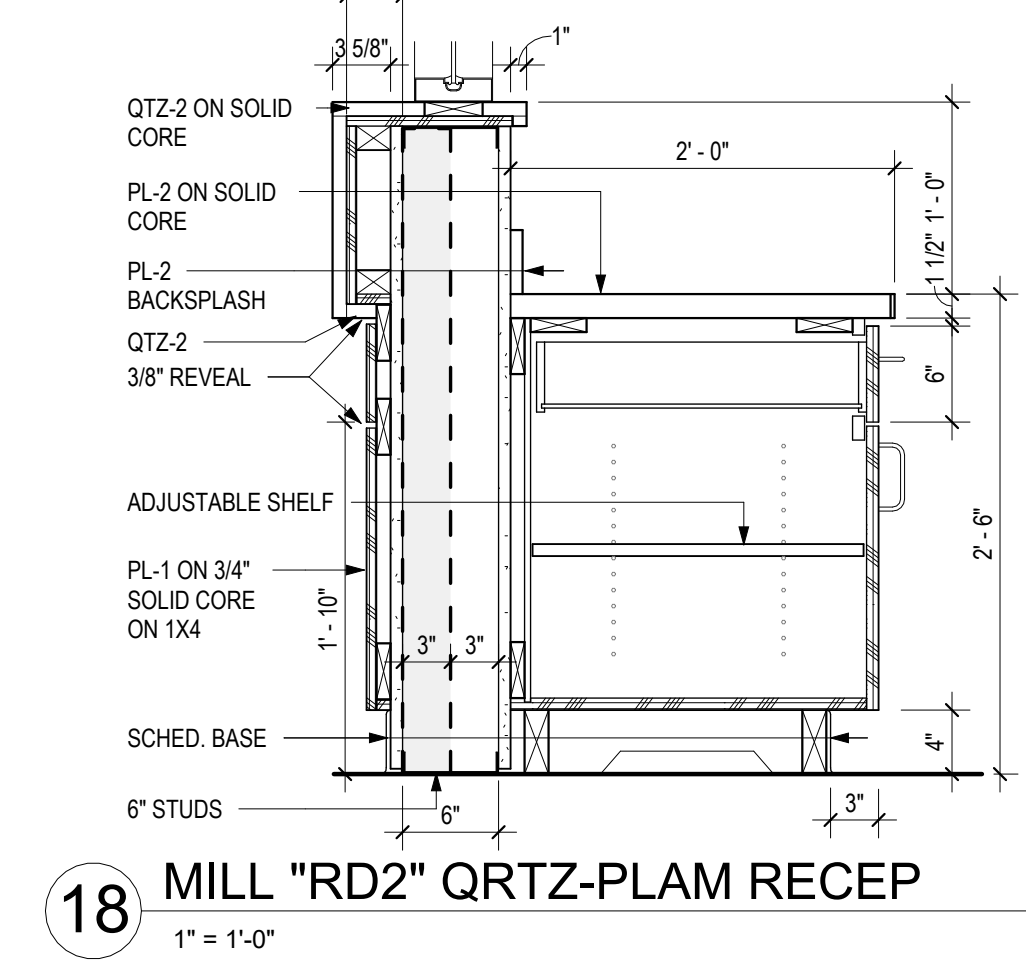
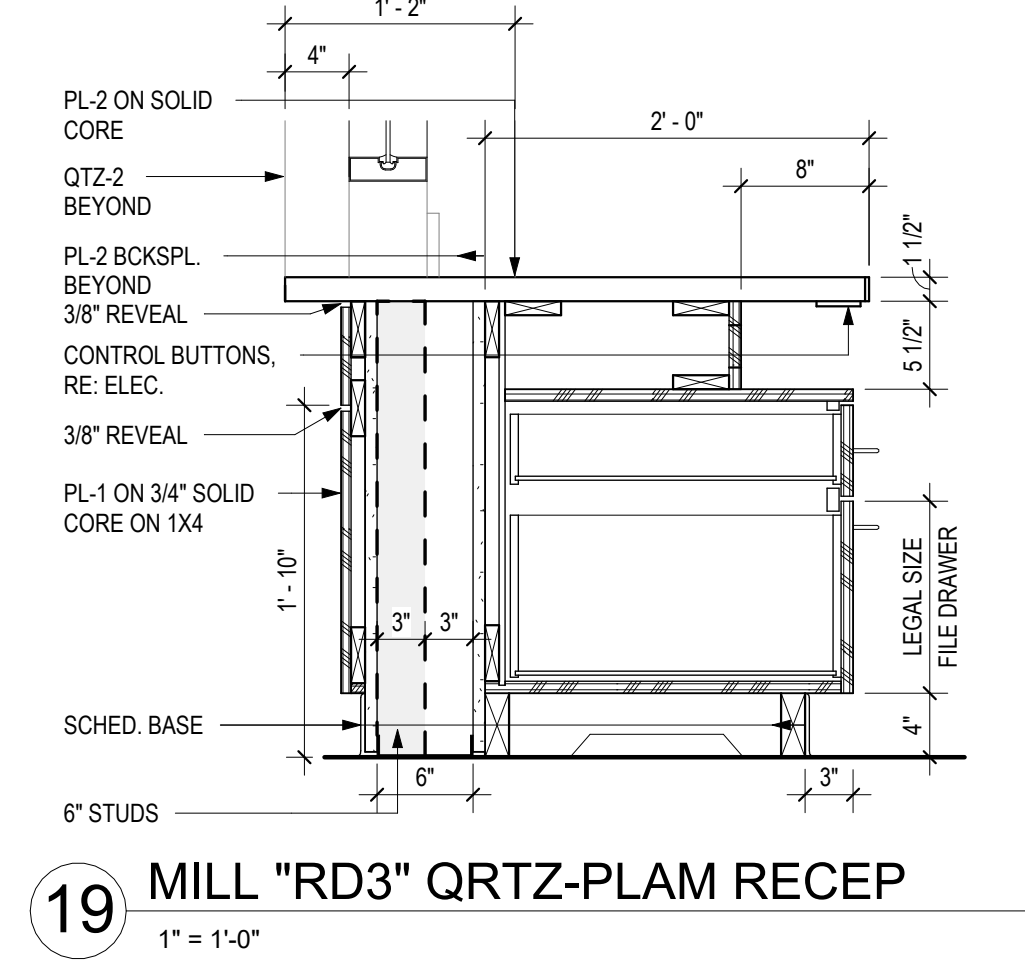
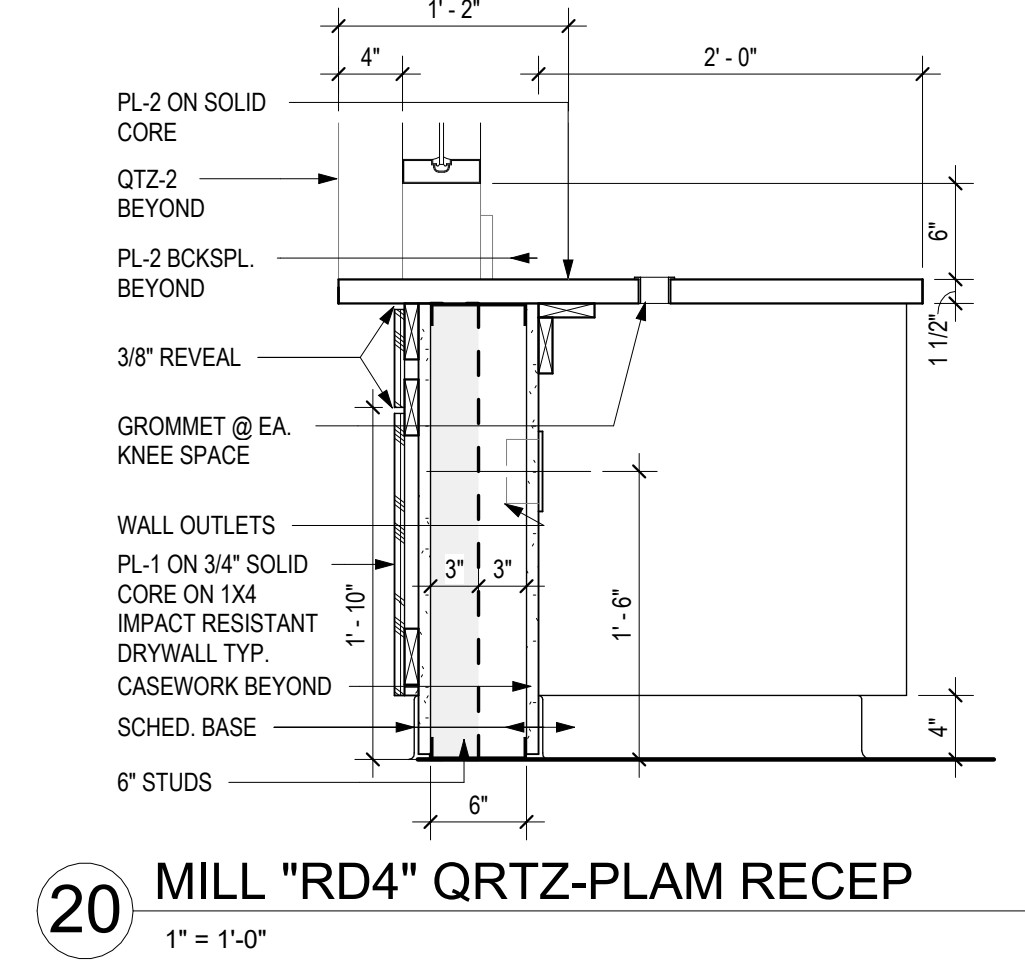
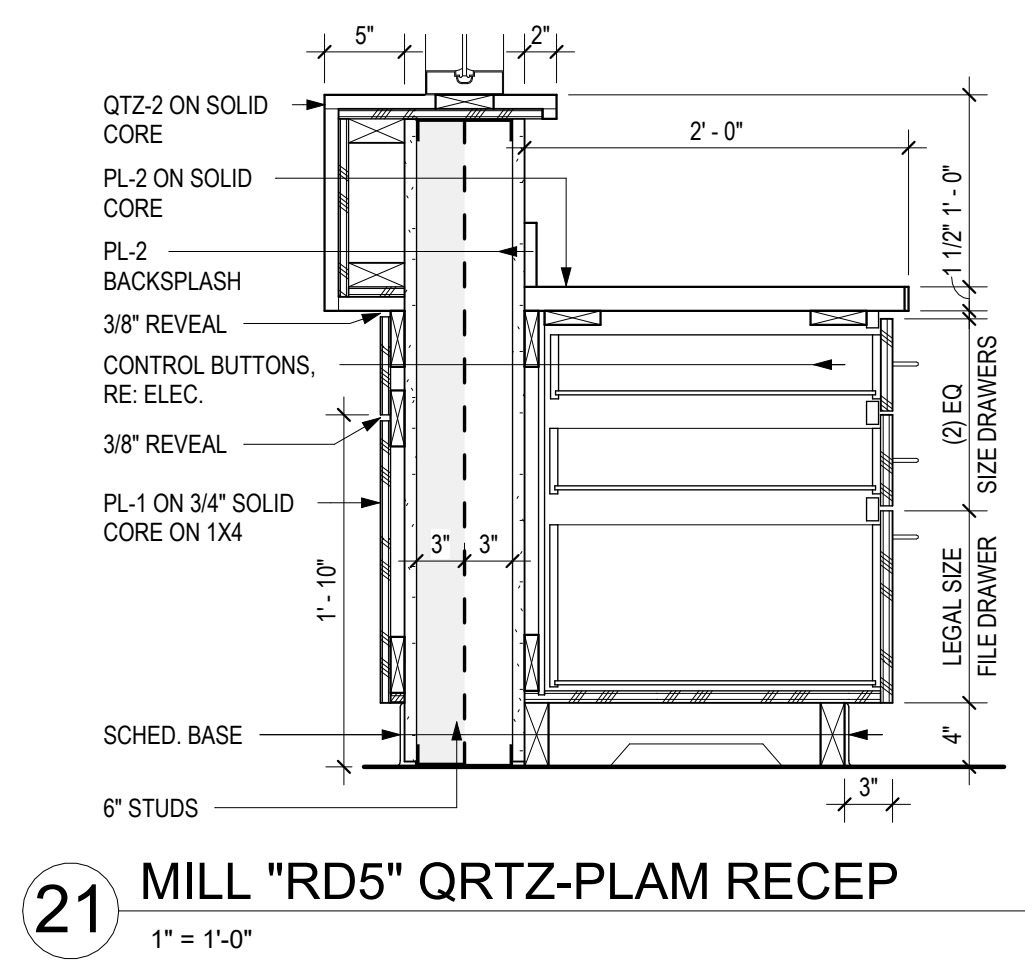
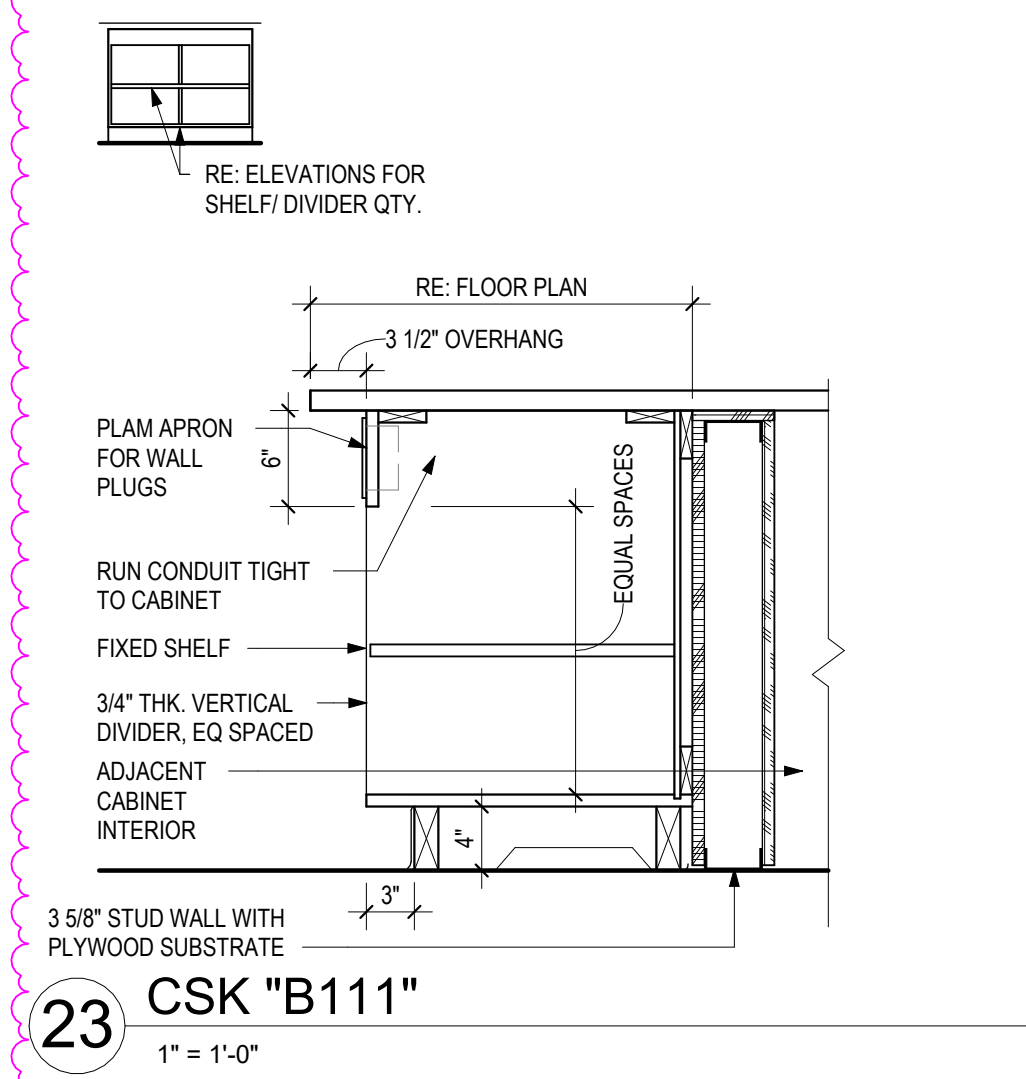


NOTES:
 1. TEMPERATURE OF MTL. COLLAR MUST NOT EXCEED 180°F
 2. THERMOPLASTIC JOINT COVERS ARE REQD. OVER THE SPLICE INTERSECTIONS OF THE SPLIT PIPE SEAL

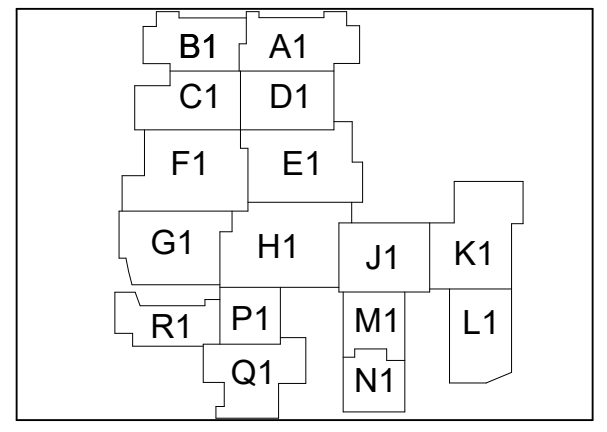
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A4.04
 ROOF DETAILS





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A8.00
 CASEWORK SECTIONS



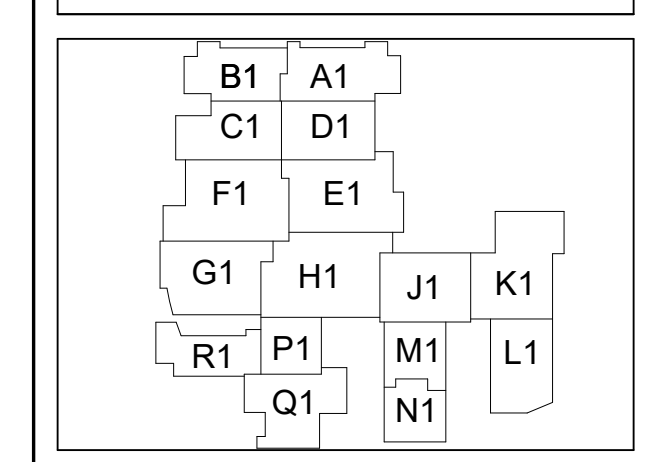
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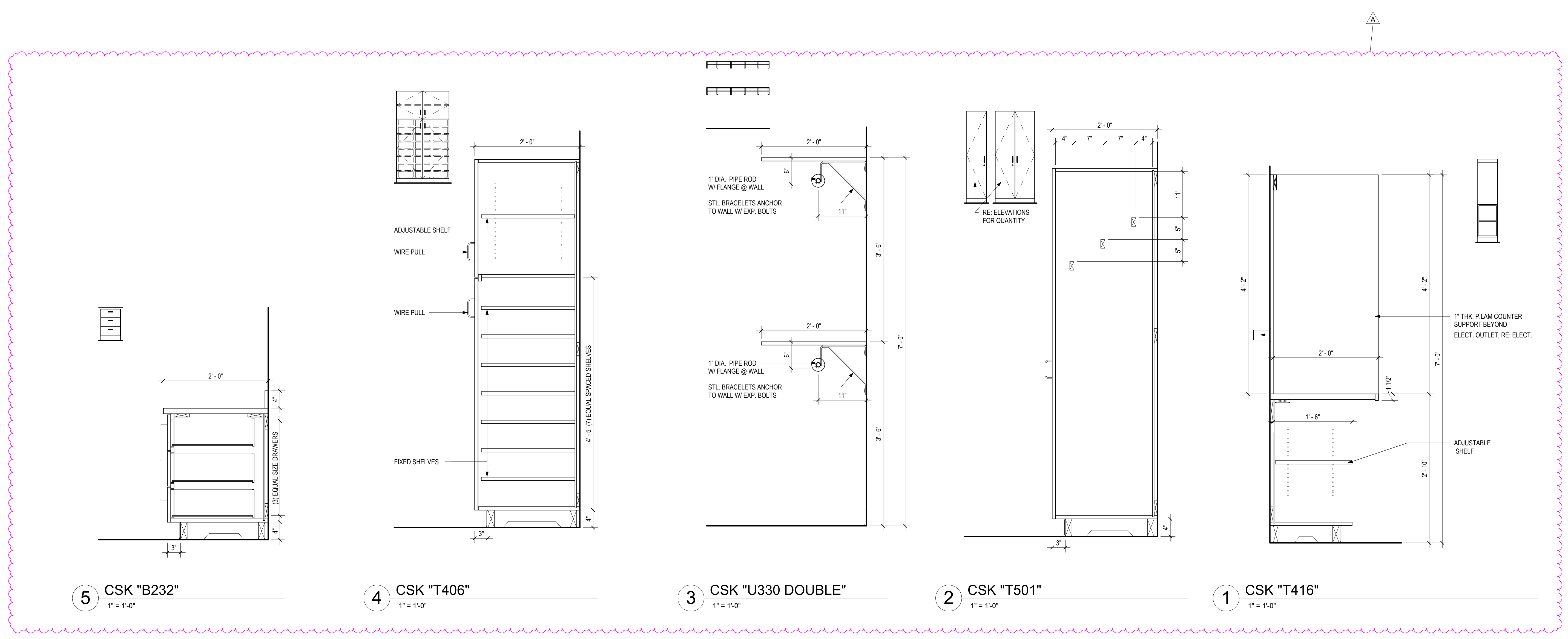
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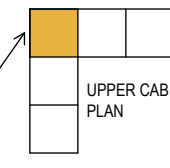
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A8.00A
 CASEWORK SECTIONS



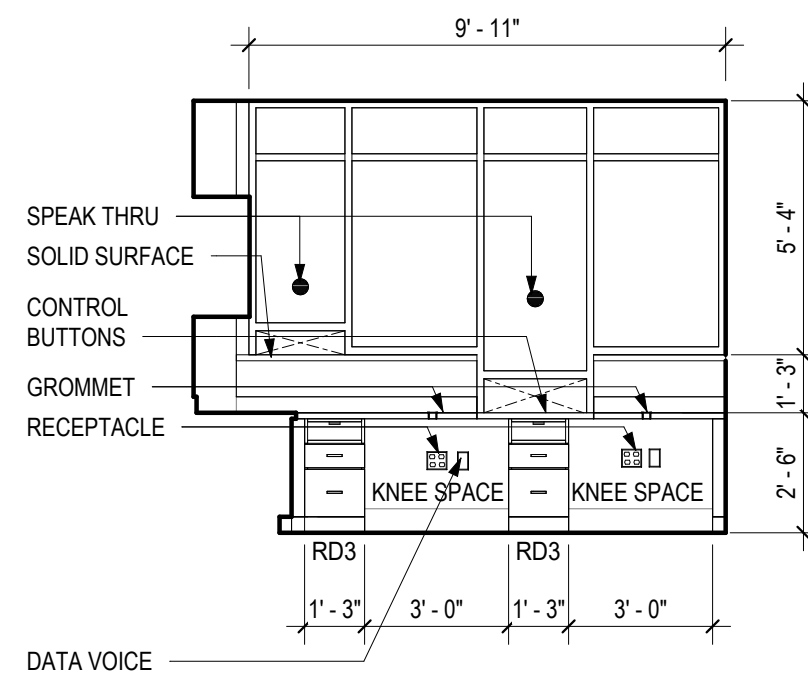
CASEWORK GENERAL NOTES

1. (H) INDICATES ACCESSIBLE PLUMBING FIXTURE AT ACCESSIBLE MOUNTING HEIGHT. RE: SHEET C5101 AND PLUMBING DRAWINGS.
2. ALL CABINETS SHALL HAVE 4" RESILIENT BASE BY FLOORING CONTRACTOR, UNLESS NOTED OTHERWISE.
3. PROVIDE LOCKS ON ALL DOORS AND DRAWERS. LOCKS SHALL BE MASTER KEYED PER SPECS.
4. ALL COUNTERTOPS ARE 1-1/4" THICK PLASTIC LAMINATE W/ 4" HIGH BACKSPLASH AND SPLASH RETURNS, UNLESS NOTED OTHERWISE.
5. ALL EXPOSED BACK AND ENDS SHALL BE FINISHED WITH LAMINATE.
6. F.E. ON CASEWORK ELEVATIONS INDICATES "FINISHED END".
7. PROVIDE FILLER AND CLOSURE PANELS AS REQUIRED TO MATCH UNITS (INCLUDE TOP CORNERS).
8. ALL SINKS IN CASEWORK SHOULD BE SUPPLIED AND INSTALLED BY PLUMBING CONTRACTOR AND SHOULD INCLUDE STRAINER AND TAIL PIECE REFER TO PLUMBING DRAWINGS FOR SINK TYPES.
9. ALL COUNTERTOPS ARE 20" DEEP UNLESS INDICATED OTHERWISE.
10. ALL UPPER WALL CABINETS ARE 14" DEEP UNLESS NOTED OTHERWISE.
11. PROVIDE 2" GROUPETS AT ALL KNEE SPACES.
12. RADIUS EDGE AT ALL OUTSIDE COUNTERTOP CORNERS.
13. TEACHERS CABINET TO INCLUDE ONE (1) FIXED SHELF AND ROD, TWO (2) ADJUSTABLE SHELVES, TWO (2) LETTER SIZE FILE DRAWERS, AND ONE (1) 10"x17" MIRROR AND PEN TRAY.
14. FILE DRAWERS TO INCLUDE INTEGRAL FILE HANGING SYSTEM.
15. RE: MECHANICAL, ELECTRICAL, AND PLUMBING DWGS. FOR OTHER DEVICES, ONLY UNIQUE COORDINATIONS ARE SHOWN ON THESE DRAWINGS.
16. FINISH TOE SPACE OF ALL CABINETS WITH RESILIENT BASE AS SCHEDULED PER ROOM FINISH SCHEDULE.
17. PROVIDE REMOVABLE BACK PANEL ON ALL SINK CASEWORK.
18. ALL CASEWORK IS EDUCATIONAL CASEWORK UNLESS NOTED OTHERWISE.
19. CASEWORK ELEVATIONS ARE INTENDED TO SHOW CASEWORK AND MILLWORK ONLY. ANY OTHER ELEMENTS SUCH AS WALLS, WINDOWS, AND DOORS ARE FOR REFERENCE ONLY. RE: FLOOR PLANS, SCHEDULES AND RELATED ELEVATIONS FOR SPECIFIC INFO RELATED TO THESE ELEMENTS.

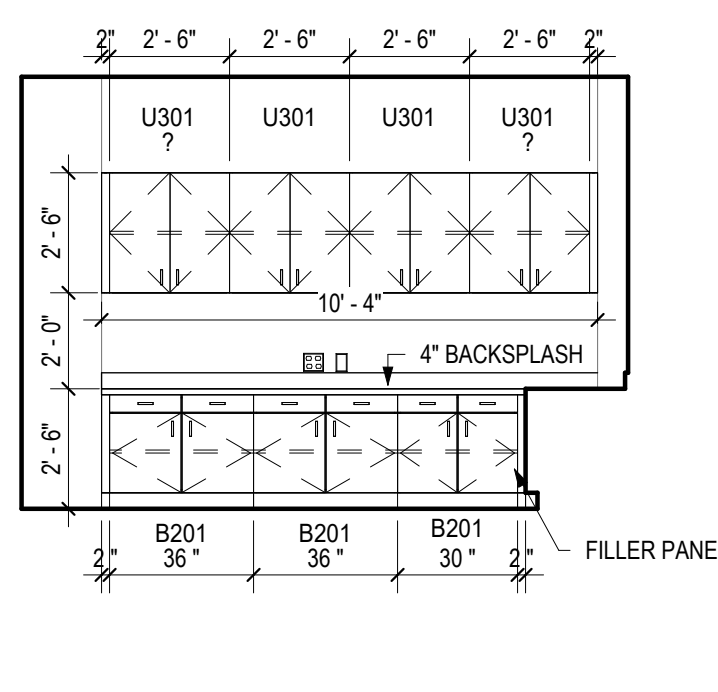


CASEWORK GENERAL NOTES

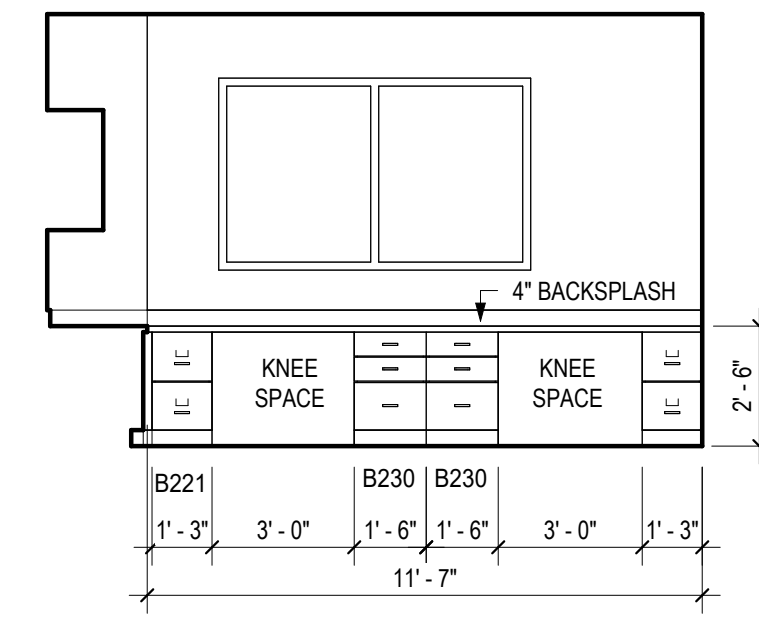
1/4" = 1'-0"



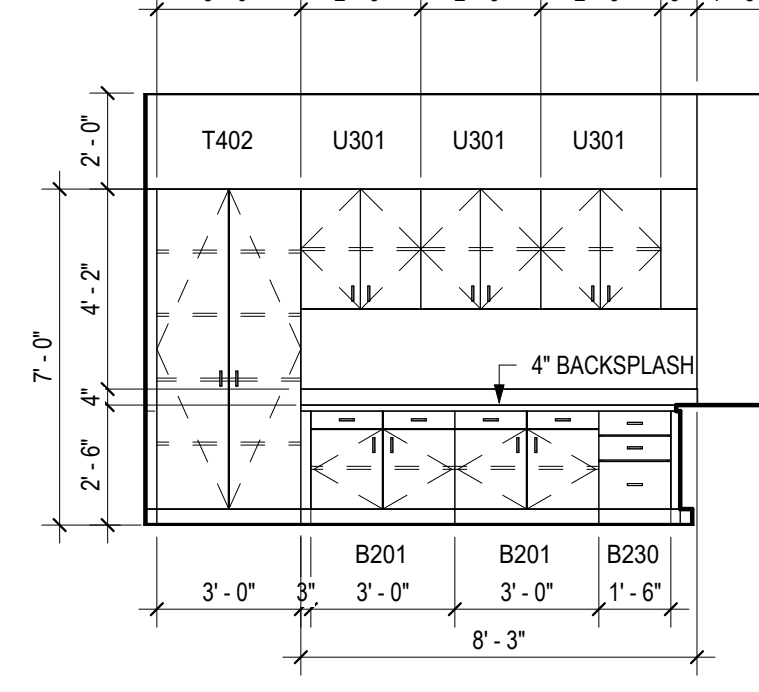
28 G102 RECEPTION - N
1/4" = 1'-0"



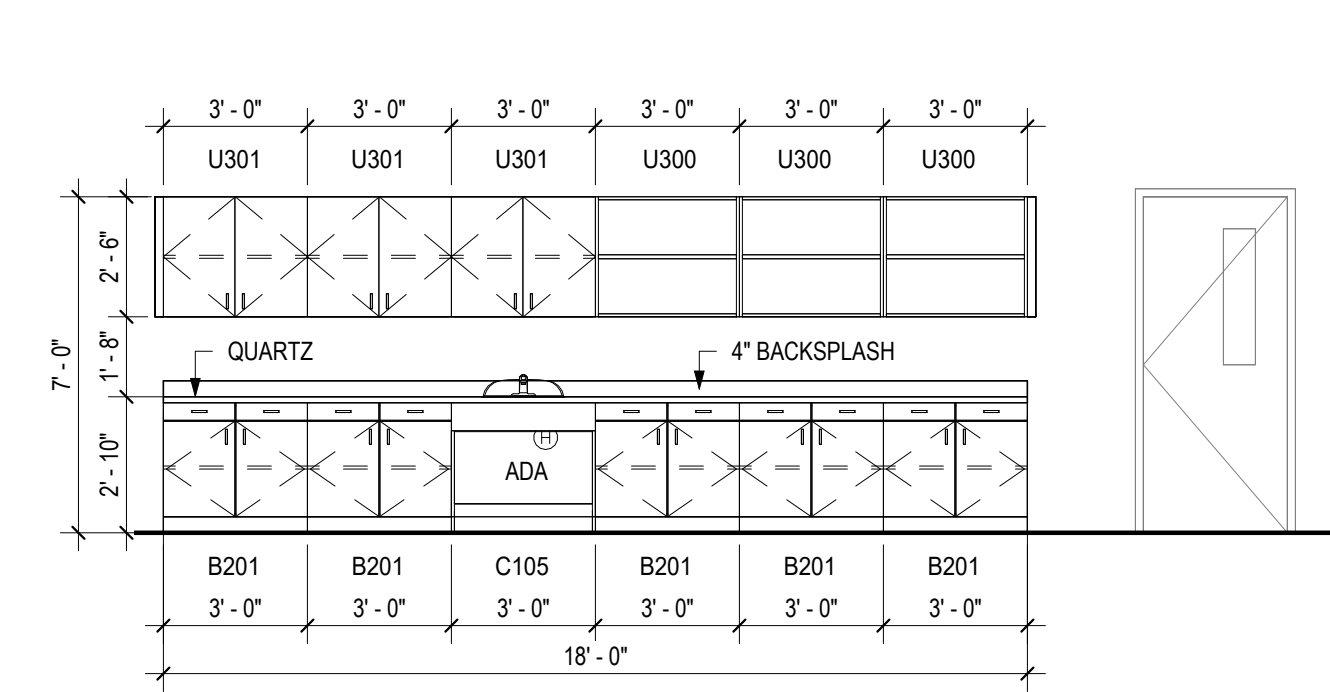
27 G102 RECEPTION - E
1/4" = 1'-0"



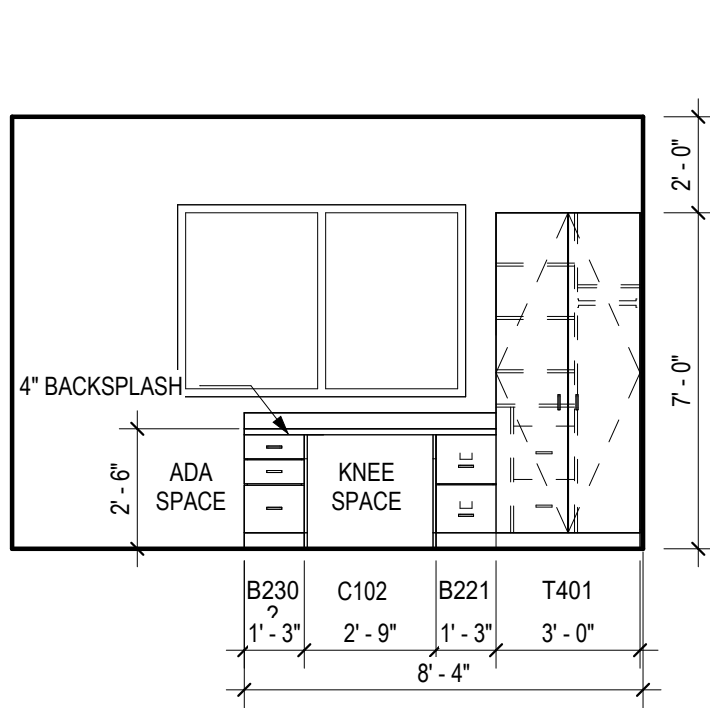
26 P104 OFF KIT - S
1/4" = 1'-0"



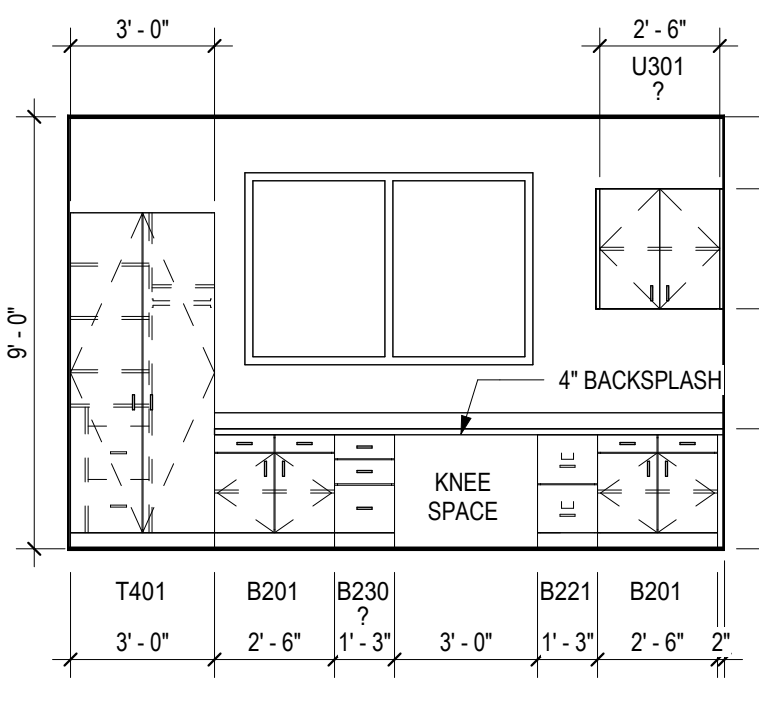
25 P104 OFF KIT - E
1/4" = 1'-0"



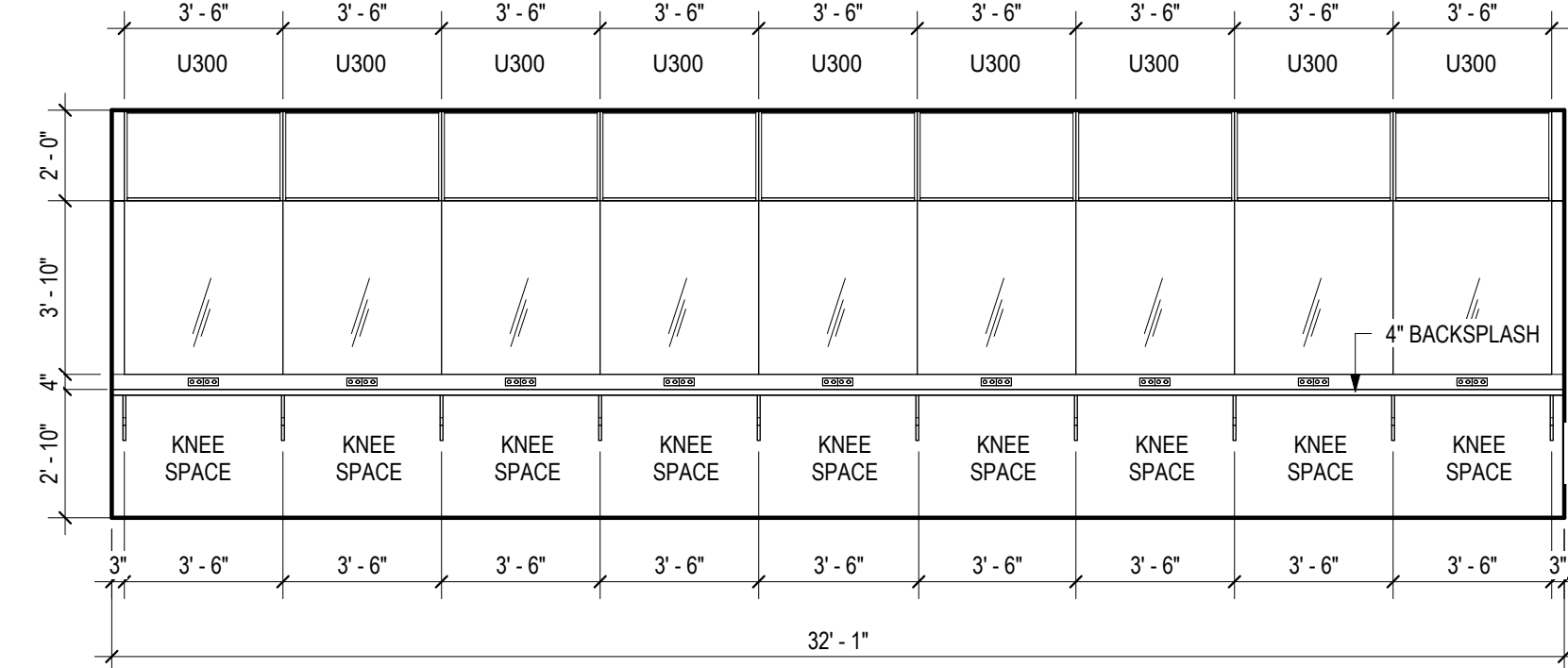
24 N118 CR PHOTO - S
1/4" = 1'-0"



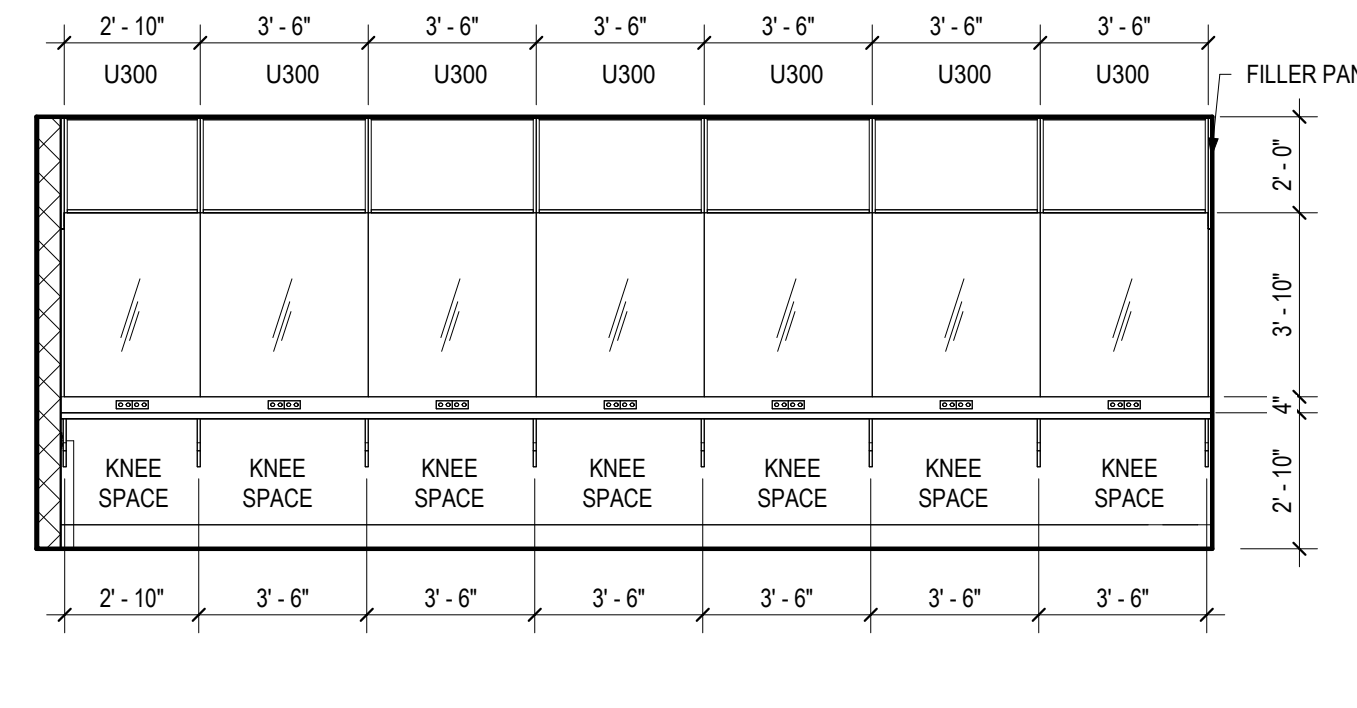
22 M114 OFF - S
1/4" = 1'-0"



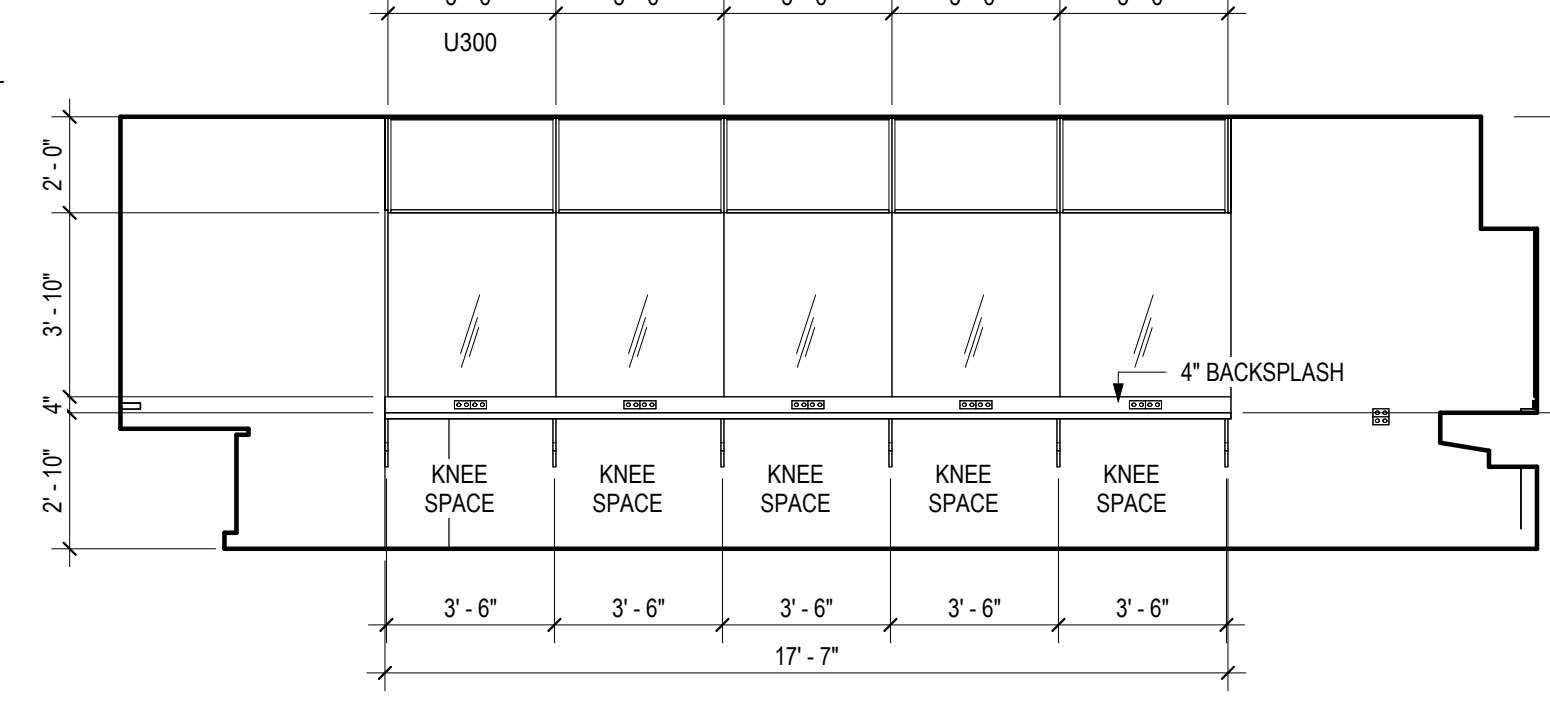
21 M114 OFF - W
1/4" = 1'-0"



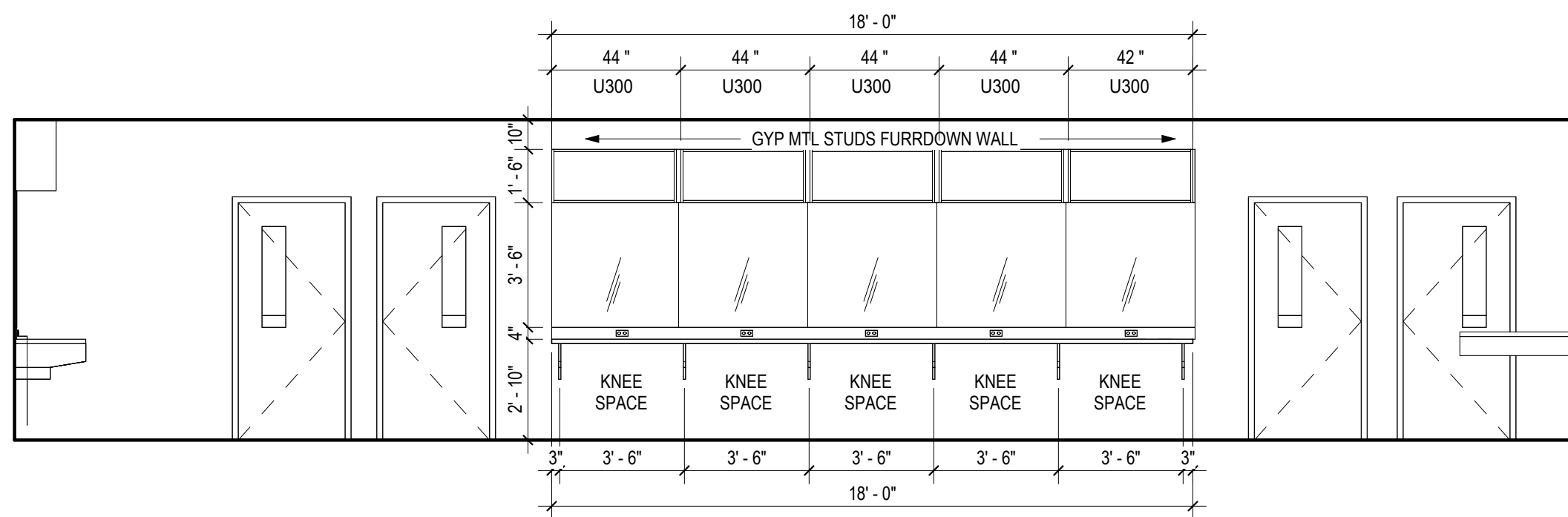
20 M110 CR COSMETOLOGY - W
1/4" = 1'-0"



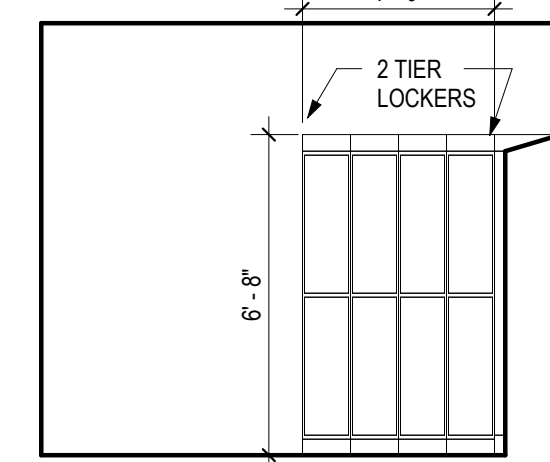
19 M110 COSMETOLOGY - S
1/4" = 1'-0"



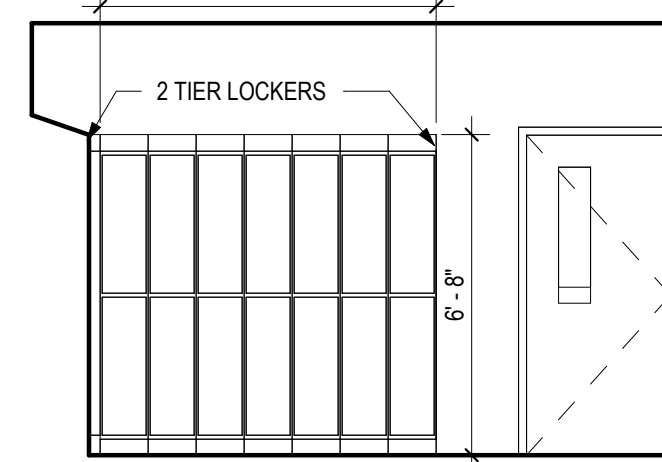
18 M110 COSMETOLOGY - E
1/4" = 1'-0"



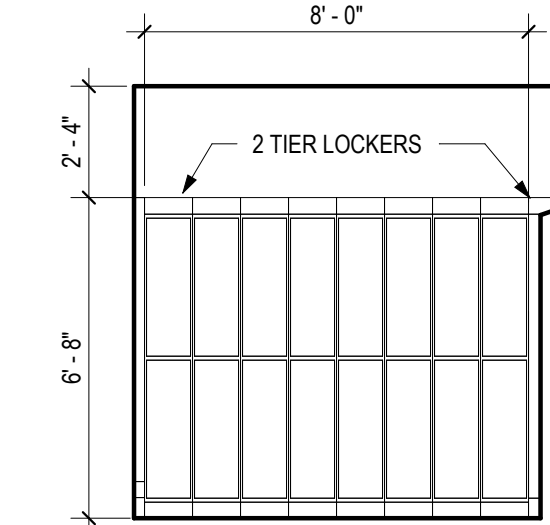
17 M110 CR COSMETOLOGY - N
1/4" = 1'-0"



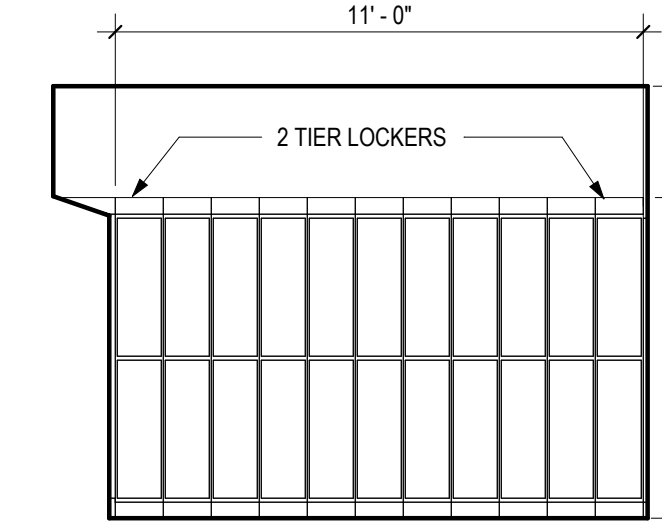
16 M113 LCKR - W
1/4" = 1'-0"



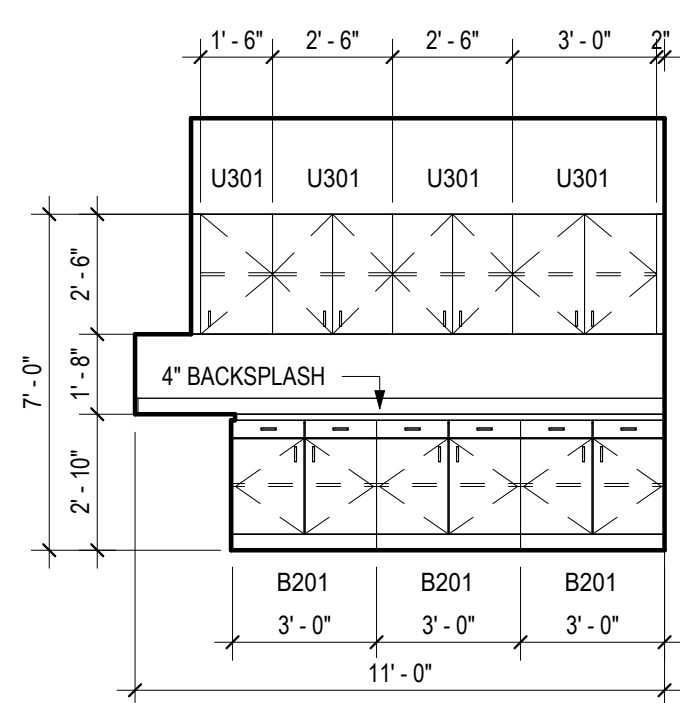
15 M113 LCKR - S
1/4" = 1'-0"



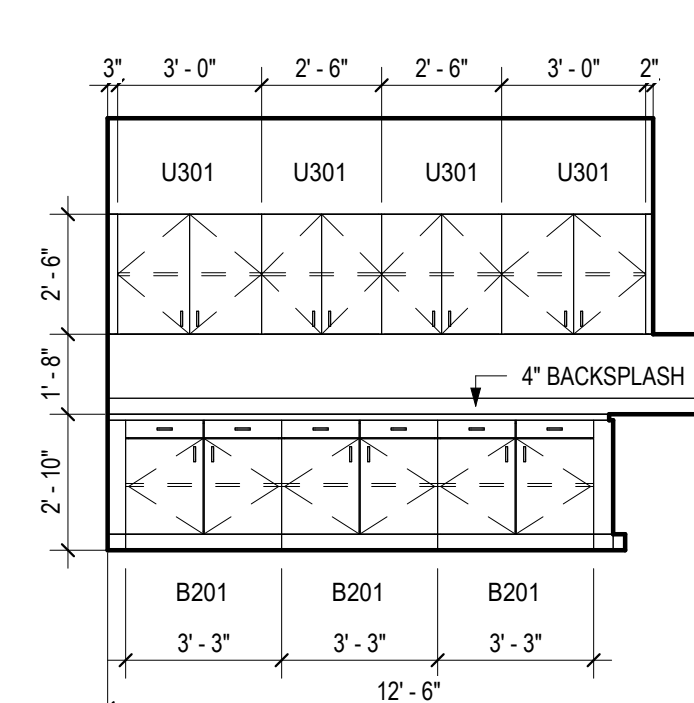
14 M113 LCKR - E
1/4" = 1'-0"



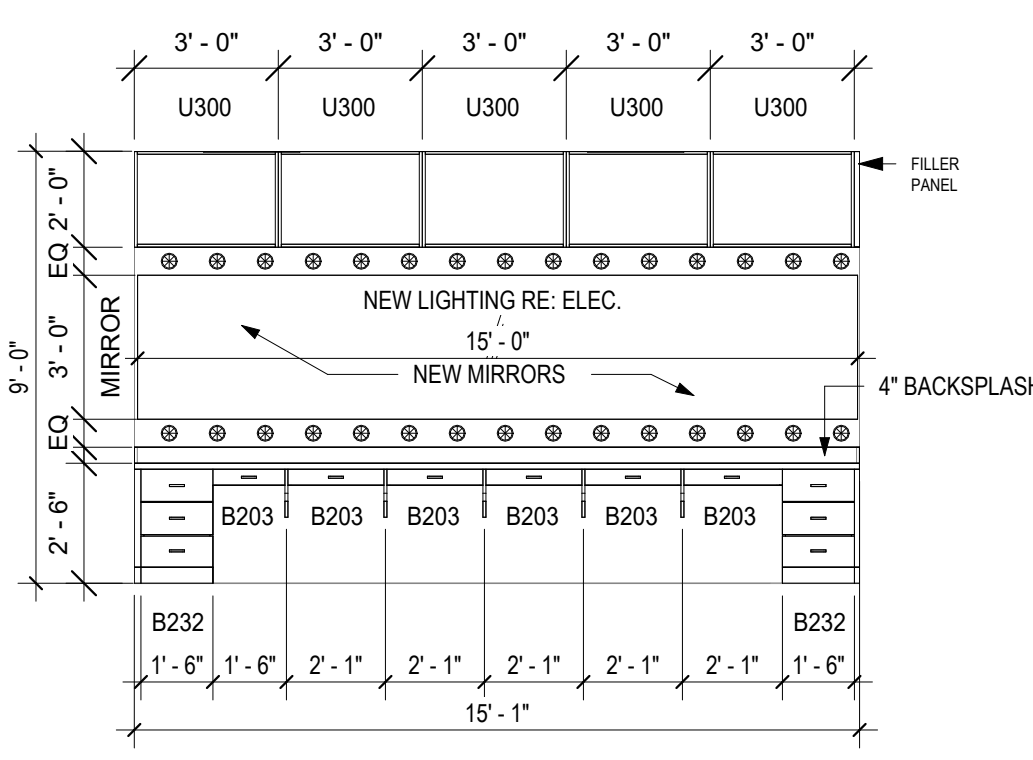
13 M113 LCKR - N
1/4" = 1'-0"



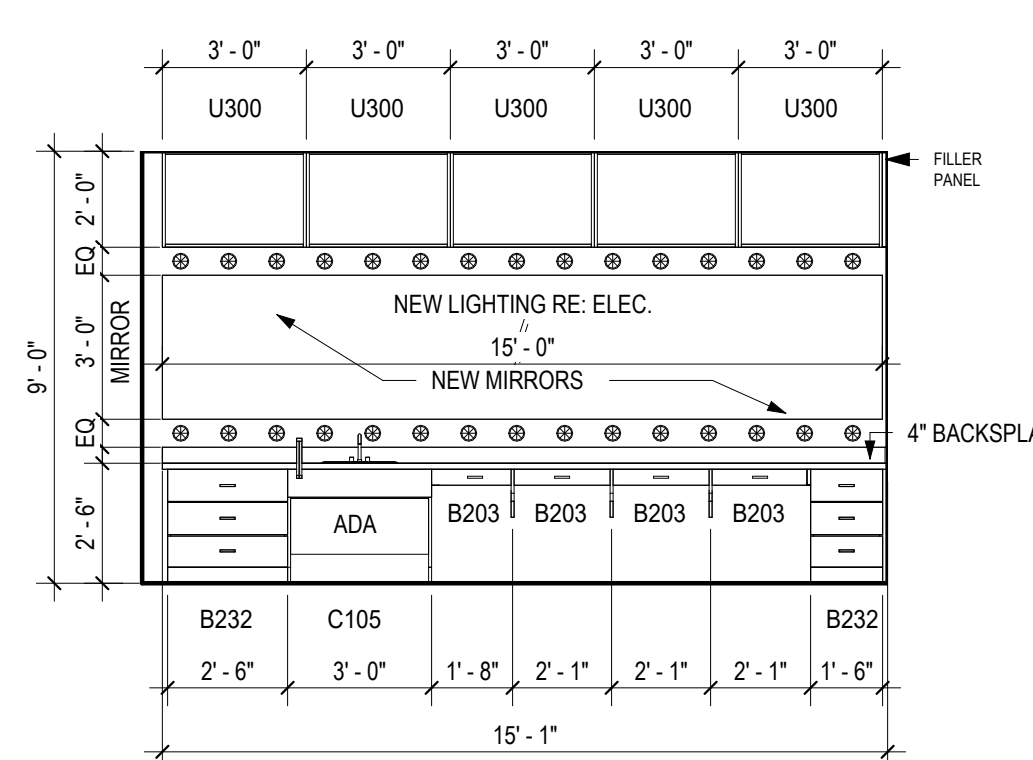
10 L108 WORKROOM - W
1/4" = 1'-0"



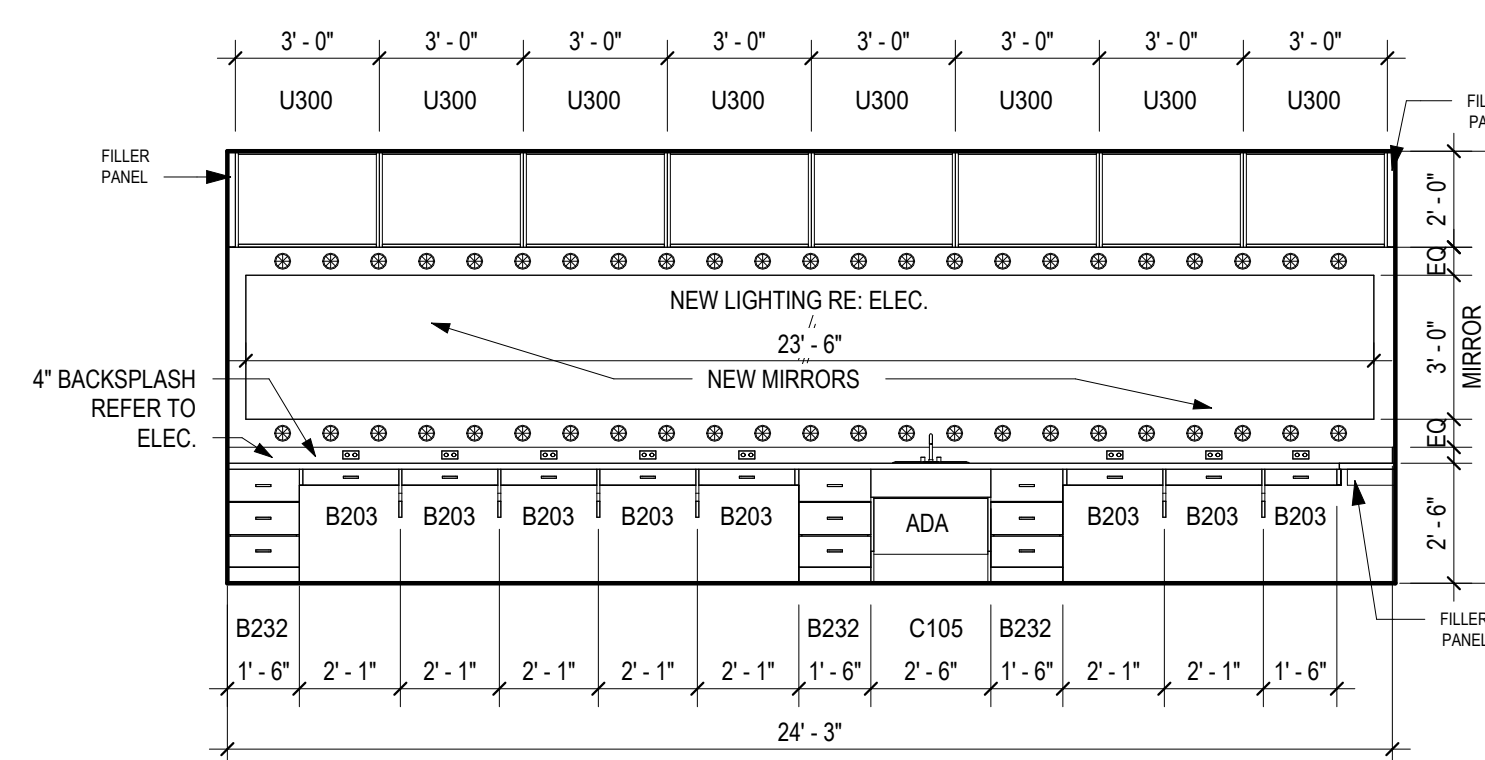
9 L108 WORKROOM - N
1/4" = 1'-0"



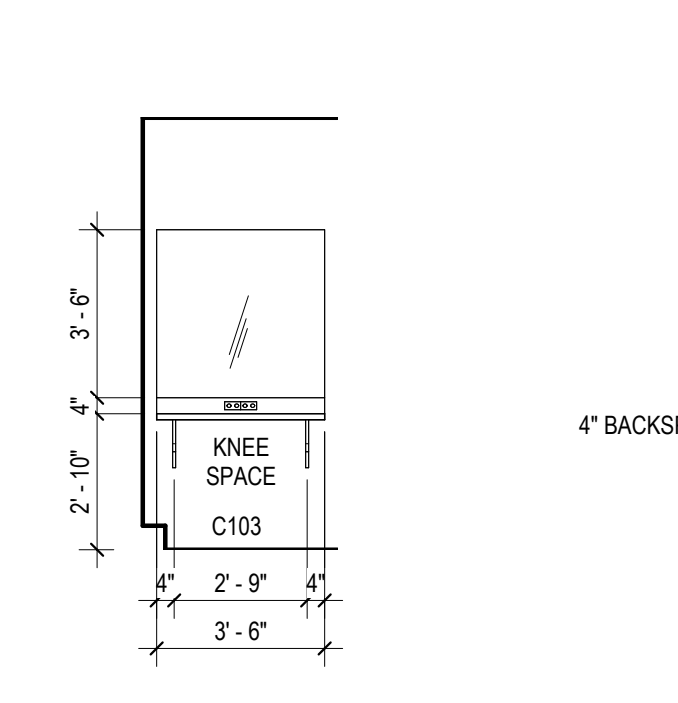
8 G115 LCKR DRESS A - E
1/4" = 1'-0"



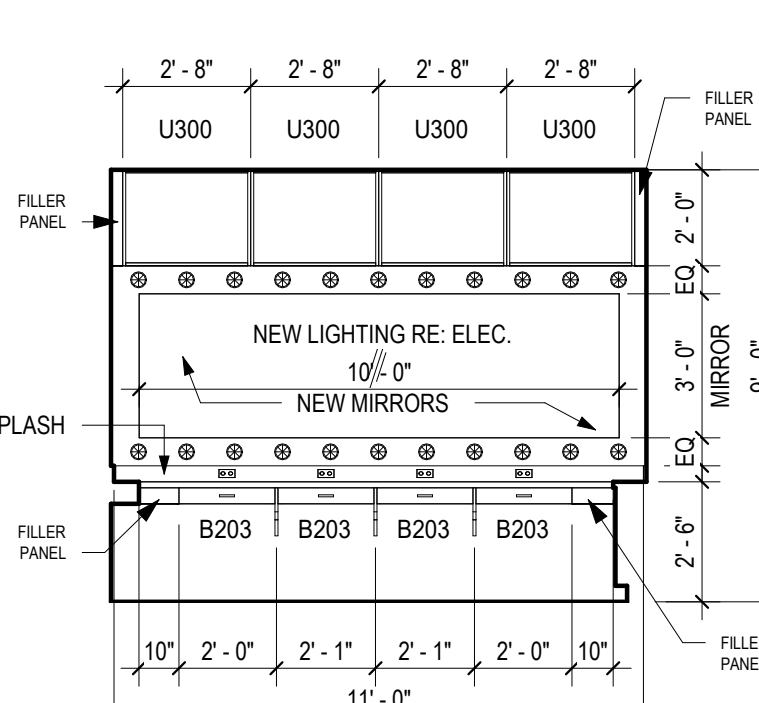
7 G115 LCKR DRESS A - W
1/4" = 1'-0"



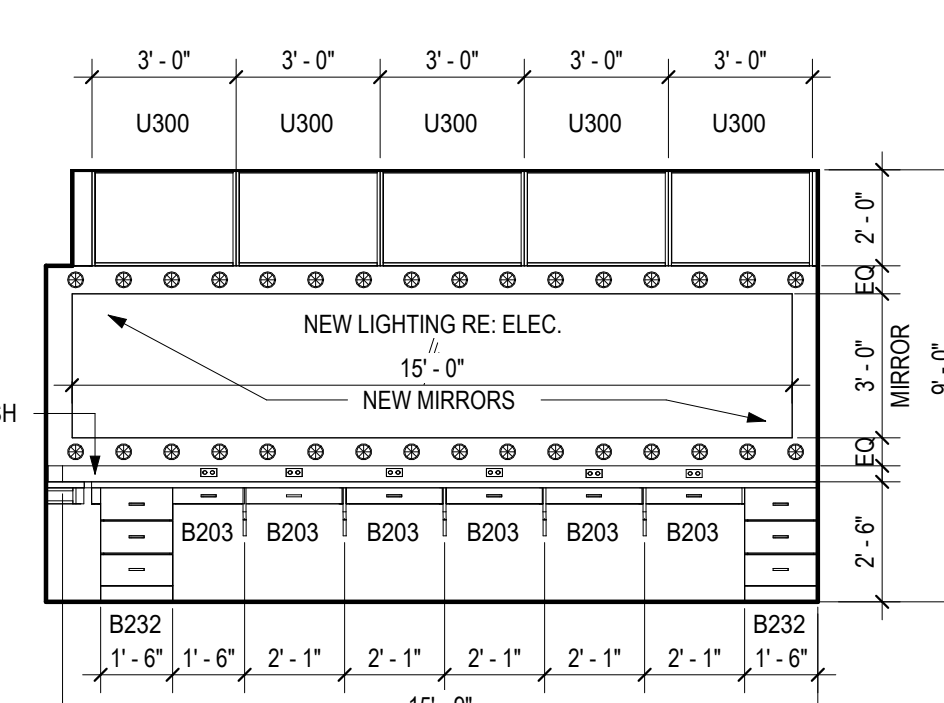
6 G118 LCKR DRESS B - E
1/4" = 1'-0"



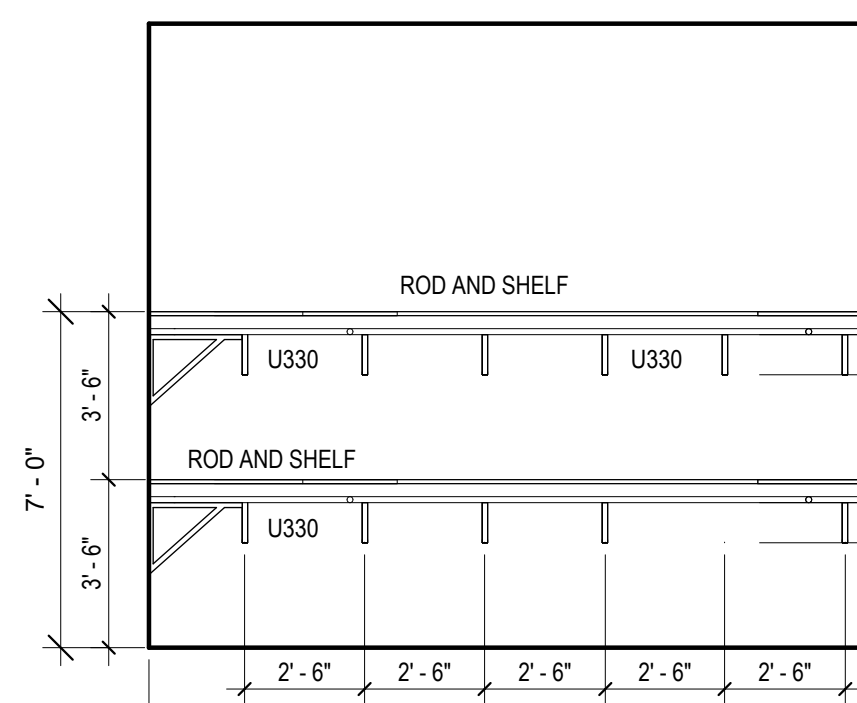
5 G118 LCKR DRESS B - S
1/4" = 1'-0"



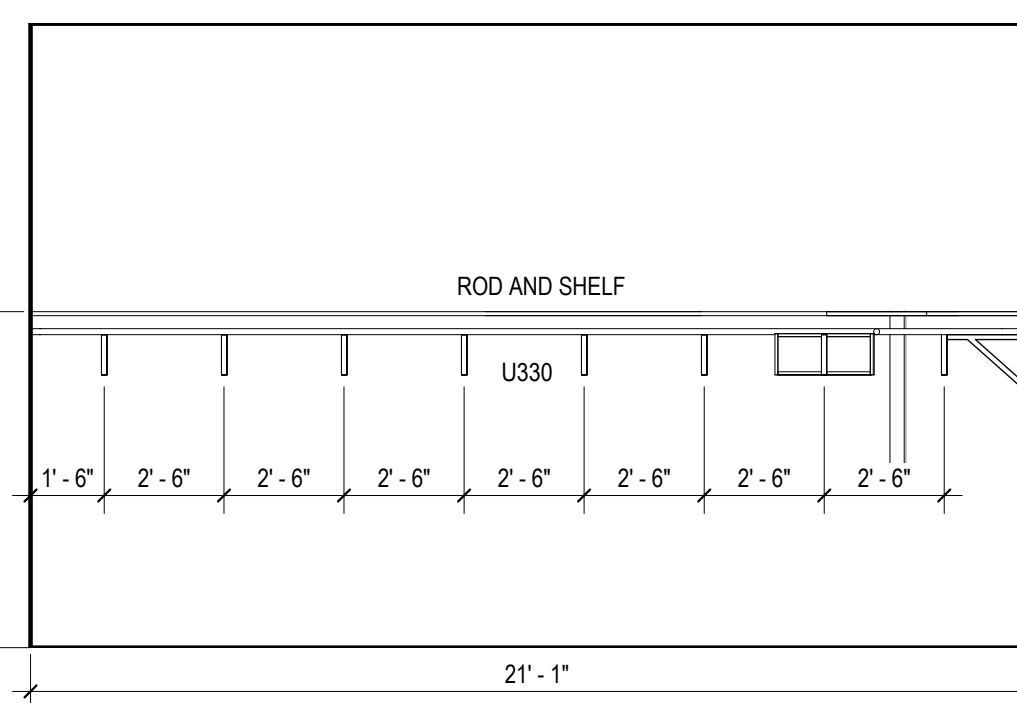
4 G118 LCKR DRESS B - W
1/4" = 1'-0"



3 G116 STOR COSTUME A - N
1/4" = 1'-0"

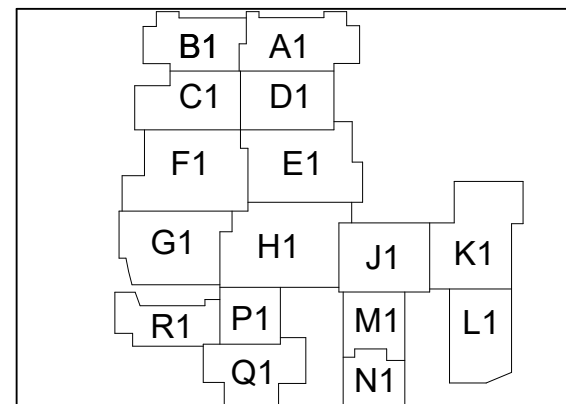


2 G116 STOR COSTUME A - W
1/4" = 1'-0"



1 H144 STOR AUD - W
1/4" = 1'-0"

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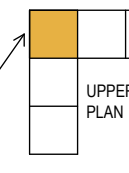
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 ISSUE: PERMIT & PROPOSAL ADDENDUM 01
 DATE: 2024-12-20
 CHECKED: A

A8.01
 CASEWORK ELEVATIONS AND DETAILS

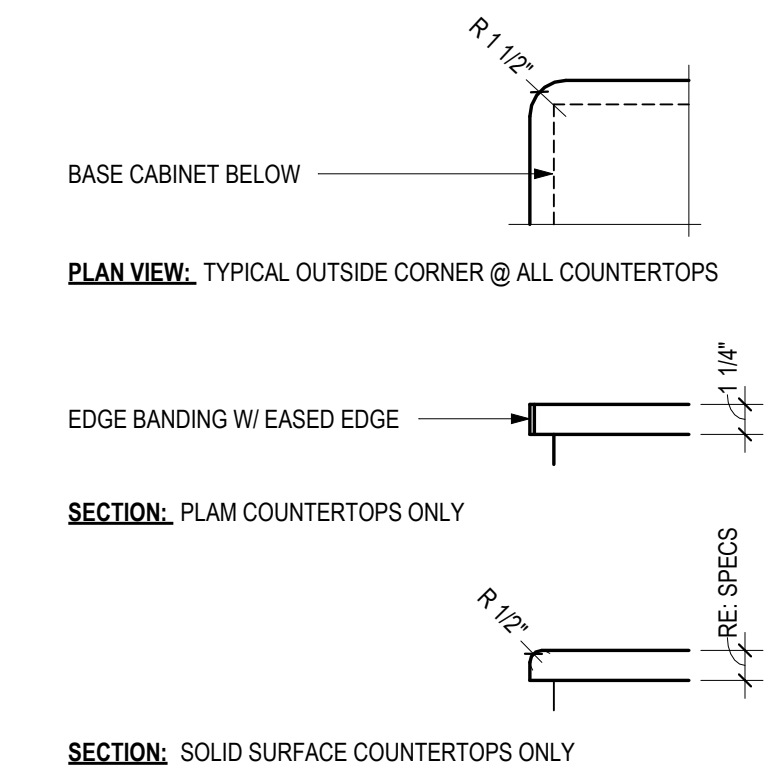


CASEWORK GENERAL NOTES

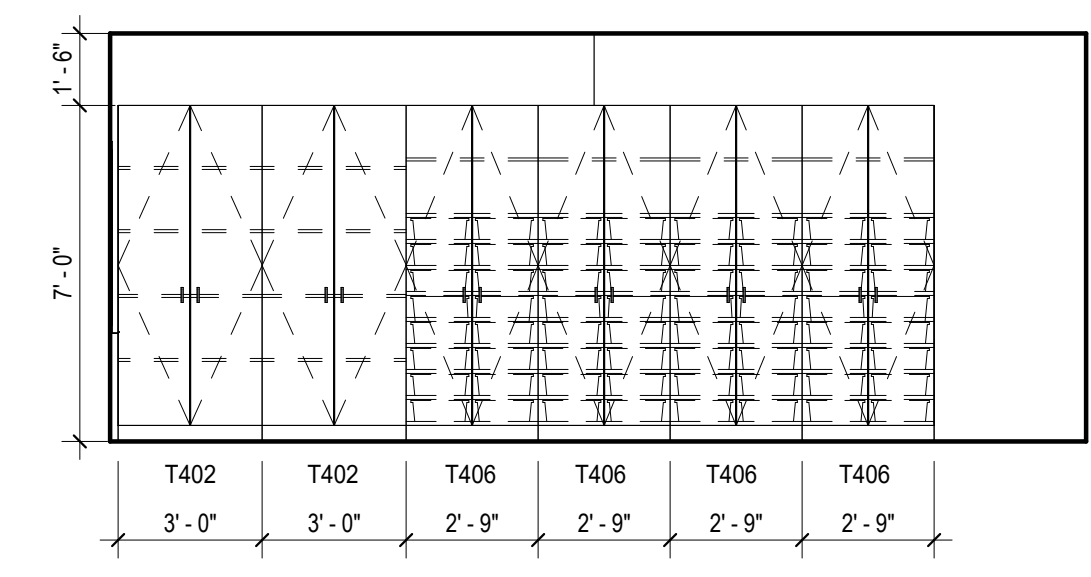
- ① INDICATES ACCESSIBLE PLUMBING FIXTURE AT ACCESSIBLE MOUNTING HEIGHT. RE: SHEET G1 G1 AND PLUMBING DRAWINGS.
- ALL CABINETS SHALL HAVE 4" RESILIENT BASE BY FLOORING CONTRACTOR, UNLESS NOTED OTHERWISE.
- PROVIDE LOCKS ON ALL DOORS AND DRAWERS. LOCKS SHALL BE MASTER KEYPED PER SPECS.
- ALL COUNTERTOPS ARE 1-1/4" THICK PLASTIC LAMINATE W/ 4" HIGH BACKSPLASH AND SPLASH RETURNS, UNLESS NOTED OTHERWISE.
- ALL EXPOSED BACK AND ENDS SHALL BE FINISHED WITH LAMINATE.
- F.E. ON CASEWORK ELEVATIONS INDICATES "FINISHED END".
- PROVIDE FILLER AND CLOSURE PANELS AS REQUIRED TO MATCH UNITS (INCLUDE TOP CORNERS).
- ALL SINKS IN CASEWORK SHOULD BE SUPPLIED AND INSTALLED BY PLUMBING CONTRACTOR AND SHOULD INCLUDE STRAINER AND TAIL PIECE REFER TO PLUMBING DRAWINGS FOR SINK TYPES.
- ALL COUNTERTOPS ARE 2" DEEP UNLESS INDICATED OTHERWISE.
- ALL UPPER WALL CABINETS ARE 1" DEEP UNLESS NOTED OTHERWISE.
- PROVIDE 2" GROMMETS AT ALL KNEE SPACES.
- RADIUS EDGE AT ALL OUTSIDE COUNTERTOP CORNERS.
- TEACHERS CABINET TO INCLUDE ONE (1) FIXED SHELF AND ROD, TWO (2) ADJUSTABLE SHELVES, TWO (2) LETTER SIZE FILE DRAWERS, AND ONE (1) 10"X12" MIRROR AND PEN TRAY.
- FILE DRAWERS TO INCLUDE INTEGRAL FILE HANGING SYSTEM.
- RE: MECHANICAL, ELECTRICAL, AND PLUMBING DWGS. FOR OTHER DEVICES, ONLY UNIQUE COORDINATIONS ARE SHOWN ON THESE DRAWINGS.
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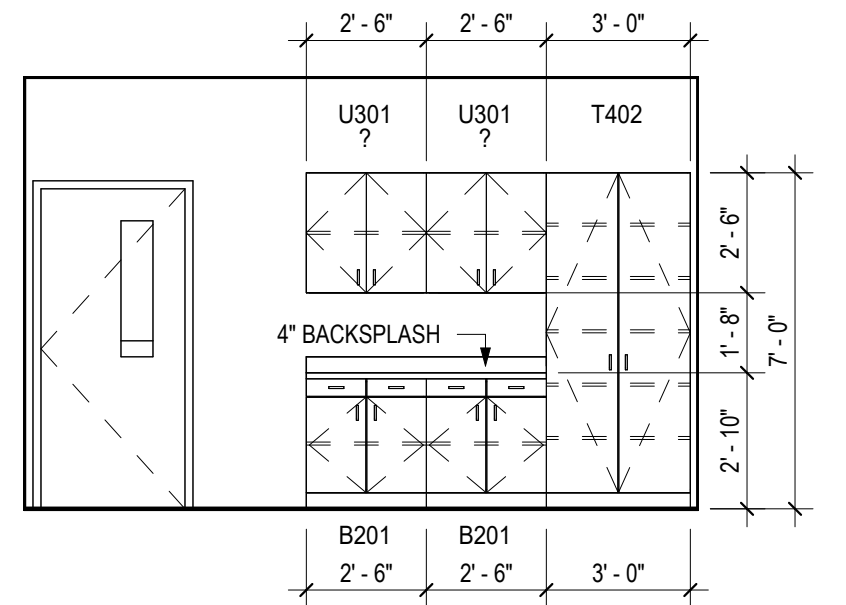
CASEWORK GENERAL NOTES
1/4" = 1'-0"



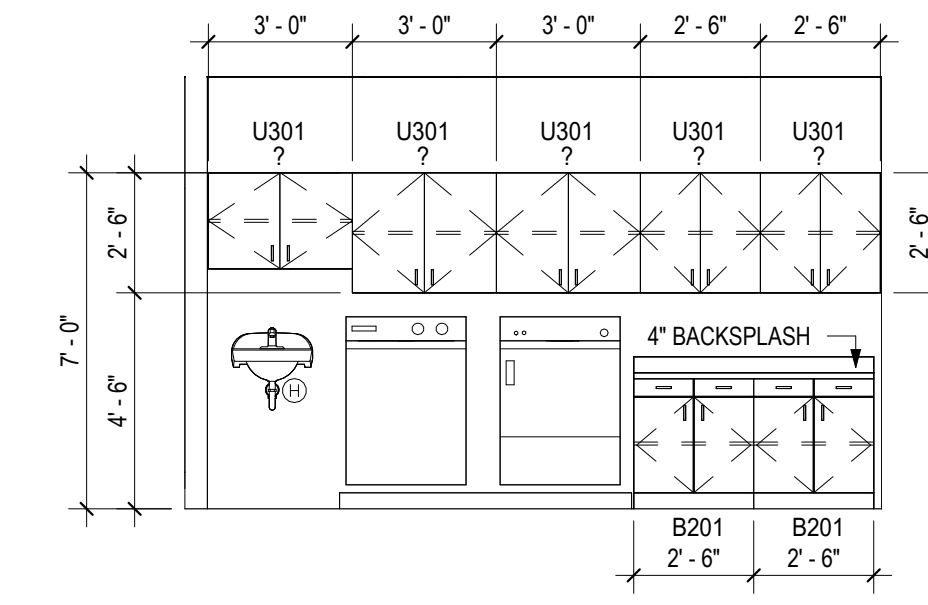
CSK - OUTSIDE CORNER
1 1/2" = 1'-0"



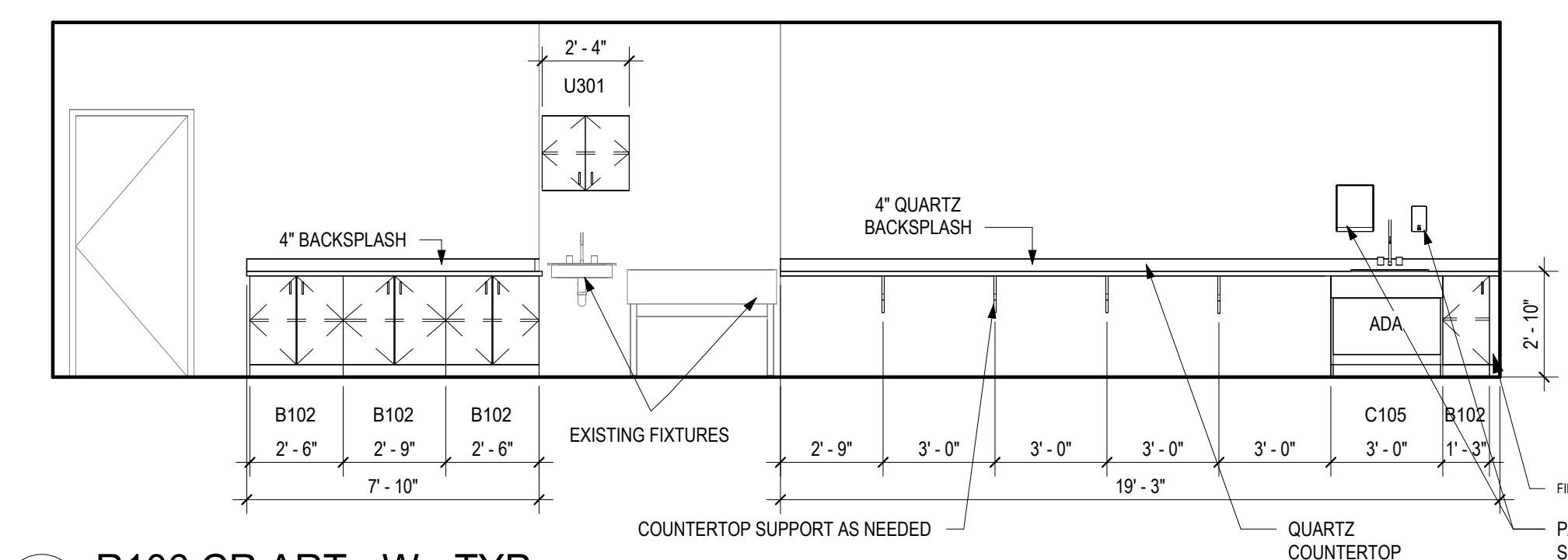
13 H146 FASION LAB - E
1/4" = 1'-0"



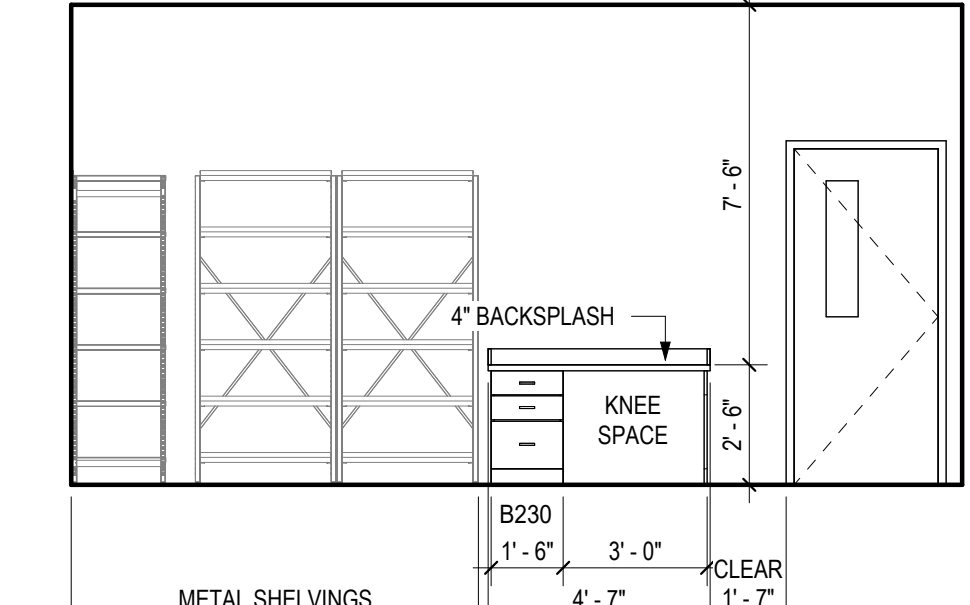
20 M116 LAUNDRY - S
1/4" = 1'-0"



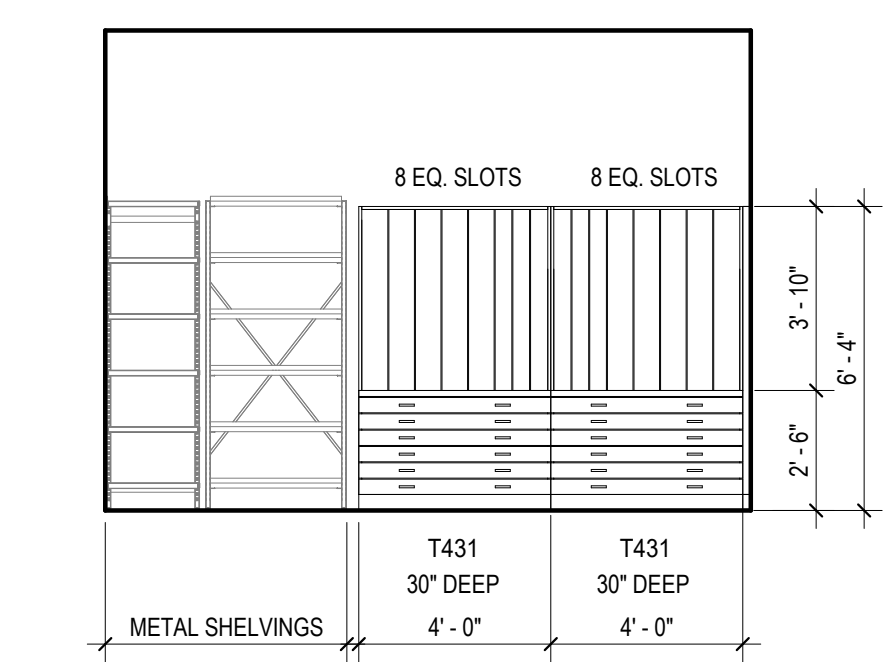
19 M116 LAUNDRY - N
1/4" = 1'-0"



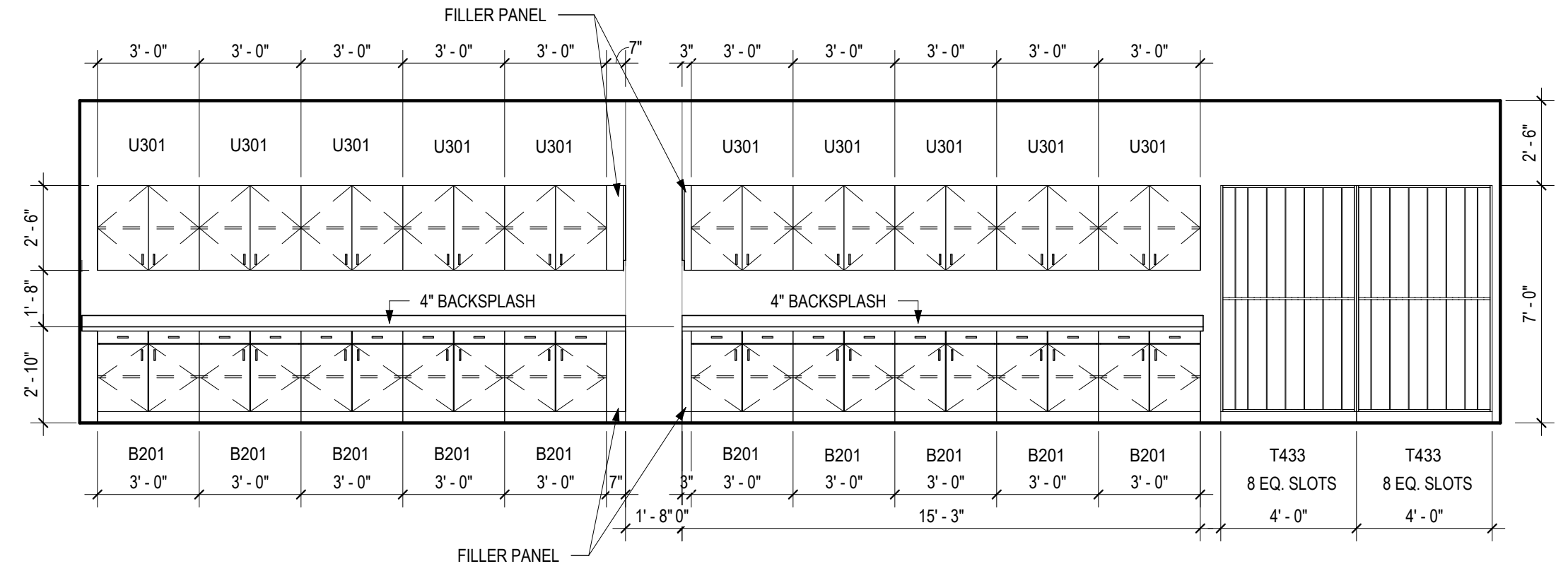
17 R106 CR ART - W - TYP.
1/4" = 1'-0"



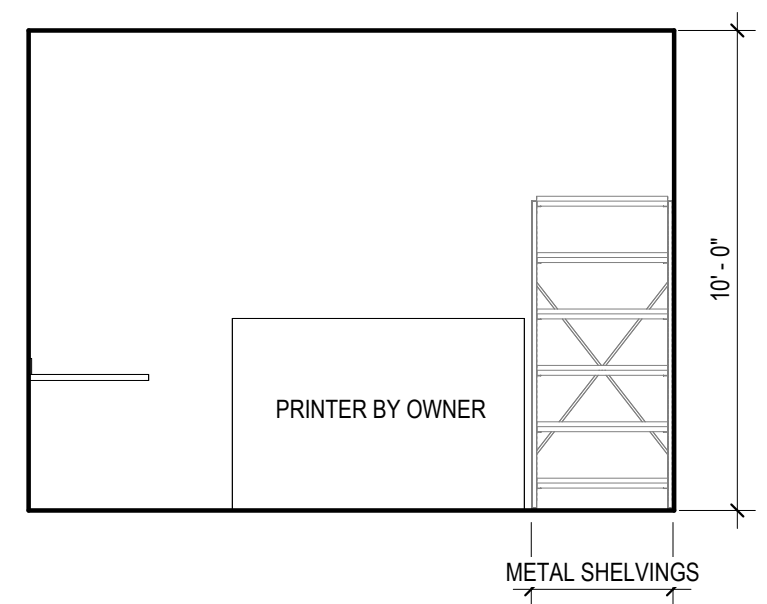
18 R123 ART WRK RM - S
1/4" = 1'-0"



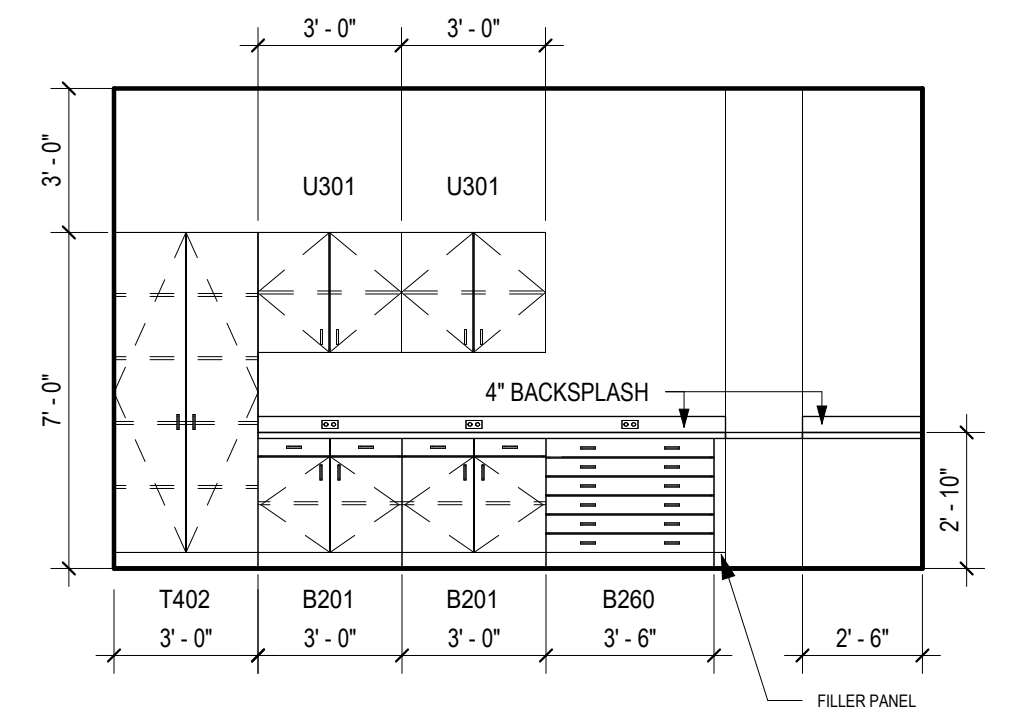
21 R122 ART STOR RM - W
1/4" = 1'-0"



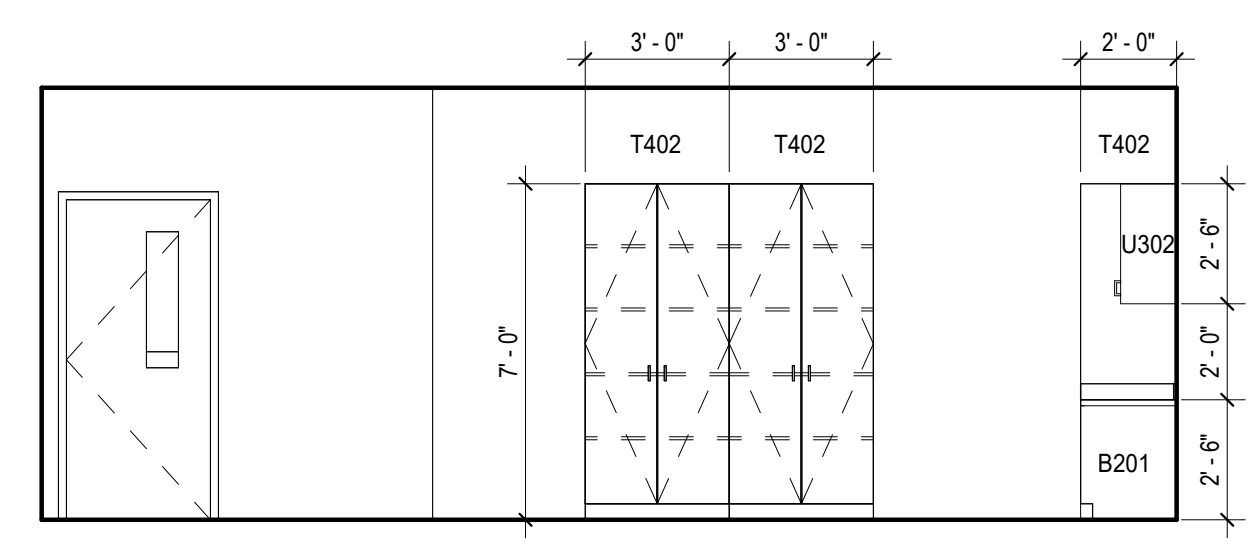
16 R106 CR ART - E
1/4" = 1'-0"



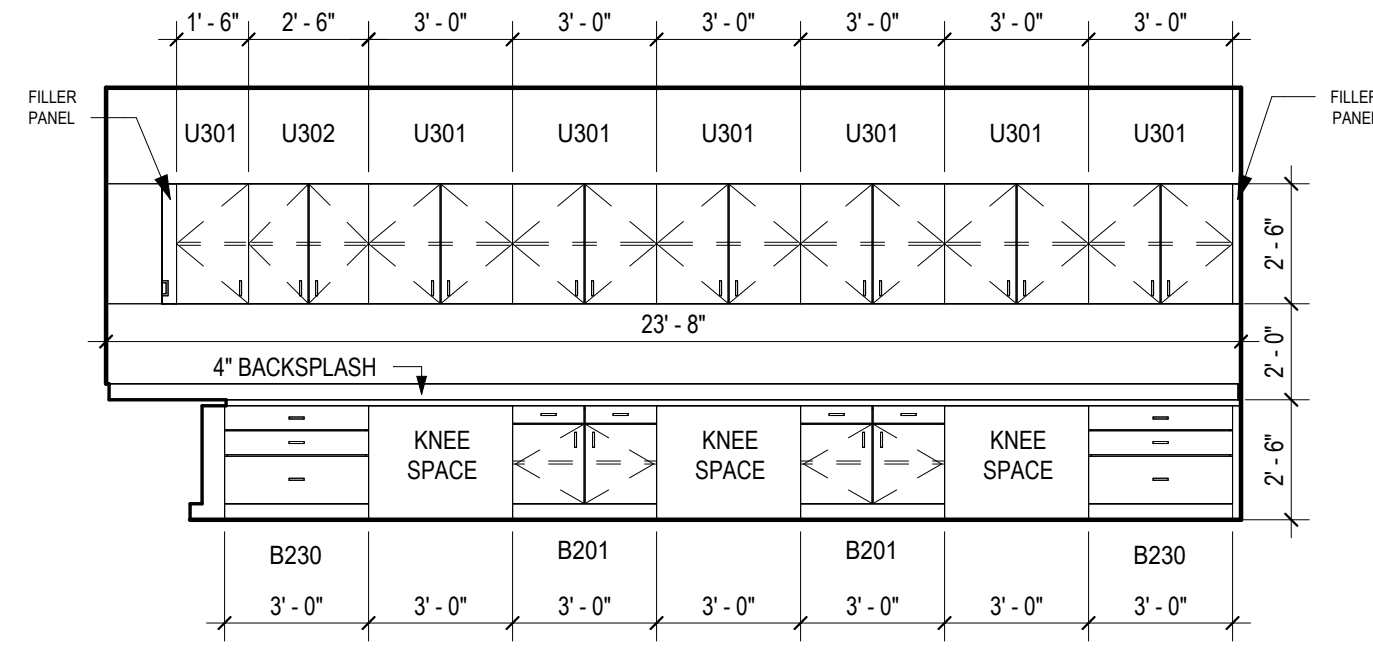
15 R123 ART WRK RM - E
1/4" = 1'-0"



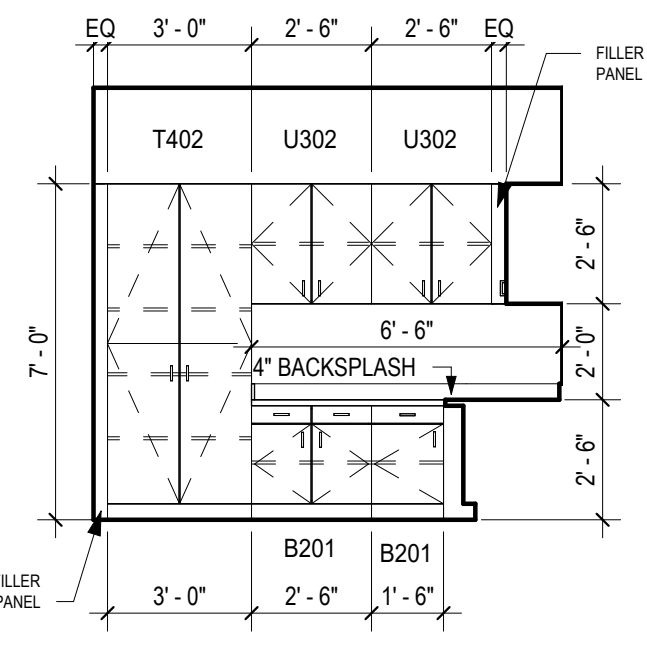
14 R123 ART WRK RM - N
1/4" = 1'-0"



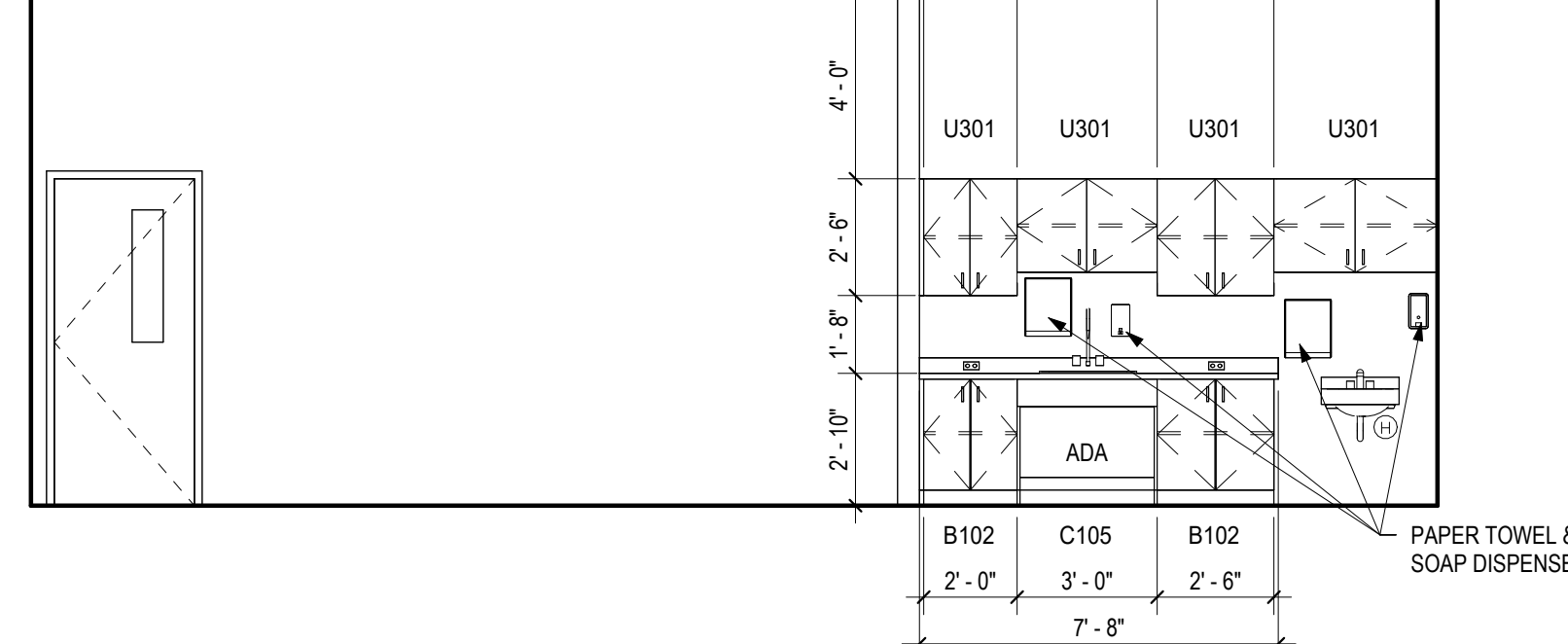
12 R113 EDITING - N
1/4" = 1'-0"



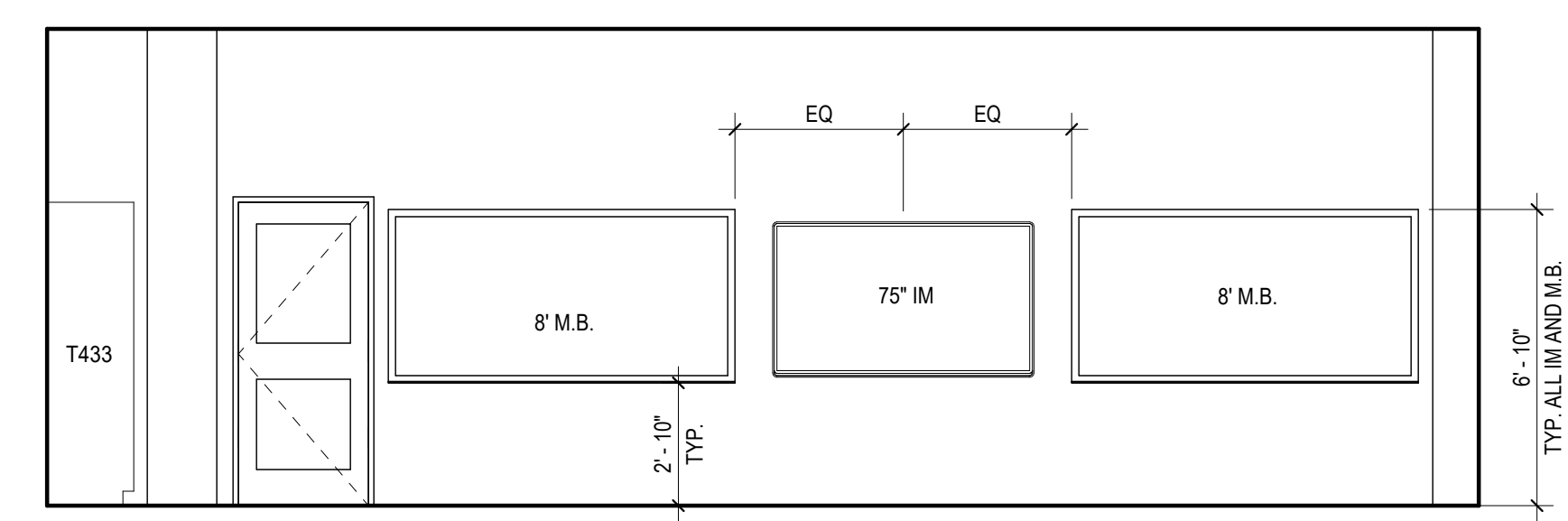
11 R113 EDITING - S
1/4" = 1'-0"



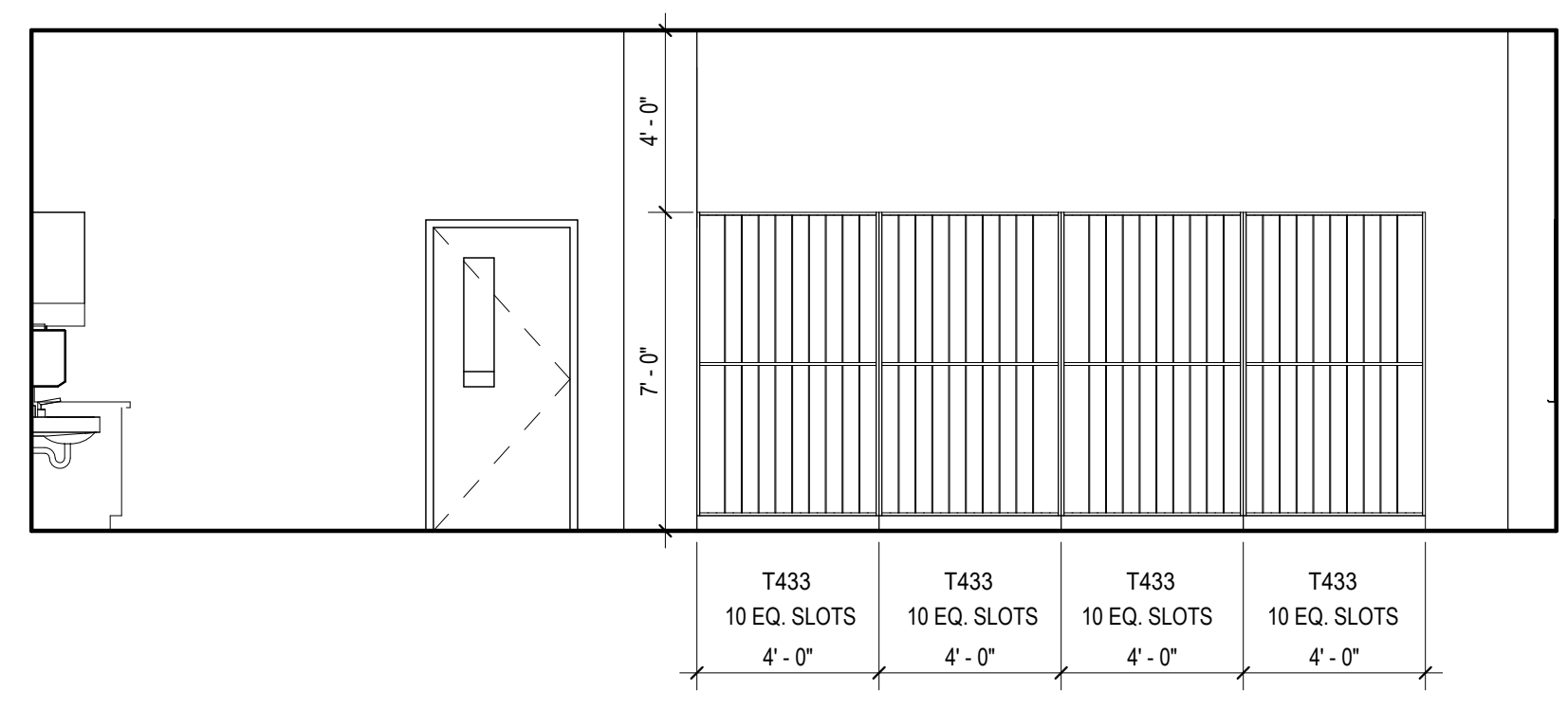
10 R113 EDITING - E
1/4" = 1'-0"



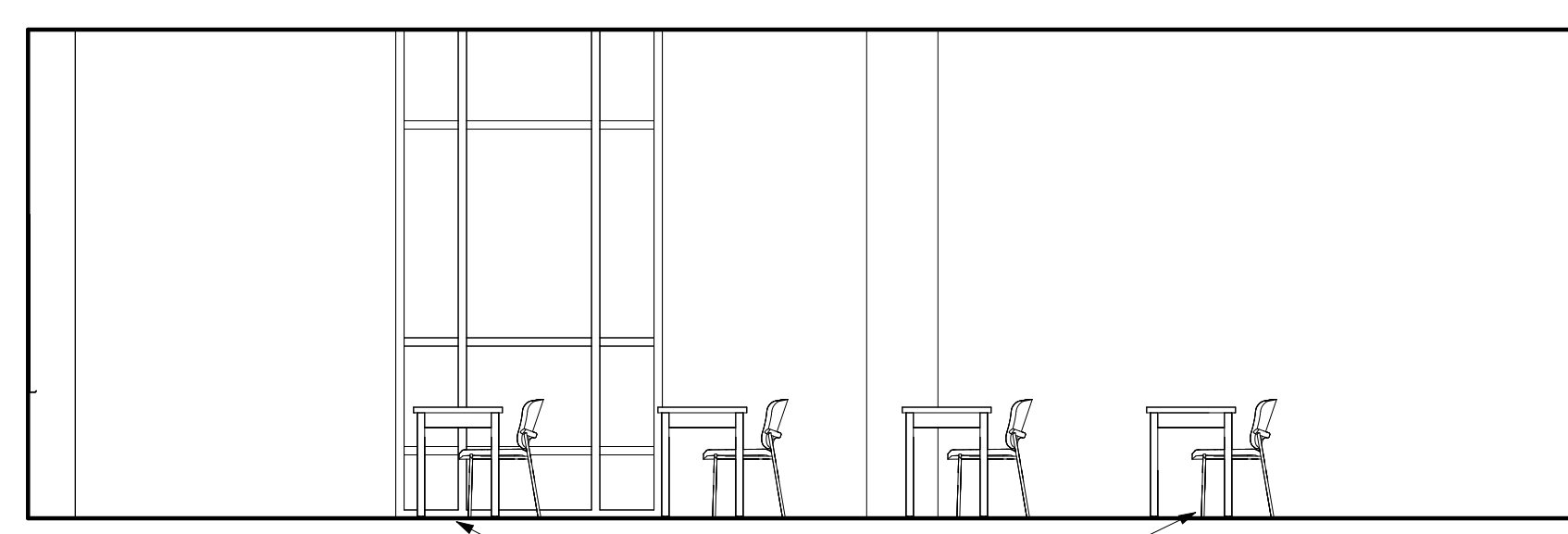
9 INT - R121 ART DIGITAL - N
1/4" = 1'-0"



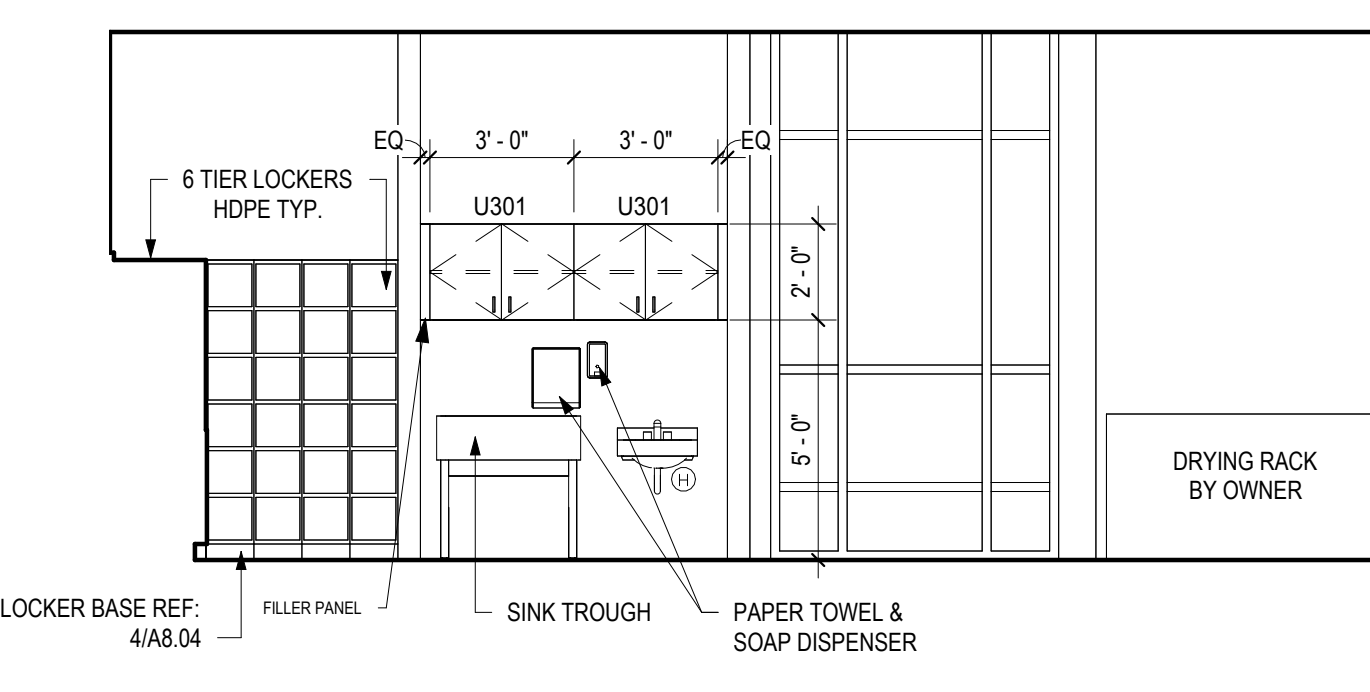
8 R121 ART DIGITAL - S
1/4" = 1'-0"



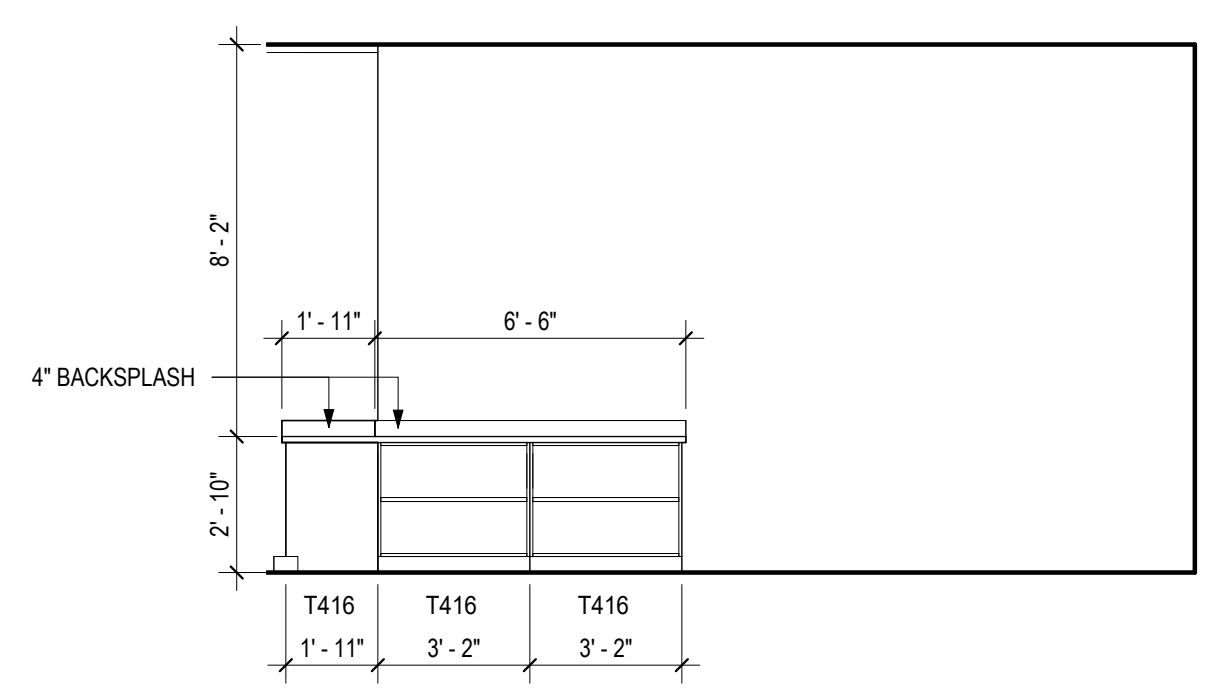
7 R121 ART DIGITAL - E
1/4" = 1'-0"



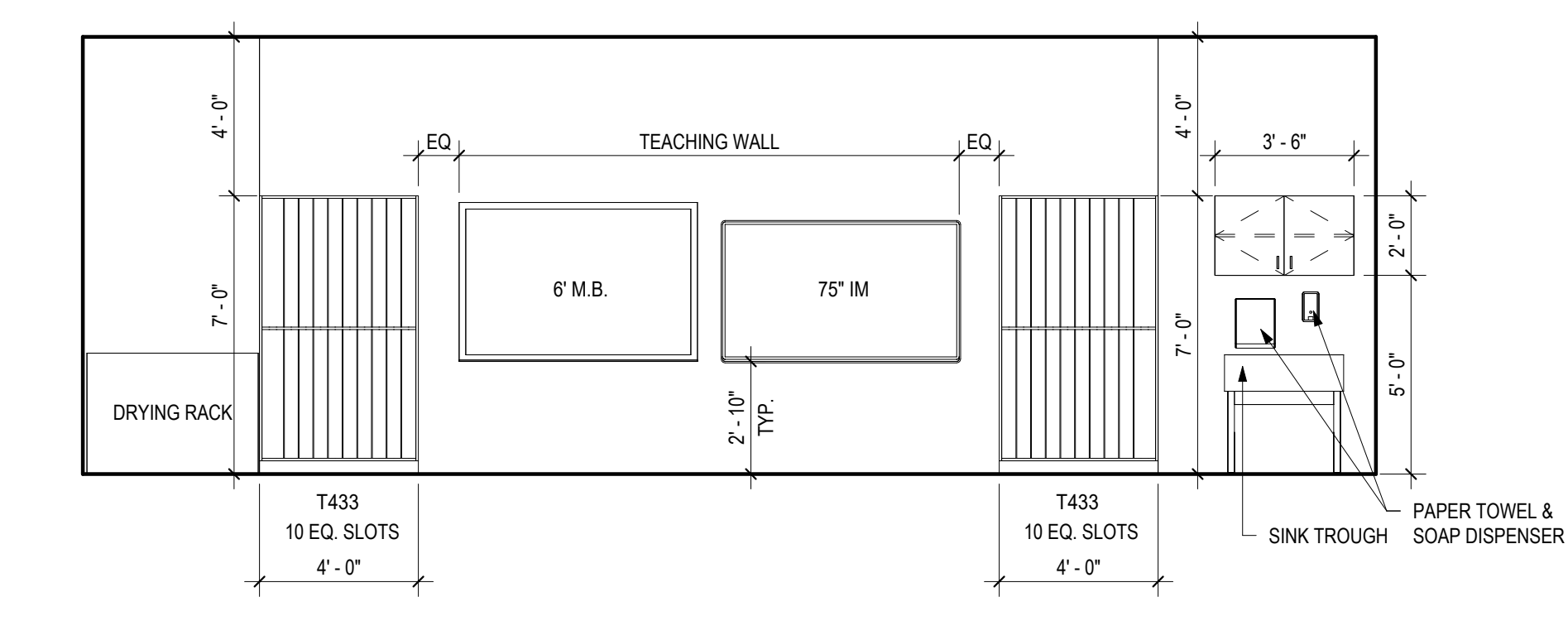
6 R121 ART DIGITAL - W
1/4" = 1'-0"



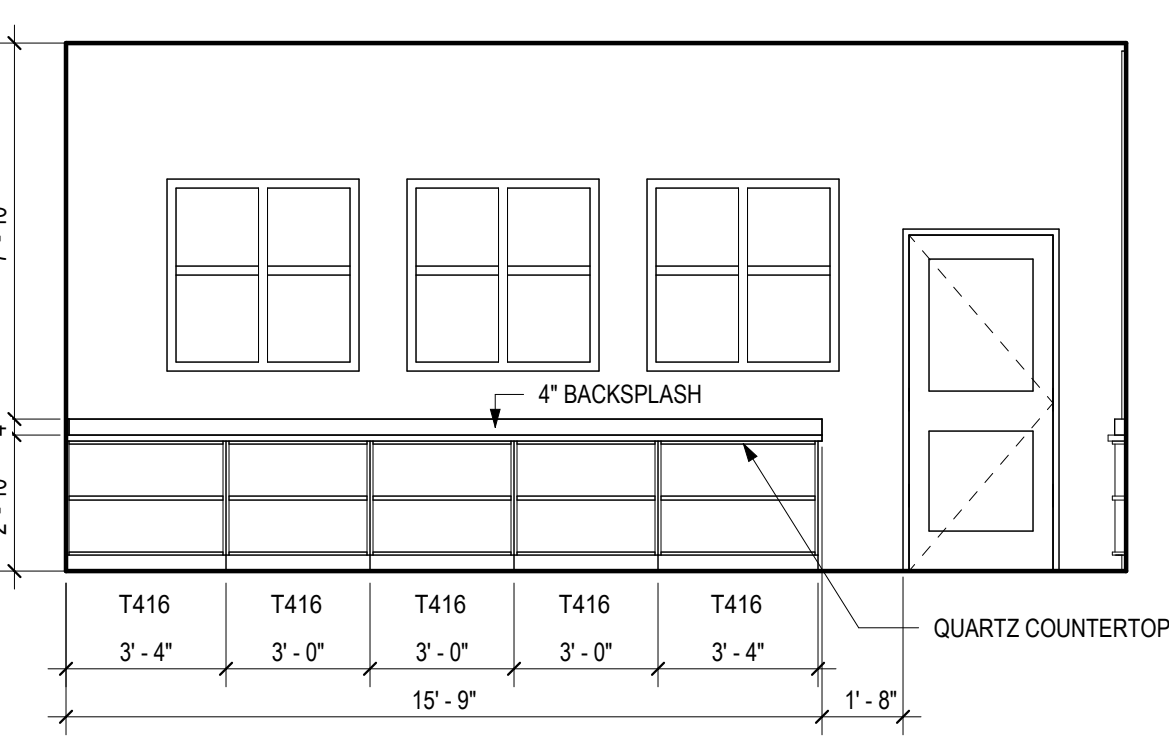
5 R124 CR ART B4A - W
1/4" = 1'-0"



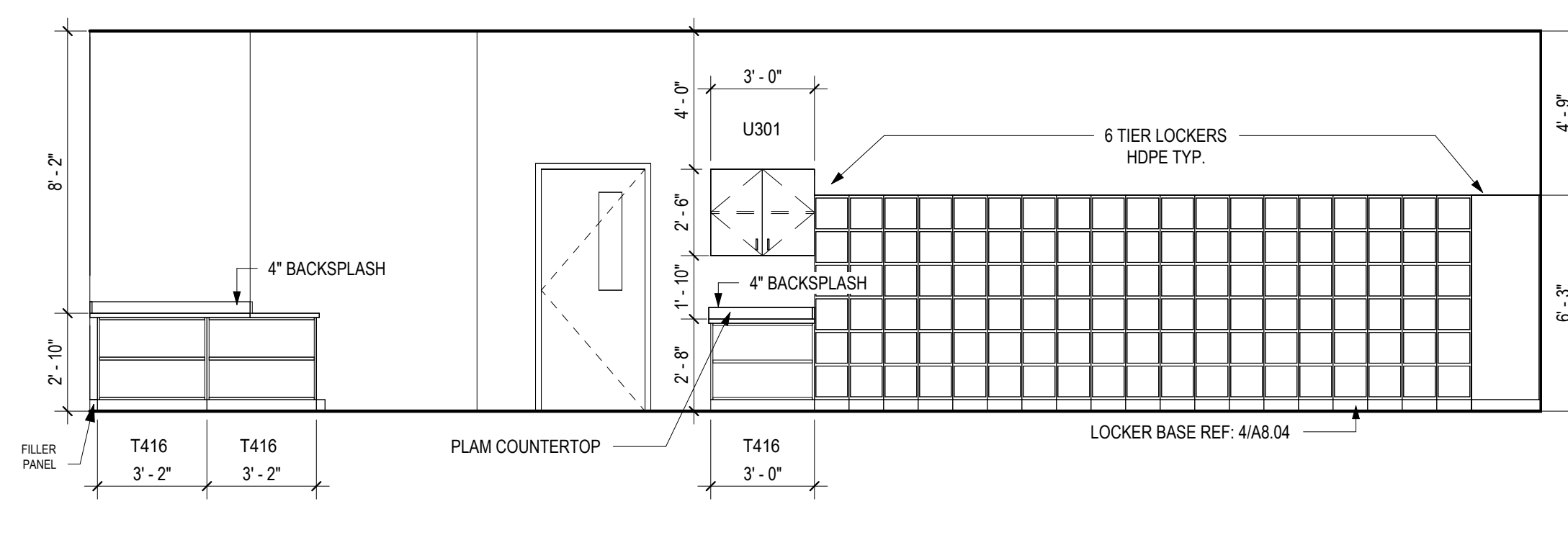
4 INT - R124 CR ART B4A - E
1/4" = 1'-0"



3 R124 CR ART B4A - N
1/4" = 1'-0"

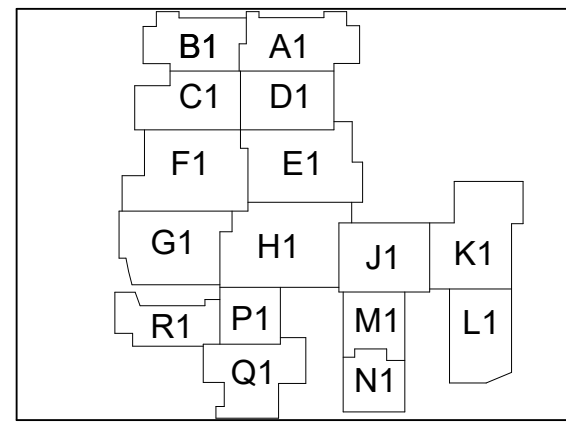


2 R124 CR ART B4A - E
1/4" = 1'-0"



1 R124 CR ART B4A - S
1/4" = 1'-0"

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2024-12-20

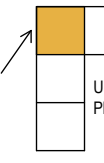
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DATE:	ISSUE
2024-12-20	PERMIT & PROPOSAL
2024-12-20	ADDENDUM 01
	A

A8.02
CASEWORK ELEVATIONS AND DETAILS



CASEWORK GENERAL NOTES

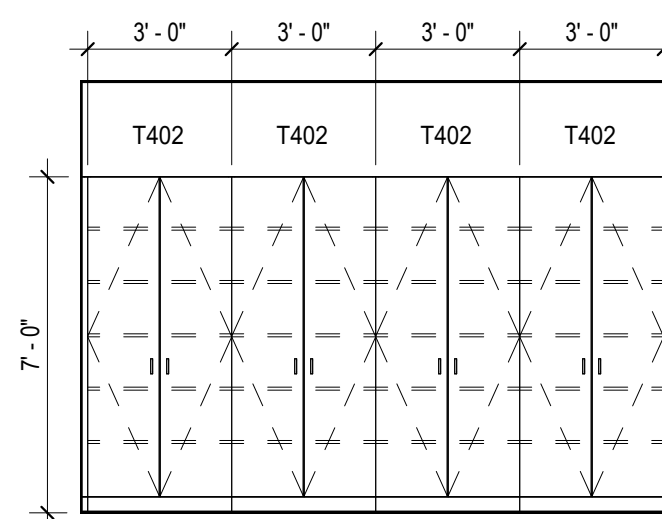
1. (C) INDICATES ACCESSIBLE PLUMBING FIXTURE AT ACCESSIBLE MOUNTING HEIGHT. RE: SHEET C1.01 AND PLUMBING DRAWINGS.
2. ALL CABINETS SHALL HAVE 4" RESILIENT BASE BY FLOORING CONTRACTOR, UNLESS NOTED OTHERWISE.
3. PROVIDE LOCKS ON ALL DOORS AND DRAWERS. LOCKS SHALL BE MASTER KEYED PER SPECS.
4. ALL COUNTERTOPS ARE 1-1/4" THICK PLASTIC LAMINATE W/ 4" HIGH BACKSLASH AND SPLASH RETURNS, UNLESS NOTED OTHERWISE.
5. ALL EXPOSED BACK AND ENDS SHALL BE FINISHED WITH LAMINATE.
6. F.E. ON CASEWORK ELEVATIONS INDICATES "FINISHED END".
7. PROVIDE FILLER AND CLOSURE PANELS AS REQUIRED TO MATCH UNITS (INCLUDE TOP CORNERS).
8. ALL SINKS IN CASEWORK SHOULD BE SUPPLIED AND INSTALLED BY PLUMBING CONTRACTOR AND SHOULD INCLUDE STRAINER AND TAIL PIECE REFER TO PLUMBING DRAWINGS FOR SINK TYPES.
9. ALL COUNTERTOPS ARE 2" DEEP UNLESS INDICATED OTHERWISE.
10. ALL UPPER WALL CABINETS ARE 1" DEEP UNLESS NOTED OTHERWISE.
11. PROVIDE 2.5" GROMMETS AT ALL KNEE SPACES.
12. RADIUS EDGE AT ALL OUTSIDE COUNTERTOP CORNERS.
13. TEACHERS CABINET TO INCLUDE ONE (1) FIXED SHELF AND ROD, TWO (2) ADJUSTABLE SHELVES, TWO (2) LETTER SIZE FILE DRAWERS, AND ONE (1) 10"x12" MIRROR AND PEN TRAY.
14. FILE DRAWERS TO INCLUDE INTEGRAL FILE HANGING SYSTEM.
15. RE: MECHANICAL, ELECTRICAL, AND PLUMBING DWGS. FOR OTHER DEVICES, ONLY UNIQUE COORDINATIONS ARE SHOWN ON THESE DRAWINGS.
16. FINISH TOE SPACE OF ALL CABINETS WITH RESILIENT BASE AS SCHEDULED PER ROOM FINISH SCHEDULE.
17. PROVIDE REMOVABLE BACK PANEL ON ALL SINK CASEWORK.
18. ALL CASEWORK IS EDUCATIONAL CASEWORK UNLESS NOTED OTHERWISE.
19. CASEWORK ELEVATIONS ARE INTENDED TO SHOW CASEWORK AND MILLWORK ONLY. ANY OTHER ELEMENTS SUCH AS WALLS, WINDOWS, AND DOORS ARE FOR REFERENCE ONLY. RE: FLOOR PLANS, SCHEDULES AND RELATED ELEVATIONS FOR SPECIFIC INFO RELATED TO THESE ELEMENTS.



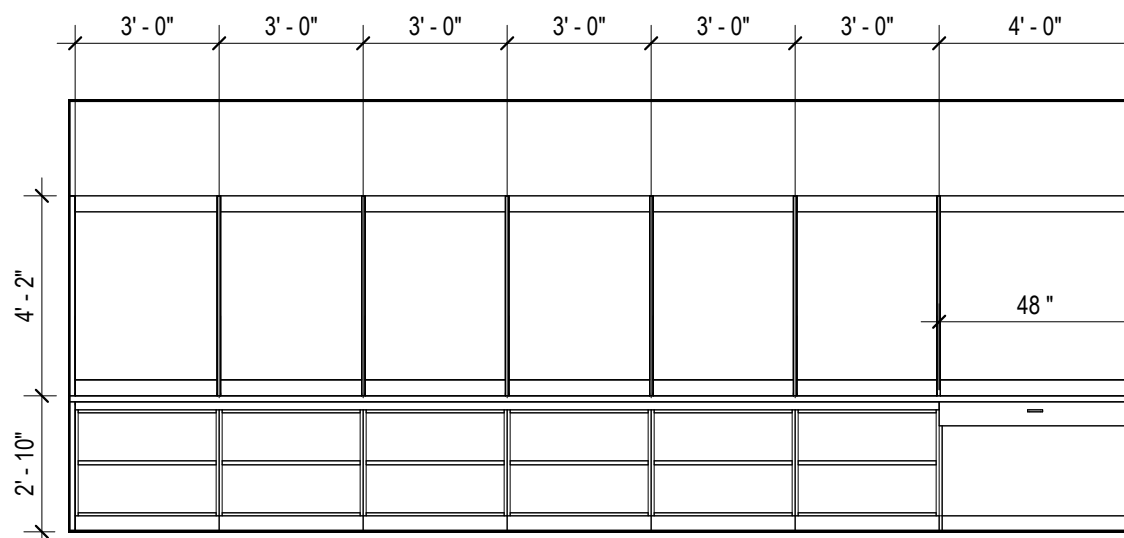
CASEWORK GENERAL NOTES

1/4" = 1'-0"

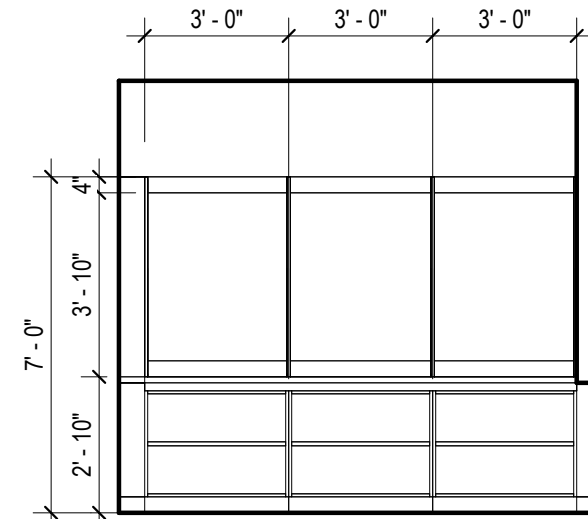
26 G121 SHOP SCENE - S
1/4" = 1'-0"



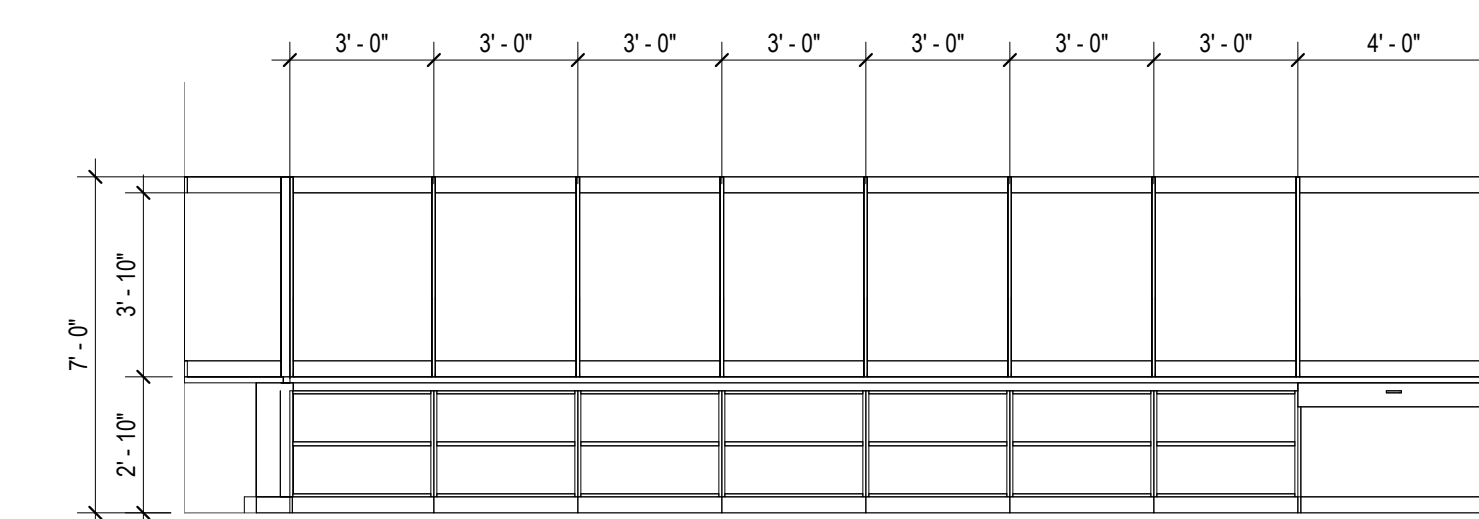
25 N110 CR PHOTO - S
1/4" = 1'-0"



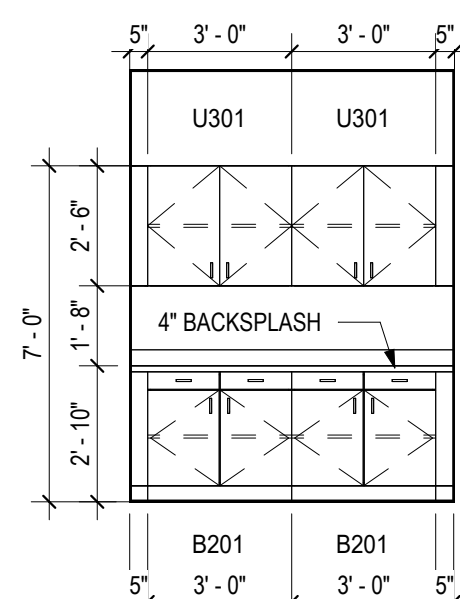
24 N117 CR PHOTO - W
1/4" = 1'-0"



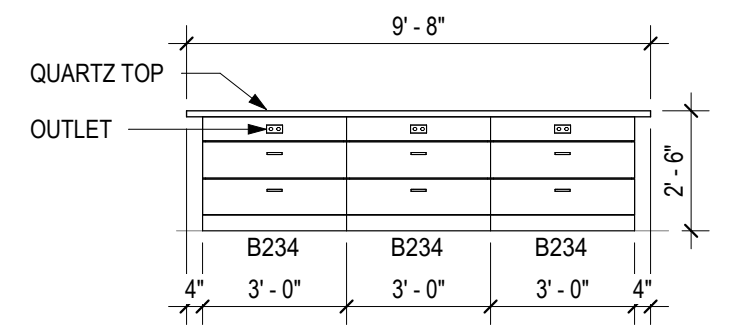
23 N117 CR PHOTO - N
1/4" = 1'-0"



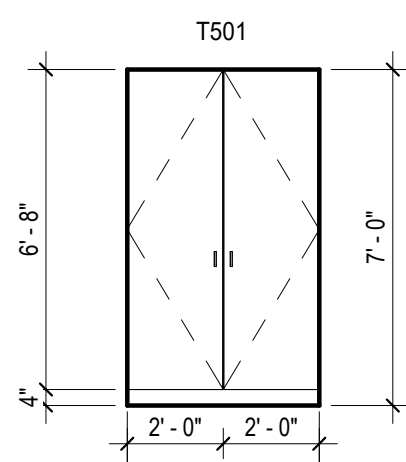
29 N115 CR PHOTO - E
1/4" = 1'-0"



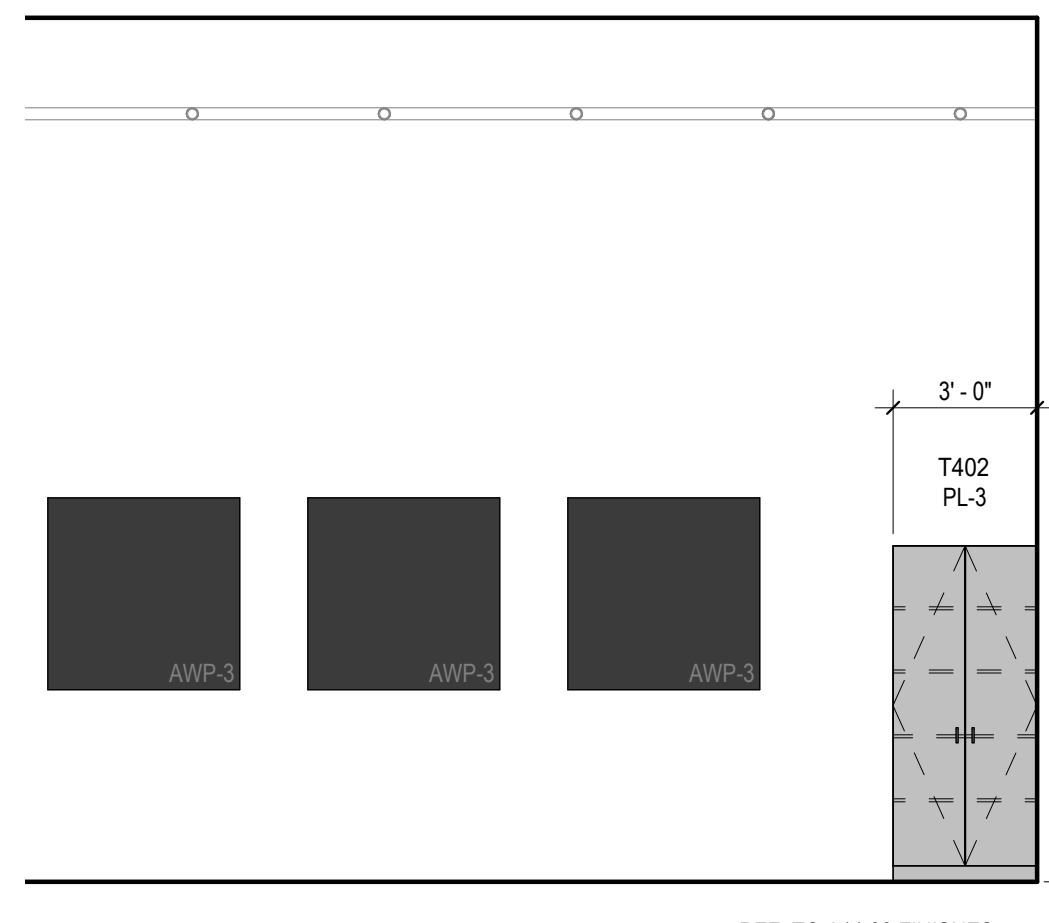
28 COSMETOLOGY M110 - W
1/4" = 1'-0"



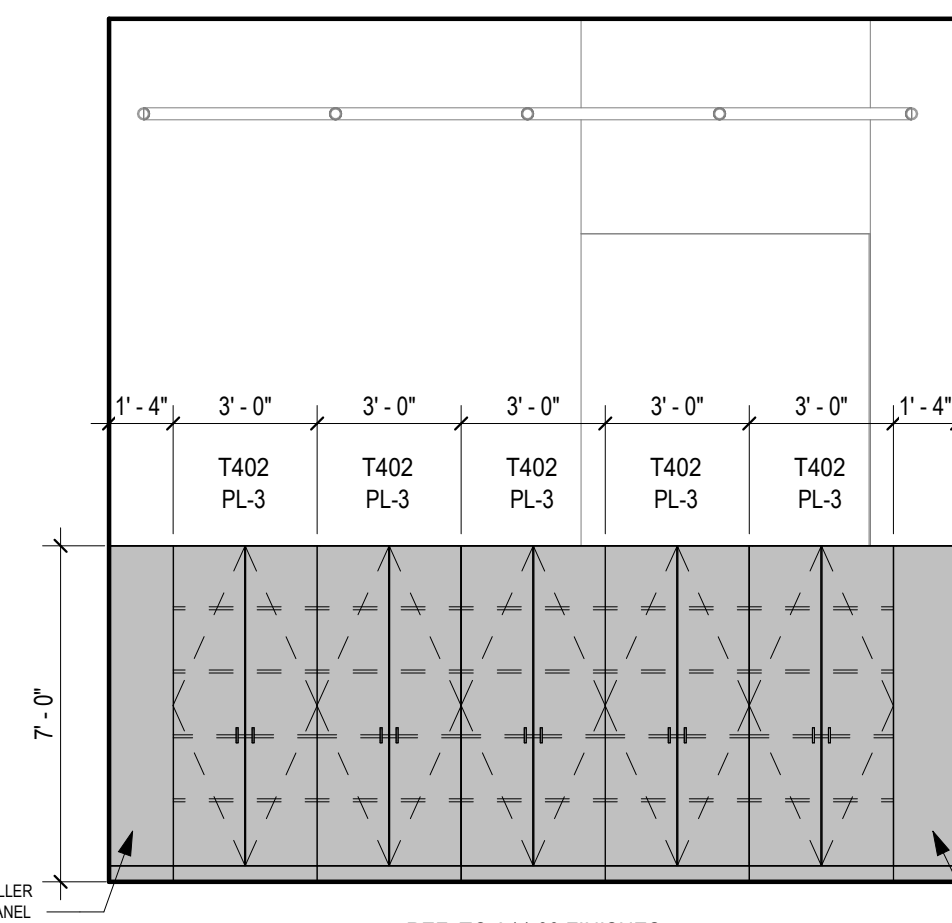
27 N118 CR PHOTO SPCL PHOTO CAB - N
1/4" = 1'-0"



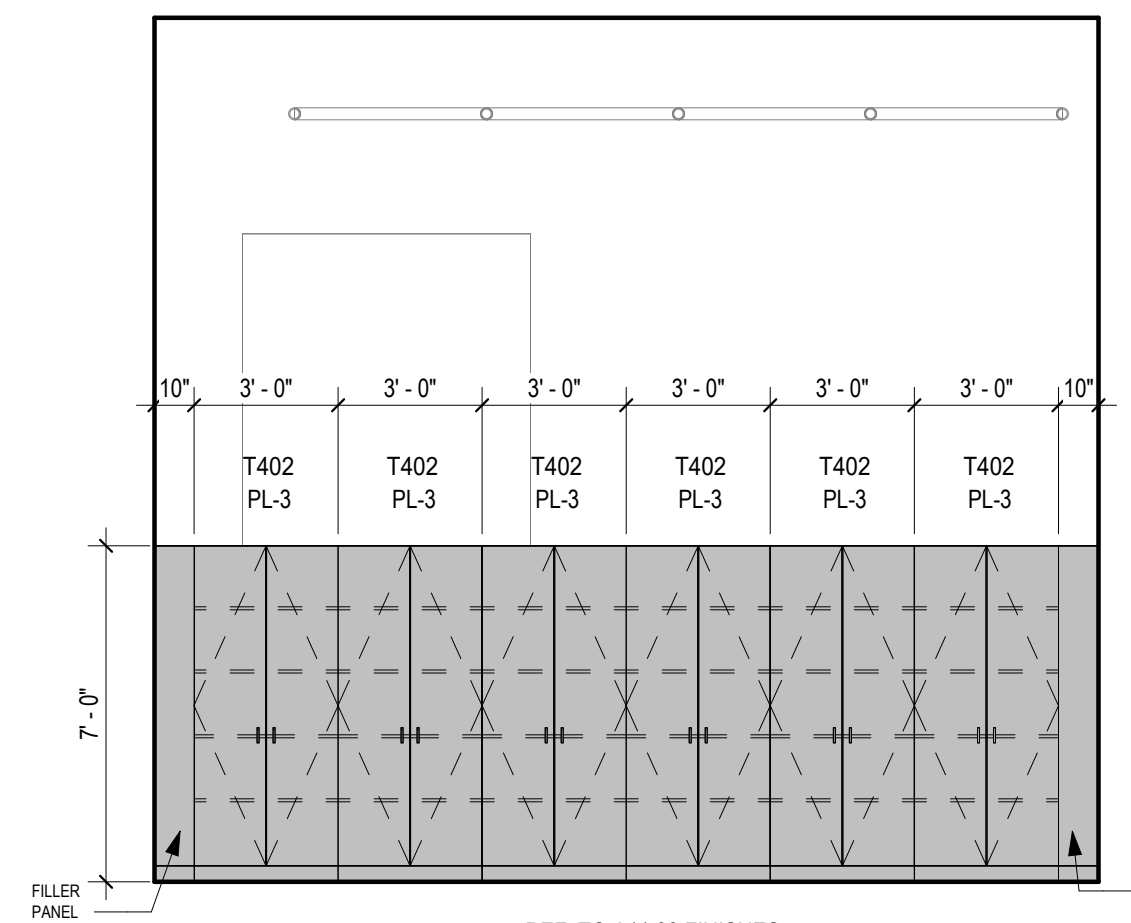
22 INT - G114 BLACKBOX - SW
1/4" = 1'-0"



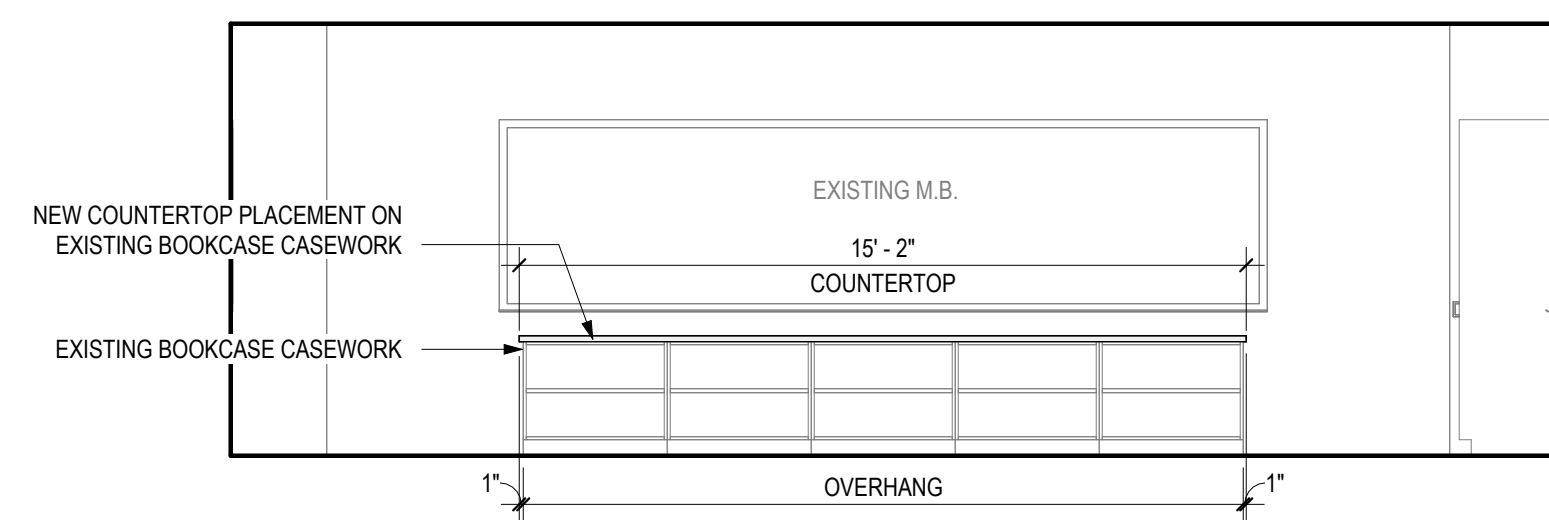
21 INT - G114 BLACKBOX - W
1/4" = 1'-0"



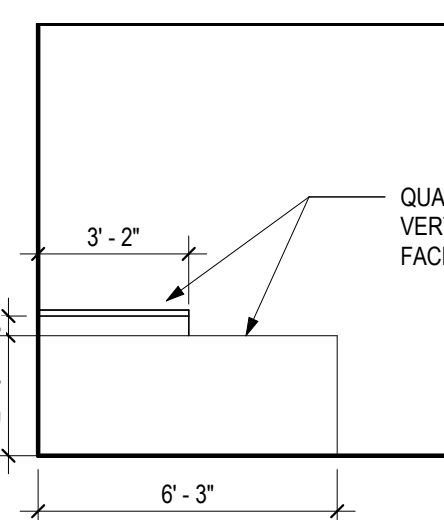
20 INT - G113 BLACKBOX - W
1/4" = 1'-0"



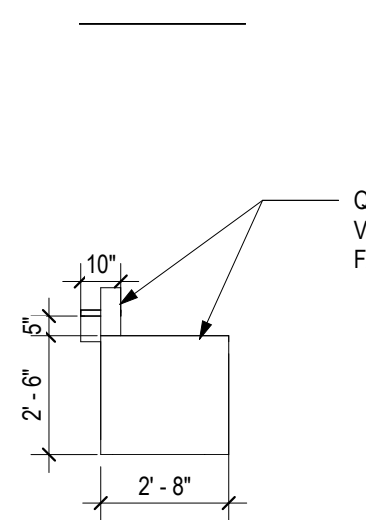
19 CR - EXISTING BOOKCASE COUNTERTOP REPLACEMENT TYP.
1/4" = 1'-0"



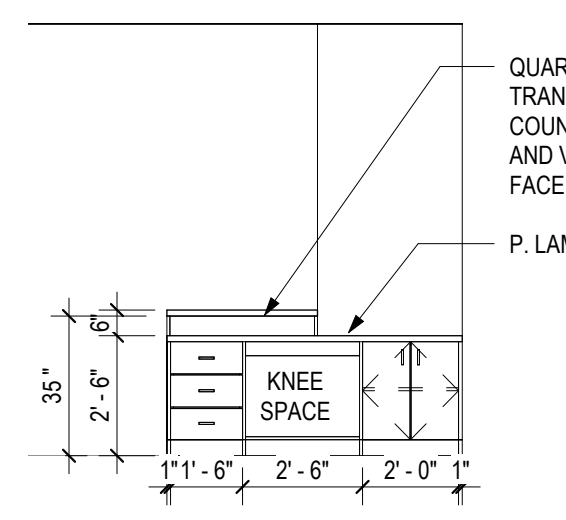
18 CR M110 - RECEPTION - S
1/4" = 1'-0"



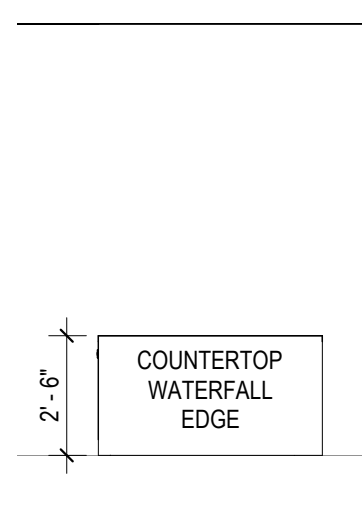
17 CR M110 - RECEPTION - E
1/4" = 1'-0"



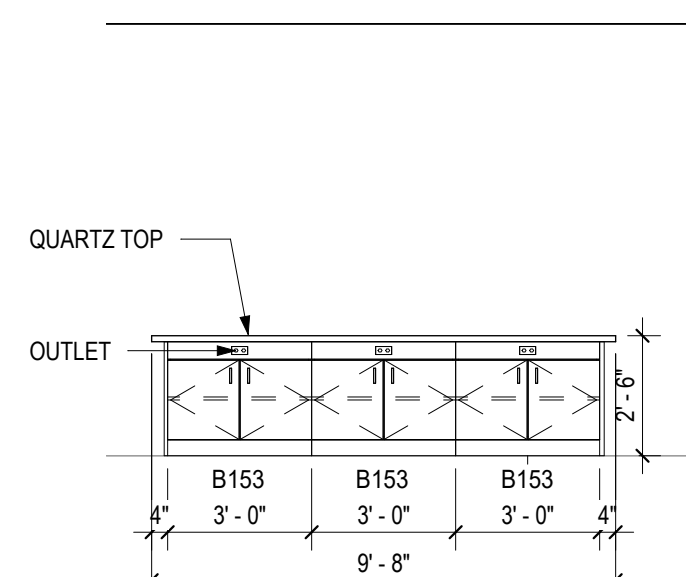
16 CR M110 - RECEPTION - N
1/4" = 1'-0"



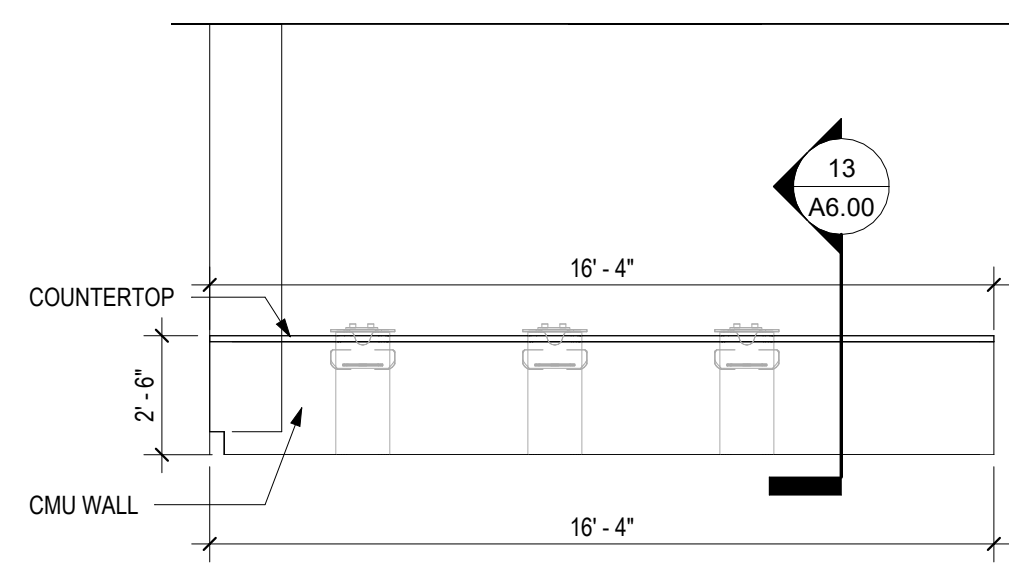
15 COSMET. M110 - ISLAND
1/4" = 1'-0"



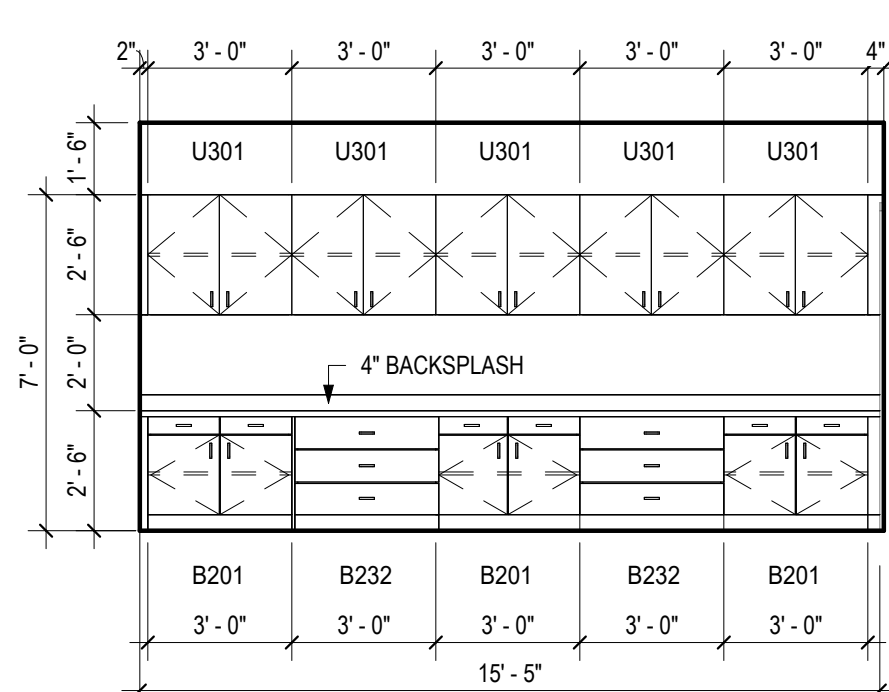
14 COSMETOLOGY M110 - E
1/4" = 1'-0"



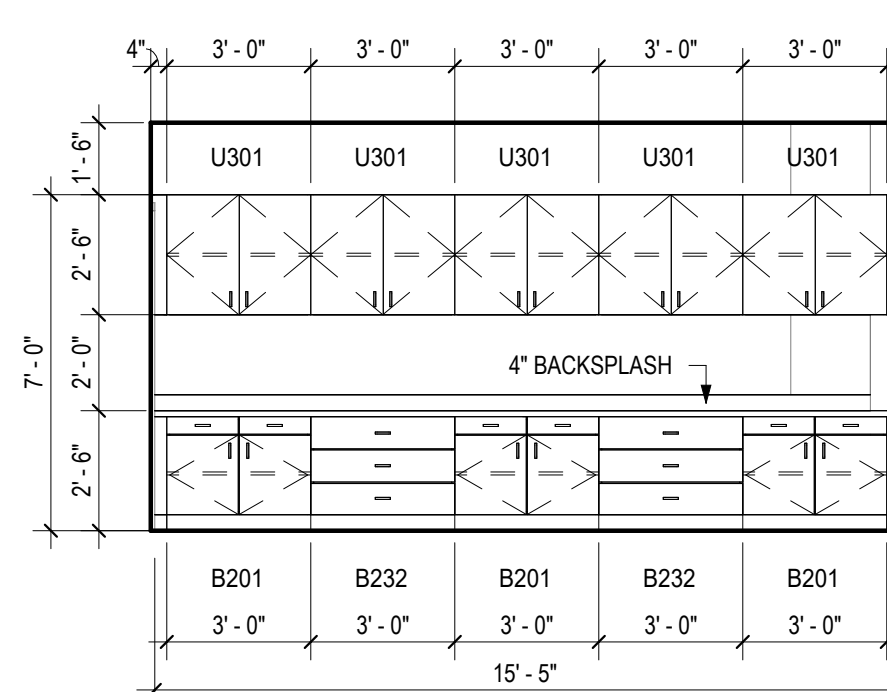
13 COSMETOLOGY M110 - N
1/4" = 1'-0"



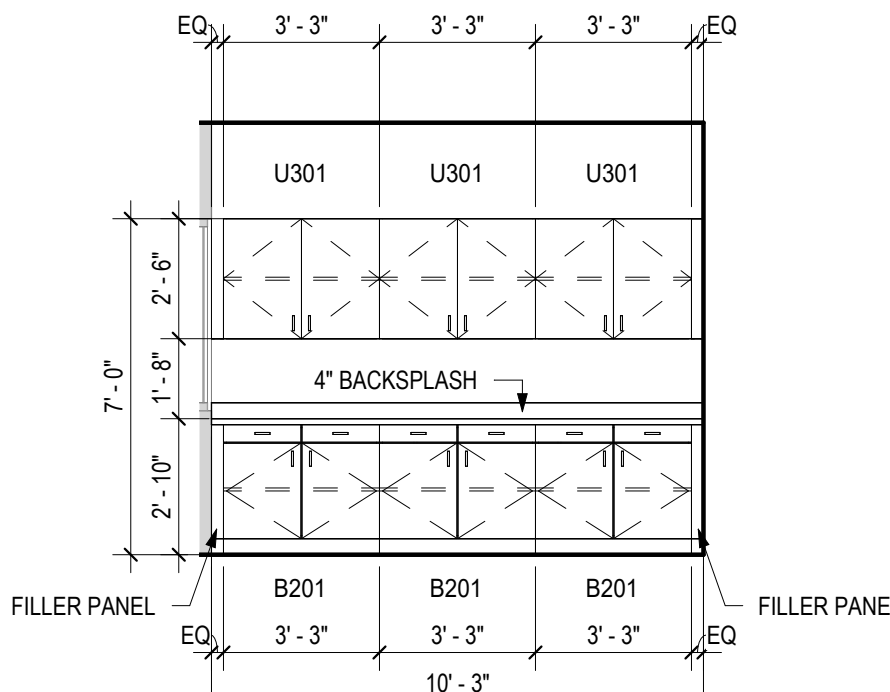
11 N122 OFF. JOURNALISM - E
1/4" = 1'-0"



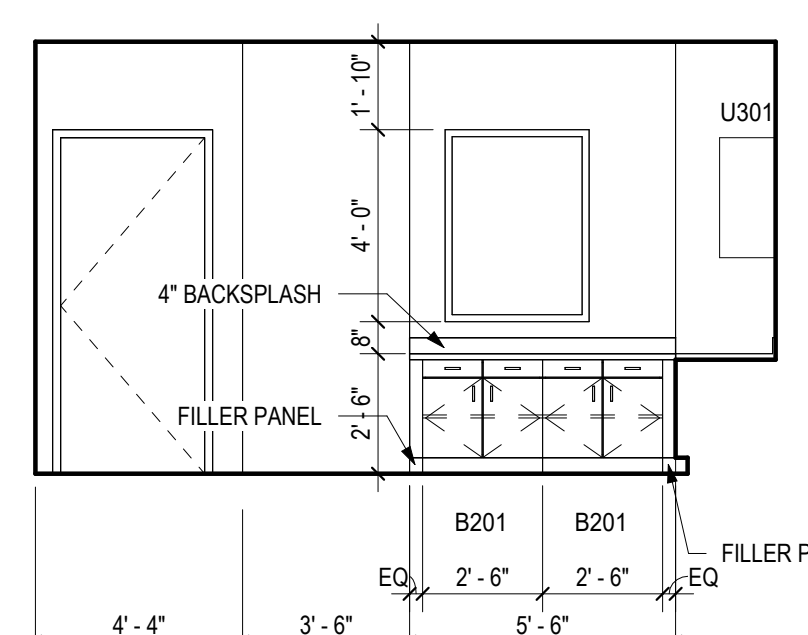
10 N122 OFF. JOURNALISM - W
1/4" = 1'-0"



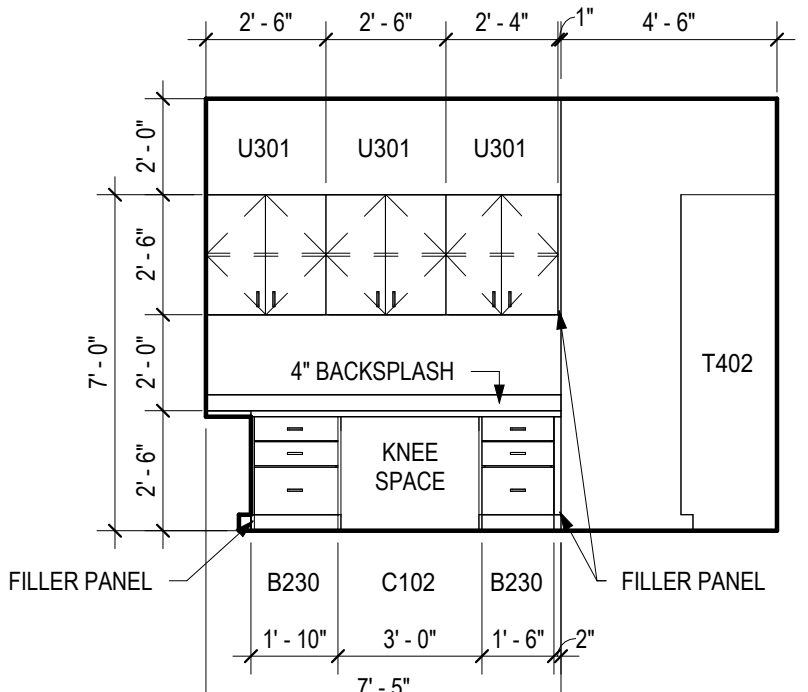
9 Q106 OFF - S
1/4" = 1'-0"



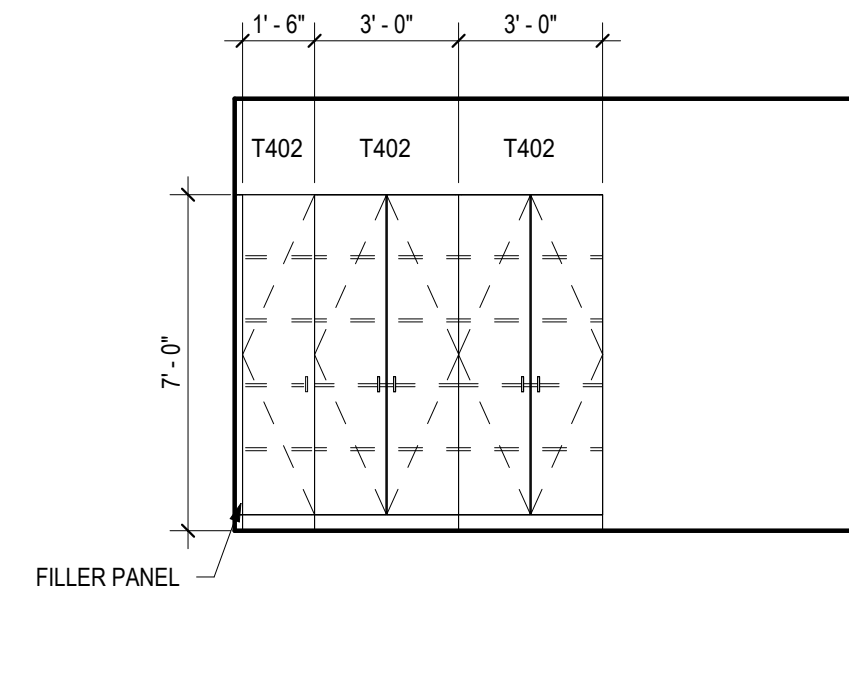
8 INT - G112 OFF - W
1/4" = 1'-0"



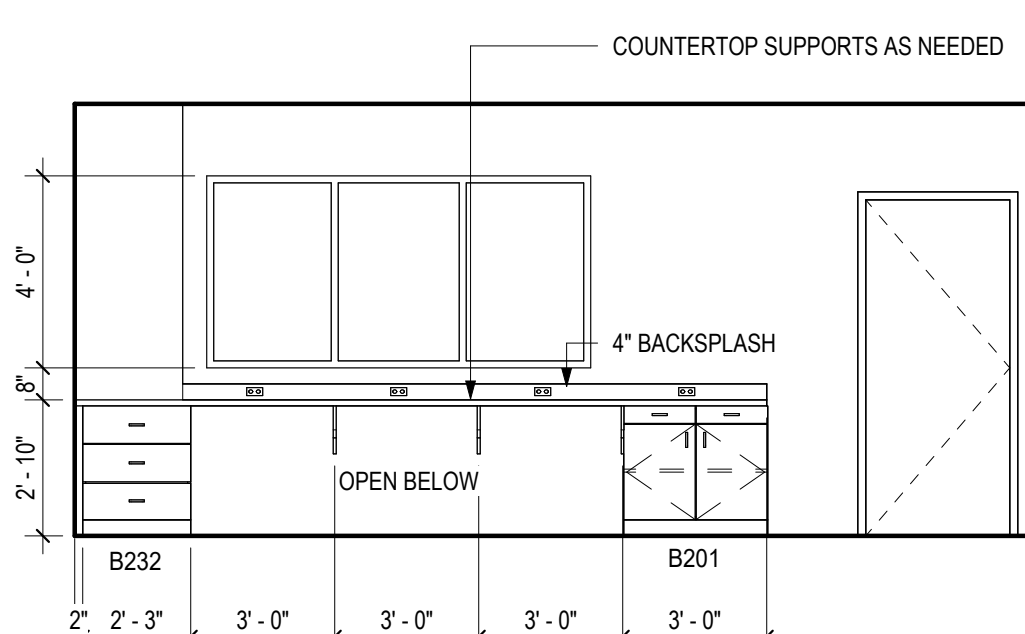
7 INT - G112 OFF - N
1/4" = 1'-0"



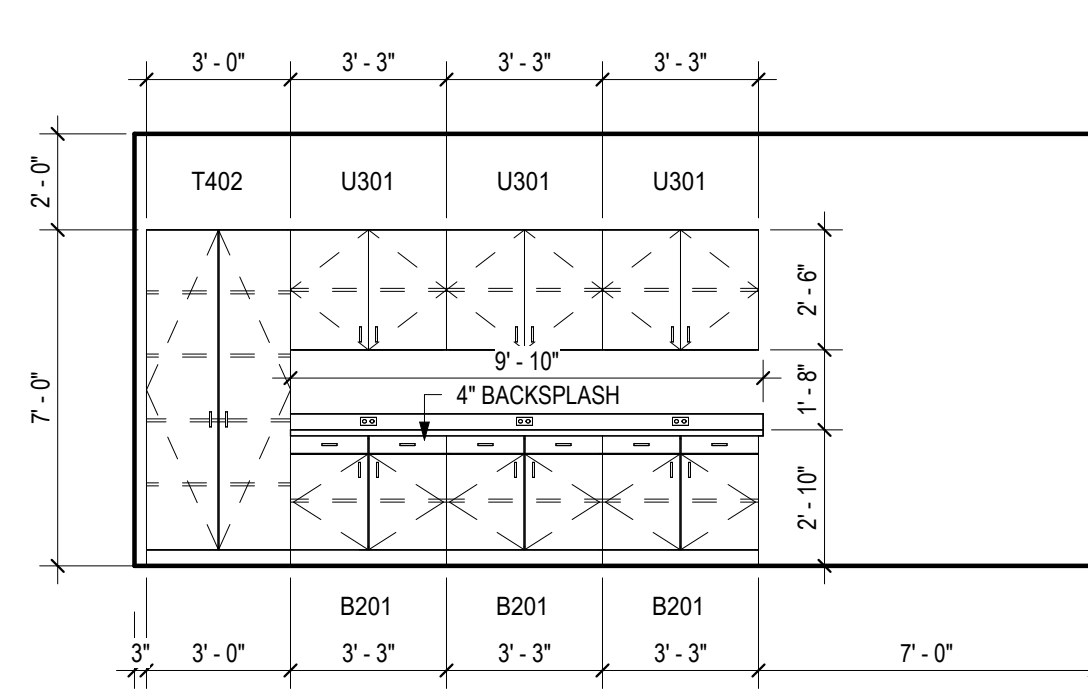
6 INT - G112 OFF - E
1/4" = 1'-0"



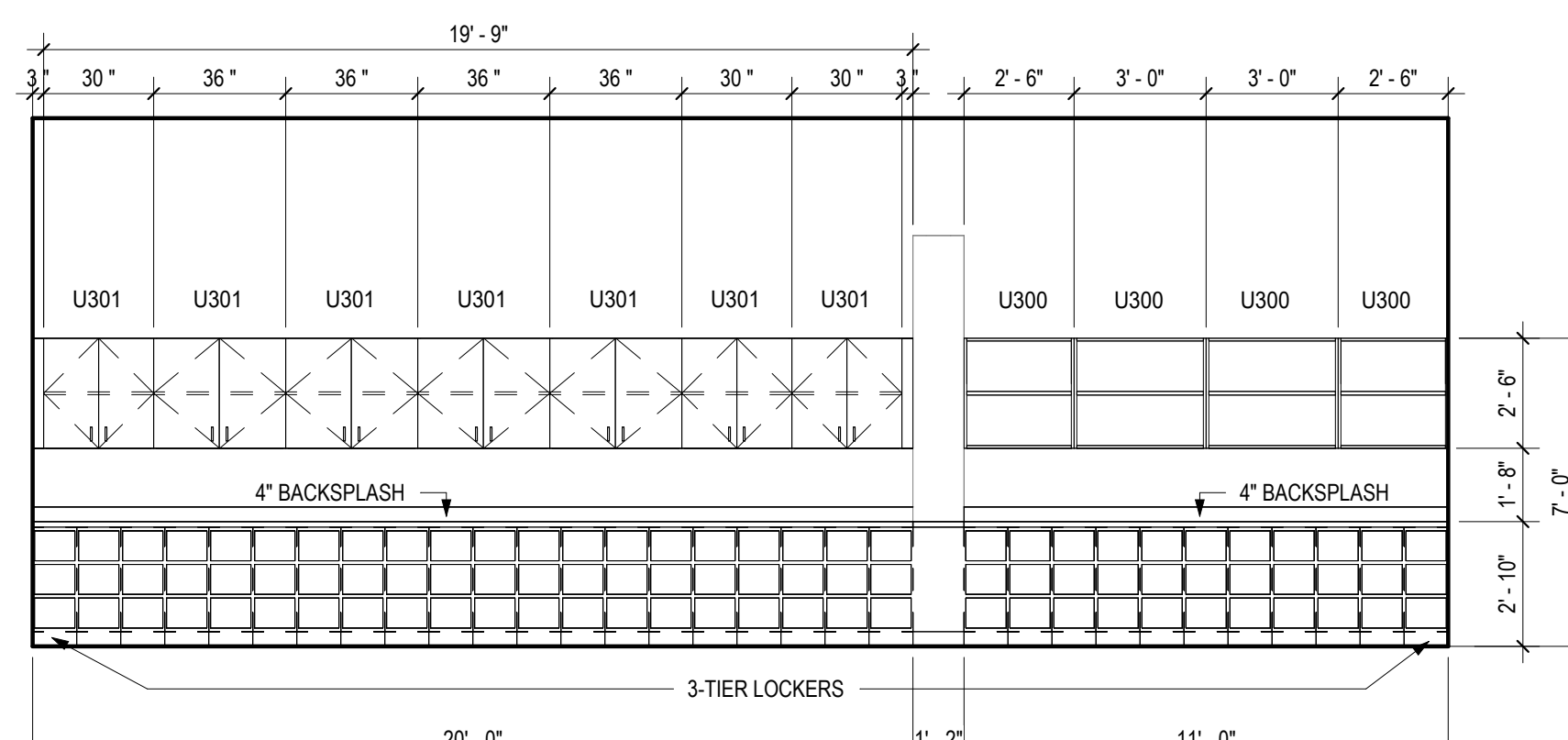
5 G111 CONTROL RM - W
1/4" = 1'-0"



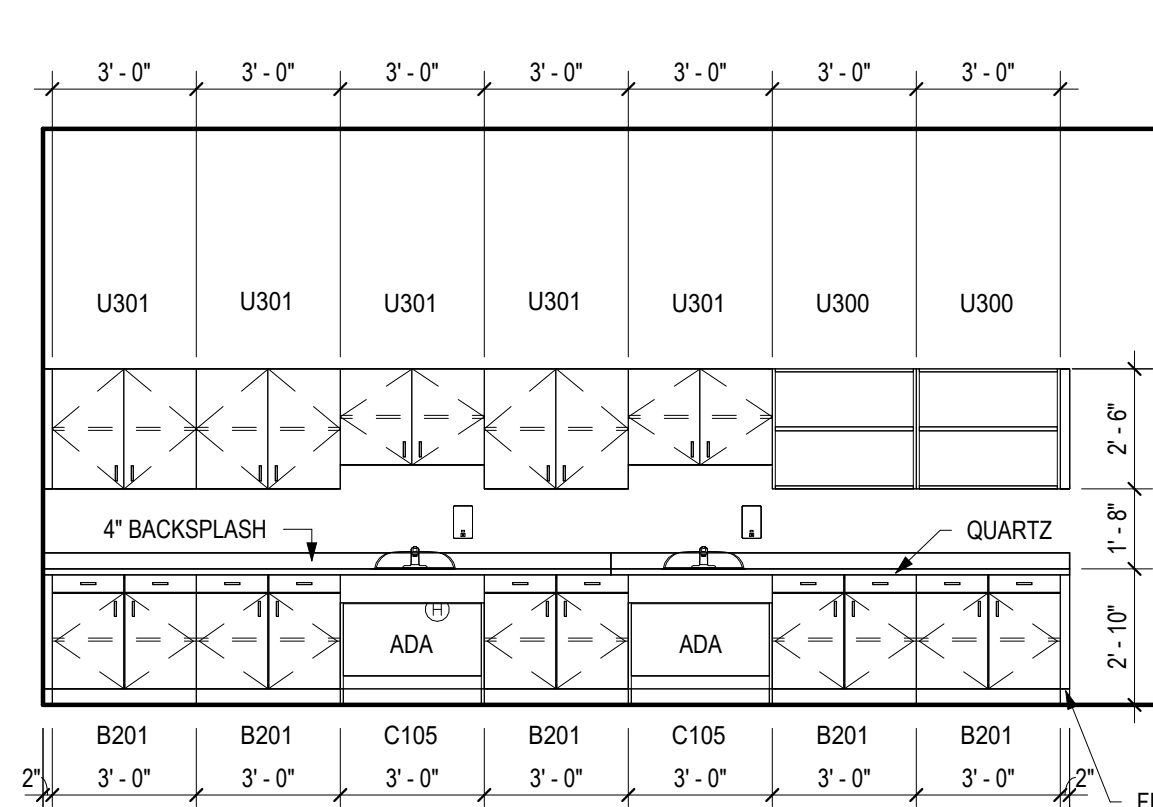
4 G111 CONTROL RM - E
1/4" = 1'-0"



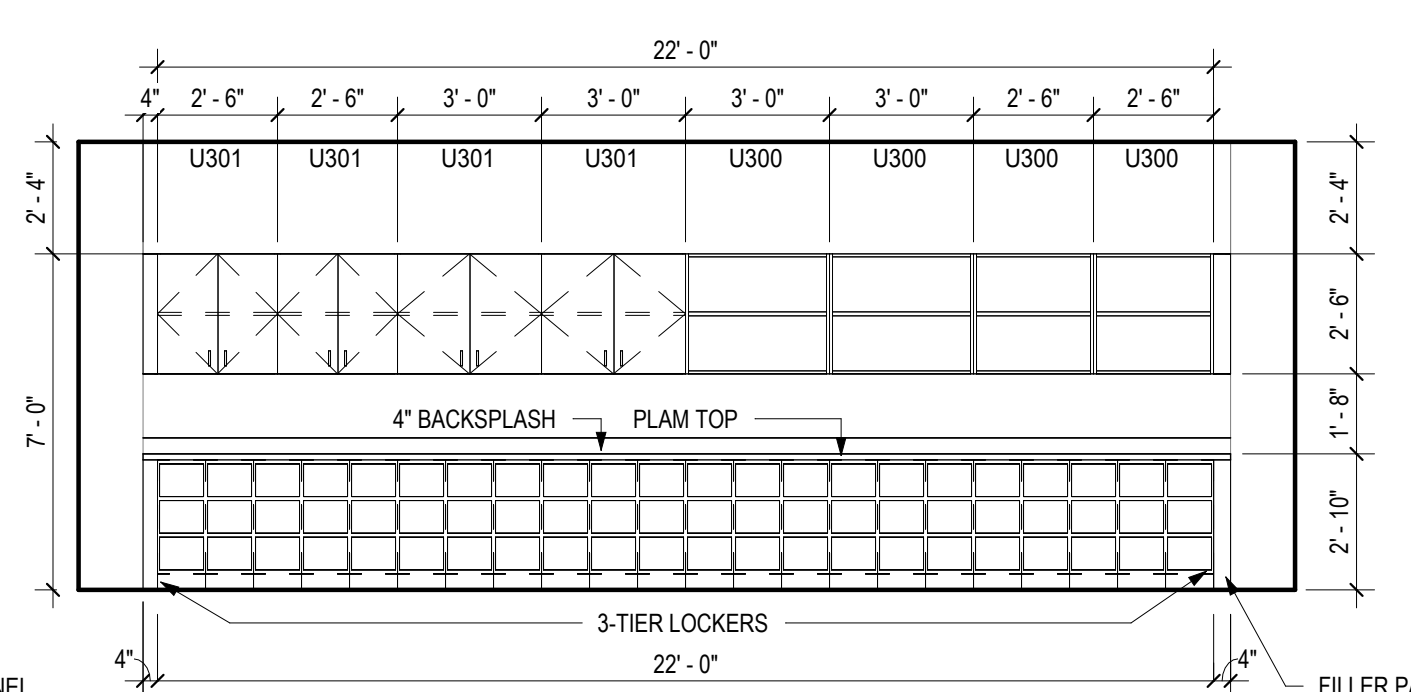
3 N109 CR PHOTO - S
1/4" = 1'-0"



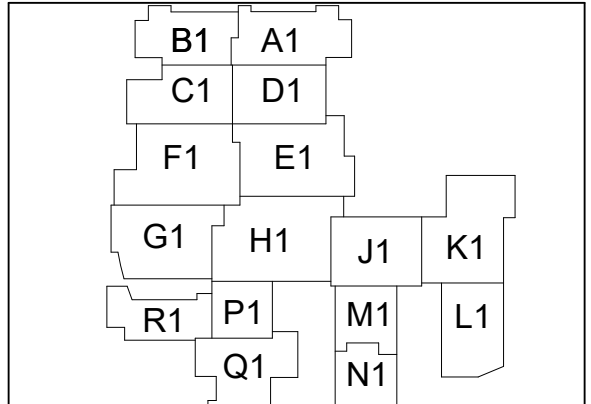
2 N109 CR PHOTO - N
1/4" = 1'-0"



1 N118 CR PHOTO - N
1/4" = 1'-0"



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 Fax: 214.584.6124



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ARCADIS
 TEXAS ARCADIS INC.
 1330 POST OAK BOULEVARD, SUITE 2250
 HOUSTON, TX 77042
 tel 281.286.6605, fax 713.977.4620



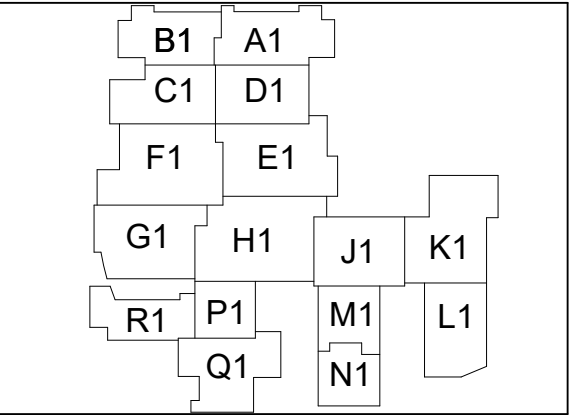
2024-12-20

PROJECT #:	202319
DATE:	2024-12-20
DRAWN:	NA
CHECKED:	DB
DATE:	ISSUE
2024-12-20	PERMIT & PROPOSAL
2024-12-20	ADDENDUM 01

A8.03
 CASEWORK ELEVATIONS AND DETAILS



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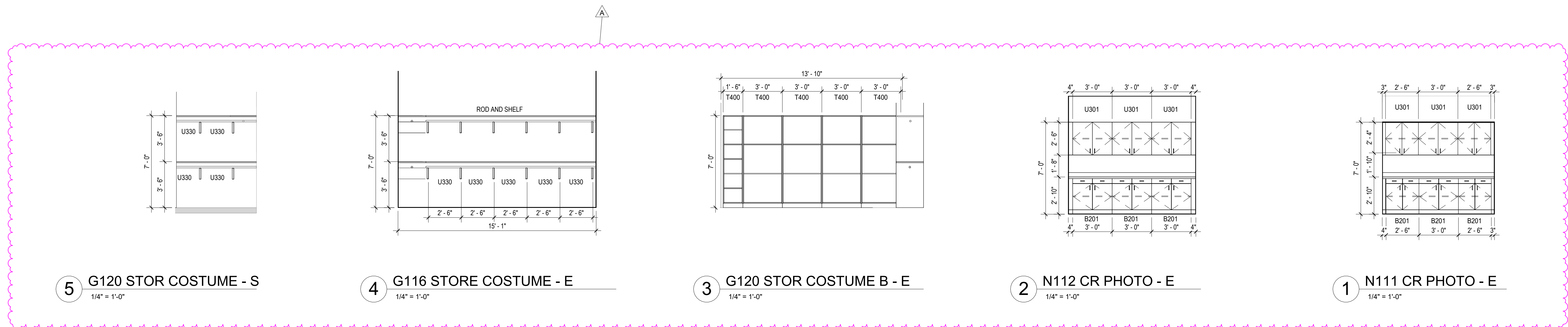


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 SCHOOL RENOV.**
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2024-12-20



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2024-12-20	PERMIT & PROPOSAL
2024-12-20	ADDENDUM 01
	A

A8.03A

CASEWORK
 ELEVATIONS
 AND DETAILS



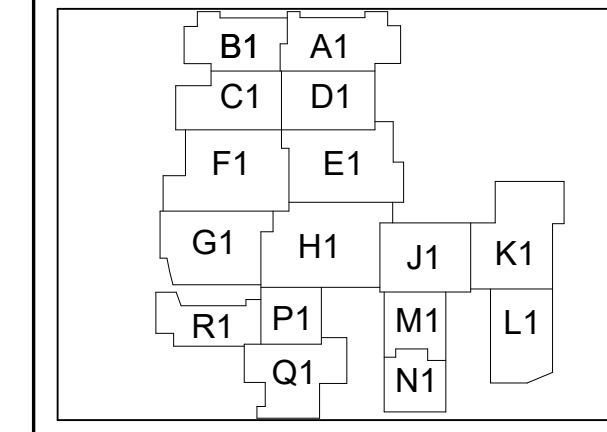
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2024-12-20

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2024-12-20	

A12.11
 GRAPHIC SCHEDULES

AREA 'G1' - GRAPHIC SCHEDULE

ROOM #	ROOM NAME	GRAPHIC #	GRAPHIC NAME	PLAQUE TYPE	SEX ID	ADA SYMBOL	QUANTITY	BACKER PLATES	COMMENTS
G109	STAGE WING	1512		B					NEW
G109A	TLT B			D	Y	MALE			NEW
G111	CONTROL RM	TBD		B					NEW
G112	OFF	TBD		B					NEW
G121A	TLT G			D	Y	FEMALE			NEW

AREA 'H1' - GRAPHIC SCHEDULE

ROOM #	ROOM NAME	GRAPHIC #	GRAPHIC NAME	PLAQUE TYPE	SEX ID	ADA SYMBOL	QUANTITY	BACKER PLATES	COMMENTS
H112	TLT B	1506		D	Y	MALE			NEW
H114	TLT G	1506		D	Y	FEMALE			NEW

AREA 'M1' - GRAPHIC SCHEDULE

ROOM #	ROOM NAME	GRAPHIC #	GRAPHIC NAME	PLAQUE TYPE	SEX ID	ADA SYMBOL	QUANTITY	BACKER PLATES	COMMENTS
M110	COSMETOLOGY	1700		B			2		NEW
M111	TLT	1702		E	N		1		NEW
M112	STOR	TBD		B			1		NEW
M113	LCKR	1704		B			1		NEW
M114	OFF	1706		A			1		NEW
M118	CR COSMETOLOGY	1714		B			1		NEW

AREA 'P1' - GRAPHIC SCHEDULE

ROOM #	ROOM NAME	GRAPHIC #	GRAPHIC NAME	PLAQUE TYPE	SEX ID	ADA SYMBOL	QUANTITY	BACKER PLATES	COMMENTS
P101	SERVING	1502		B					NEW
P102	KITCHEN	1503		B			1		NEW
P103	LAUNDRY KIT	1508		B			1		NEW
P104	OFF KIT	1507		B			1		NEW
P106	VEST KIT	1535		B			1		NEW
P106	TLT KIT	1509		D	Y	MALE	1		NEW
P107	TLT KIT			D	Y	FEMALE	1		NEW
P117	STOR DRY		DRY STORAGE	B			1		NEW
P118	COOLER			V			1		NEW
P119	COFR			V			1		NEW
P119	PREEZER			V			1		NEW

AREA 'Q1' - GRAPHIC SCHEDULE

ROOM #	ROOM NAME	GRAPHIC #	GRAPHIC NAME	PLAQUE TYPE	SEX ID	ADA SYMBOL	QUANTITY	BACKER PLATES	COMMENTS
Q101	PRACT	1566		B			1		NEW
Q102	STOR	1564		B			1		NEW
Q140	MUSIC LIB.	TBD		B			1		NEW
Q141	ORCH ENSEMBLE	TBD		B			1		NEW
Q142	PRACT	TBD		B			1		NEW
Q143	PRACT	TBD		B			1		NEW

AREA 'R1' - GRAPHIC SCHEDULE

ROOM #	ROOM NAME	GRAPHIC #	GRAPHIC NAME	PLAQUE TYPE	SEX ID	ADA SYMBOL	QUANTITY	BACKER PLATES	COMMENTS
R102	MECH	1093		B			1		NEW
R112	CR AV	1588		B			2		NEW
R113	EDITING	1594		B			1		NEW
R120	COFR	TBD		B			1		NEW
R121	ART DIGITAL	TBD		B			2		NEW
R122	ART STOR	TBD		B			1		NEW
R123	ART WRK RM			B			1		NEW
R124	CR ART BAA			B			2		NEW
R126	MECHANICAL MEZZANINE			B			1		NEW
R126	SIDE COMMONS			B			1		NEW
R145	CLASSROOM			A			1		NEW
R146	FASHION LAB			B			2		NEW
R147	TLT G			D	Y	FEMALE	1		NEW
R148	TLT B			D	Y	MALE	1		NEW
R149	JANITOR STORAGE			B			1		NEW
R150	SEWING STORAGE			B			1		NEW

NEW/RE-NUMBERED EXT. DOOR GRAPHICS

MARK	DOOR GRAPHIC
G100-1	1
G100-2	1
G100-3	1
F150-1	2
F115-1	3
F104-1	4
F102-2	5
F100-2	6
C124-1	7
B121-3	8
B121-2	8
B111-2	9
B100-1	10
B110-2	11
A100-1	12
A101-1	13
A122-2	14
A123-3	15
A123-2	15
E101-1	16
E100-2	17
E100-3	17
E107-2	18
E108-1	19
H121-1	20
H121-2	20
H121-3	20
J100-1	21
K101-3	22
K101-2	23
K100-1	24
K131-1	25
K146-1	26
L100-1	27
L125-1	28
L127-1	29
L132-1	30
L135-1	31
L119-1	32
L113-1	33
K146-2	34
K146-2	34
K112-1	35
J120-1	36
M121-1	37
N101-1	38
N100-1	39
H118-2	40
H118-1	41
P100-1	42
P119-2	42
Q100-1	43
P119-4	43
Q103-2	44
Q115-1	45
Q115-2	46
Q133-1	47
R105-1	48
R120-1	49
R121-2	50
R124-1	51
R110-1	52
R106-1	53
R100-1	54
P100-1	55
G113-1	56
G106-1	56
G107-1	57
G113-1	58
G107-2	59
G106-1	60

PROVIDE EXTERIOR DOOR GRAPHICS AT ALL EXTERIOR DOORS PER G1.02 - LIFE SAFETY PLAN

- 2 1/2" TALL HELVETICA VINYL LETTERING ON CONTRASTING BACKGROUND OF 8" X 8"
- COORDINATE WITH CITY FIRE MARSHAL FOR FINAL DETAILS OF EXTERIOR DOOR GRAPHICS

1 EXTERIOR DOOR GRAPHICS
 3" = 1'-0"

