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ADDENDUM NO. 04

Date of Issuance: January 7, 2025

Project: **2024 Jersey Village High School Renovation**
 Cypress-Fairbanks Independent School District

Issued by: Texas Arcadis Inc.
 P.O. Box 891209
 Houston, Texas 77289
 281-286-6605

Texas Arcadis Inc.
 Project No.: 202319

Prepared for: Prospective Proposers

2025-01-07

PART A: NOTICE TO PROPOSERS:

1. Receipt of this Addendum shall be acknowledged on the Proposal Form. Failure to do so may subject Proposers to disqualification. Each proposer shall make necessary adjustments and submit his proposal with full knowledge of all modifications, clarification, and supplemental data included therein.
2. This Addendum forms part of the Contract Documents and shall be incorporated integrally therewith. Where provisions of the following supplemental data differ from those of previously issued documents, this Addendum shall govern.
3. The following Contract Documents have been issued to date delineating the Work (Project).

Contract Documents	December 16, 2024
Addendum No. 01 (Arch)	December 20, 2024
Addendum No. 02 (MEP)	December 20, 2024
Addendum No. 03 (Struct)	January 7, 2025
4. This Addendum consists of: Five (5) 81/2x11 written pages, eight (8) 8-1/2x11 pages Spec Section(s) 01 10 00, 01 21 00, and 08 95 43, and fourteen (14) full-size New or Re-issued Sheets / Drawings as described in PARTS E and F below; as prepared by Texas Arcadis Inc. Total pages: Twenty (20).

PART B: GENERAL PROJECT CLARIFICATIONS

5. **Abatement Walk #3**
a. ***We highly encourage Proposers and Abatement Subcontractors to attend Abatement Walk #3 at the Jersey Village High School on Jan. 9, 2025 Thursday at 3:00pm. Please meet at the front entrance to the school at that time. For asbestos information, contact EFI (Kenneth Capps: Kenneth.capps@efiglobal.com 346-348-4991)***

PART C: CHANGES TO PRIOR ADDENDUM

6. None

PART D: CHANGES TO THE PROJECT MANUAL

7. Table of Contents
a. Add Section 01 21 00 – Allowances..... 1-2
b. Add Section 08 65 43 – Flood Vents..... 1-2
8. Form AA – Request for Competitive Sealed Proposals
a. Page 1, Site Visit: Add the following:
Abatement Subcontractor Walk No. 3: Thursday, January 9, 2025 at 3:00 PM Proposers and Abatement Subcontractors are highly encouraged to attend.
9. Section 01 10 00 – Summary of Work
a. Replace this section in its entirety (4 pages).
10. Section 01 21 00 – Allowances
a. Add this section in its entirety (2 pages).
11. Section 08 33 23.13 – Overhead Coiling Perforated Slat Doors
a. Page 02, Part 2, Article 2.2, Paragraph B, Subparagraph 01, Item a. Revise slat material to be 16-gauge in lieu of 22 gauge.
b. Page 03, Part 2, Article 2.2, Paragraph B, Subparagraph 04. Add the following:
04 Bottom Bar: Extruded aluminum tubular section, minimum 3-3/8 inch height **up to 21'-5" wide; double aluminum angles over 21'-5" wide.** Finish to match curtain.
c. Page 03, Part 2, Article 2.2, Paragraph C, Subparagraph 03. Replace subparagraph as follows:
Guides: Constructed of minimum 3/16" aluminum angles, bolted together to form guide gap.
d. Page 03, Part 2, Article 2.2, Paragraph E:
i. Revise as follows:
E. **Hood & Fascia (coil above ceiling): 0.040 inch aluminum with reinforced top and bottom edges Minimum 24-gauge galvanized steel. Reinforced to prevent hood deflection.**
ii. Remove subparagraphs 03 and 04 in their entirety.
e. Page 03, Part 2, Article 2.2, Paragraph F: Remove this paragraph in its entirety.

12. Section 08 95 43 – Flood Vents
 - a. Add this section in its entirety (2 pages).
13. Section 09 51 13 – Acoustic Tile Ceilings
 - a. Page 04, Part 2, Article 2.3, Paragraph B, Subparagraph 12: Add “and at Press Box” to end of sentence.
14. Section 09 65 83 – Weight Room Flooring
 - a. Page 03, Part 2, Article 2.2, Paragraph A, Subparagraph 07: Add item a to read:
 - a. Reducer to be ADA complaint at door locations.
15. Section 12 21 13 – Horizontal Louver Blinds
 - a. Page 01, Part 1, Article 1.1, Paragraph B, Add Subparagraph 03 to read:
03 Provide horizontal blinds at all windows where glazing is being replaced.
 - b. Page 03, Part 3, Article 3.2, Paragraph A, modify as follows:
 - A. Install blinds at all new interior and exterior windows **and at existing frames where glazing** is being replaced under 10 feet (with the exception of doors), and other locations scheduled or noted on the drawings in accordance with manufacturer's installation procedures, except as otherwise specified herein.

PART E: CHANGES TO THE DRAWINGS

16. Sheet C0.02 – AREA '2' SITE DEMO PLAN
 - a. Add note to refer to civil for track resurfacing and turf replacement scope.
17. Sheet C0.05 – AREA '5' SITE DEMO PLAN
 - a. Remove existing ornamental fencing and store for reinstallation after construction
 - b. Add keynote 23 to KEYNOTES - SITE PLAN – DEMO
18. Sheet C1.02 – AREA '2' SITE PLAN
 - a. Add notes to refer to civil for track resurfacing and turf replacement scope.
19. Sheets A0.08 - Area 'H1' 1st Floor Demo Plan
 - a. Included note for tile flooring demo at Commons H110:
“SELECTIVE FLOORING DEMOLITION AND PREP: REFER TO FLOOR FINISH PLANS AND FLOOR PATTERN DETAILS FOR SCOPE.”
20. Sheets A2.01 through A2.24 Floor Plans
 - a. Add the following to the GENERAL PLAN NOTES:
25. Install new cementitious fireproofing at all locations where fireproofing was abated.
21. Sheet A2.09 – Area 'J1' 1st Floor Plan
 - a. At doors J123-1, J123-2, and J126-1, add note to read “Cut door bottoms as required to accommodate thicker weight room flooring. If doors cannot be cut, provide new to match existing.”
22. Sheet A2.13 – Area 'N1' 1st Floor Plan
 - a. Revise room N118 note to “Specialty Photo Hanging Cabinet”. Add casework tg“27/A8.03” for spcialy photo hngng cabinet.elevation and details

23. Sheet A2.30 – Window Schedules
 - a. Revise windows G111-1 and G112-1 frame material to be “H.M.”.
24. Sheet A7.02 – Interior Elevations
 - a. Add tile pattern with TW-1A tile at drinking fountain elevations 5 and 6.
25. Sheet A8.00 – Casework Sections
 - a. Revise casework elevation and section, Casework - CSK “T433” to reference casework elevations for number of vertical slots @ equal spaces.
26. Sheet A9.01 – Frame Elevation and Opening Details
 - a. Revise window types “7”, “9”, “11” and “12” conditions to “H.M. @ MAS”.

PART F: RE-ISSUED SHEETS

27. Sheet C1.05 – AREA ‘5’ SITE PLAN
 - a. Provide two (2) new portables, new wood decking, ramps, stairs and canopy
 - b. Provide new ornamental security fencing to match existing
 - c. Add keynote 4, 14, 57, 58 to KEYNOTES - SITE PLAN
28. Sheet C1.07 – Metal Storage Building
 - a. Adjust crop view of detail 1/C1.07.
 - b. Move text ‘NEW 6’ C.L. GATE’.
 - c. Remove details 27 & 28, relocate to sheet C1.12.
 - d. Make entire wall same material elevation 14/C1.07.
 - e. Text leader arrow clarification detail 16/C1.07.
 - f. Revise flood vents per reissued sheet.
29. Sheet C1.12 – Door and Window Schedule
 - a. Add comment “MOTORIZED EXTERIOR ROLLING SHUTTER” to ‘PS-SHUTTER-1’.
 - b. Add comment “OVERHEAD INSULATED COILING DOOR” to ST01-1.
 - c. Add door slab and frame information to door schedule.
 - d. Add window details 1-6, door elevations, window elevations, metal door elevations, and metal building frame elevations.
 - e. ‘PS-SHUTTER-1’ to be 5’-0” in height.
 - f. Add window/louver schedule for flood vents per reissued sheet.
30. Sheet C1.13 – Enlarged Site Plans
 - a. Remove casework, remove elevation tag 17/C1.13 from 1st floor plan.
 - b. Change text in details 7, 10, 12/C1.13 to read ‘GALV. STEEL STAIRS, GUARDRAILS AND HANDRAILS ENGINEERED AND PROVIDED BY METAL STAIR FABRICATOR’.
 - c. Remove door schedule, relocate to sheet C1.12.
 - d. Add room finishes to enlarged plan details 1/C1.13 & 2/C1.13.
 - e. Revise flood vents per reissued sheet.
 - f. Revise notes on engineered metal stair fabrication.
 - g. Revise pressbox millwork and counter per reissued sheet.
 - h. Revise accent band note at detail 10/C1.13 per reissued sheet.
 - i. Add light fixtures to RCP details.
31. Sheet A2.14 – Area ‘P1’ 1st Floor Plan
 - a. Revise room P104 OFF KIT – casework elevation and details

32. Sheet A7.03 – Interior Elevations
 - a. Include clarity for existing material at drawing 3.
 - b. Update tile pattern at drawing 7 and 11.
 - c. Change wall tile selection/pattern at drawing 16 and 17.
 - d. Include drawing 10 for typical serving line elevation with tile pattern.
33. Sheet A8.00A – Casework Sections
 - a. Add and Revise casework elevation and section, Casework - CSK “T431”. CSK “B260” per reissued sheet.
34. Sheet A8.01 – Casework Elevations and Details
 - a. Revise casework elevation and details, elevation P104 OFF KIT - S
 - b. Revise casework elevation and details, new elevation P104 OFF KIT – W
 - c. Revise casework elevation and details, elevation N118 CR PHOTO – S
35. Sheet A11.00 – Interior Finish Legend and Details
 - a. Incorporate finish changes to TF-4, TW-1A, TW1-B, TW-2, TW-4, TW-5 per reissued sheet.
36. Sheet A11.08 – AREA ‘H1’ – 1st Floor Finish Plan
 - a. Incorporate finish changes to Commons H110, Corridor H099, and Corridor H118 per reissued sheet.
37. Sheet A11.26 – Auxiliary Gym and Weight Room Floor Pattern
 - a. Add Weight Room floor finish pattern per reissued sheet.
38. Sheet A11.27 – 2nd Floor Corridors – Carpet Pattern
 - a. Update image resolution of carpet pattern with finish legend per reissued sheet
39. Sheet A11.28 – AREA ‘F2’ – Floor Pattern Details – Multi Floors
 - a. Incorporate flooring changes to Commons H110, Corridor H099, and Serving P101 on drawings 4 and 5 per reissued sheet.

PART G: NEW ISSUED SHEETS

40. Sheet C1.17 - Enlarged Site Plans - Portables
 - a. Issue new sheet in its entirety and provide scope of work.

END OF ADDENDUM NO. 04

SECTION 01 10 00
SUMMARY OF WORK



2025-01-07

CONDITIONS OF THE CONTRACT AND DIVISION 1, as applicable, apply to this Section.

PART 1 - GENERAL

1.1 DESCRIPTION OF WORK

A. Project, **2024 Jersey Village HS Renovation**, with campus locations at the following addresses:

- 7600 Solomon St., Houston, Texas 77040

for the Cypress-Fairbanks Independent School District.

B. The Project(s) consists of but is not limited to:
Various renovations, program additions, mechanical/electrical/plumbing upgrades and security enhancements to an existing high school.

Phasing: School is to remain operational throughout the construction process without interruption to the educational program. School holidays and summer breaks will need to be utilized to minimize the impact to students and teachers.

All renovation work shall be accomplished after school hours or during summer breaks. Any work performed after hours or on weekends must be completed before next school day.

C. Project Schedule:

Substantial Completion date:

1. Football Field Turf and Track: July 15, 2025
 - Work to begin June 1, 2025
2. Tennis Courts: September 15, 2025
 - Work to begin May 15, 2025
3. All Pressbox Work: December 31, 2025
 - Work to begin June 1, 2025
4. Entire Scope of Work: July 26, 2026
5. General phasing requirements refer to Part 3.1.B below.

1.2 CONTRACTS AND USE OF SITE

A. Contractor Use of Premises:

1. Confine operations at site to areas permitted by law, permits, and Contract Documents, or as required to maintain campus operations (as approved by Owner).
2. Do not unreasonably encumber site with materials or equipment. Refer to Contractor lay-down areas indicated on plans. If not indicated on plans provided, Contractor to submit for approval proposed Contractor designated areas, including but not limited to: lay-down, staging, parking, restroom, trailer, dumpster, field office, etc.
3. Assume full responsibility for protection and safekeeping of products stored on premises.
4. Obtain and pay for use of additional storage or work areas as needed for operations.
5. Contractor shall establish secured staging area for work and coordinate and provide for safe passage and exit from existing building areas during construction, in compliance with all applicable codes and requirements of Owner.
6. During phased construction, Contractor shall provide maps of building to Owner for each phase, showing construction area and impact to other areas of the building.

7. Contractor shall coordinate all construction activities with school district officials.
 8. Owner reserves the right to perform construction operations with its own forces or to employ separate contractors on portions of the Project. General Contractor shall coordinate with Owner-performed work in terms of providing site access, workspace, and storage space, cooperation of work forces, scheduling, and technical requirements.
 9. Noise Control: Contractor shall coordinate equipment locations and timing of work activities so as to avoid conflict with the building occupants and/or avoid interference with facility meetings, events, or other activities.
 10. Utilities. The contractor is to coordinate all utilities permanent and temporary and make arrangements for installation for any service easements once the Owner provides information that a blanket or final easement exists.
 11. During the summer of 2025, the City of Jersey Village will be carrying out roadwork on Solomon Street, which could potentially restrict or limit access from this street. The contractor shall coordinate with the City to minimize disruptions while the roadwork is taking place.
 12. Project Fencing:
 - a. Upon mobilization, the contractor shall build a wire mesh fence (or other type) as directed by Owner, at least six (6) feet high as shown on site plan and/or discussed during the pre-construction meeting.
 - b. Site fencing shall include emergency service and trucking gated in locations shown on the site plan and/or discussed during the pre-construction meeting.
 - c. Contractor shall properly maintain fencing and gates until Substantial Completion and only remove with concurrence from the Owner.
- B. Owner Occupancy:
1. Refer to AIA Document A201™-2017, as amended.
- C. Owner-Furnished/Owner-Installed Items:
1. The Owner reserves the right to place and install equipment in construction areas of the building prior to Substantial Completion, provided that such occupancy does not interfere with completion of the Work. Such placing of equipment shall not constitute acceptance of the total Work. Contractor shall protect Owner's property.
- D. Owner-Furnished/Contractor-Installed Items:
1. The Owner may provide items to the Contractor for installation in accordance with manufacturer's recommendation and instructions.
 2. The Owner will arrange and pay for delivery of Owner-furnished items in accordance with the Contractor's Construction Schedule and will inspect deliveries for damage.
 3. If Owner-furnished items are damaged, defective or missing, through no fault of the Contractor, the Owner will arrange for replacement.
 4. The Contractor is responsible for designating the delivery dates of Owner-furnished items in the Contractor's Construction Schedule and for receiving, unloading and handling Owner-furnished items at the site. The Contractor is responsible for protecting Owner-furnished items from damage, including damage from exposure to elements, and to repair or replace items damaged as a result of his operations.

PART 2 - PRODUCTS

2.1 MATERIALS

- A. Refer to Specification Sections.

PART 3 - EXECUTION

3.1 CONSTRUCTION SCHEDULE

A. GENERAL DESCRIPTION OF WORK TO BE PERFORMED UNDER THIS CONTRACT

The Work to be performed under this contract shall commence on Notice to Proceed and shall be Substantially Complete as stipulated by AIA Document A101™-2017, as amended.

B. GENERAL CONSTRUCTION PHASING REFERENCING CFISD NEEDS BELOW, SHALL BE INCORPORATED INTO THE CONTRACT, INCLUDING BUT NOT LIMITED TO:

Kitchen Scope:

- Work to begin January 1, 2026
- Prior to work beginning the temporary building must be in place and occupiable.
- Prior to work beginning temporary mobile freezer/cooler must be complete and operational.
- New fashion lab, new classroom and new restrooms at side commons shall not begin until June 1, 2026.

For the summer of 2025:

- Contractors may take over the building June 2, 2025.
- All athletic areas are to remain fully occupiable for the duration of the summer. Any work in the athletic areas will need to be coordinated with the campus. For gym work, only one gym can be under construction at any given time.
- All athletic, fine arts, dance, and cafeteria areas must be fully occupiable no later than July 15, 2025.
- The balance of the building shall be fully occupiable and turned back over to the district no later than July 27, 2025.
- Occupiable includes, but is not limited to, all life safety, MEP, architectural finishes in place, clean, and functioning as intended.
- Only work that can be removed and re-installed by these dates shall be performed during the summer.
- No partially complete work will be allowed after these dates unless approved in advance by the Owner.
- After these dates, all work shall be performed after hours, nights and weekends, while fully coordinating with the campus.

For the summer of 2026:

- Contractors may take over the building June 1, 2026.
- All athletic areas are to remain fully occupiable for the duration of the summer. Any work in the athletic areas will need to be coordinated with the campus. For gym work, only one gym can be under construction at any given time.
- All athletic, fine arts, dance, and cafeteria areas must be fully occupiable no later than July 15, 2026.
- The balance of the building shall be **SUBSTANTIALLY COMPLETE**, fully occupiable, and turned back over to the district no later than July 26, 2026.
- Occupiable includes, but is not limited to, all life safety, MEP, architectural finishes in place, clean, and functioning as intended.
- Only work that can be removed and re-installed by these dates shall be performed during the summer.
- No partially complete work will be allowed after these dates unless approved in advance by the Owner.
- After these dates, all work shall be performed after hours, nights and weekends, while fully coordinating with the campus.

Furniture Campus

This campus is receiving new student and administrative furniture via separate contract. However, General Contractor to comply with the following:

General Contractor to coordinate with CFISD and CFISD's vendor to provide interior and exterior clear unobstructed paths and access points for deliveries, product staging, product assembly, setup and disposal.

These areas must be available no later than July 15, 2025 and July 15, 2026 respectively.

- Delivery points will be accessible, clear and drivable by numerous eighteen wheeler trucks over a period of several weeks at middle and high schools.
- Staging/assembly areas include but are not limited to commons cafeteria, gyms, large group instruction, larger hallways (not impeding HCFMO fire egress), etcetera.
- Phased installation may include but not be limited to first setting up administration areas then academic classrooms, and finally ancillary support spaces last possibly spilling over from Summer into Thanksgiving week, Winter Break and Spring Break week if necessary
- As a guide, it is anticipated middle school furniture requires 2-3 weeks and high schools 3-4 weeks for phased installations.

New Fire Alarm System

Existing fire alarm system to be replaced with all new system for the entire building including the addition(s). Existing fire alarm system to remain fully operational and monitored for the duration of the project until the new fire alarm system is inspected and approved by AHJ. Once new system is inspected and approved, all components associated with existing fire alarm to be fully removed. Refer to specification and drawings.

END OF SECTION

SECTION 01 21 00

ALLOWANCES

CONDITIONS OF THE CONTRACT AND DIVISION 1, as applicable, apply to the Section.

PART 1 – GENERAL

Refer to Document AB for Substitutions of Materials and Equipment



2025-01-07

1.1 CONDITIONS

- A. ALLOWANCES shall be included in the Contract sum as specified within this Specification Section in paragraph 3.1 below. These sums shall be reconciled as per AIA Document A201™-2017, as amended.
- B. Where allowances are for materials only, the cost of delivery to the job site may be funded from such allowance.
- C. Allowances are hereby established for the items in the amounts listed below. If any items exceed the amount listed, such excess cost shall be paid by the Owner. If any items cost less than the amount listed, the Owner shall be given a credit in the amount of the difference. Costs of items listed below are to be net costs to the General Contractor or Subcontractor, whichever makes the direct purchase.
- D. The Contractor shall include in the Contract Sum all allowances stated in the Contract Documents. These allowances shall cover the net cost of the materials and equipment delivered and unloaded at the site, and all applicable taxes.
 - 1. The Contractor's handling costs on site, labor, installation cost, estimating, labor burden, overhead, profit and other expenses contemplated for the original allowances shall be included in the Contractor's Sum and not in the allowance. Subcontractor and sub-subcontractor markups are allowable as provided in AIA Document A201™-2017, as amended.
 - 2. The Contractor shall cause the work covered by these allowances to be performed for such amounts and by such persons as the Architect may direct, but he will not be required to employ persons against whom he makes reasonable objection.
 - 3. The cost, when determined, is more than or less than the allowance, the Contract Sum shall be adjusted accordingly by Change Order which may include additional handling costs on the site, labor, installation costs, overhead, profit, cleaning, as-builts, standard warranty, cost to update electronic record documents and other expenses resulting to the Contractor from any increase over the original allowance if approved.
- E. Contractor shall proceed with the work in question only after receiving written directions executed by the Owner and the Architect. Owner will not be obligated to pay the cost of any work without prior authorization. This written directive shall consist of Owner's representative and Architect's signature on Change Proposal Request document submitted by General Contractor with any applicable amendments if required indicating such approval. The Architect and Owner shall respond in a timely manner to document approved Change Proposal Request (CPR) expenditures and credits from such allowances within the contract. The Contractor may request payment for such approved expenditures only upon completion of the work and the completion of a fully executed CPR formally documenting allowance expenditure credits. The Contractor's overhead and profit relative to these allowance sums and work performed in accordance herewith, shall be included in the total Proposal prices, thus not included in the allowance sum. Unexpended balance of allowance sums shall revert to the Owner by Change Order in the final settlement of the contract.

PART 2 - PRODUCTS

Not Used

PART 3 - EXECUTION

3.1 ALLOWANCES

- A. Owner's Betterment Allowance: \$5,152,000.00
1. Contractor shall include the amount indicated above in his Base Proposal as a contingency to cover the cost of additional scope of work. Contractor shall proceed with the work in question only after receiving written directions executed by the Owner and the Architect. Owner will not be obligated to pay the cost of any work performed without prior written authorization. The Contractor's overhead and profit relative to this contingency sum and work performed in accordance herewith, shall be included in the total Base Proposal price, but not included in the contingency sum. Unexpended balance of contingency sums shall revert to the Owner via Change Order during project closeout. Other scopes to be funded from this allowance may include, but are not limited to:

- Furniture Moving and Relocation
- TDLR Allowance
- Building Controls
- Emergency Radio Testing
- Promethean Board Moving & Storage
- ACM Abatement
- MUD/Utility Charges
- Supergraphics
- Slab Moisture Testing and Mitigation
- Baseball Press Box Reinforcement
- Weightroom moving & relocation
- Fire Marshall Items
- Existing Masonry Repairs
- Artificial Turf Replacement at Football Field
- Tennis Courts

END OF SECTION

SECTION 08 95 43

FLOOD VENTS



CONDITIONS OF THE CONTRACT, SUPPLEMENTARY CONDITIONS AND DIVISION 1 APPLY TO THIS SECTION.

PART 1 - GENERAL

1.1 DESCRIPTION

- A. Refer to Section AB – Instructions to Proposers for substitutions.
- B. Scope of Work:
 - 01 Provide flood vents at Pressbox and Athletic Storage as indicated on the drawings
- C. Related Work:
 - 01 Section 04 20 00 – Unit Masonry
 - 02 Section 07 42 13 – Metal Wall Panels
 - 03 Section 07 92 00 - Joint Sealants
 - 04 Section 13 34 19 – Metal Building Systems

1.2 SUBMITTALS

- A. Review and comply with all provisions of Section 01 33 00 – Submittal Procedures.
- B. Product Data: Submit manufacturer's literature, product data, certifications and supporting information for all products proposed to be furnished, as necessary to demonstrate compliance with the specified requirements.
- C. Shop Drawings: Submit complete Shop Drawings consisting of design, fabrication and erection / installation of proposed assemblies.
 - 01 Show profiles, sizes, spacing and locations of assembled components.
 - 02 Show details of shop fabrications, connections and details.
 - 03 Show details of field fabrications, connections and details.
- D. Installation Instructions: Submit manufacturer's complete installation instructions, including fastening, for all products and / or assemblies proposed to be furnished.
 - 01 Installation details submitted for review shall be specific to the Work of this Contract and accurately depict interface within the assembly(s) indicated on the Drawings.
 - 02 Generic details that do not depict actual conditions shall not be acceptable.
- E. Color / Finish Samples:
 - 01 Provide two (2) samples of each finish for selection by the Architect.
 - 02 Finish samples shall be provided of / on actual material; paper or digital samples shall not be accepted.
 - 03 Minimum size shall be 3" x 3" but must be large enough to convey attributes of the proposed product.

1.3 REFERENCES

- A. FEMA/FIA-TB 1-2008, Openings in Foundation Walls and Walls of Enclosures for Buildings Located in Special Flood Hazard Areas.
- B. International Code Council ICC-ES Acceptance Criteria for Automatic Foundation Flood Vents (AC-364). October 2007
- C. International Code Council ICC-ES Acceptance Criteria for Mechanically Operated Flood Vents (AC-364). October 2013.

PART 2 - PRODUCTS

2.1 ACCEPTABLE MANUFACTURERS

- A. Smart Vent Products, Inc

2.2 MATERIALS

- A. Flood Vent model to be Smart Vent Model #1540-520 (masonry wall installation), model #1540-270 (stud wall installation).
- B. Flood Vent to be certified by ICC-ES for 200 square feet of flood coverage.
- C. Construction to be from Marine Grade Stainless Steel and designed for installation into concrete masonry units and stud walls. Provide wood blocking between girts at athletic storage as required for installation.
- D. Insulated door R-value to meet or exceed 8.
- E. Size: 16 inches W by 8 inches H.
- F. Flood Vent to have a pivoting insulated door assembly fitted with sealed floats that automatically release the bi-directional door upon contact with rising water.
- G. Provide installation clips and adjustable sleeve trim.
- H. Sub-Sill Flashing:
 - 01 All flood vents shall be furnished with continuous sub-sill flashing, spanning the full width of the rough opening.
 - 02 Sub-sill flashing shall be minimum 0.065" aluminum with integral (turned up) end dams and back dams. Minimum height of dams shall be 1/2".
 - 03 Open vertical joint at end dam / back dam junction shall be TIG welded continuous to form a seamless dam component directing any / all trapped water to outside of building.
 - 04 Finish of sub-sill flashing shall match flood vent finish.

PART 3 - EXECUTION

3.1 INSTALLATION

- A. Install work of this Section in strict accordance with manufacturer's printed instructions.

END OF SECTION

- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING SITE CONDITIONS, DIMENSION, UTILITIES, ETC. WHERE NEW CONSTRUCTION JOINS EXISTING CONDITIONS. THE EXISTING CONDITIONS SHALL CONTROL. ALL DISCREPANCIES SHALL BE SUBMITTED TO THE ARCHITECT FOR CONSIDERATION BEFORE PROCEEDING W/ THE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING & MODIFYING EXISTING UTILITY LINES ABOVE & BELOW GRADE DURING THE ENTIRE CONSTRUCTION PERIOD, INCLUDING ALL NECESSARY TIES AND ELEVATION ADJUSTMENTS, RELOCATION OF ALL UTILITY POLES, LINES & OTHER EXISTING SERVICES. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED W/ THE WORK INCLUDING VERIFICATION & COORDINATION W/ THE APPROPRIATE AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING UTILITIES IMMEDIATELY TO INSURE NO INTERRUPTION OF SERVICE. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH APPROPRIATE AGENCIES ALL BURIED LINES THAT APPROACH THE CONSTRUCTION AREA.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, ACQUISITION OF ALL NECESSARY PERMITS, ETC. & IMPLEMENTATION OF THE STORM WATER POLLUTION PREVENTION PLAN W/ THE APPROPRIATE AGENCIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL VEGETATION, SHRUBS, TREES, ETC. INDICATED TO REMAIN FROM ALL CONSTRUCTION ACTIVITIES. DAMAGED LANDSCAPING SHALL BE REPLACED W/ LIKE MATERIALS AND SIZES AT THE DIRECTION OF THE ARCHITECT.
- THE OWNER HAS NEED TO OCCUPY THE FACILITIES DURING THE ENTIRE CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING W/ THE CONSTRUCTION AREA. NO DISRUPTIVE WORK WILL BE PERMITTED INSIDE THE FACILITY DURING SCHOOL HOURS. CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE CONSTRUCTION AREA CLEAN OF DEBRIS & EXCESSIVE DUST. CONTRACTOR SHALL BE RESPONSIBLE FOR IMMEDIATELY CORRECTING ANY INTERRUPTED USE TO THE FACILITY AT NO COST TO THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF ANY DAMAGE TO EXISTING FACILITY MATERIALS AT THE DIRECTION OF THE ARCHITECT & AT NO COST TO THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY & ALL MEANS OF SECURITY INSIDE & OUTSIDE REQUIRED & APPROVED BY THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY & ALL MEANS OF ACCESSING THE CONSTRUCTION AREA REQUIRED & APPROVED BY THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL & RESTORATION OF THE EXISTING AREA(S) UPON COMPLETION OF THE CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EXISTING UNDERGROUND STORM LINES DURING ALL CONSTRUCTION, INCLUDING NEW TIES-INS. CONTRACTOR SHALL REPAIR DAMAGE TO EXISTING SYSTEM (PIPE, GRATES, ETC) IMMEDIATELY TO INSURE NO INTERRUPTION. CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT SEDIMENT INFILTRATION & SHALL JET CLEAN ALL LINES AS NECESSARY UPON COMPLETION OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MODIFYING EXISTING SWALES AND/OR CREATING NEW TEMPORARY SWALES OR BERMS AS REQUIRED TO PROVIDE POSITIVE DRAINAGE AWAY FROM CONSTRUCTION AREA(S).
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE FOLLOWING AMERICANS W/ DISABILITIES ACT (A.D.A.) & TEXAS ACCESSIBILITY STANDARDS (T.A.S.) ACCESSIBLE ROUTE REQUIREMENTS.
 - *ACCESSIBLE ROUTE (PARKING LOT & WALKS):
 - *SLOPE SHALL NOT EXCEED 5% (50/11 FOOT)
 - *CROSS-SLOPE SHALL NOT EXCEED 2% (1/4" PER 1')
 - *ACCESSIBLE APPROACH TO EXTERIOR DOOR(S)
 - *IMMEDIATELY OUTSIDE OF DOOR & FOR A DISTANCE OF 5'-0" MIN. SHALL NOT EXCEED A SLOPE OF 2% (1/4" PER 1')
 - *MAXIMUM RISE AT THRESHOLD SHALL NOT EXCEED 1/2".
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CONCRETE WALKS AS INDICATED ON THE SITE PLAN & DETAILED ON THE DETAIL SHEET (EXPANSION JOINTS AT 20'-0" MAX. W/ CONTROL JOINTS AT 5'-0" MAX. & EQUAL SPACES). CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING JOINT LAYOUT W/ ARCHITECT IN THE FIELD PRIOR TO FORMING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING HYDROMULCH AT ALL LANDSCAPE & PLANNING AREA, ETC. DISTURBED DURING CONSTRUCTION & AT ALL AREAS NOTED AS FILL & GRADE, UNLESS NOTED OTHERWISE ON PLANS. PROVIDE TEMPORARY BARRICADE ALONG MAIN ACCESS PATHS TO BUILDING UNTIL SUCH TIME THE GRASS HAS STABILIZED THE FINISH GRADE.
- CONTRACTOR SHALL PROVIDE EXPANSION JOINTS AT THE PROPERTY LINE AT ALL DRIVES.
- CONTRACTOR SHALL GRADE ALL LANDSCAPE ISLAND TO AVOID WATER PONDING INSIDE OF CURBS.
- CONTRACTOR SHALL PROVIDE FILL & SOLID SOD AT 5'-0" MIN. FROM ALL CONSTRUCTION AREAS UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL REFER TO CIVIL DRAWINGS FOR ALL SITE GRADING & SUB-SURFACE DRAINAGE SYSTEMS, MODIFICATIONS TO EXISTING SYSTEMS AND UTILITIES.
- CONTRACTOR SHALL REFER TO PAVING SCHEDULE FOR THICKNESS OF SURFACES.
- ALL DIMENSIONS ARE TO EDGE OF WALK OR PAVING, BACK OF CURB, FACE OF BUILDING OR PROPERTY LINE, UNLESS NOTED OTHERWISE.
- PARKING LOT PAVING STANDARDS:
 - *TYPICAL PARKING LINE SHALL BE 4" WIDE x 18'-0" LONG PER STALL, UNLESS NOTED OTHERWISE.
 - *TYPICAL A.D.A. SYMBOL & LOADING AREA SHALL BE PER DETAIL ON DETAIL SHEET.
 - *TYPICAL FIRE LANE CURB SHALL BE OF APPROVED COLOR W/ STENCILED CONTRASTING GRAPHICS AT 50'-0" SPACING THAT READS: "FIRE LANE - NO PARKING - TOW AWAY ZONE"
- AT ALL FIRE LANE CURBS, PROVIDE FIRE LANE SIGNS, SIMILAR TO ACCESSIBLE SIGN ON C1.00, EXCEPT LOCATION EVERY 50'-0" O.C. ALONG FIRE LANE CURBS. SIGN TO READ: "FIRE LANE", "NO PARKING", "TOW AWAY ZONE". COORDINATE THE LOCATIONS IN THE FIELD W/ ARCHITECT.

DESCRIPTION	GRAPHIC	MATERIAL	REINFORCING
SIDEWALKS/ FLATWORK		4" THICK CONCRETE	#3 BARS @ 18" O.C. EACH WAY
STANDARD DUTY PARKING AREAS & DRIVES		5" THICK CONCRETE	#3 BARS @ 18" O.C. EACH WAY
MEDIUM DUTY PARKING AREAS & DRIVES		6" THICK CONCRETE	#3 BARS @ 18" O.C. EACH WAY
HEAVY DUTY PARKING AREAS, DRIVES & SERVICE YARDS		7" THICK CONCRETE	#3 BARS @ 18" O.C. EACH WAY
EXPANSION JOINT		REFER TO DWG 1/C1.10 & 3/C1.10	
CONTROL JOINT		REFER TO DWG 4/C1.10	

LEGEND - PAVING/ FLATWORK

1" = 1'-0"

- SIDEWALK EXPANSION JT., RE: C1.10, C1.11
- SIDEWALK CONTROL JT., RE: C1.10, C1.11
- WHEEL STOPS, RE: C1.10
- EXISTING PORTABLE
- REMOVABLE BOLLARD, RE: C1.10, C1.11
- 4" PAINT STRIPING
- TENNIS BLEACHER AND CANOPY, RE: C1.08
- DIRECTIONAL ARROW, RE: C1.10, C1.11
- ACCESSIBLE RAMP, RE: C1.10, C1.11
- NEW TENNIS COURT, RE: CS SHEETS
- LIGHT POLE, RE: ELECTRICAL DWGS.
- FIXED BENCHES - 12 FT LENGTH, RE: SPECS
- CAR ACCESSIBLE PARKING SPACES RE: C1.10, C1.11
- EXISTING ORNAMENTAL SECURITY FENCING TO REMAIN, PROTECT DURING CONSTRUCTION
- EXISTING LIGHT POLES
- RE-INSTALLED EXISTING LIGHT POLES
- SIDEWALK AT EXIST. COLUMN, RE: C1.10, C1.11
- NEW GATE, PROVIDE POST TO LOCK GATE IN OPEN POSITION, RE: C1.10, C1.11
- RESTRIPES PAVEMENT W/ 4" PAINT STRIPING TO MATCH EXISTING. EXISTING PARKING SPACE NUMBER MARKINGS TO REMAIN AND BE PROTECTED
- PAVEMENT TO BE RESTRIPE TO MATCH EXISTING AFTER PORTABLES ARE REMOVED. SEE NOTE 19.
- NEW SIDEWALK, RE: PAVING WALK SCHED.
- NEW PAVING, RE: PAVING WALK SCHED.
- NEW PRESSBOX STRUCTURE AND STAIRS
- RE-INSTALLED EXISTING SIGNAGE
- PROPOSED DETENTION POND RE: CIVIL
- PROPOSED DETENTION STRUCT WALL RE: CIVIL & CIVIL STRUCT.
- EXISTING DISCUS PAD TO REMAIN RE: CIVIL
- NEW DISCUS POLES AND NETTING (RE: CIVIL)
- PAVEMENT EXPANSION JT., RE: C1.10, C1.11
- PAVEMENT CONTROL JT., RE: C1.10, C1.11
- FIXED BOLLARD, RE: C1.10, C1.11
- NEW CONCRETE CURB
- CONC. PLATFORM / RAMP, RE: C1.10, C1.11
- ALUMINUM CANOPY SYSTEM, RE: C1.08 (RE: CIVIL FOR DRAINAGE TO STORM)
- NEW FIRE HYDRANT (RE: CIVIL)
- POLE MOUNTED "DCC" SIGN
- PAINTED FIRE LANE, RE: C1.10, C1.11
- PAINTED BAND LOT STRIPING AND FOOTBALL MARKINGS TO MATCH EXISTING. EXISTING PARKING SPACE NUMBER MARKINGS TO REMAIN AND BE PROTECTED
- 12" TACTILE SURFACE
- NEW SECURITY CAMERAS TO BE MOUNTED TO EXISTING POLES
- INLET DRAIN, RE: CIVIL DWGS.
- 6'-0" HIGH CHAINLINK DETENTION FENCE
- GC TO INSPECT AND COORDINATE EXISTING BASEBALL PRESSBOX STRUCTURE REINFORCEMENT (RE: STRUCT)
- FIRE EXTINGUISHER W/ CABINET
- EXISTING FIRE HYDRANT
- FDC INLET W/ FDC SIGNAGE
- FDC OUTLET W/ FDC SIGNAGE
- FIRE DEPT. LOCK BOX
- NEW POST, RE: C1.10, C1.11
- ACCESSIBLE RAMP (2 IN-LINE), RE: C1.10, C1.11
- COORD. IRRIGATION. PROVIDE SOD AND HYDROMULCH FOR PROTECT COMPLETION
- EXISTING ROOF OVERHANG (PROTECT)
- NEW METERS, VAULTS AND UTILITY LINES (RE: CIVIL)
- NEW ELEC. RE: MEP
- REMOVE FIRE HOSE INLET CONNECTION (RE: CIVIL)
- COORDINATE WITH DISTRICT CENTERPOINT ON NEW 48" X 48" SLAB FOR NEW GENERATOR. COORDINATE WITH DISTRICT ON PAPERWORK LEAD TIMES WITH CENTERPOINT FOR NEW GENERATOR. (RE: ELEC. DWGS & GAS)
- NEW PORTABLE. PROVIDE NEW WOOD DECKING, RAMPS, & STAIRS AS PART OF NEW LOCATION. PROVIDE NEW GALV. CANOPY, RE: SPECS. GC TO COORDINATE CONNECTIONS, RE: MEP
- NEW ORNAMENTAL SECURITY FENCING TO MATCH EXISTING. FENCING TO BE REMOVED AFTER PORTABLES ARE REMOVED

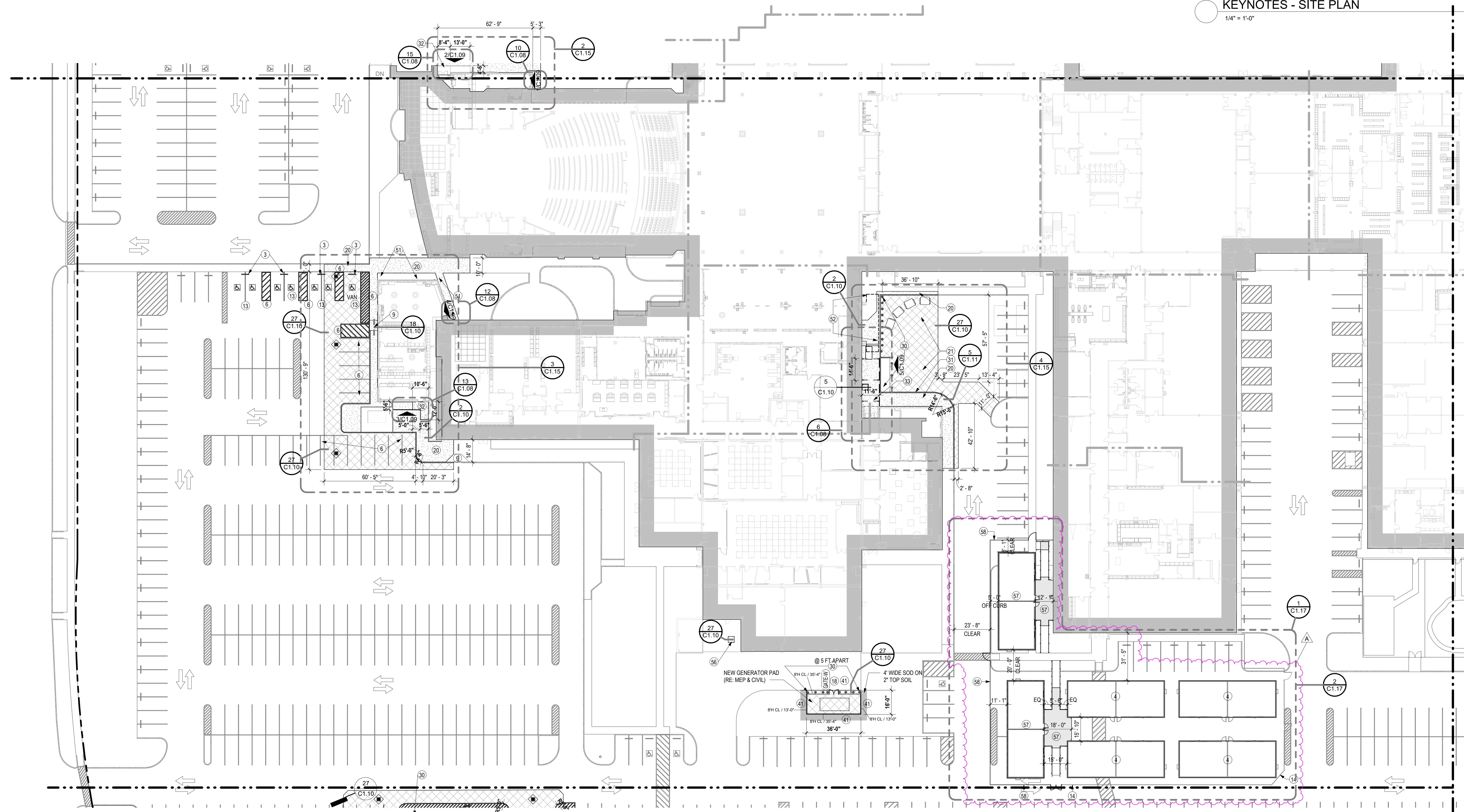
REFER TO ALL DISCIPLINES CONSTRUCTION DOCUMENTS FOR ALL OTHER SITE SCOPE ITEMS FOR CONTRACTOR COORDINATION (I.E. IRRIGATION, CIVIL, MEP, ETC.)

KEYNOTES - SITE PLAN

1/4" = 1'-0"

NOTES - GENERAL SITE PLAN

1/4" = 1'-0"



1 SITE PLAN - AREA '5'
1" = 30'-0"

CONSULTANTS

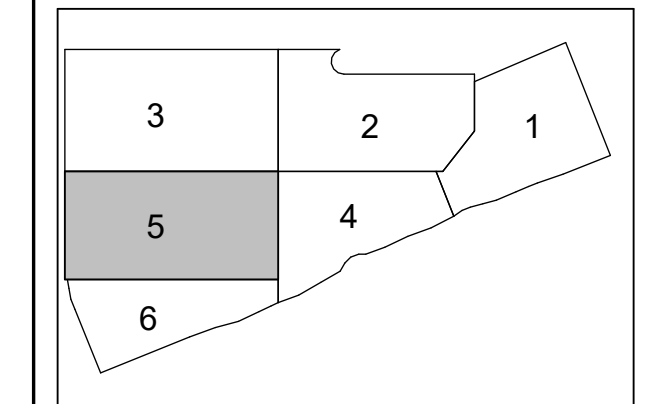
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REGISTERED ARCHITECT
STATE OF TEXAS

2024-12-16

PROJECT #: 202319
DATE: 2024-12-16
DRAWN: Author
CHECKED: Checker

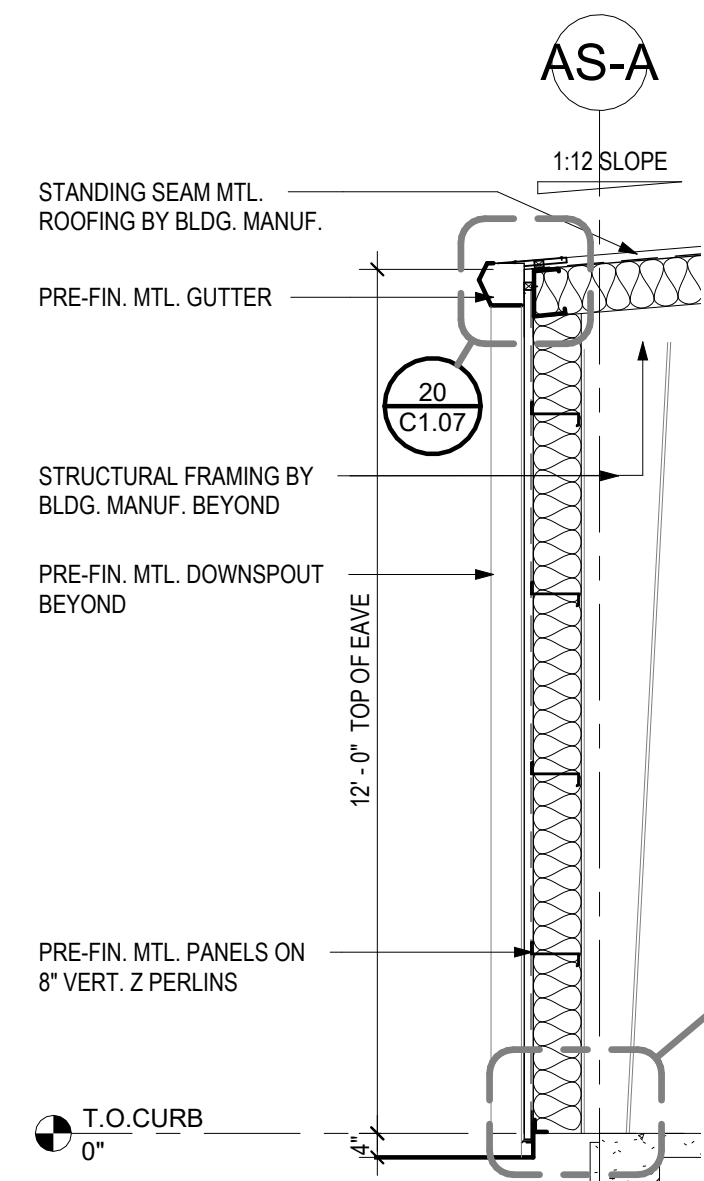
DATE: 2024-12-16
2024-01-07

ISSUE: PERMIT & PROPOSAL ADDENDUM 04
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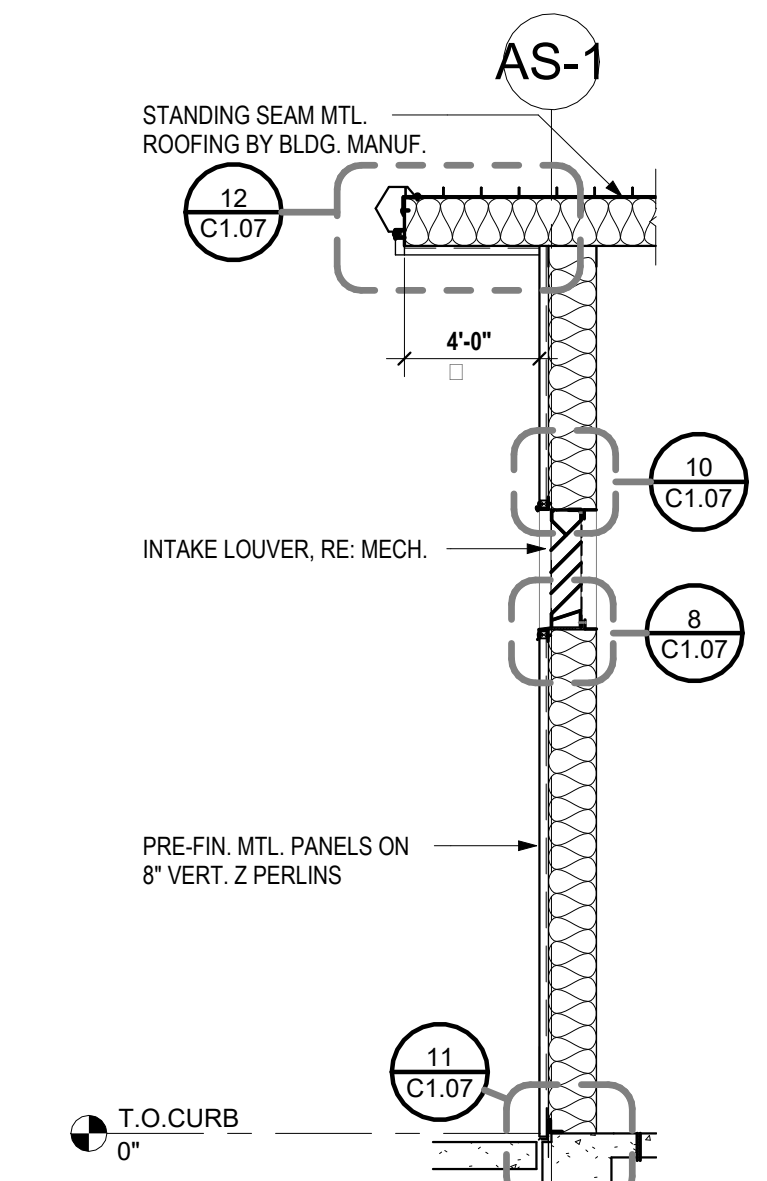
C1.05

AREA '5' SITE PLAN

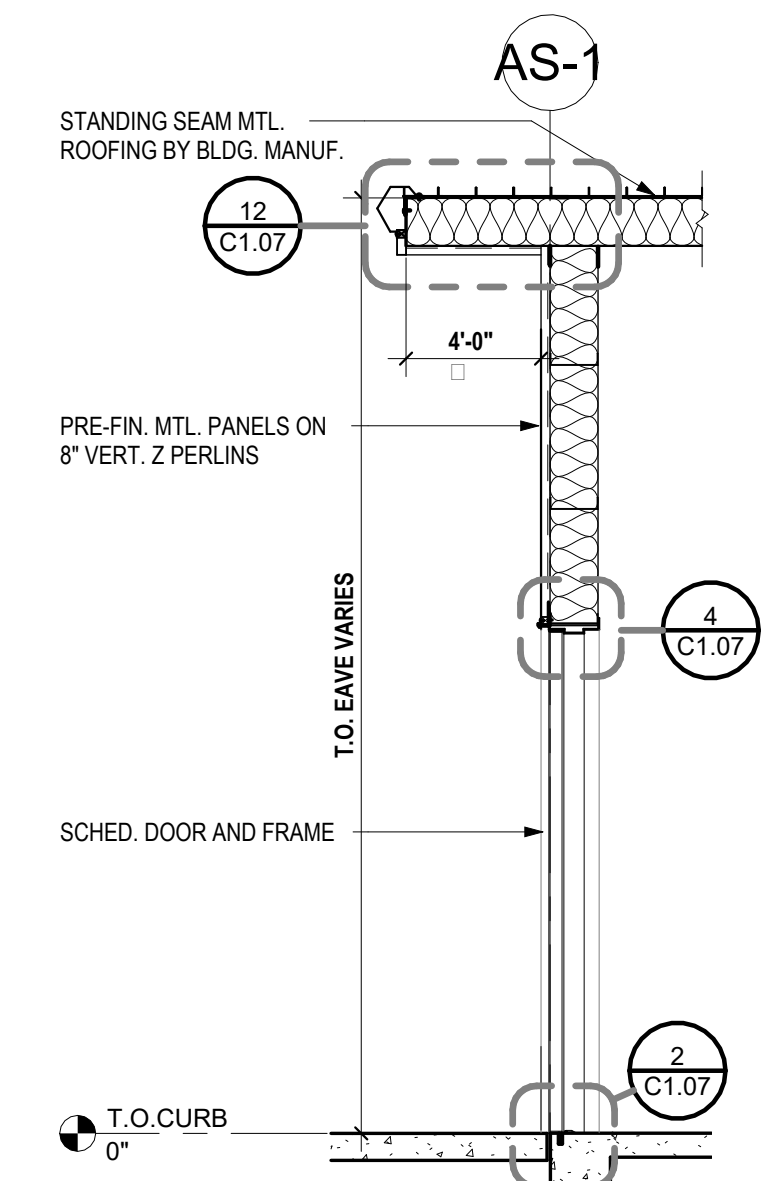
PLAN NORTH



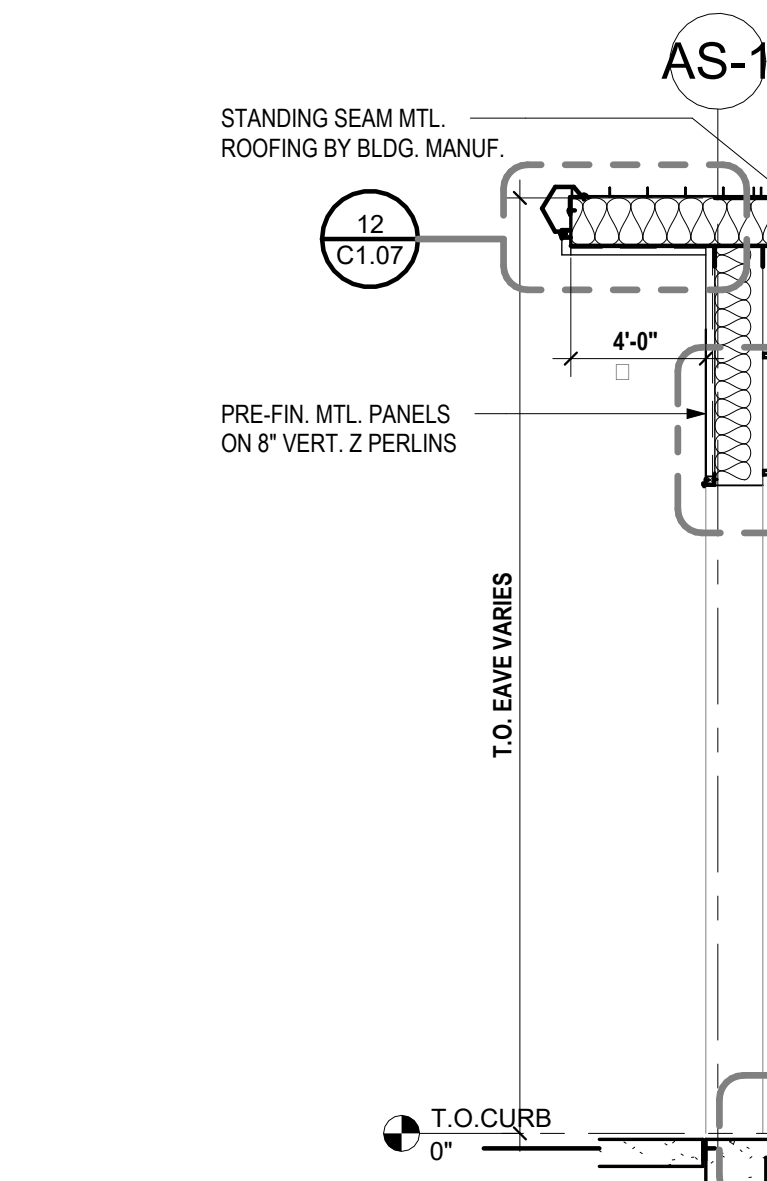
25 SECTION - N/S
3/8" = 1'-0"



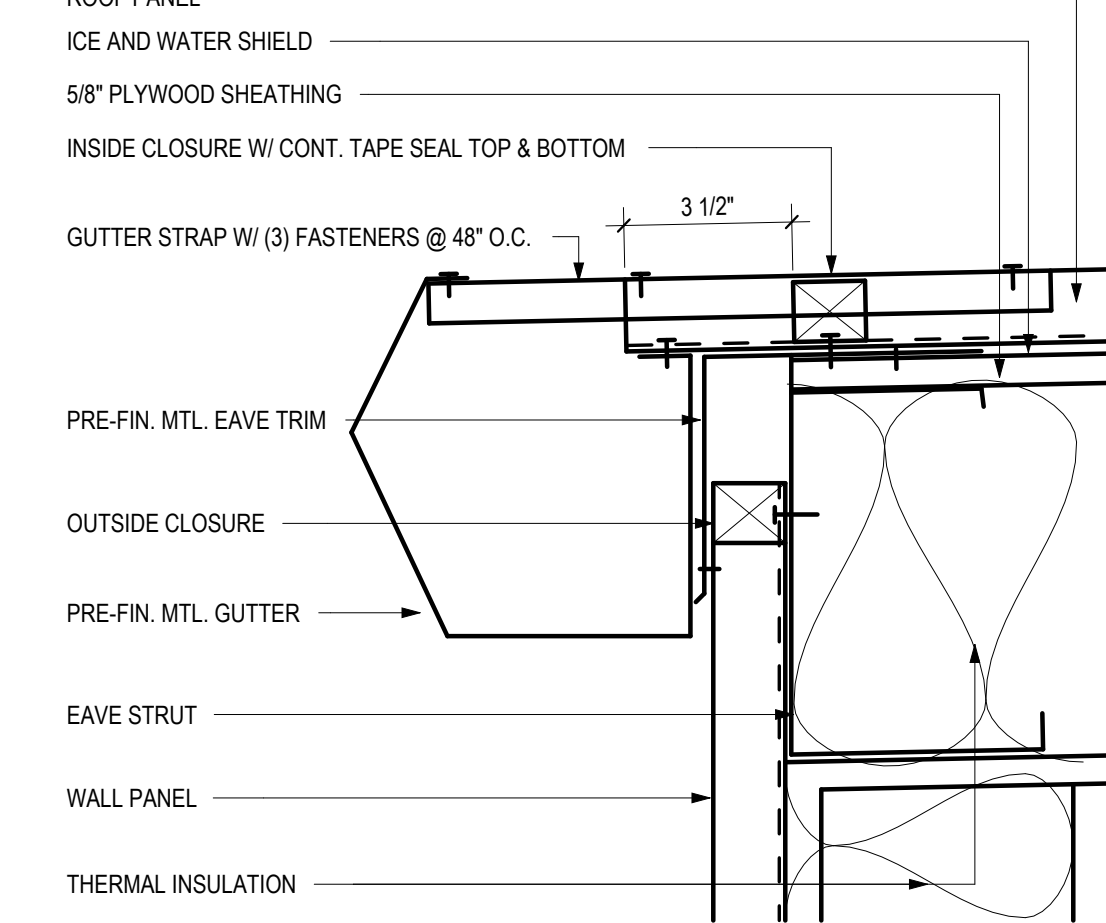
24 SECTION - W2
3/8" = 1'-0"



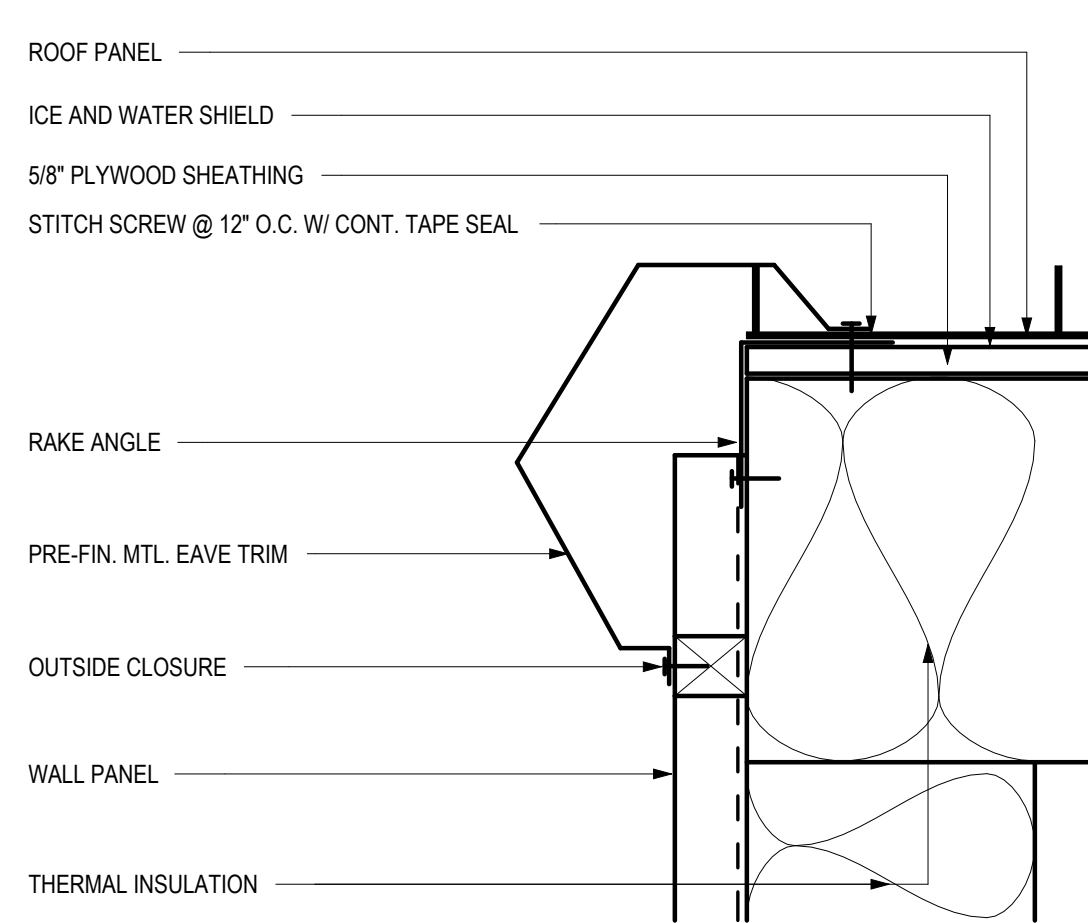
23 SECTION - W1
3/8" = 1'-0"



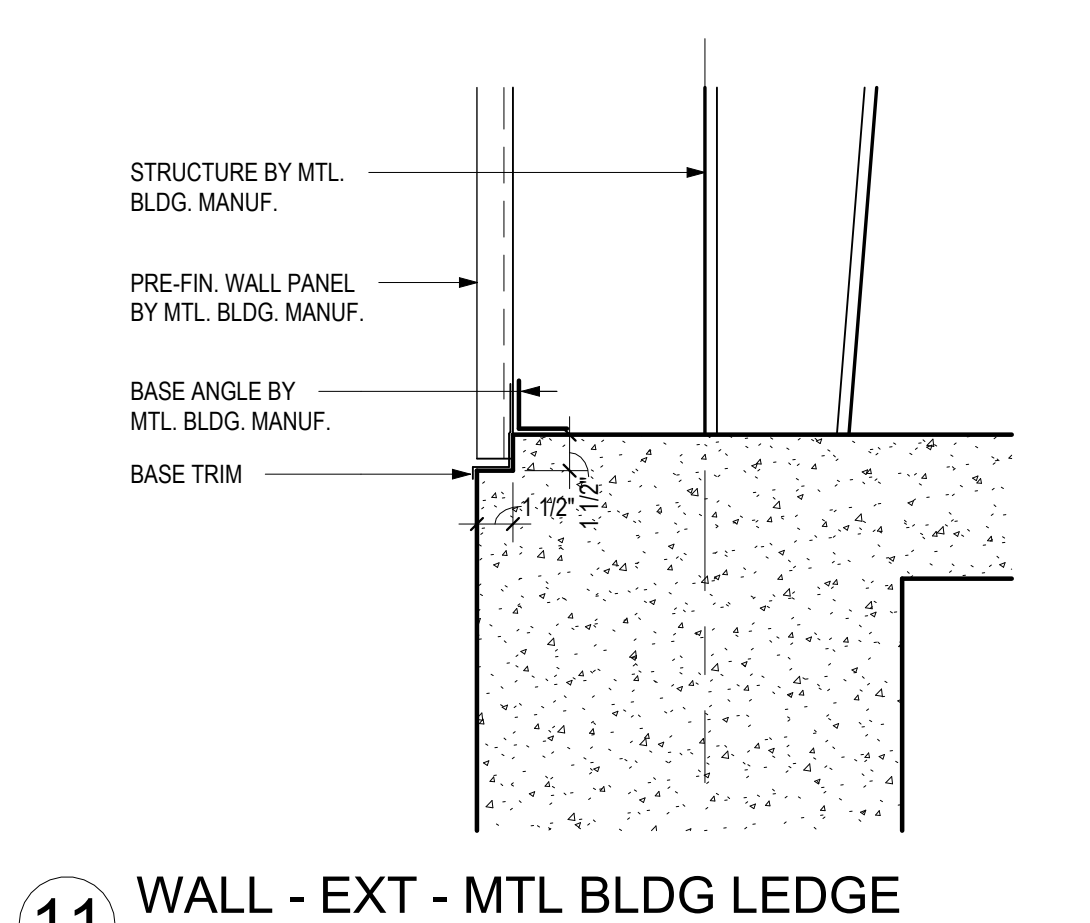
22 SECTION - W
3/8" = 1'-0"



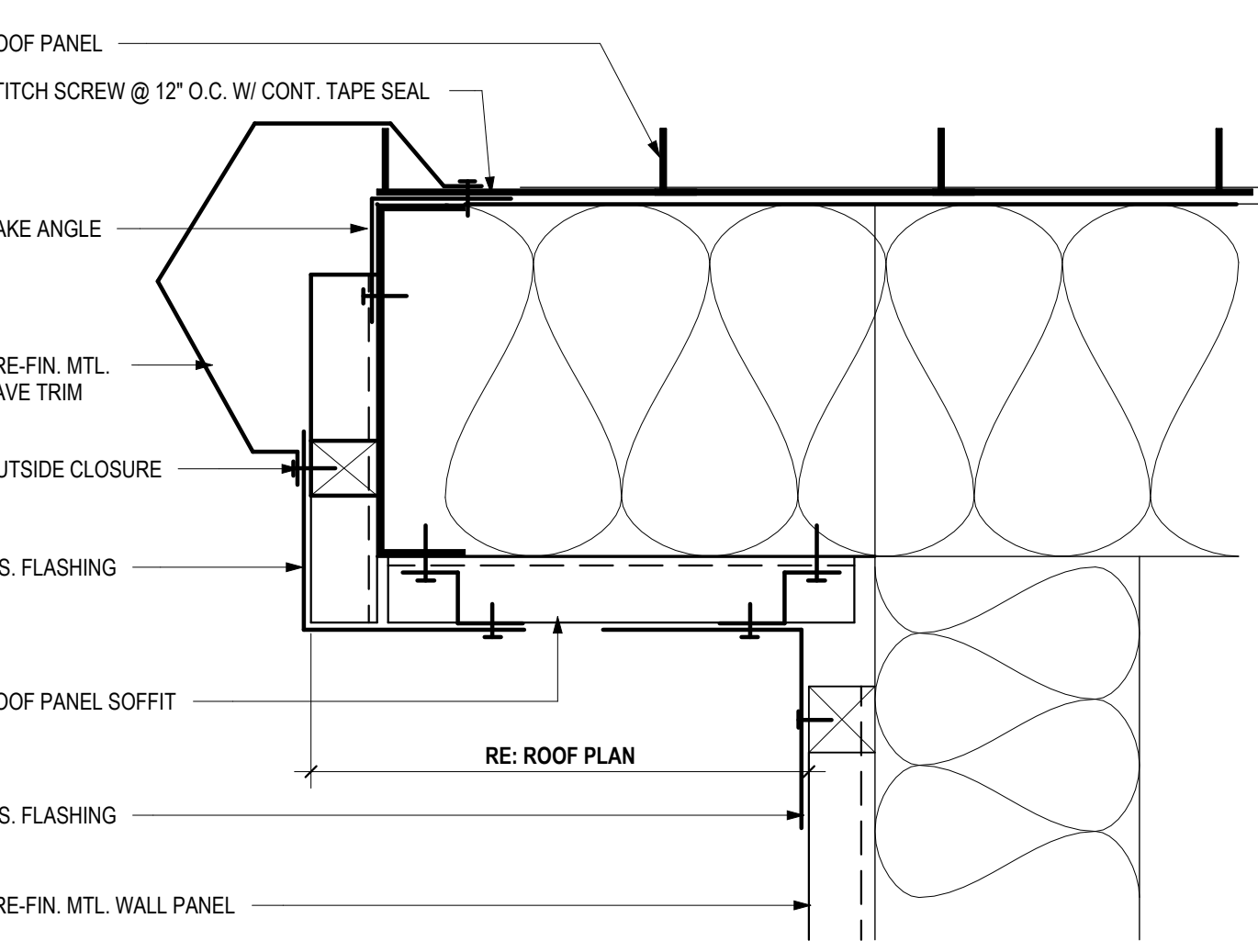
19 ROOF - MTL BLDG EDGE @ GUTTER
3" = 1'-0"



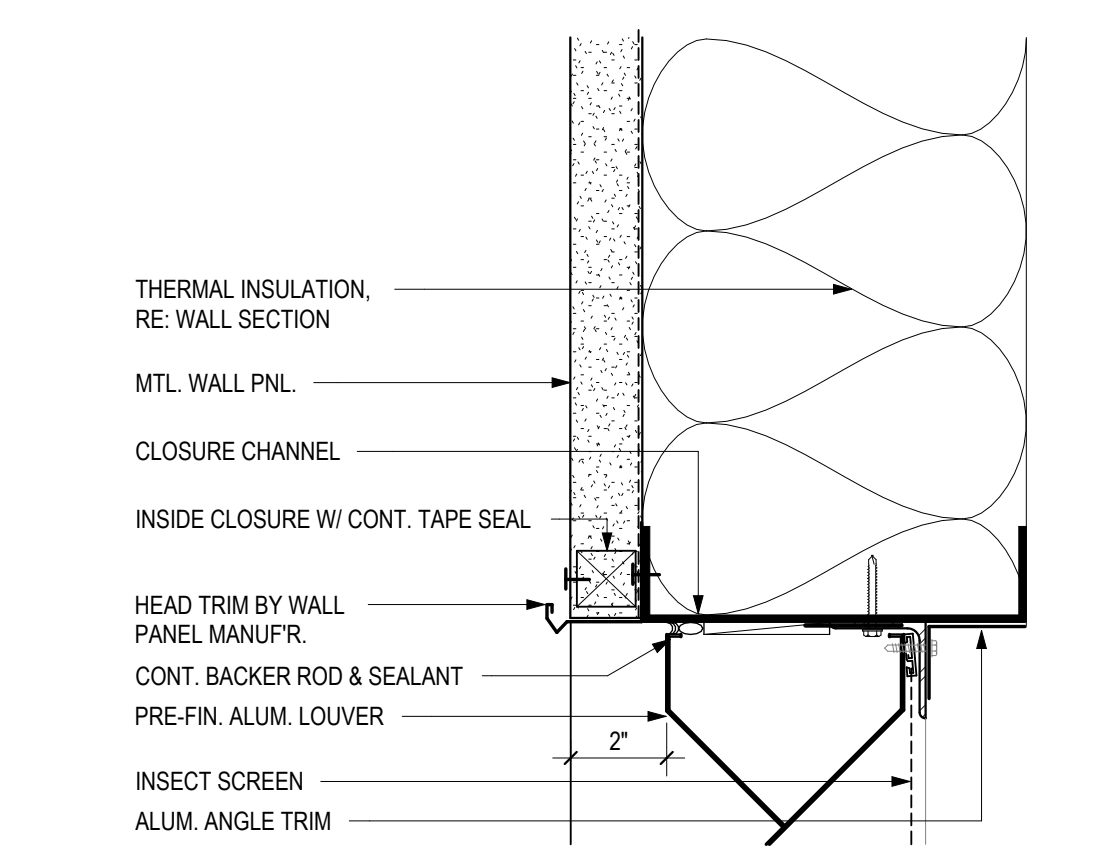
20 ROOF - MTL BLDG EDGE @ RAKE
3" = 1'-0"



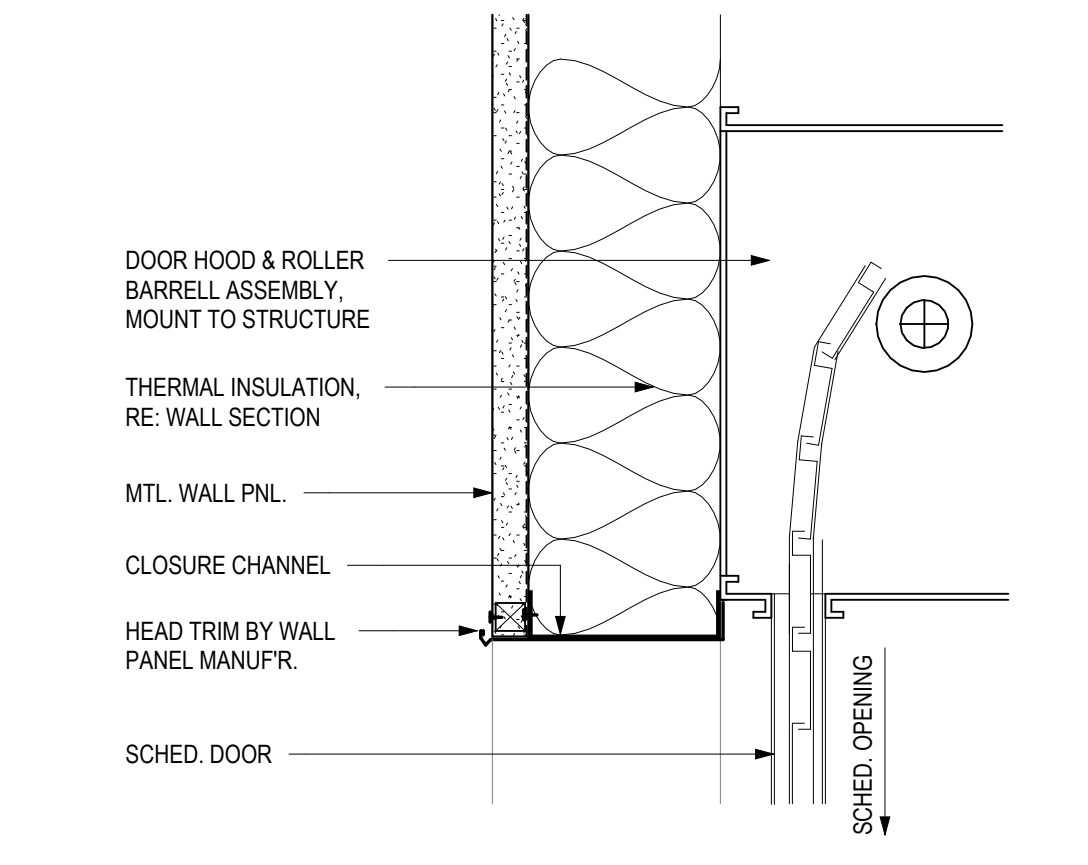
11 WALL - EXT - MTL BLDG LEDGE
1 1/2" = 1'-0"



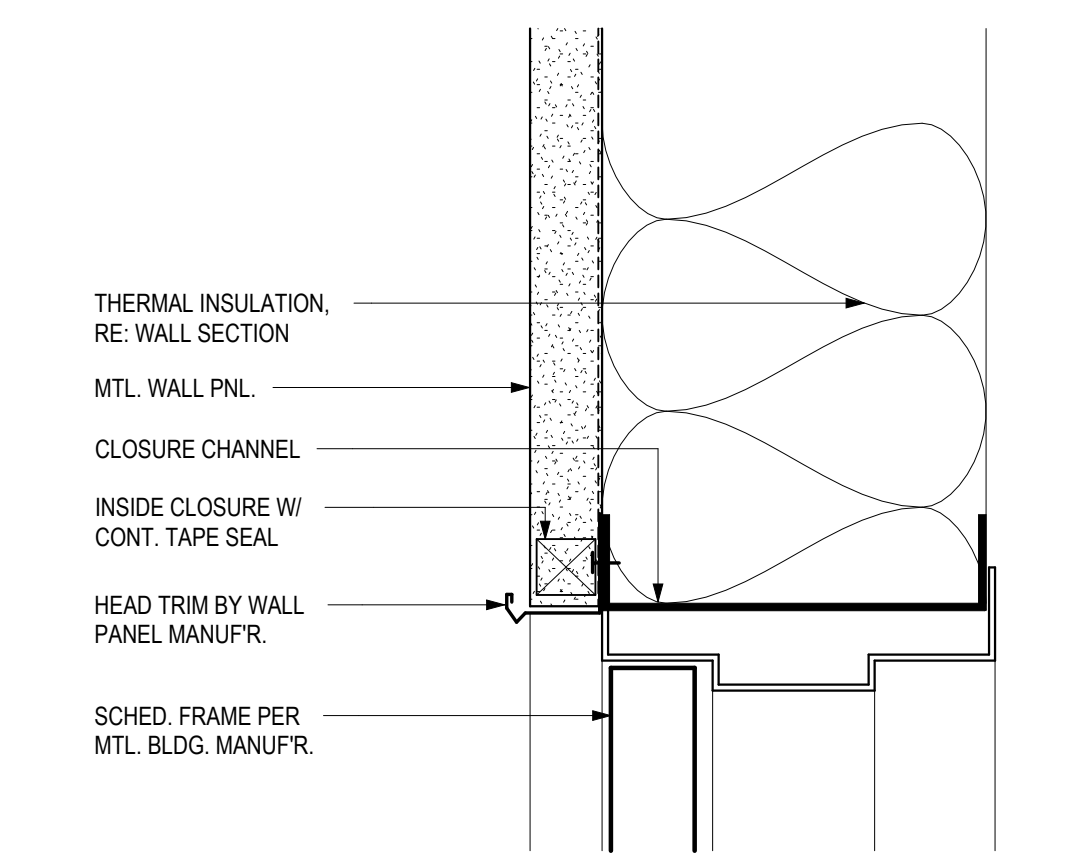
12 ROOF - MTL BLDG EDGE @ RAKE (EXTENDED)
3" = 1'-0"



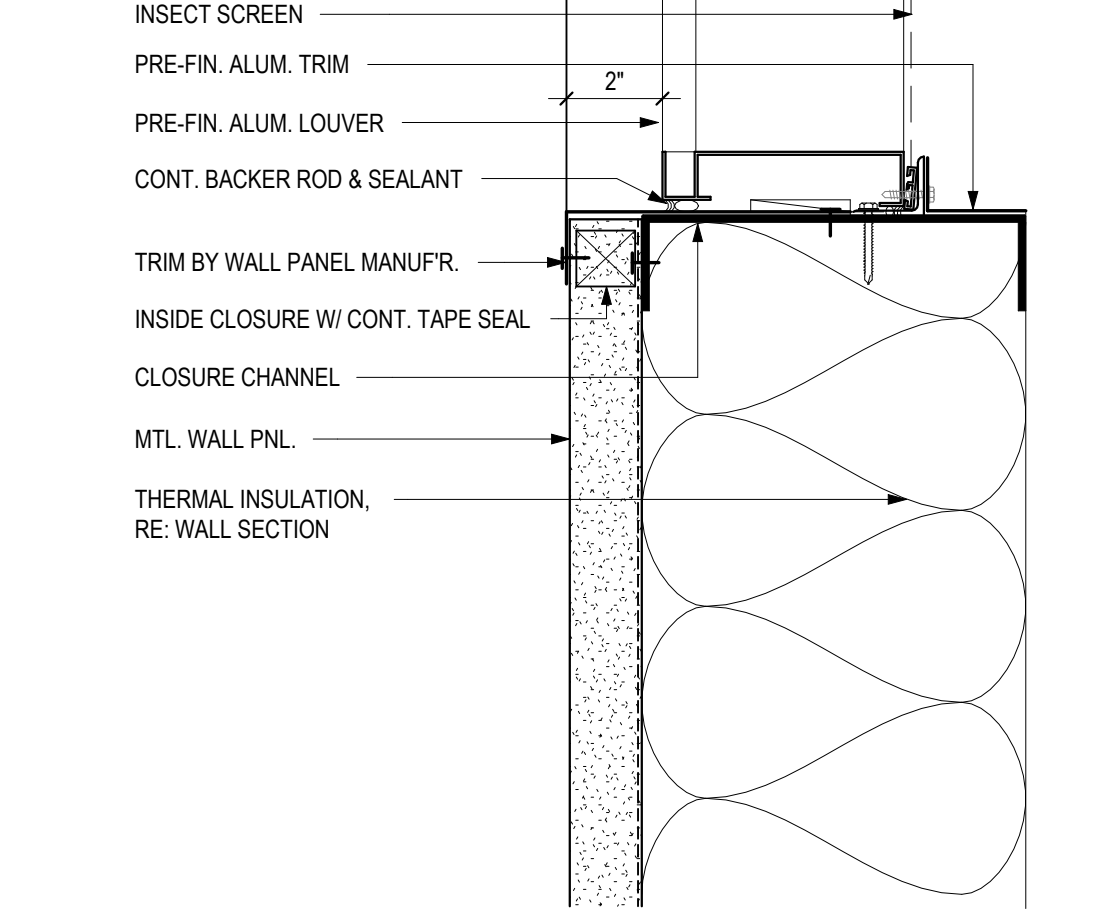
10 EXT ALUM LOUVER HEAD @ MTL B
3" = 1'-0"



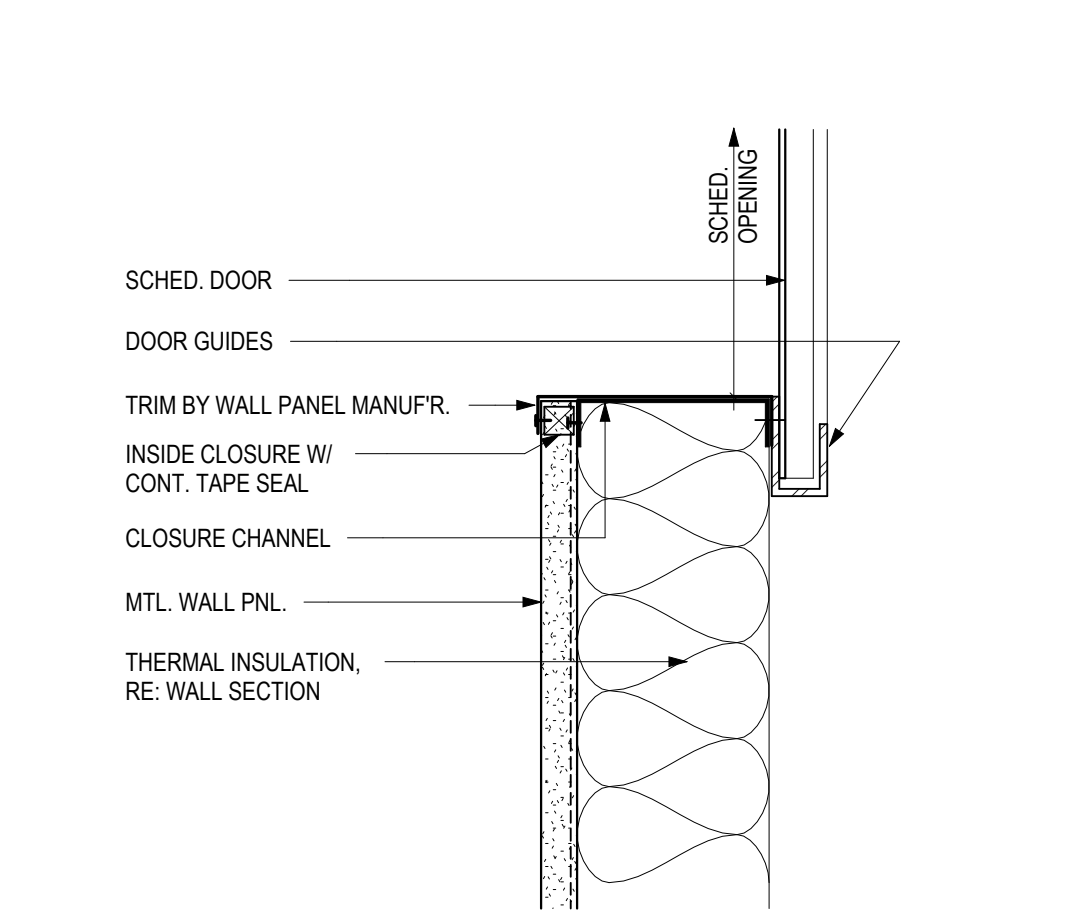
7 EXT OVRHD DOOR HEAD @ MTL BLDG
1 1/2" = 1'-0"



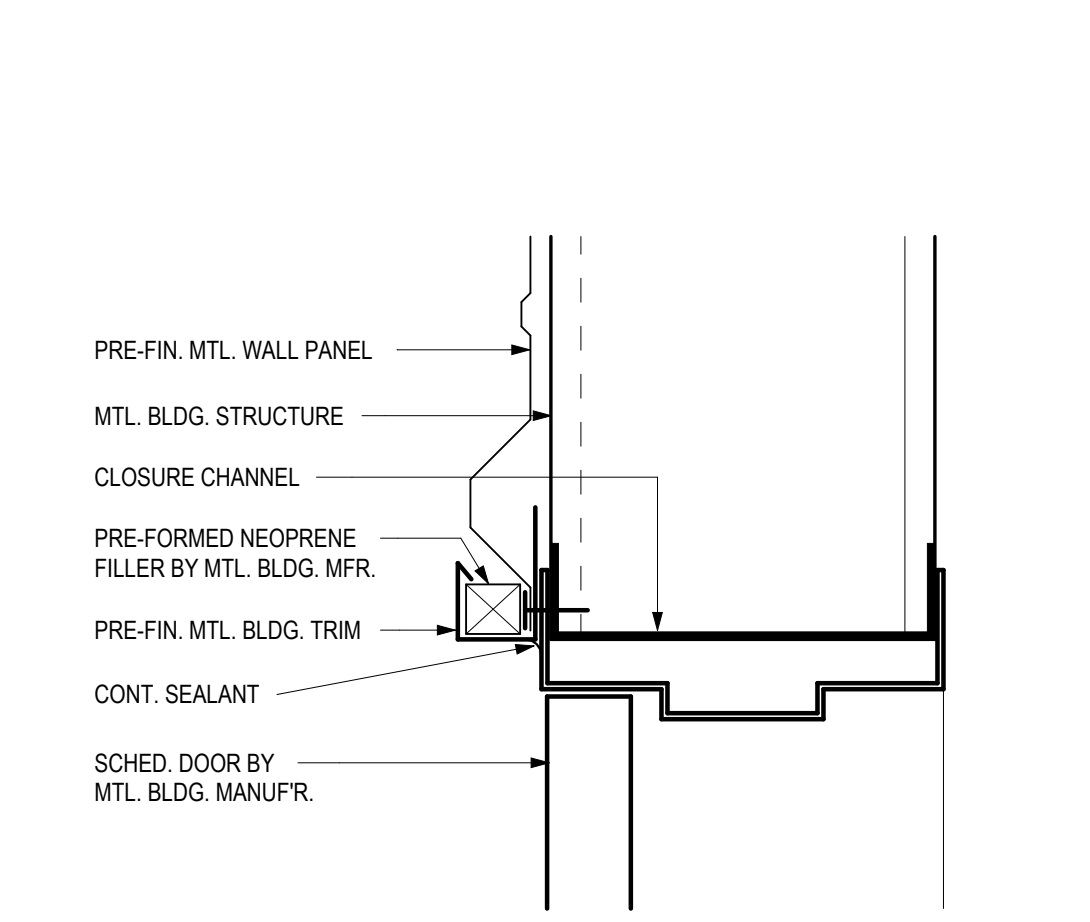
4 EXT HM DR HEAD @ MTL BLDG
3" = 1'-0"



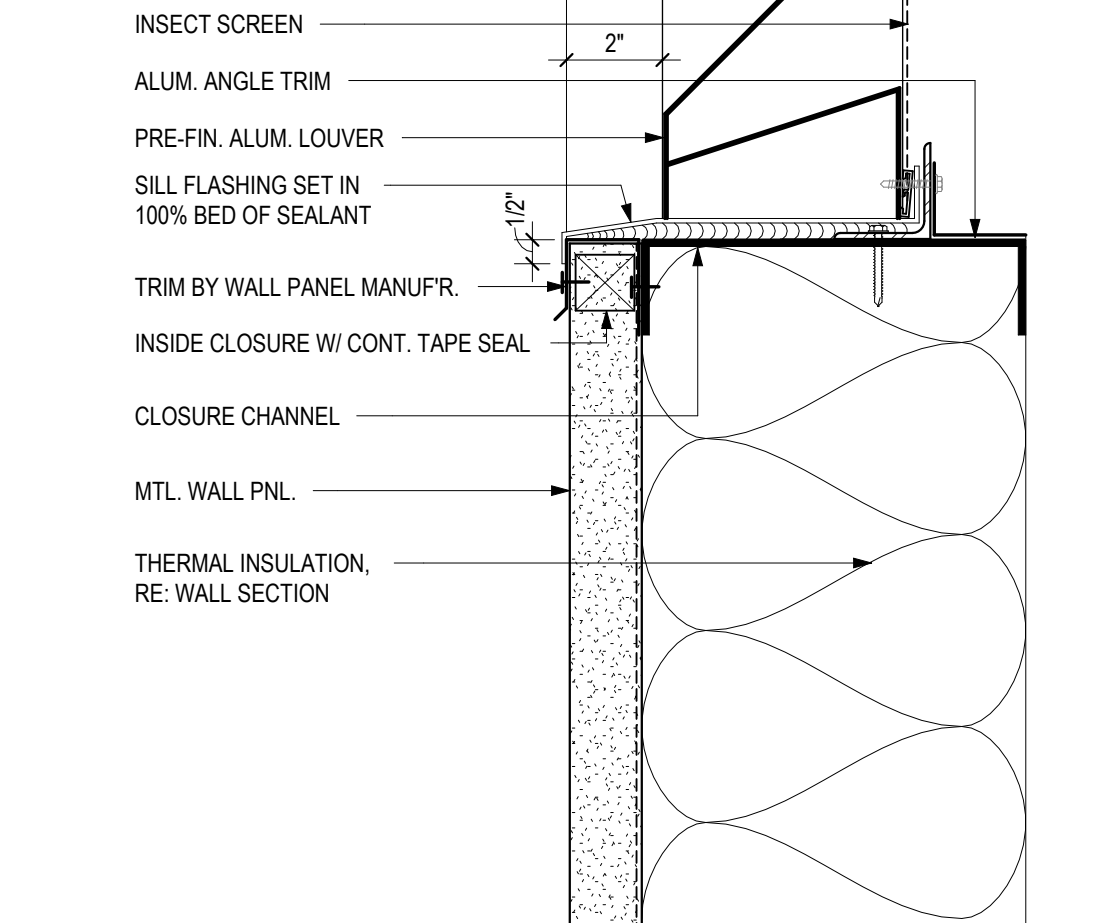
9 EXT ALUM LOUVER JAMB @ MTL B
3" = 1'-0"



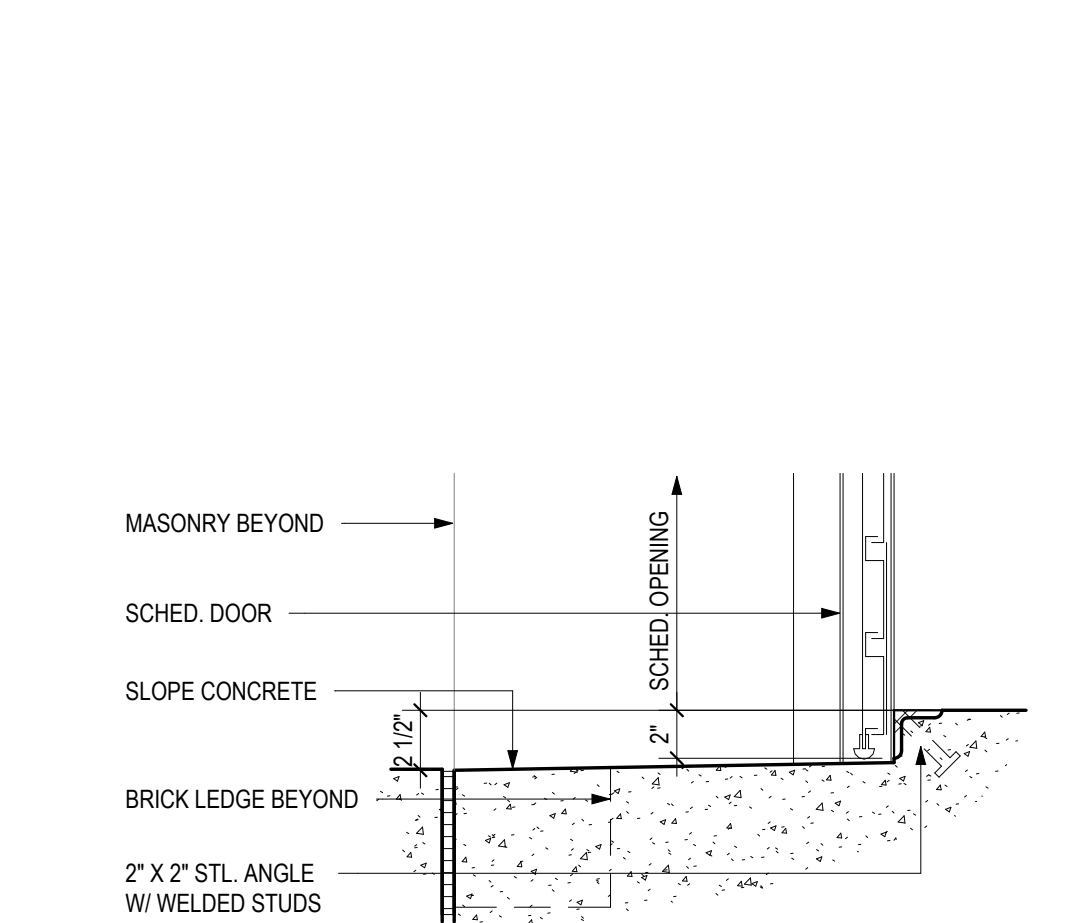
6 EXT OVRHD DOOR JAMB @ MTL BLDG
1 1/2" = 1'-0"



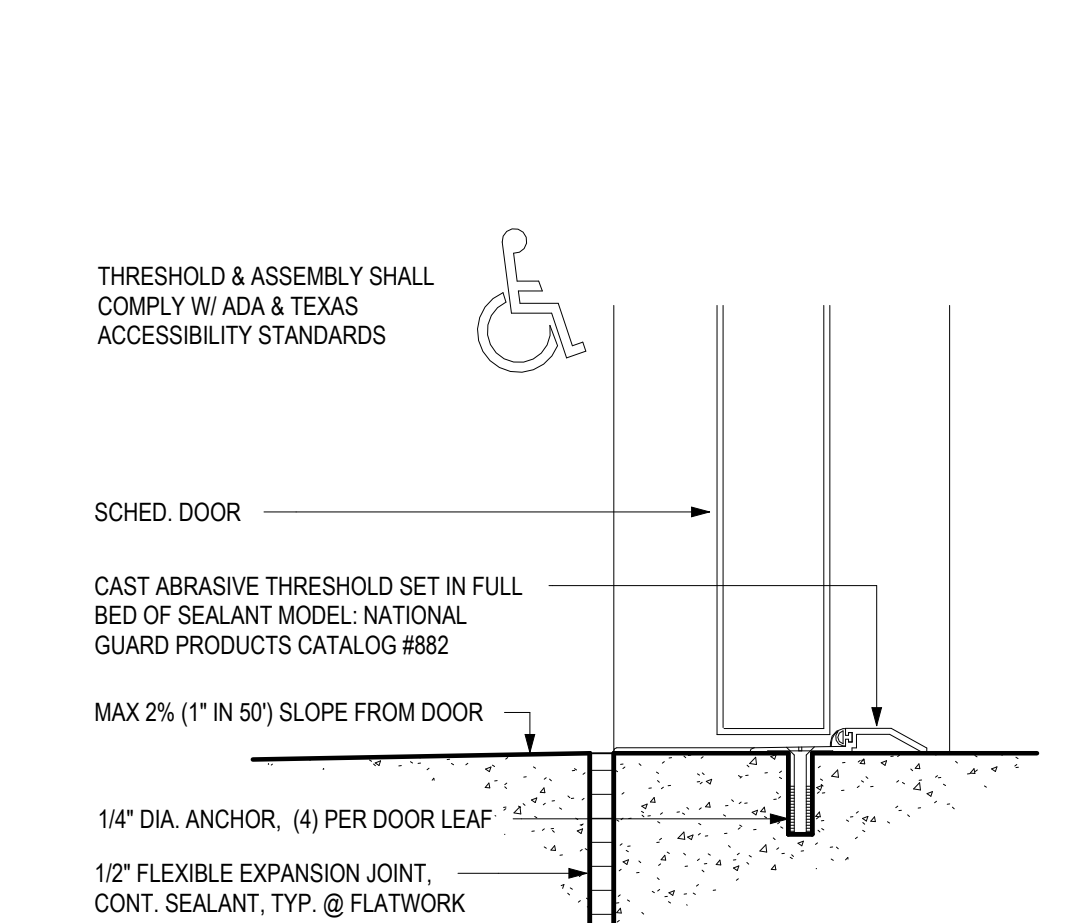
3 EXT HM DR JAMB @ MTL BLDG
3" = 1'-0"



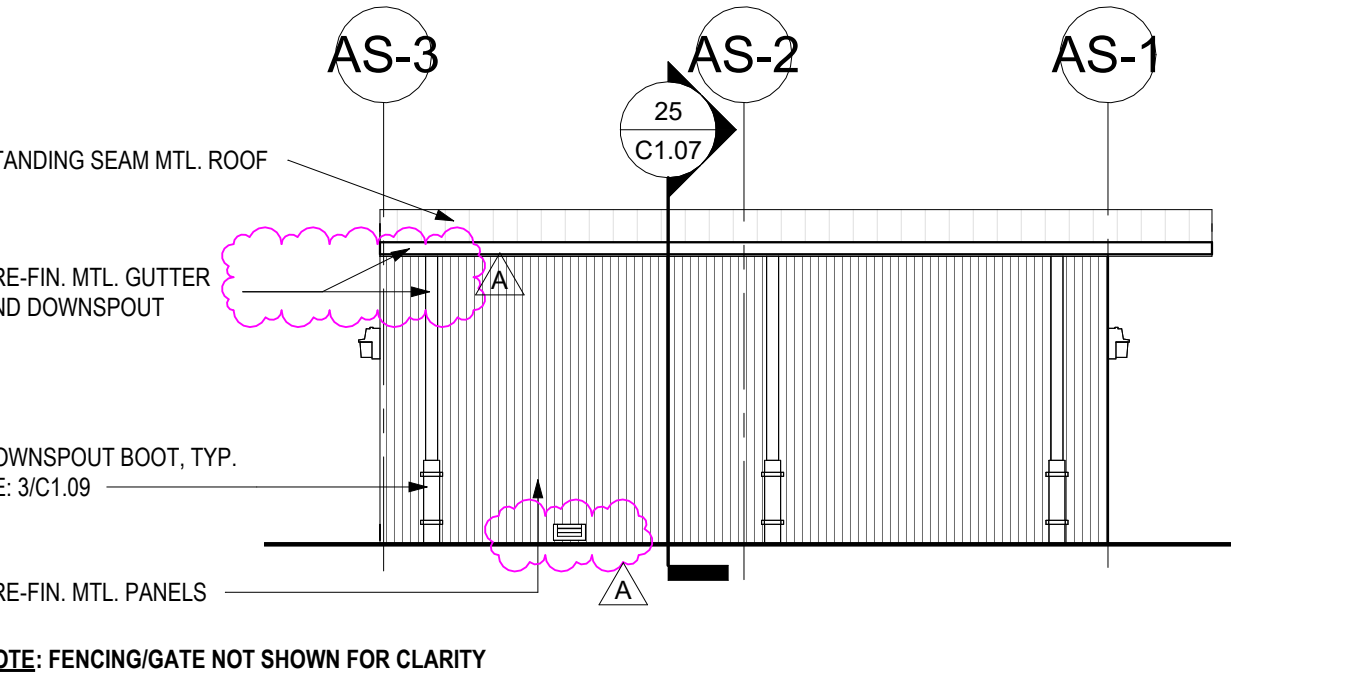
8 EXT ALUM LOUVER SILL @ MTL B
3" = 1'-0"



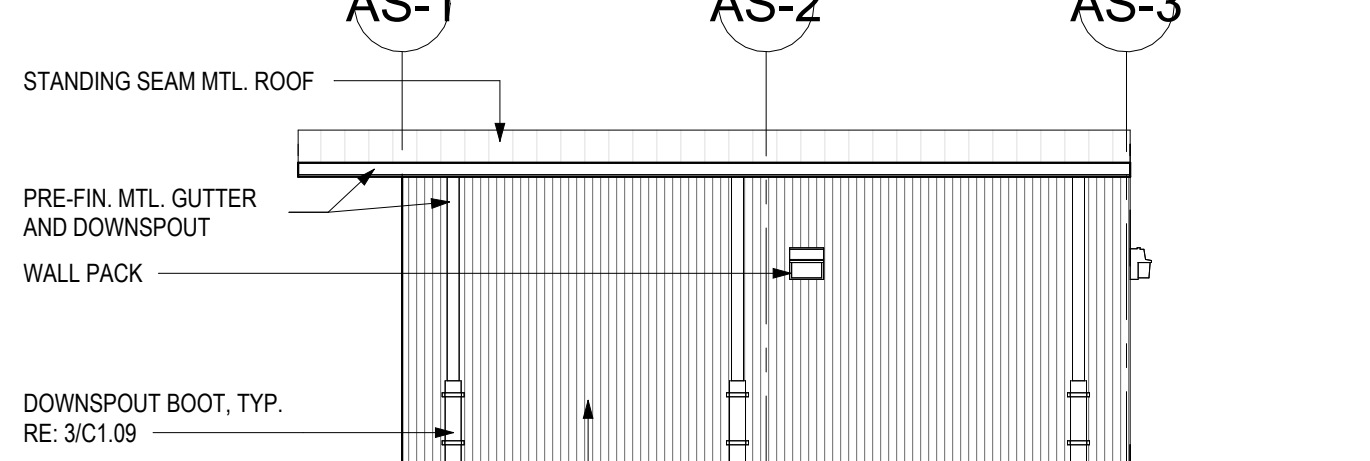
5 EXT OVRHD DOOR SILL @ FOUND
1 1/2" = 1'-0"



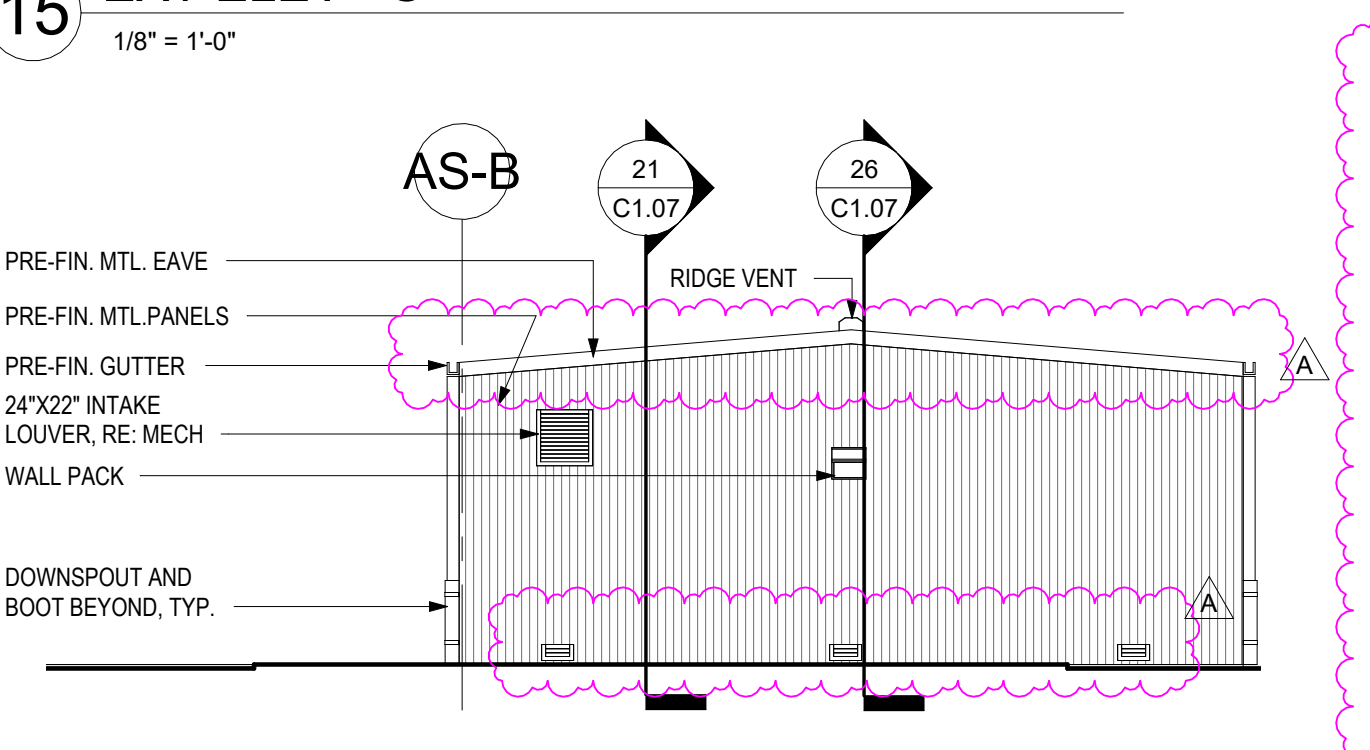
2 EXT DOOR THRSHLD @ FOUND
3" = 1'-0"



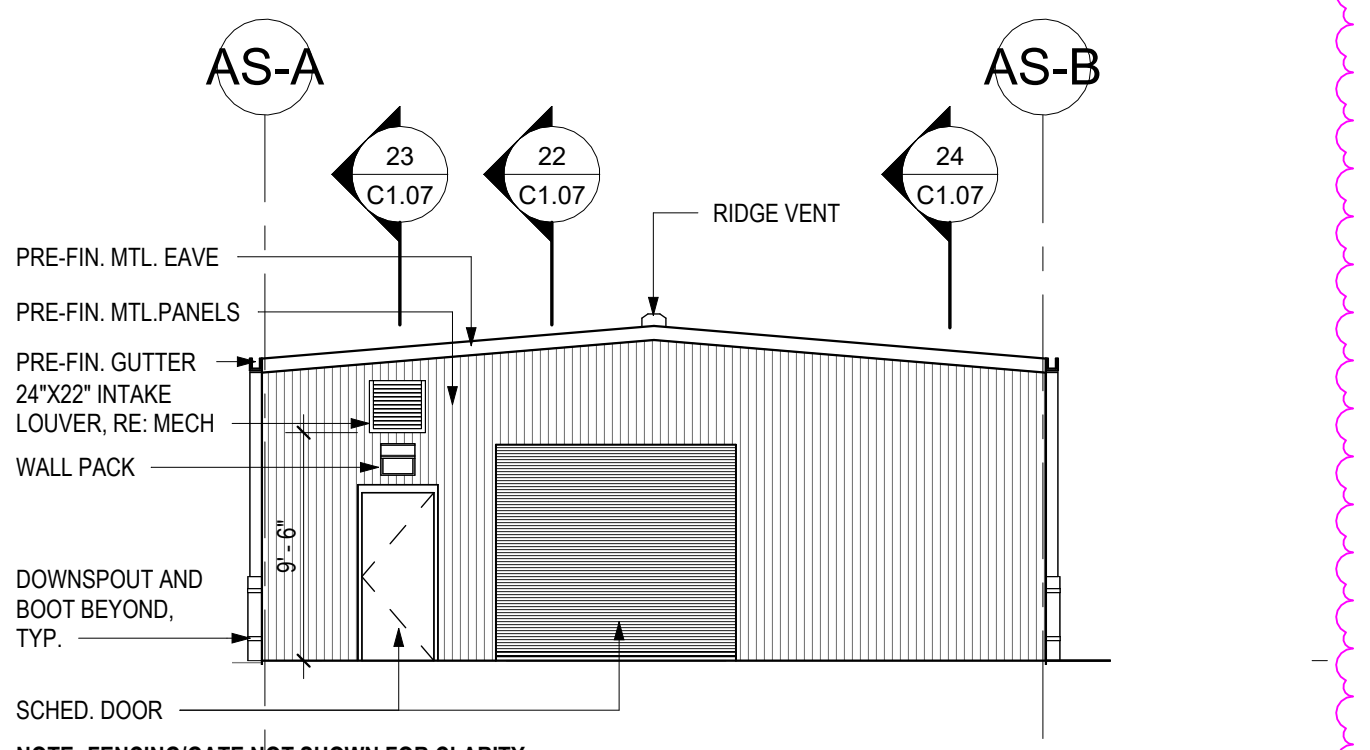
16 EXT ELEV - N
1/8" = 1'-0"



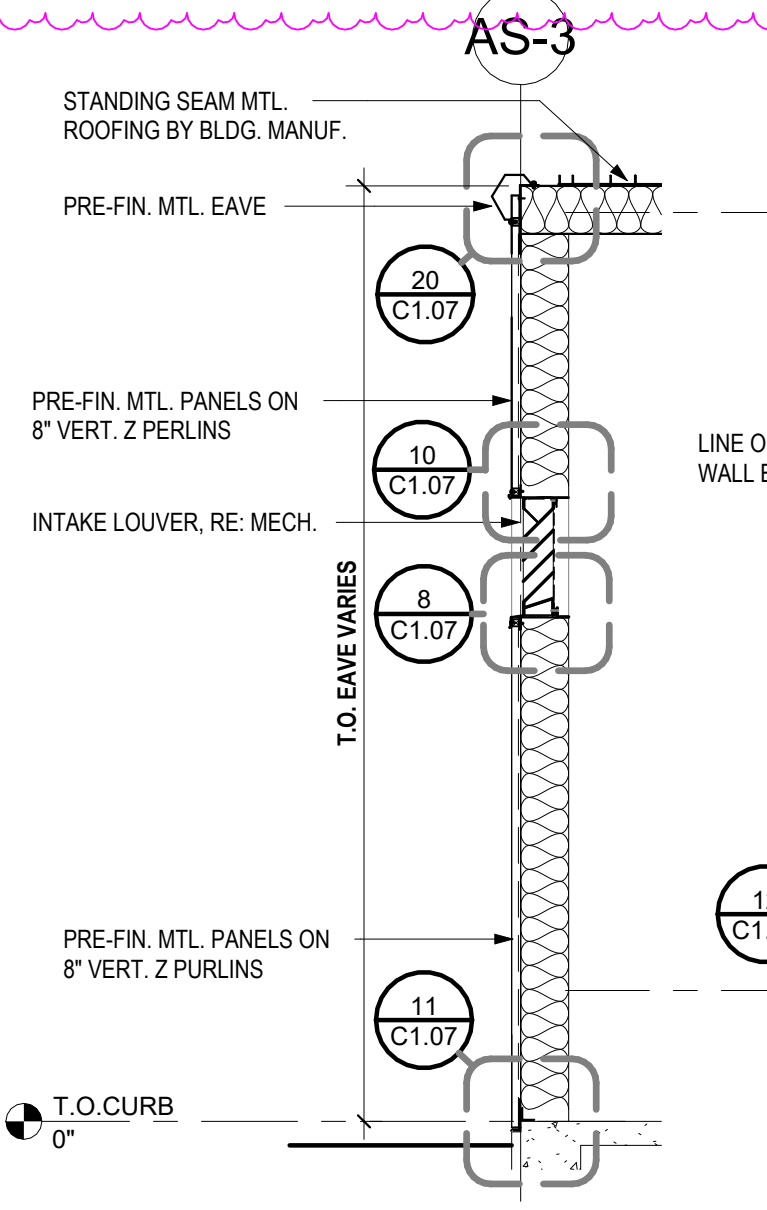
15 EXT ELEV - S
1/8" = 1'-0"



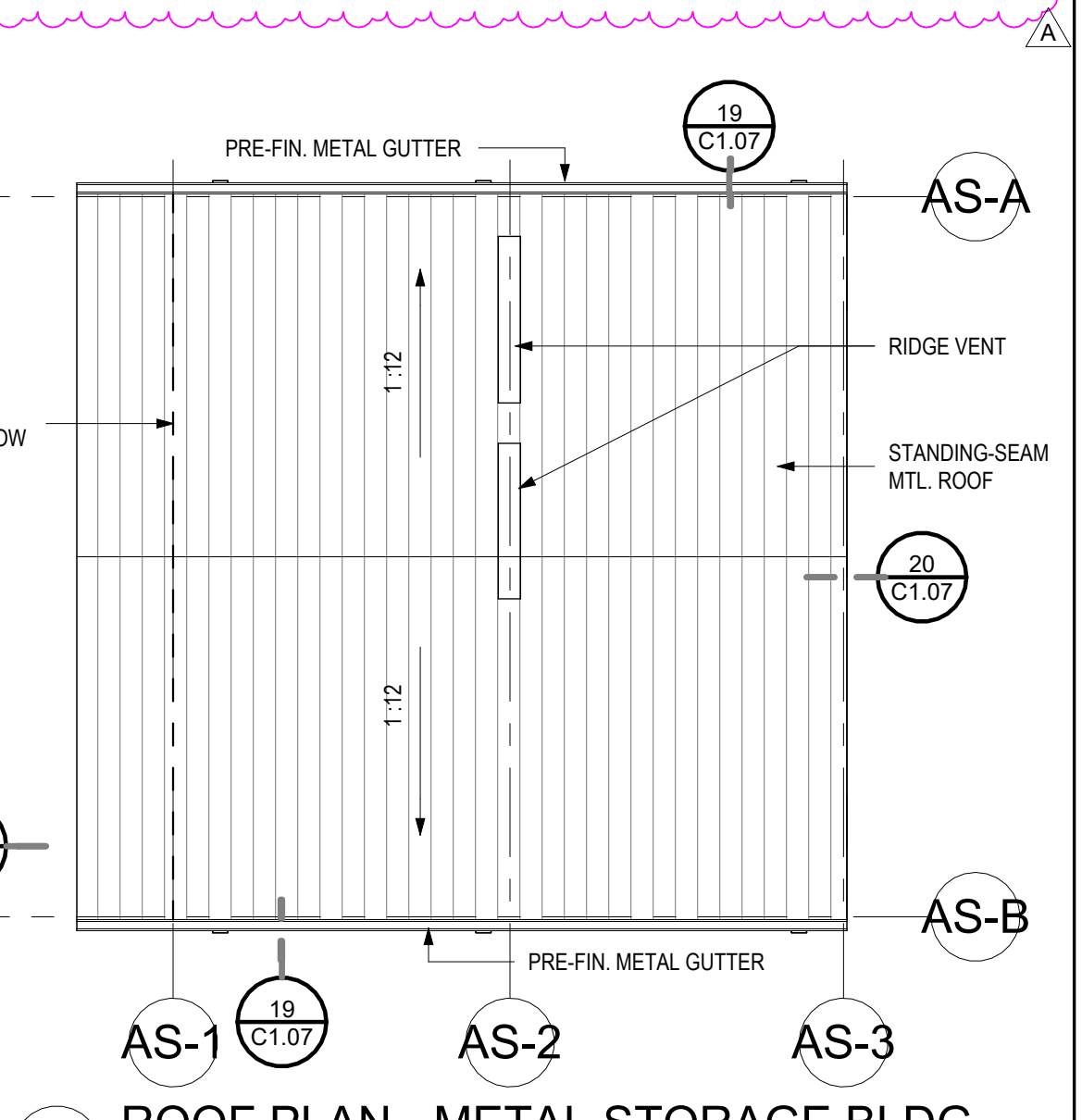
14 EXT ELEV - E
1/8" = 1'-0"



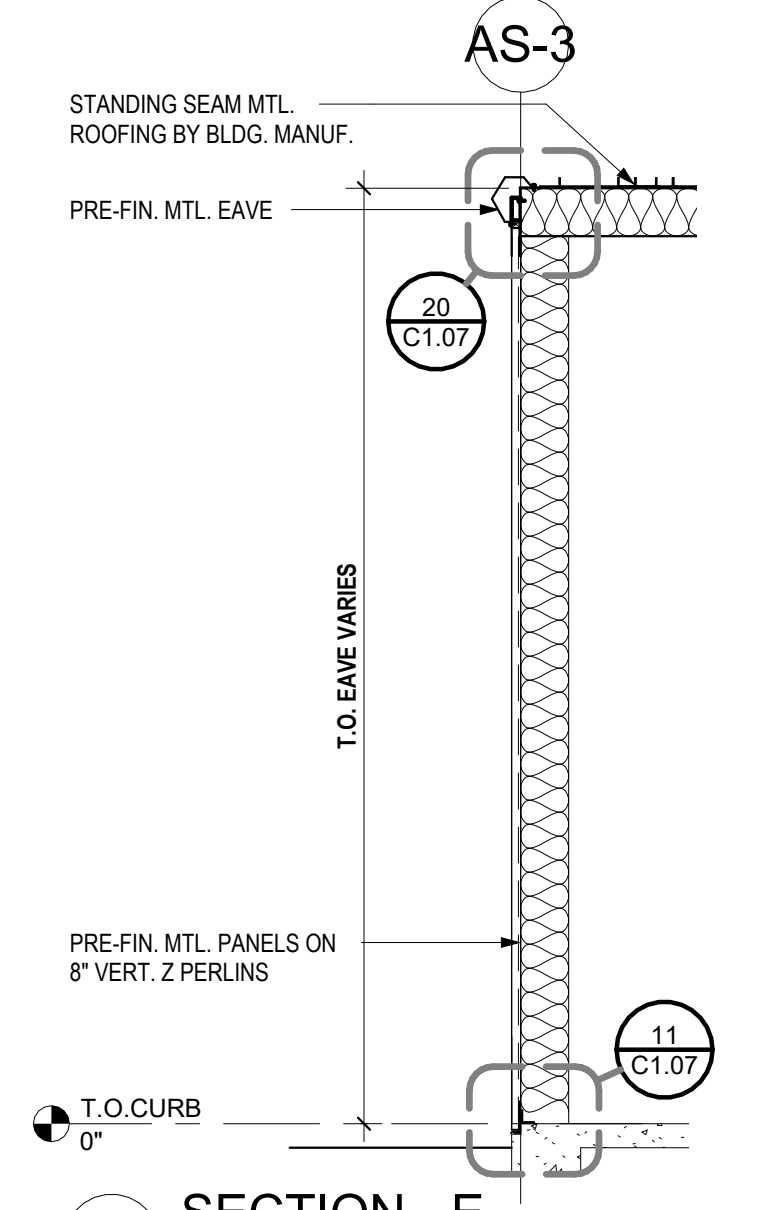
13 EXT ELEV - W
1/8" = 1'-0"



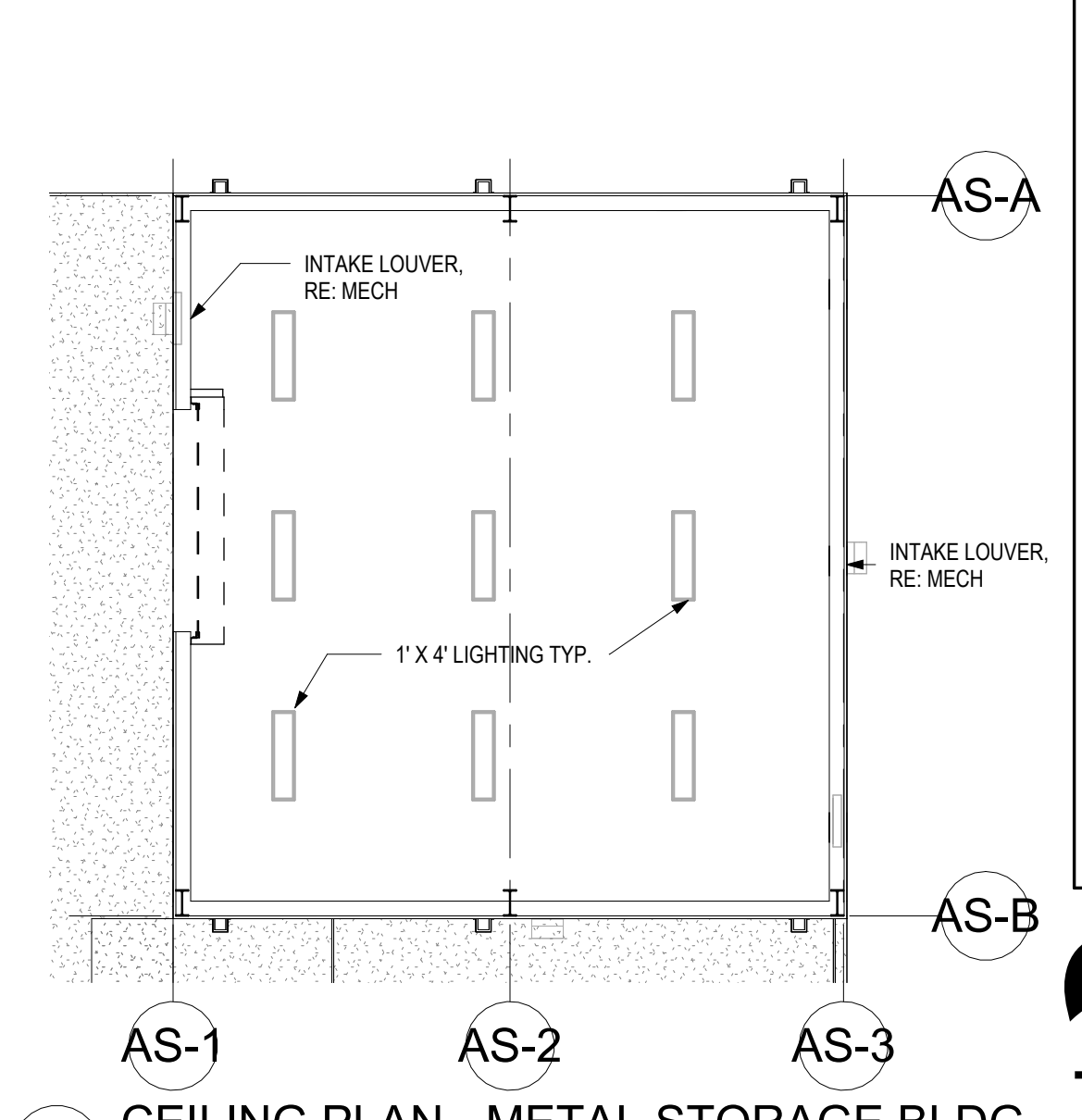
26 SECTION - E2
3/8" = 1'-0"



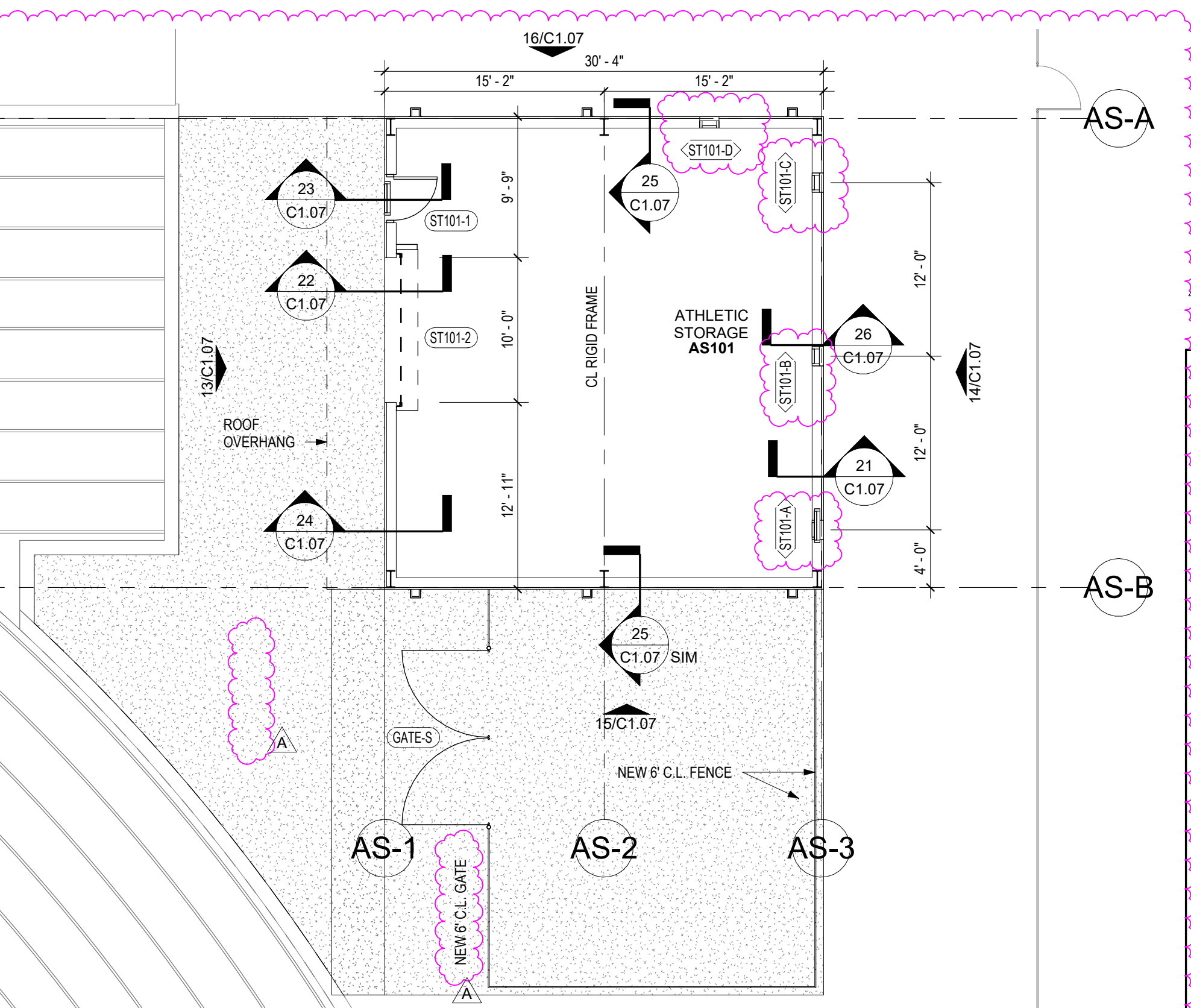
18 ROOF PLAN - METAL STORAGE BLDG
1/8" = 1'-0"



21 SECTION - E
3/8" = 1'-0"

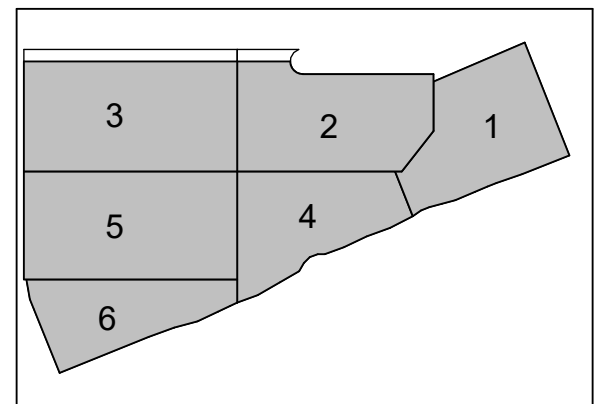


17 CEILING PLAN - METAL STORAGE BLDG
1/8" = 1'-0"



1 ENLARGED SITE PLAN - METAL STORAGE BLDG
1/8" = 1'-0"

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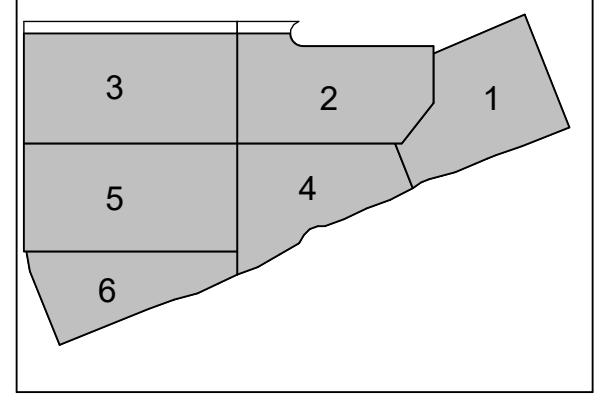
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REGISTERED ARCHITECT
 STATE OF TEXAS
 2024-12-16

PROJECT #: 202319
 DATE: 2024-12-16
 DRAWN: BN
 CHECKED: Checker
 DATE: 2024-12-16
 2024-01-07
 ISSUE
 PERMIT & PROPOSAL
 ADDENDUM 04
 A

C1.07
 METAL STORAGE BUILDING

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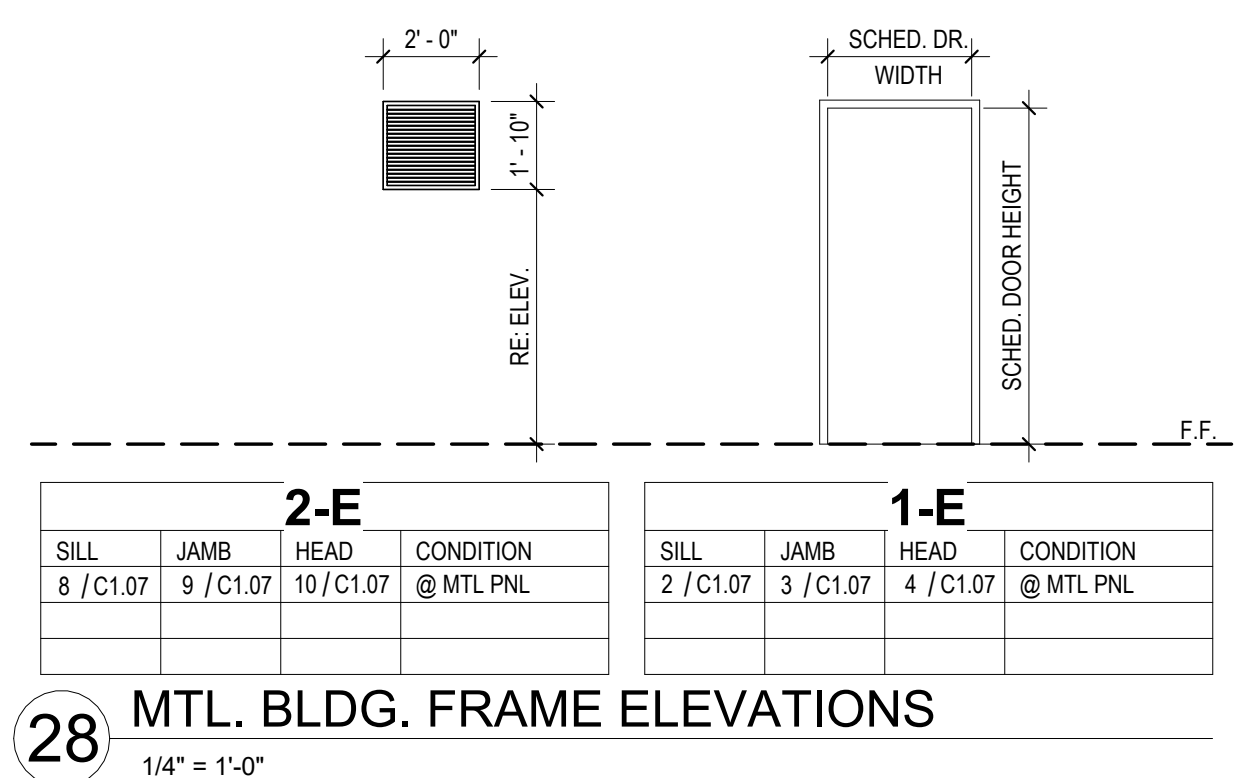
PROJECT #:	202319
DATE:	2024-12-16
DRAWN:	Author
CHECKED:	Checker
DATE:	ISSUE
2024-12-16	PERMIT & PROPOSAL
2024-01-07	ADDENDUM 04

C1.12
 DOOR AND WINDOW SCHEDULE

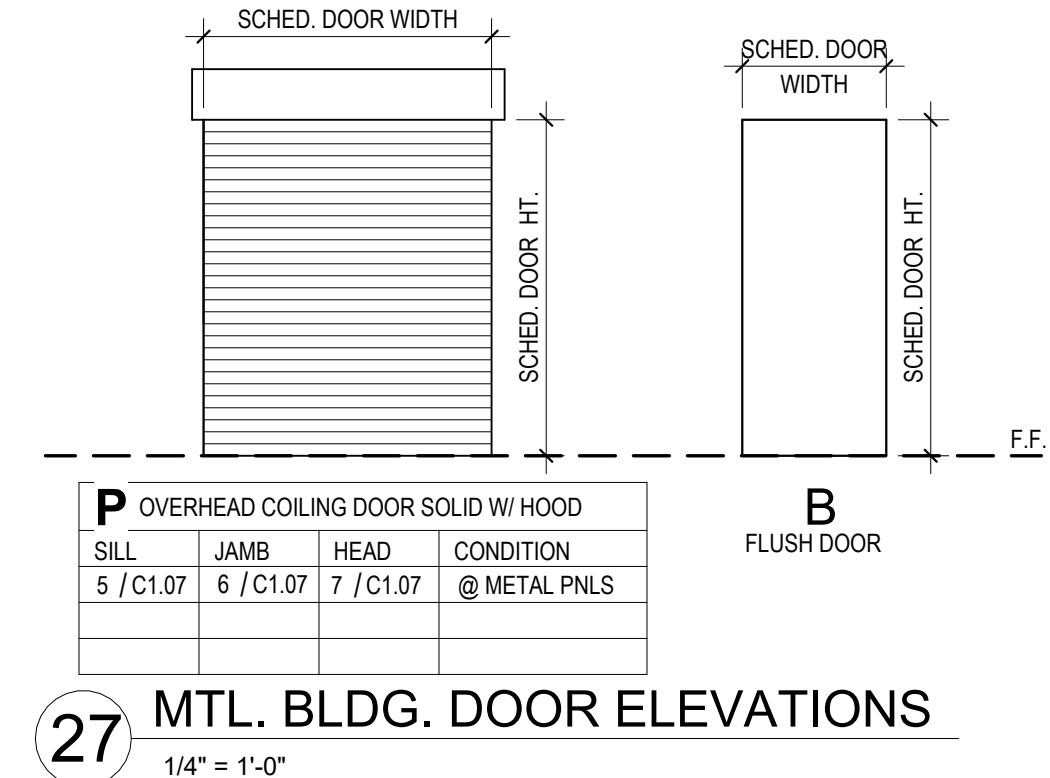
DOOR & GATE SCHEDULE											
MARK	DOOR SLAB				DOOR FRAME				FIRE R.	COMMENTS	MARK
	WIDTH	HEIGHT	S/PR	ELEV. MATERIAL	GLASS WIDTH	DEPTH	ELEV. MATERIAL	GLASS			
GATE-A	3'-0"	6'-0"	S	C3	C.L. MESH					GALV.	GATE-A
GATE-B	6'-0"	6'-0"	CC3	C.L. MESH						GALV.	GATE-B
GATE-P	6'-0"	6'-0"	CC3	C.L. MESH						GALV.	GATE-P
GATE-Q	3'-0"	6'-0"	S	C3	C.L. MESH					GALV.	GATE-Q
GATE-R	3'-0"	6'-0"	S	C3	C.L. MESH					GALV.	GATE-R
GATE-S	6'-0"	6'-0"	PR	CC3	C.L. MESH					GALV.	GATE-S
GATE-T	3'-0"	6'-0"	S	C3	C.L. MESH					GALV.	GATE-T
GATE-U	3'-0"	6'-0"	S	C3	C.L. MESH					GALV.	GATE-U
GATE-W	3'-0"	6'-0"	PR	CC3	C.L. MESH					GALV.	GATE-W
GATE-X	6'-0"	6'-0"	CC3	C.L. MESH						GALV.	GATE-X
GATE-Z	3'-0"	6'-0"	S	C3	C.L. MESH					GALV.	GATE-Z
PS101-1	3'-0"	7'-0"	PR	BB	H.M.	2'	6"	1-E	H.M.		PS101-1
PS201-1	3'-0"	7'-0"	B	H.M.					H.M.		PS201-1
PS-SHUTTER-1	15'-0"	9'-0"	P						GALV.		PS-SHUTTER-1
ST101-1	3'-0"	7'-0"	B	H.M.					H.M.		ST101-1
ST101-2	10'-0"	9'-0"	R						GALV.		ST101-2

WINDOW / LOUVER SCHEDULE						
WINDOW #	FRAME			MAT.	COMMENTS	WINDOW #
	WIDTH	DEPTH	ELEV.			
PB201-A						PB201-A
PS101-A	2'	6"	-	S.S.	FLOOD VENT. RE: SPECS	PS101-A
PS101-B	2'	6"	-	S.S.	FLOOD VENT. RE: SPECS	PS101-B
PS101-C	2'	6"	-	S.S.	FLOOD VENT. RE: SPECS	PS101-C
ST101-A	2'	6"	-	S.S.	FLOOD VENT. RE: SPECS	ST101-A
ST101-B	2'	6"	-	S.S.	FLOOD VENT. RE: SPECS	ST101-B
ST101-C	2'	6"	-	S.S.	FLOOD VENT. RE: SPECS	ST101-C
ST101-D	2'	6"	-	S.S.	FLOOD VENT. RE: SPECS	ST101-D

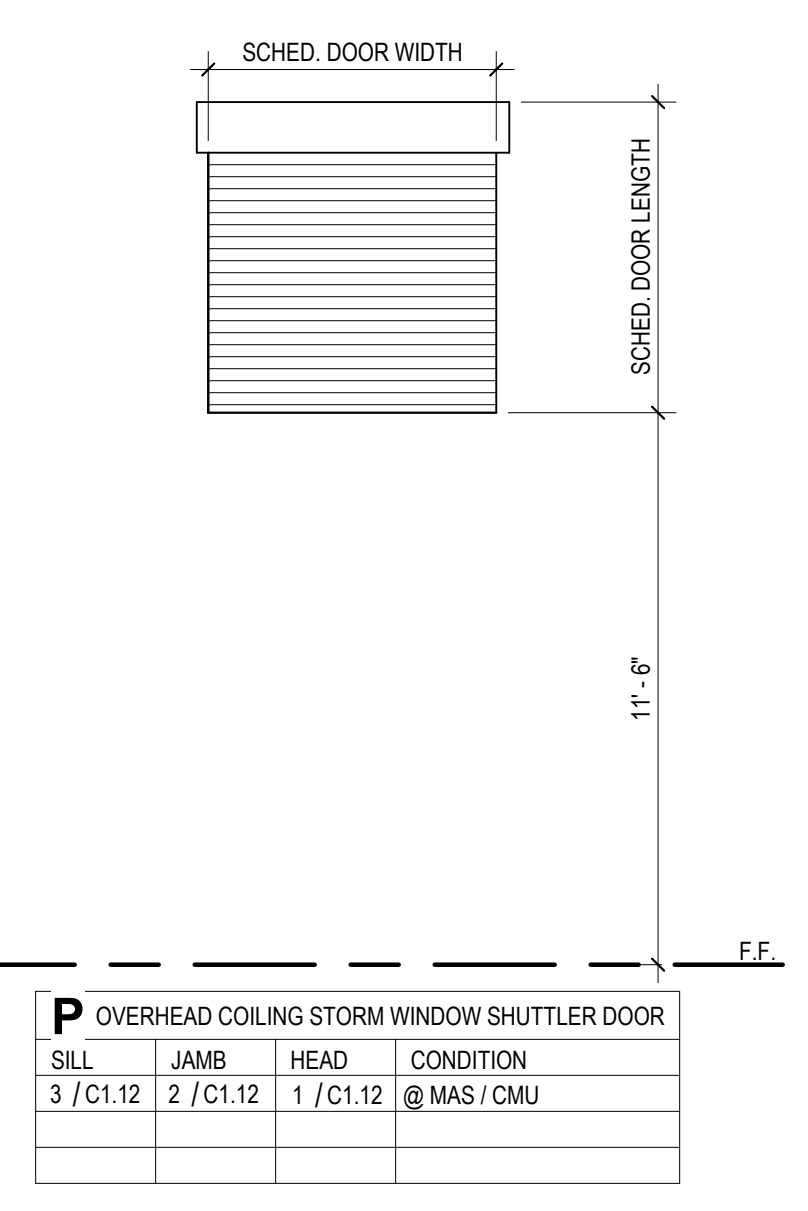
- G1:-
- G2:-
- G3:-
- G4: INSULATED GLASS
- G5:-
- G6:-
- G7:-
- G8:-
- G9:-
- G10:-
- G11:-
- G12:-
- G13:-
- G14:-



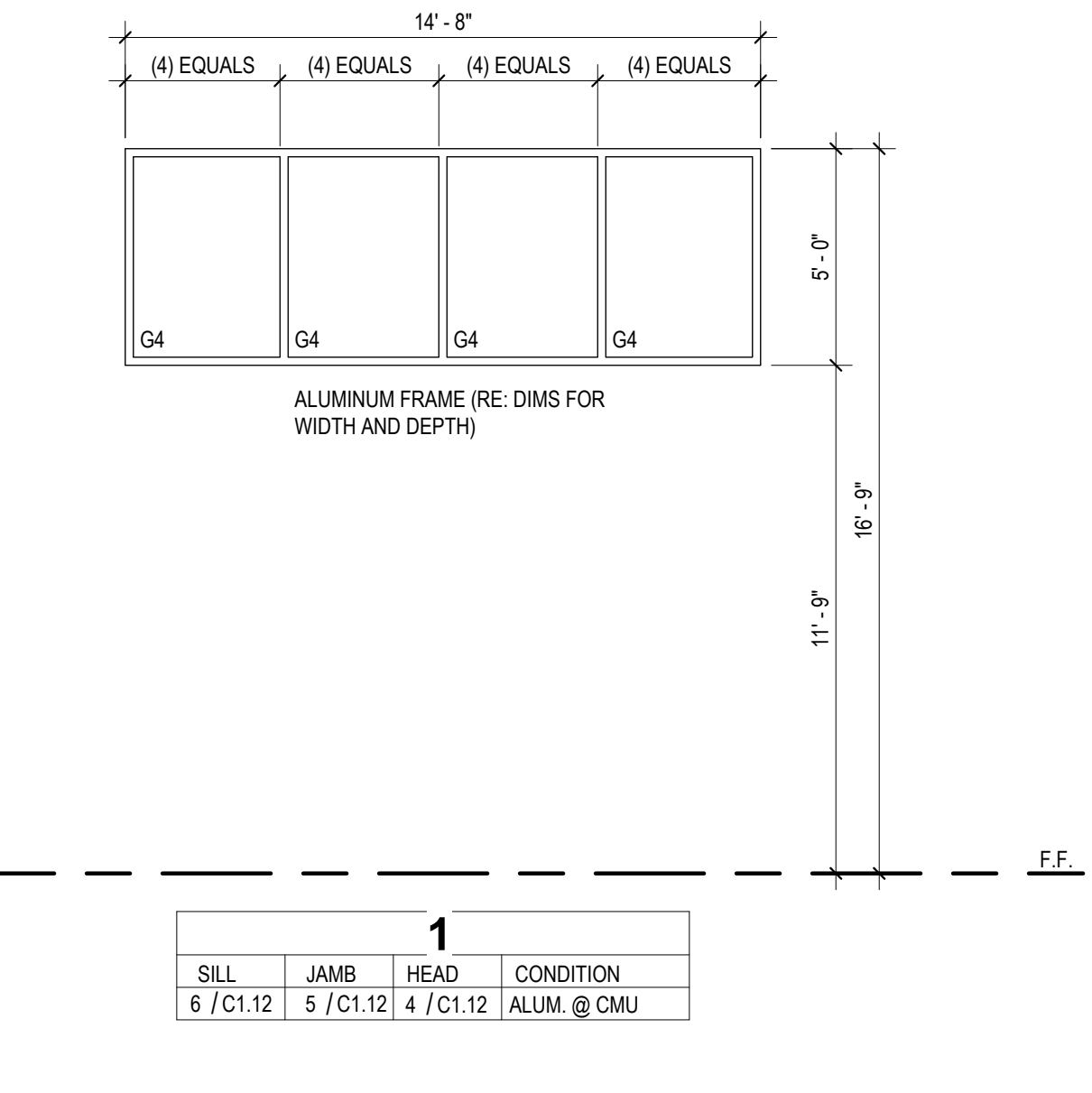
28 MTL. BLDG. FRAME ELEVATIONS
 1/4" = 1'-0"



27 MTL. BLDG. DOOR ELEVATIONS
 1/4" = 1'-0"

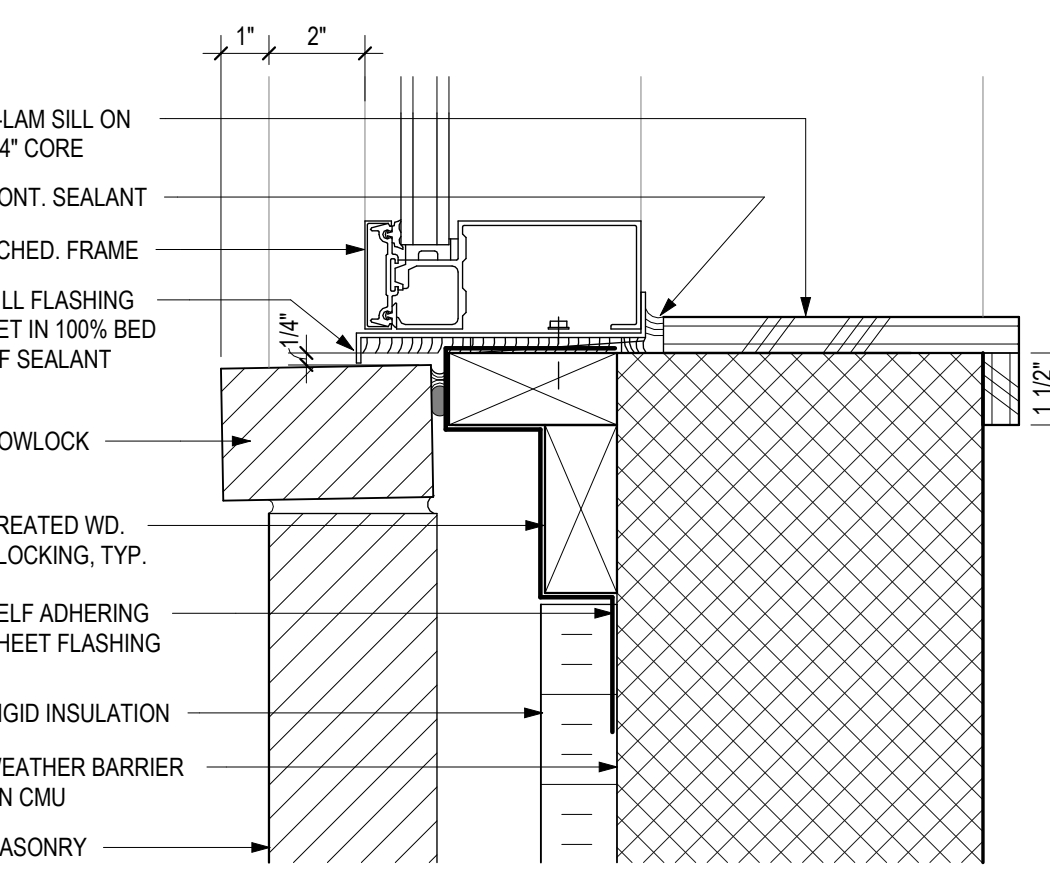


DOOR ELEVATIONS
 1/4" = 1'-0"

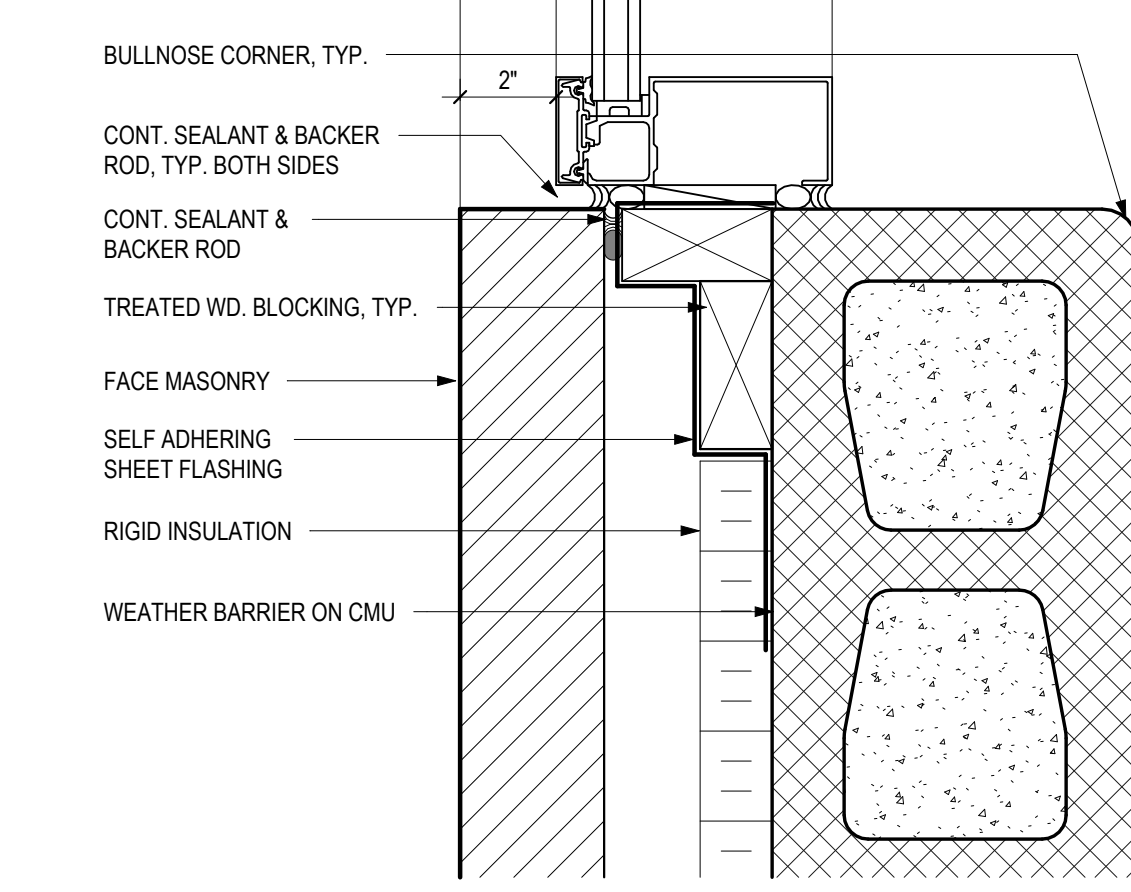


PB201-A WINDOW ELEVATION
 1/4" = 1'-0"

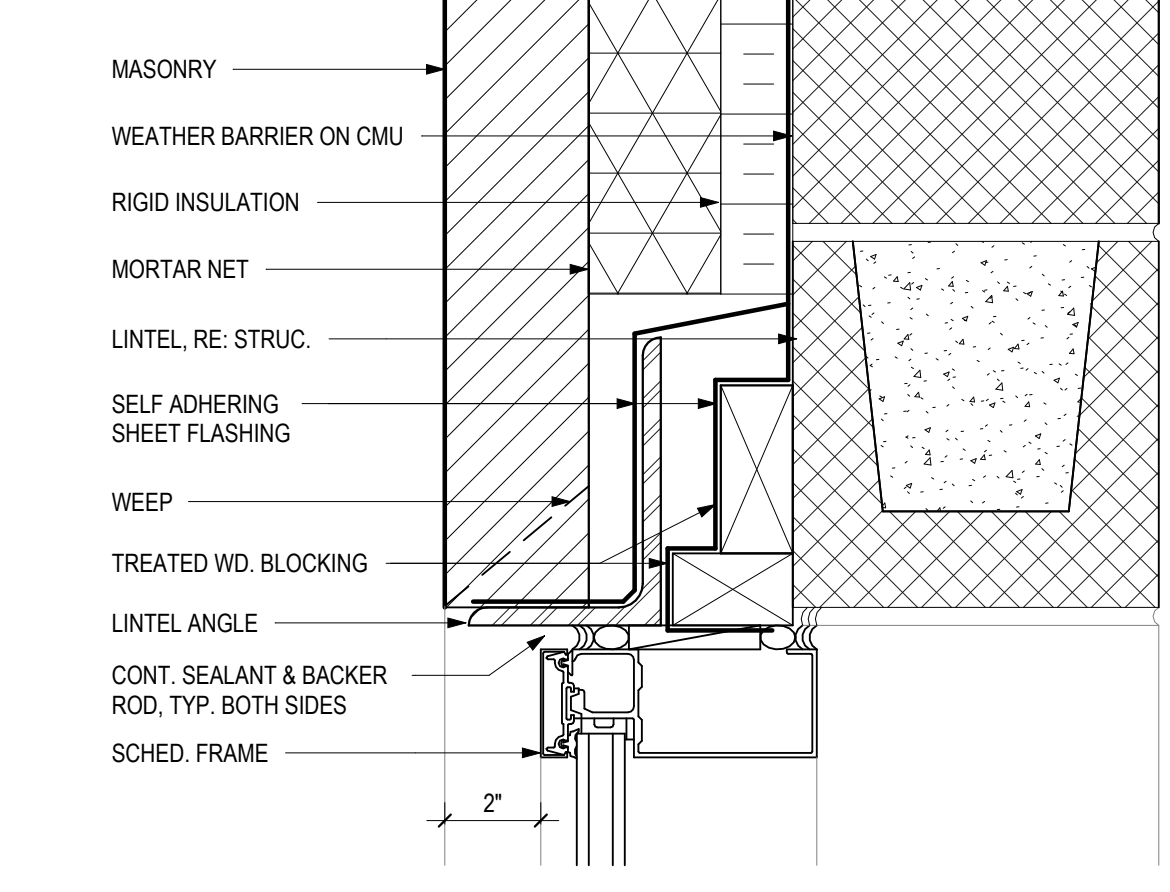
GLAZING
 1/4" = 1'-0"



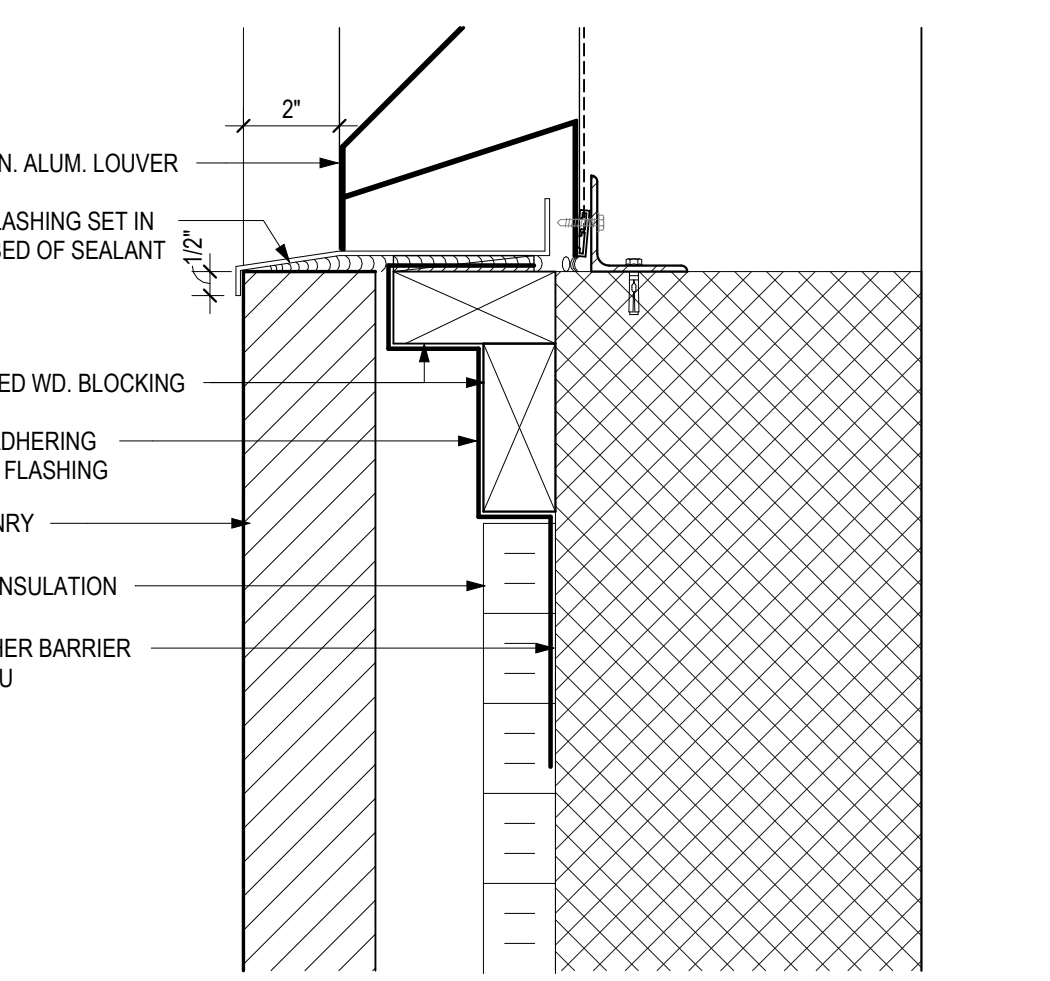
6 EXT ALUM WND SILL @ CMU-PLAM
 3" = 1'-0"



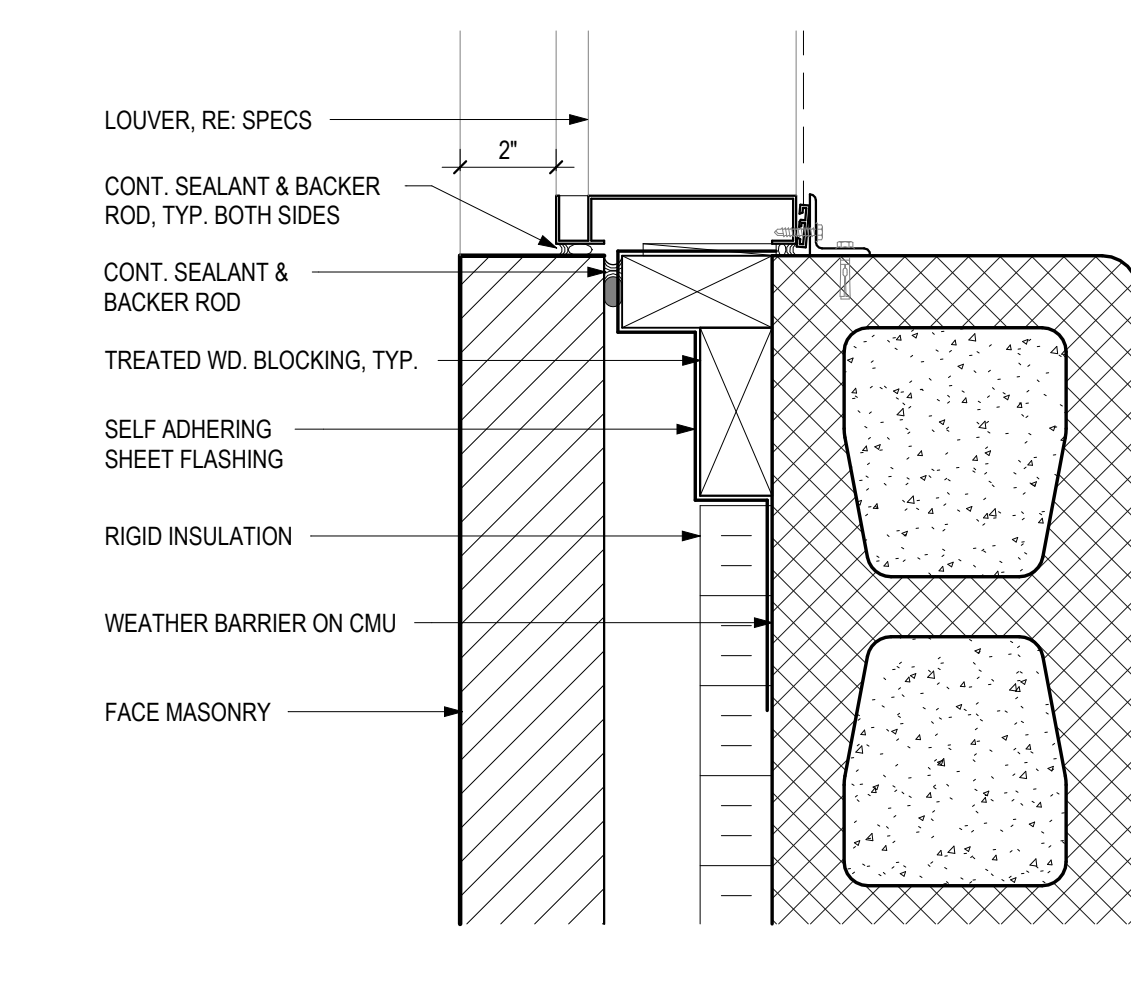
5 EXT ALUM WND JAMB @ MAS-CMU
 3" = 1'-0"



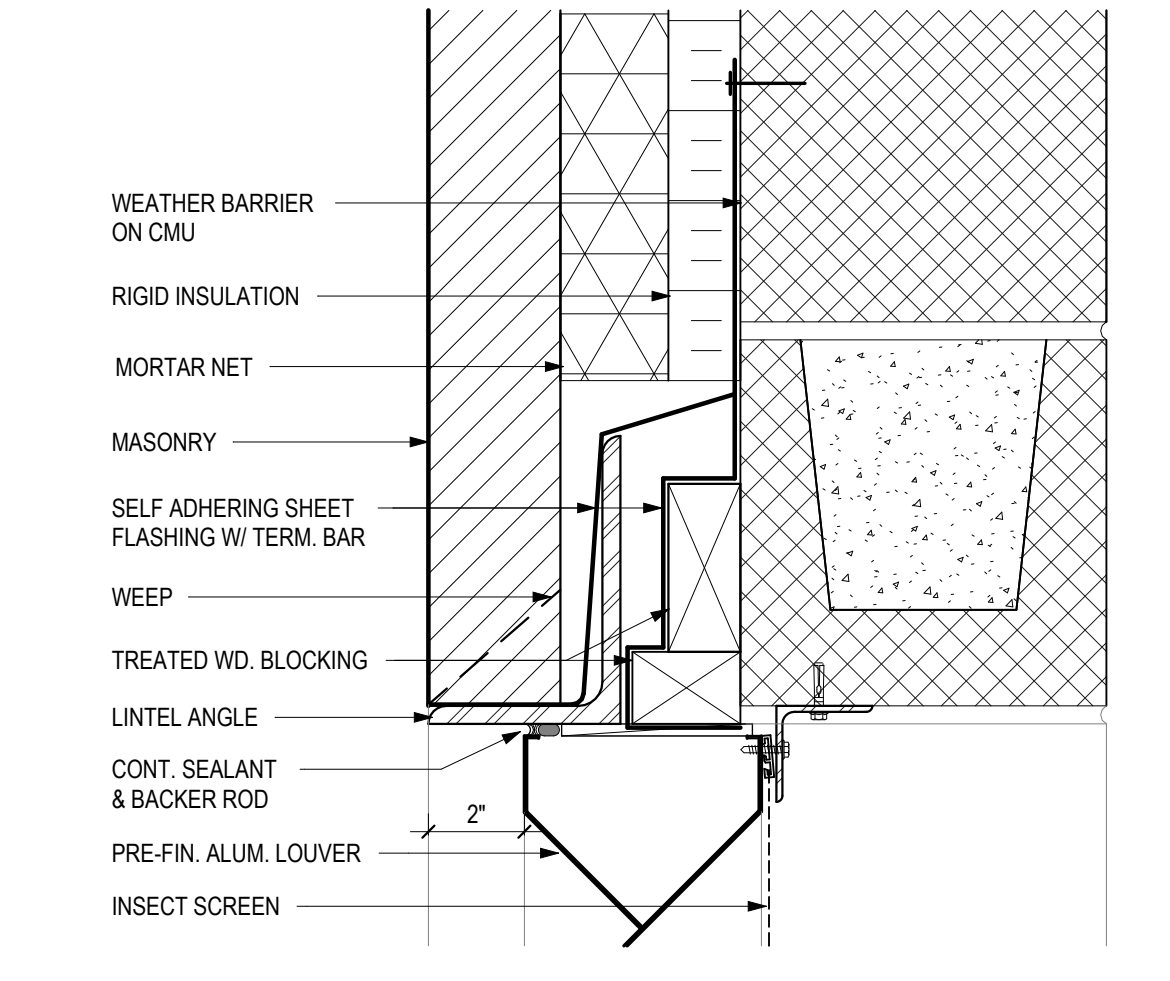
4 EXT ALUM WND HEAD @ MAS-CMU
 3" = 1'-0"



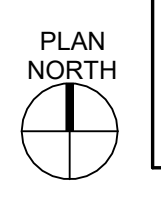
3 EXT ALUM LOUVER SILL @ MAS-CMU
 3" = 1'-0"

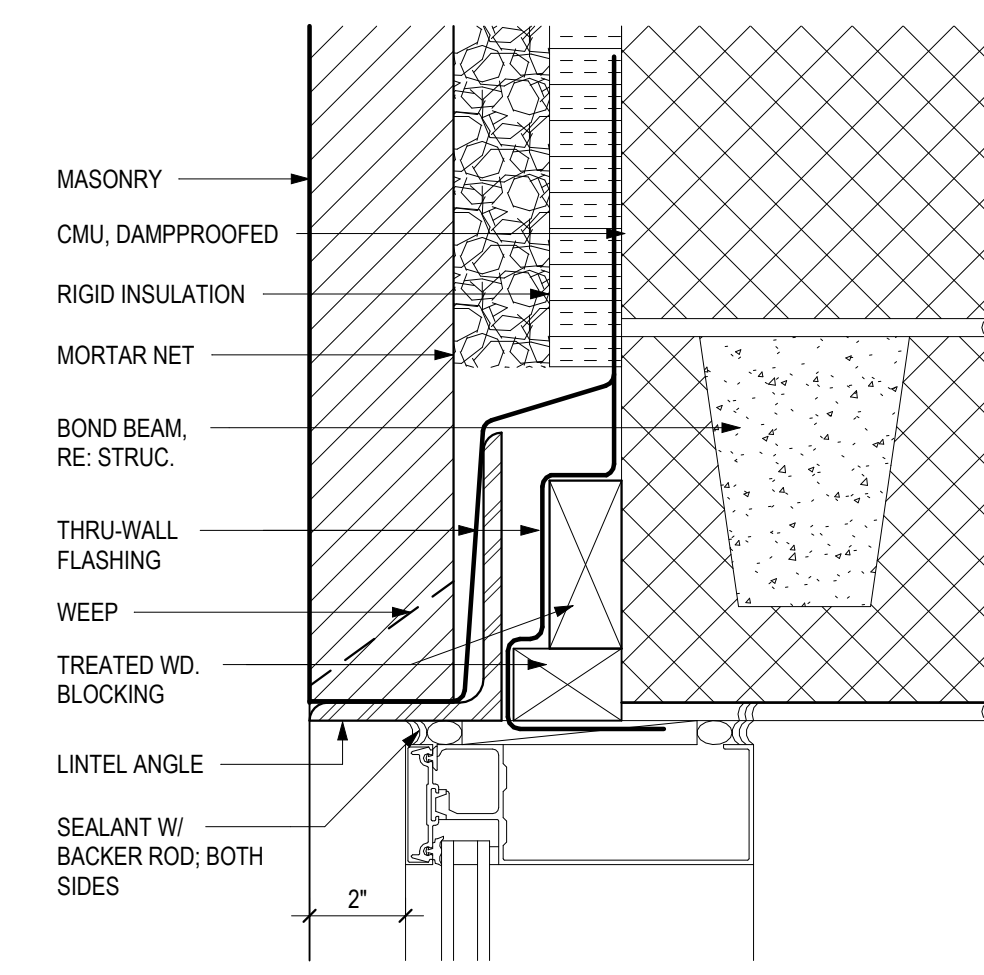


2 EXT ALUM LOUVER JAMB @ MAS-CMU
 3" = 1'-0"

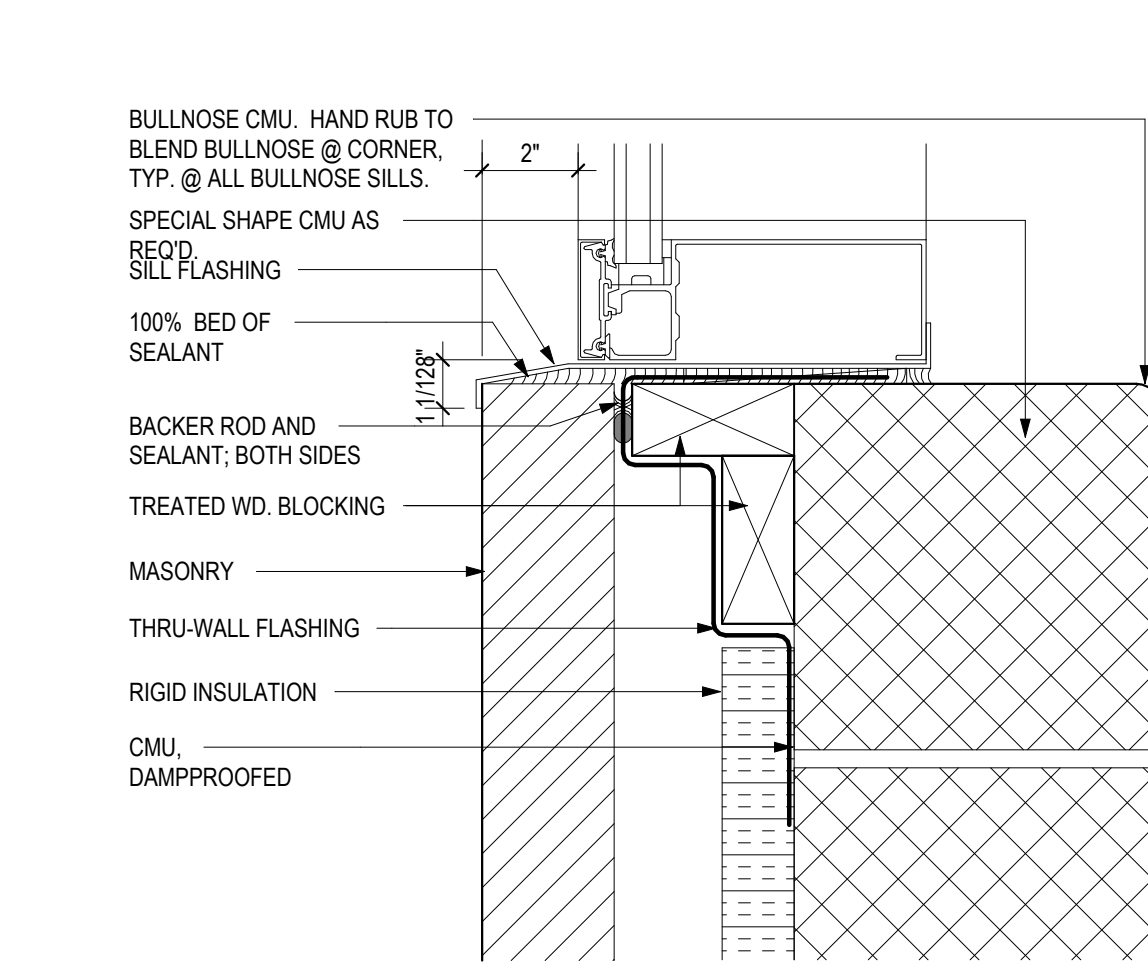


1 EXT ALUM LOUVER HEAD @ MAS-CMU
 3" = 1'-0"

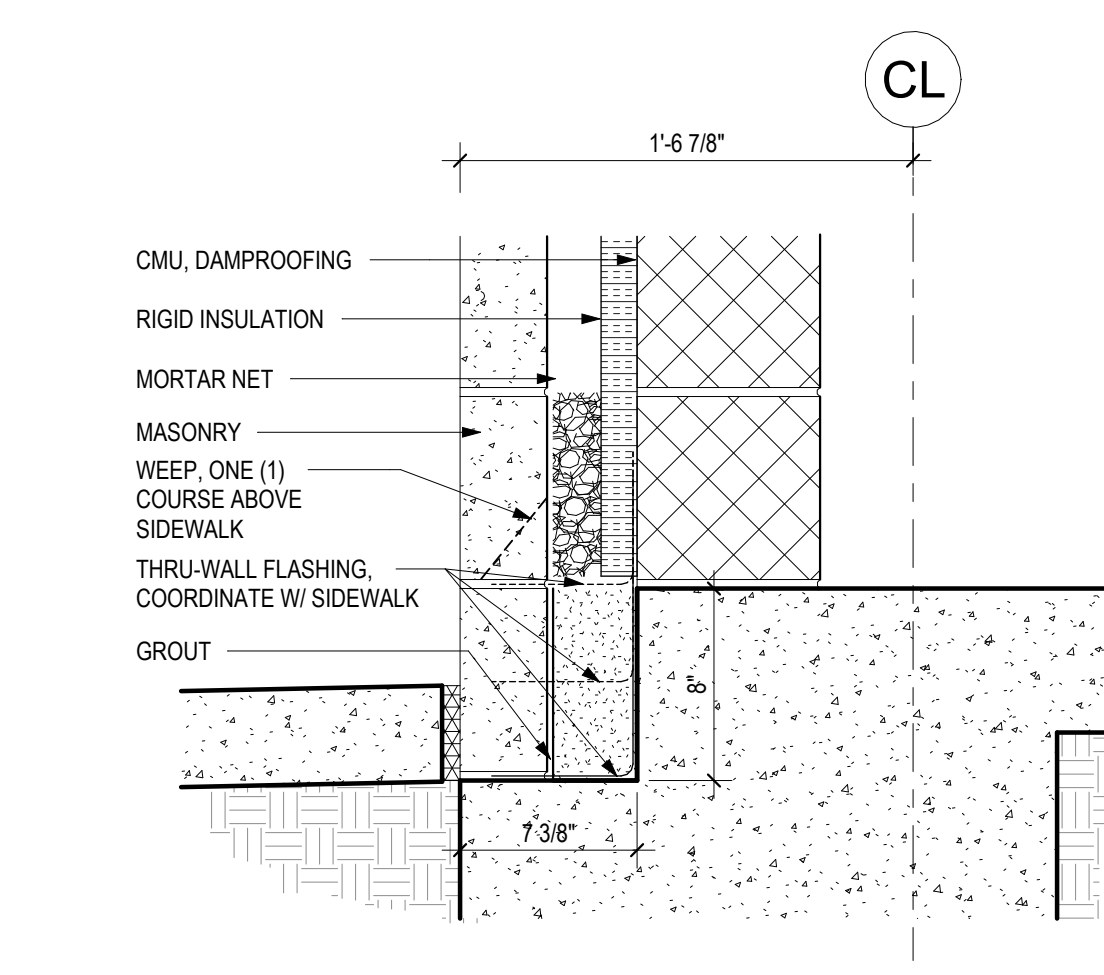




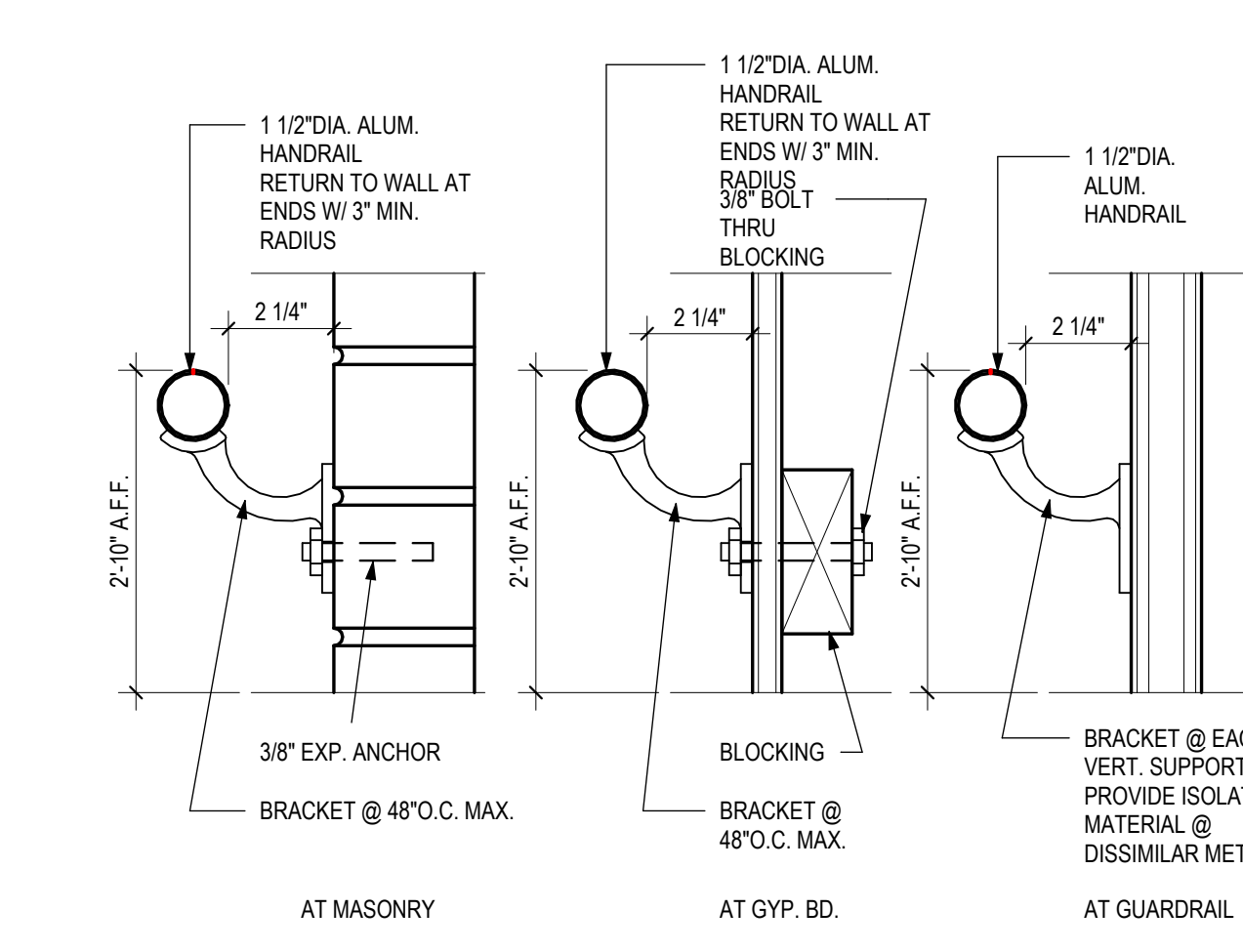
15 EXT. ALUM. WND. HEAD @ MAS/ CMU
3/8" = 1'-0"



14 EXT. ALUM. WND. SILL @ MAS/ CMU
3/8" = 1'-0"



13 BRICK LEDGE
1 1/2" = 1'-0"

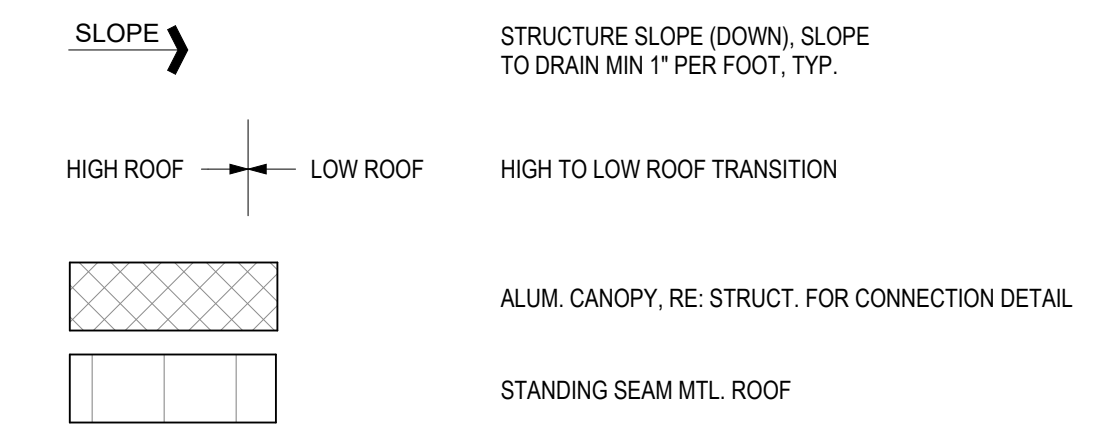


8 HANDRAIL SECTION DETAILS
3/8" = 1'-0"

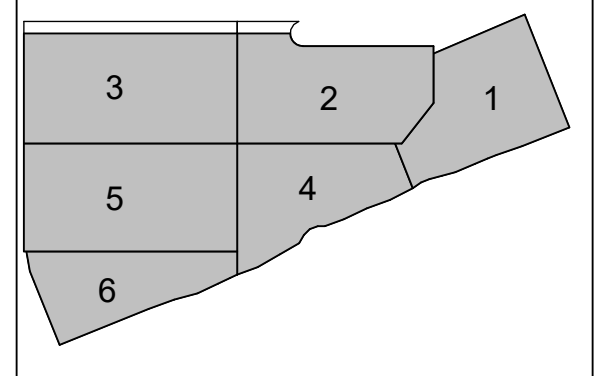
GENERAL NOTES

- MEP ITEMS SHOWN ON ROOF PLAN ARE FOR ARCHITECTURAL REFERENCE ONLY. RE: MEP DRAWINGS FOR LOCATIONS OF ROOF MOUNTED EQUIPMENT AND PENETRATING ELEMENTS NOT SHOWN ON THIS SHEET.
- ROOF IS STANDING SEAM METAL ROOFING SYSTEM ON PLYWOOD DECK WITH ICE AND WATER SHIELD, UNLESS NOTED OTHERWISE.
- PROVIDE PORTABLE PIPE HANGERS TO SUPPORT ALL ROOF TOP PIPING. RE: MEP DRAWINGS. PROVIDE 18"x18" WALK PAD UNDER ALL PIPE HANGERS.
- PROVIDE 4" LAP JOINTS FOR ALL SHEET METAL FLASHING RECEIVERS.
- PROVIDE WALK PADS UNDER ALL LADDERS AND EQUIPMENT.

LEGEND



CONSULTANTS
STRUCTURAL
 CJG Engineers
 6051 North Course Drive, Suite 375
 Houston, TX 77042
 Tel: 713.780.3345
 Fax: 713.780.3712
MEP
 Salas O'Brien
 10930 W. Sam Hou. Pkwy N, Suite 900
 Houston, TX 77064
 Tel: 281.664.1900
 Fax: 1.866.768.4625
FOODSERVICE
 Suncana Food Service Design
 12625 Memorial Dr.
 Houston, TX
 Tel: 281-224-1230
 Tel: 832-444-6311
CIVIL
 Brooks and Sparks, Inc.
 21020 Park Row Dr.
 Katy, TX 77449
 Tel: 281.578.9595
 Fax: 281.578.9686
ACOUSTIC
 BAI, LLC
 4726 Rainbow Run
 Sugarland, Texas 77479
 Tel: 281.813.8518
 Fax: 214.584.6124

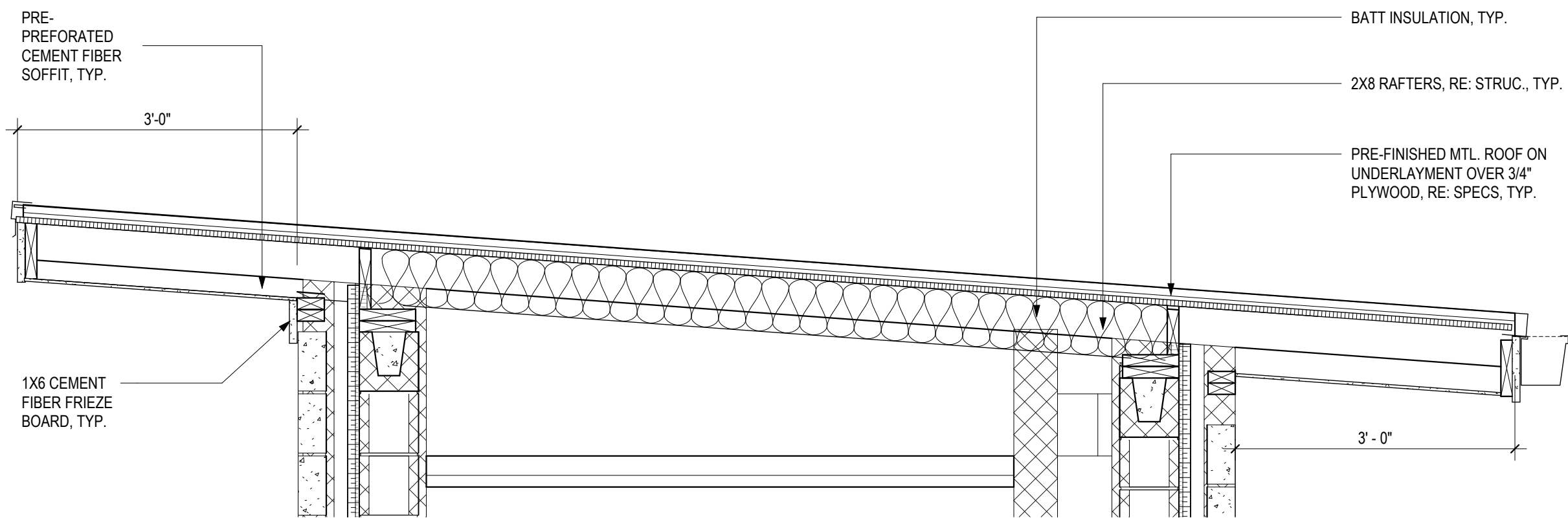


JERSEY VILLAGE HIGH SCHOOL RENOVATIONS
 CYPRESS FAIRBANKS ISD
 7600 Solomon St, Jersey Village, TX 77040

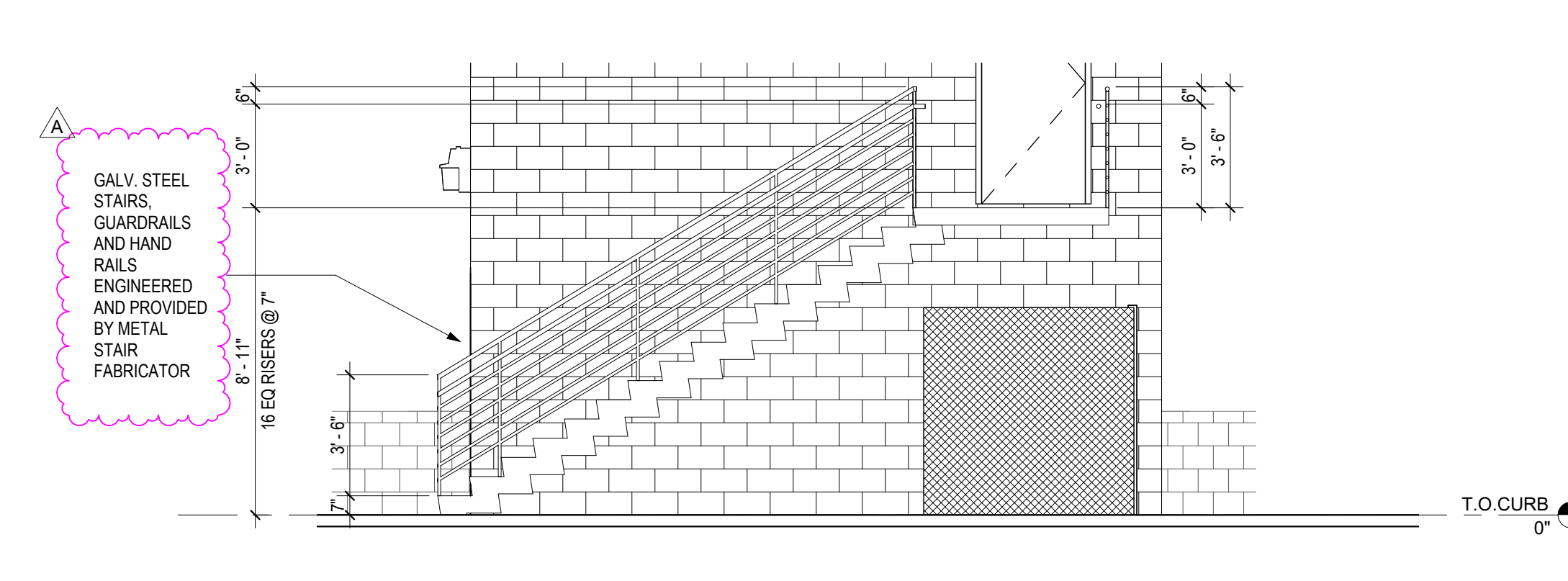
ARCADIS
 TEXAS ARCADIS INC.
 10205 WESTHEIMER SUITE 800
 HOUSTON, TX 77042
 tel 281.286.6605, fax 713.977.4620
 REGISTERED ARCHITECT
 STATE OF TEXAS
 2024-12-16

PROJECT #:	202319
DATE:	2024-12-16
DRAWN:	Author
CHECKED:	Checker
DATE:	ISSUE
2024-12-16	PERMIT & PROPOSAL
2024-01-07	ADDENDUM 04

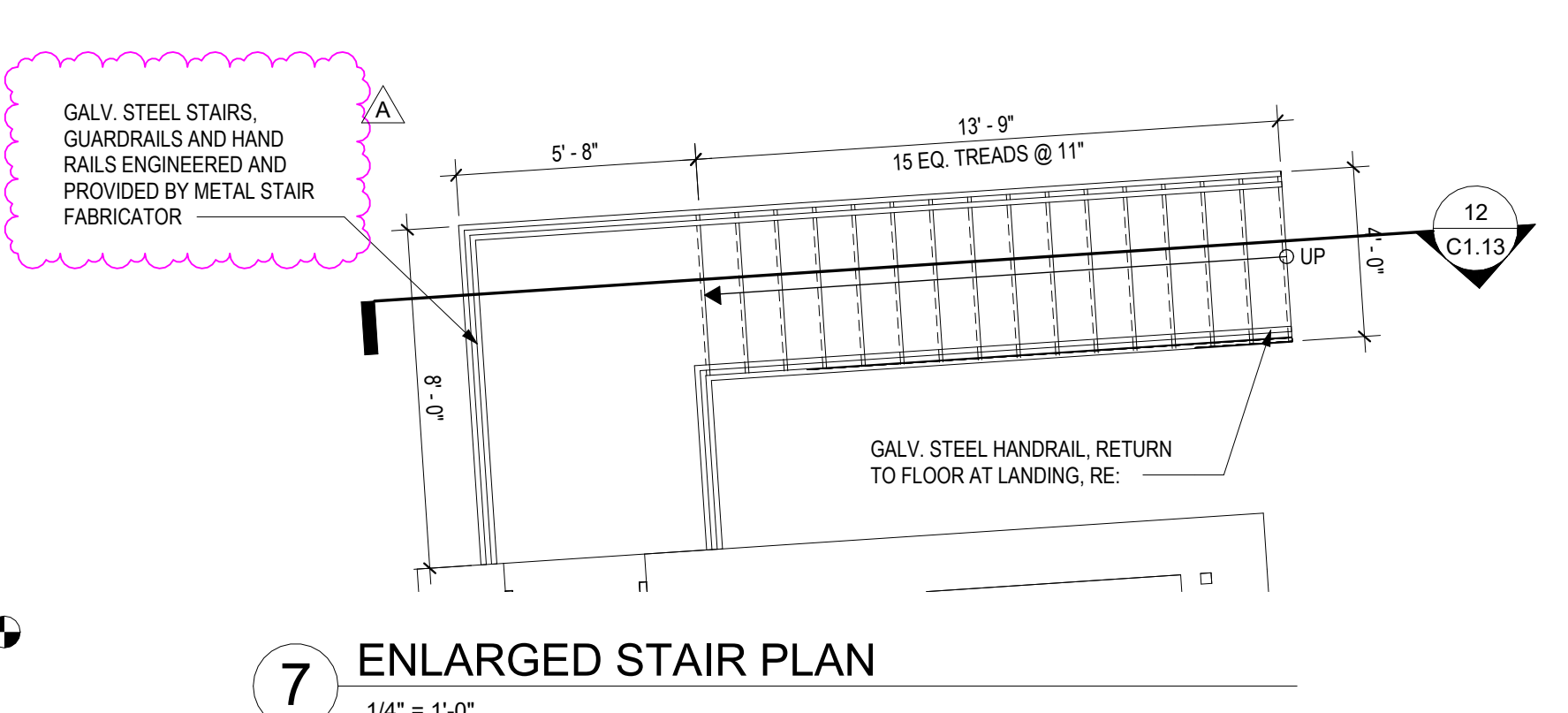
C1.13
 ENLARGED SITE PLANS



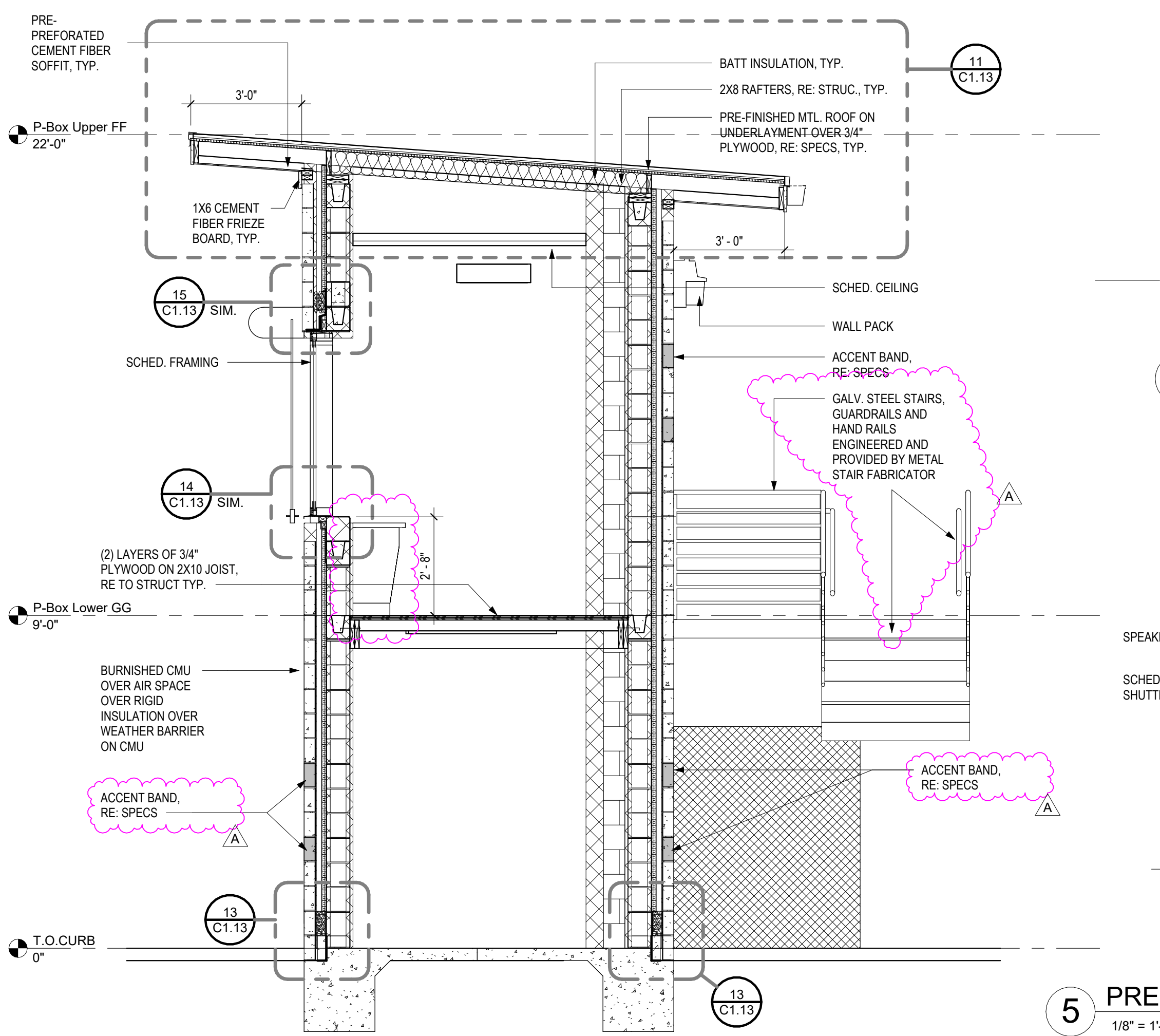
11 PRESSBOX SOFFIT
3/4" = 1'-0"



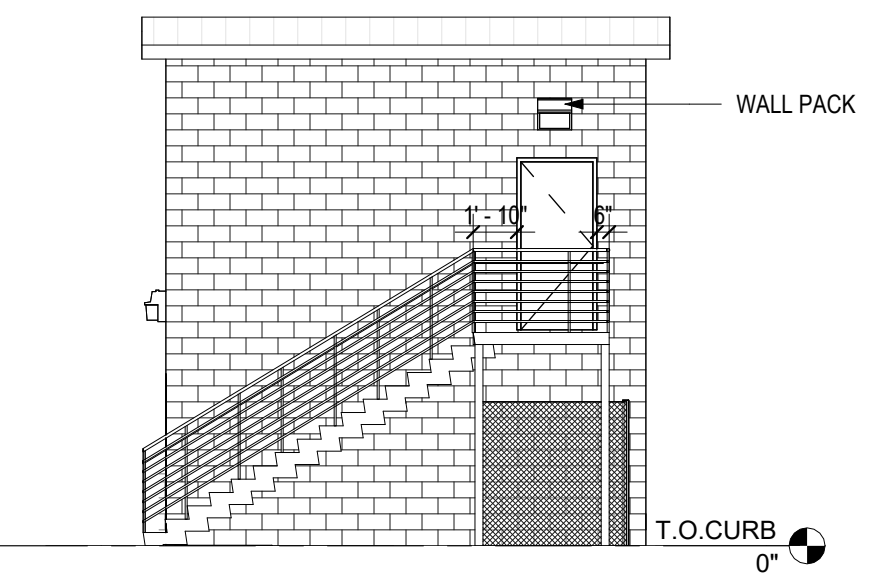
12 PRESSBOX - STAIR SECTION
1/4" = 1'-0"



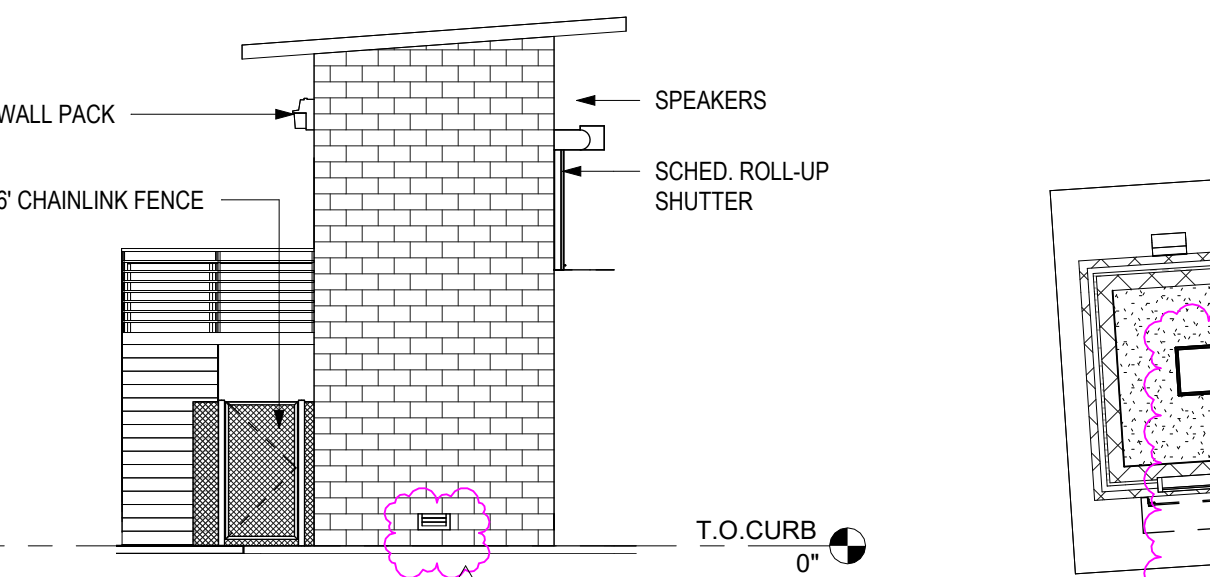
7 ENLARGED STAIR PLAN
1/4" = 1'-0"



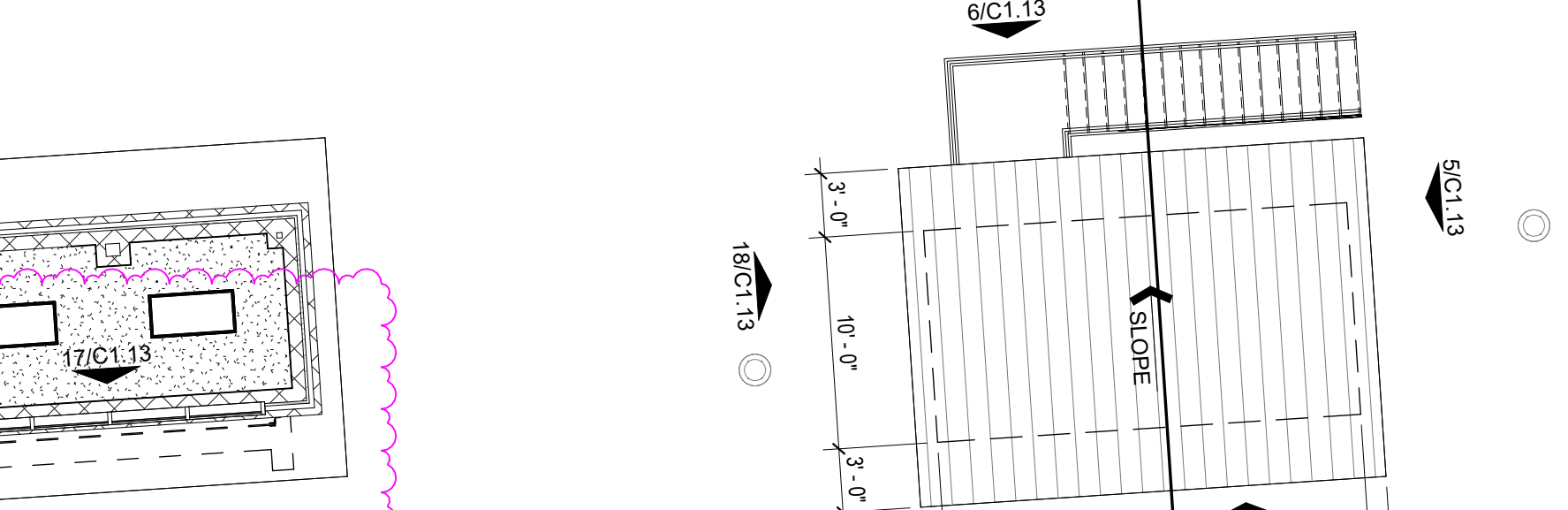
10 PRESSBOX - WALL SECTION
3/8" = 1'-0"



6 PRESS BOX ELEVATION BACK
1/8" = 1'-0"

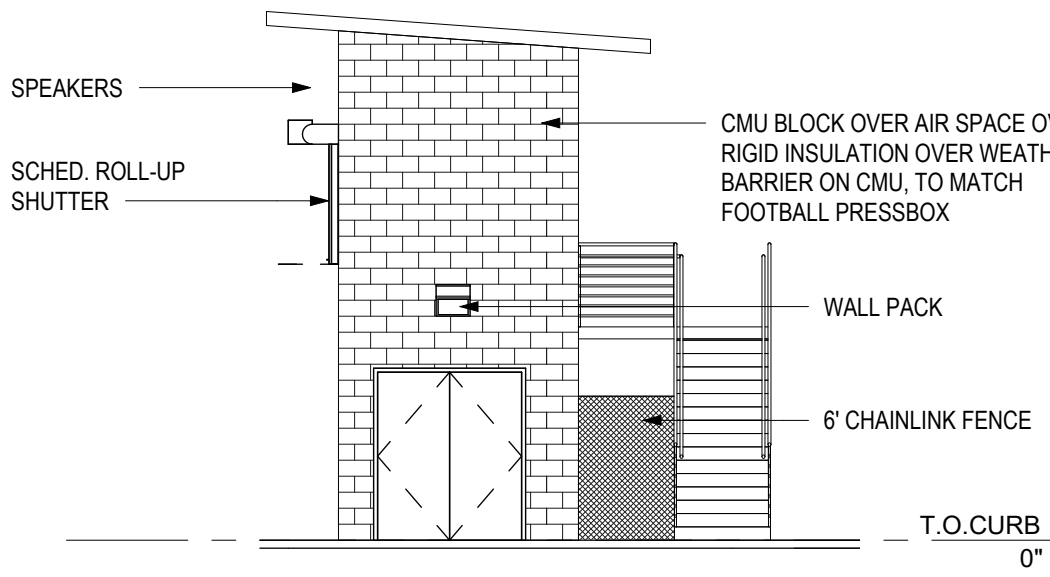


18 PRESS BOX ELEVATION - N. SIDE
1/8" = 1'-0"

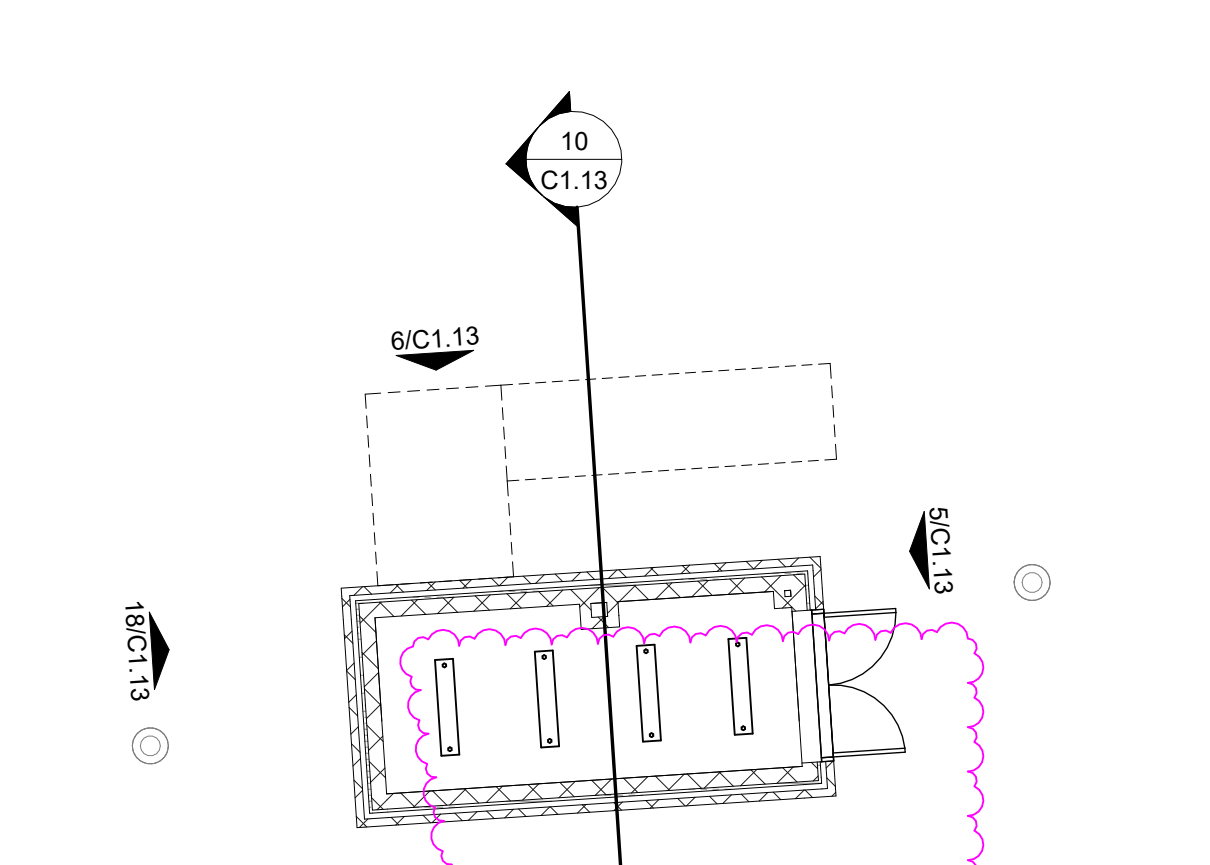


9 2ND FLOOR RCP
1/8" = 1'-0"

4 ROOF PLAN - SOFTBALL PRESSBOX
1/8" = 1'-0"



5 PRESS BOX ELEVATION - SIDE
1/8" = 1'-0"

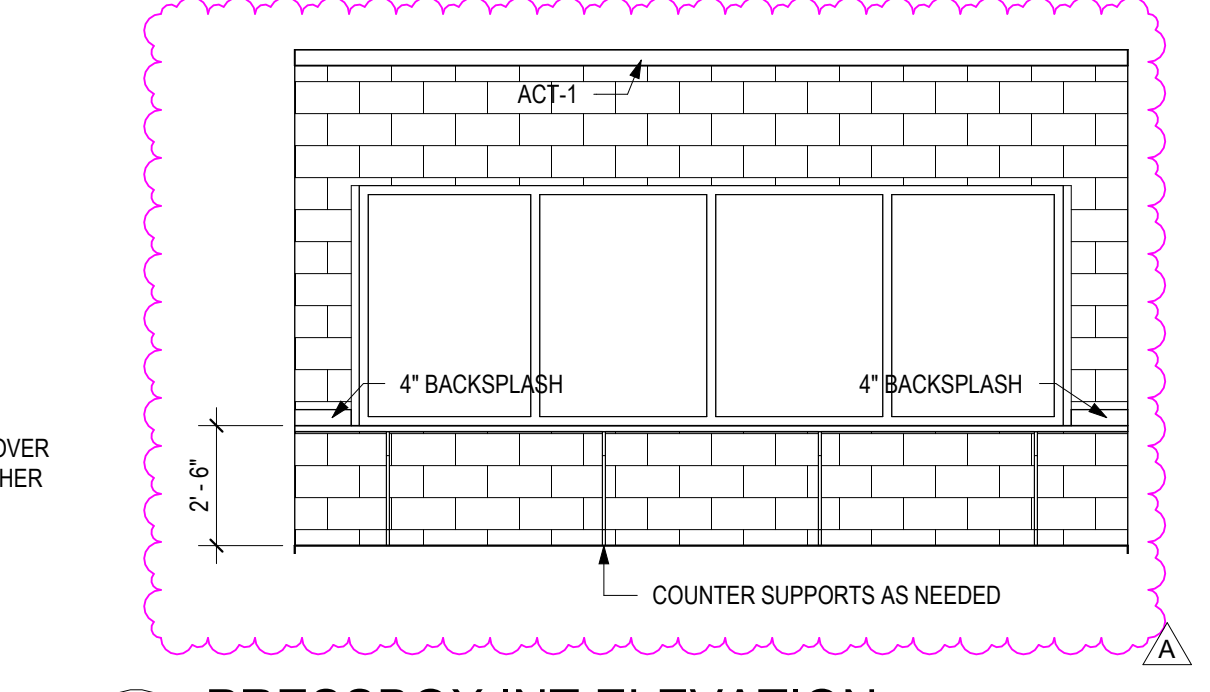


16 1ST FLOOR RCP
1/8" = 1'-0"

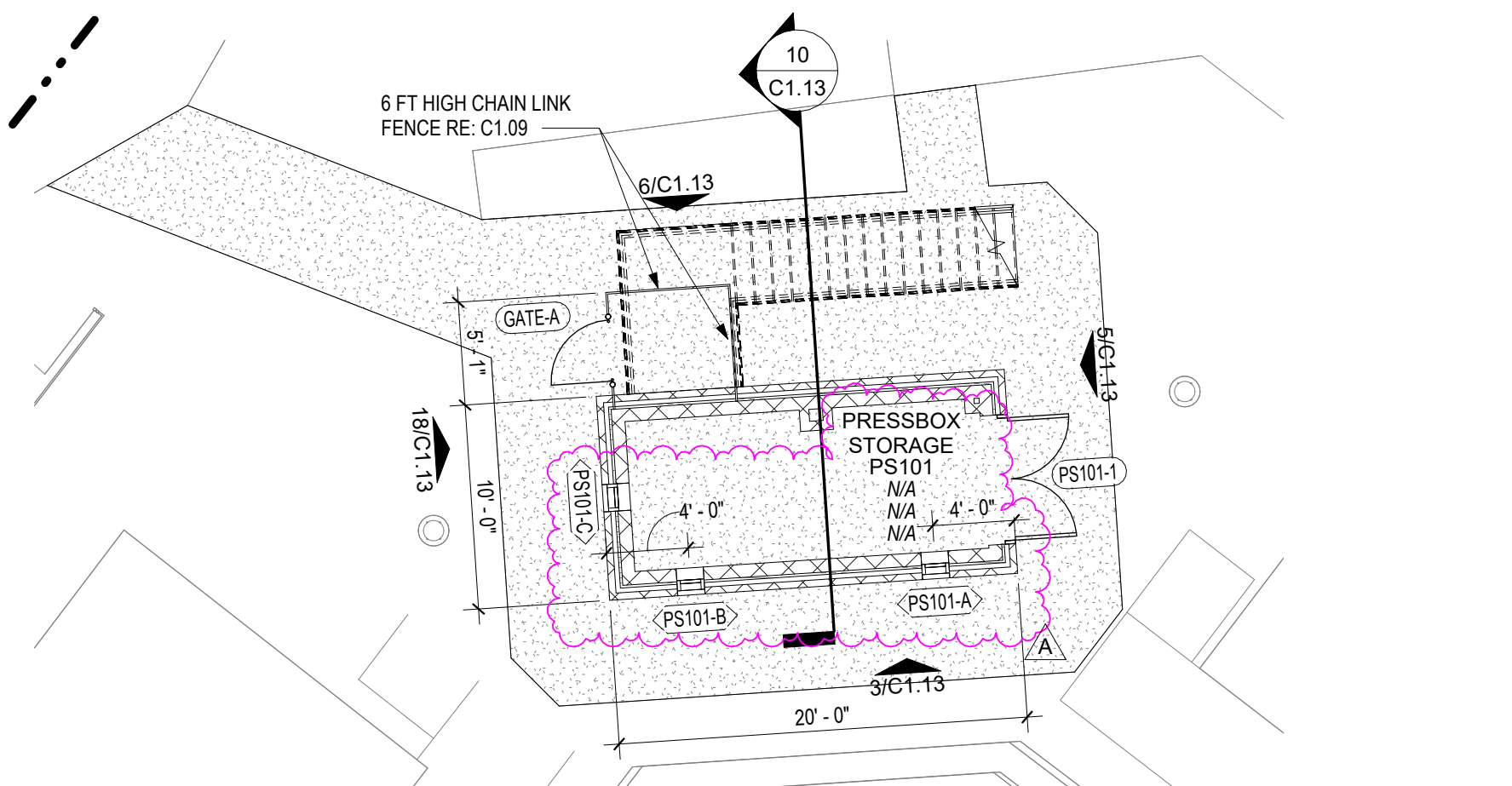
2 2ND FLOOR PLAN - SOFTBALL PRESSBOX
1/8" = 1'-0"



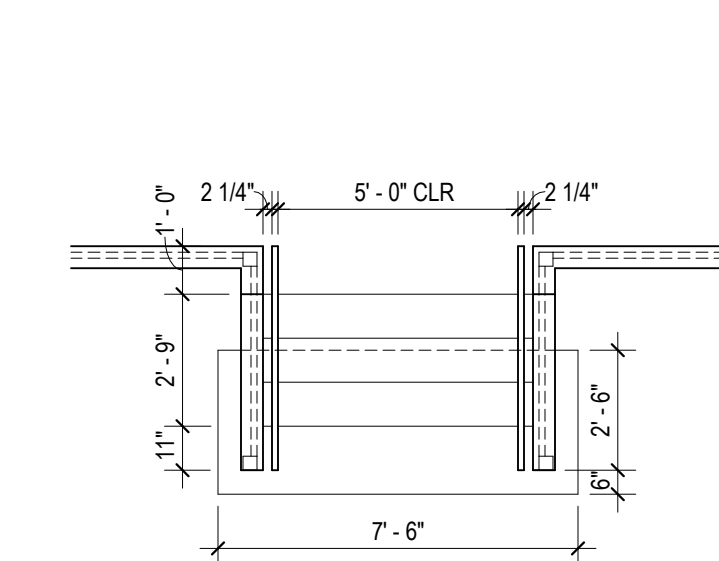
3 PRESS BOX ELEVATION - FRONT
1/8" = 1'-0"



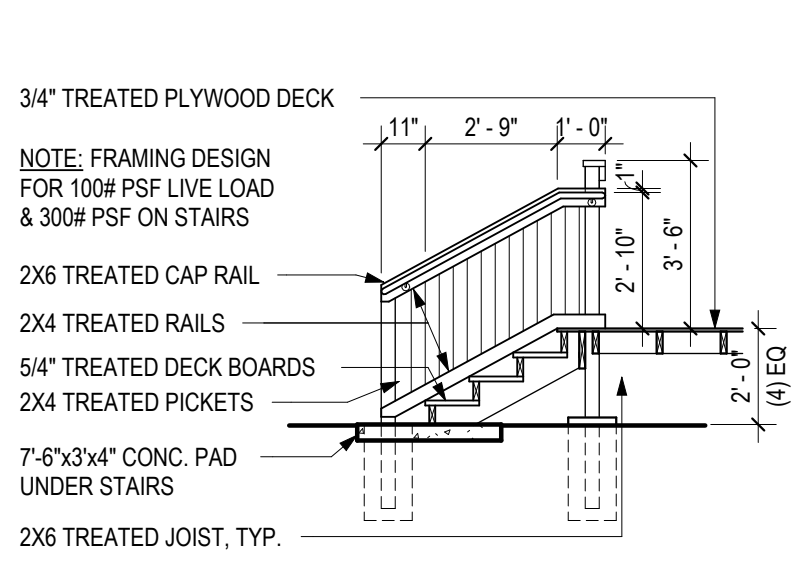
17 PRESSBOX INT ELEVATION
1/4" = 1'-0"



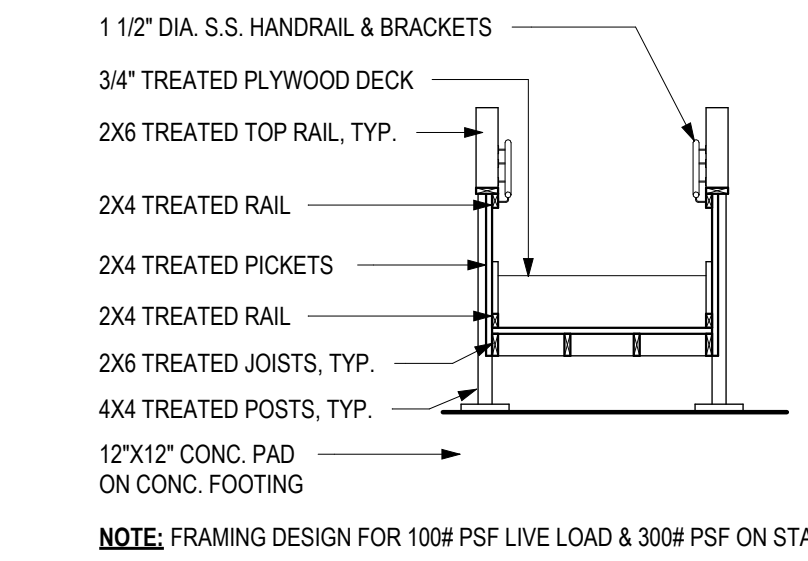
1 1ST FLOOR PLAN - SOFTBALL PRESSBOX
1/8" = 1'-0"



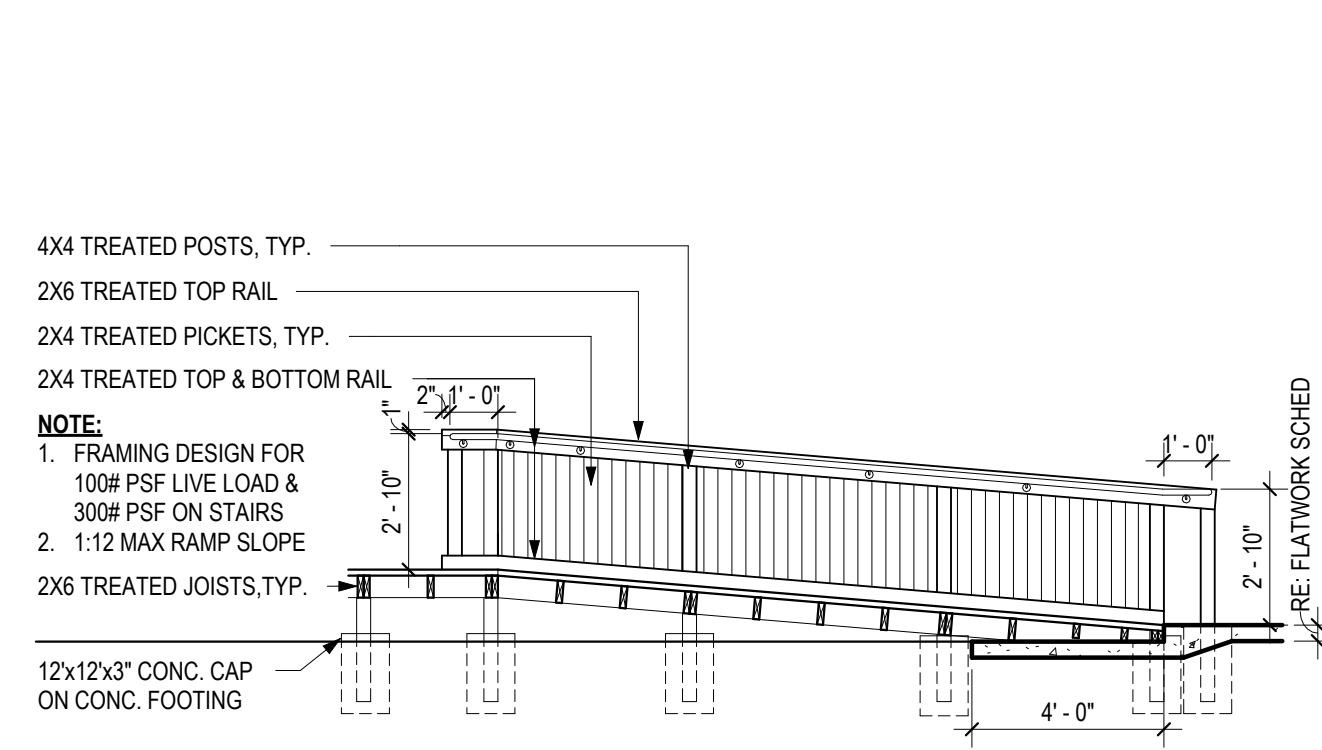
8 PORTABLE - STAIR PLAN
1/4" = 1'-0"



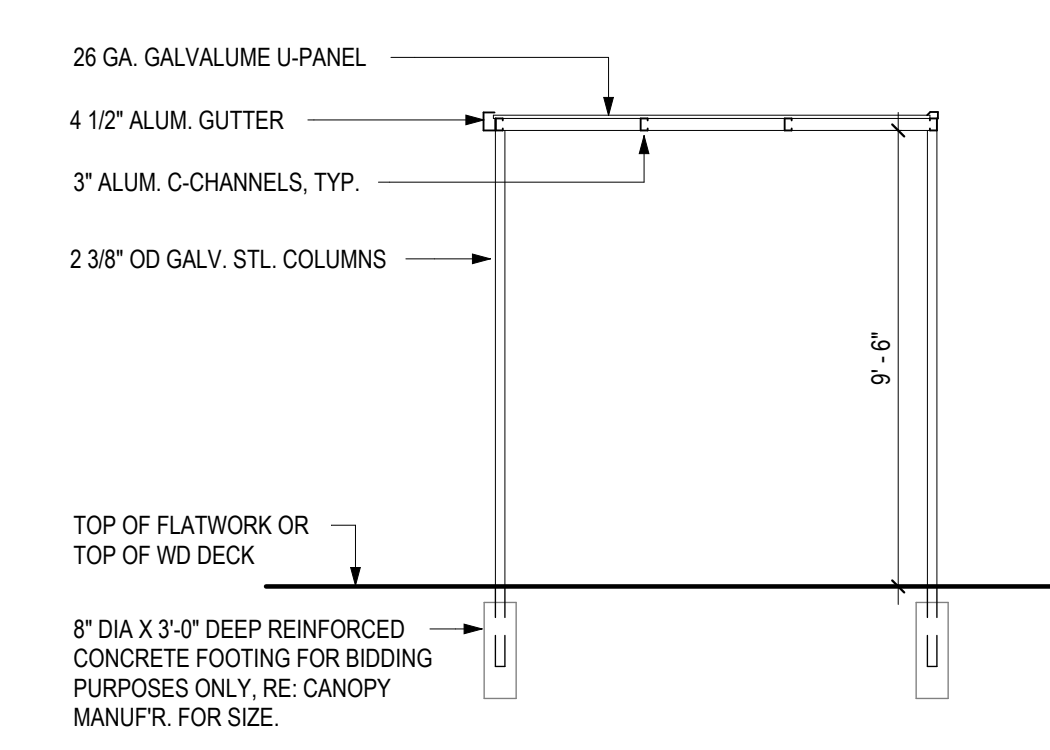
7 PORTABLE - STAIR SECTION
1/4" = 1'-0"



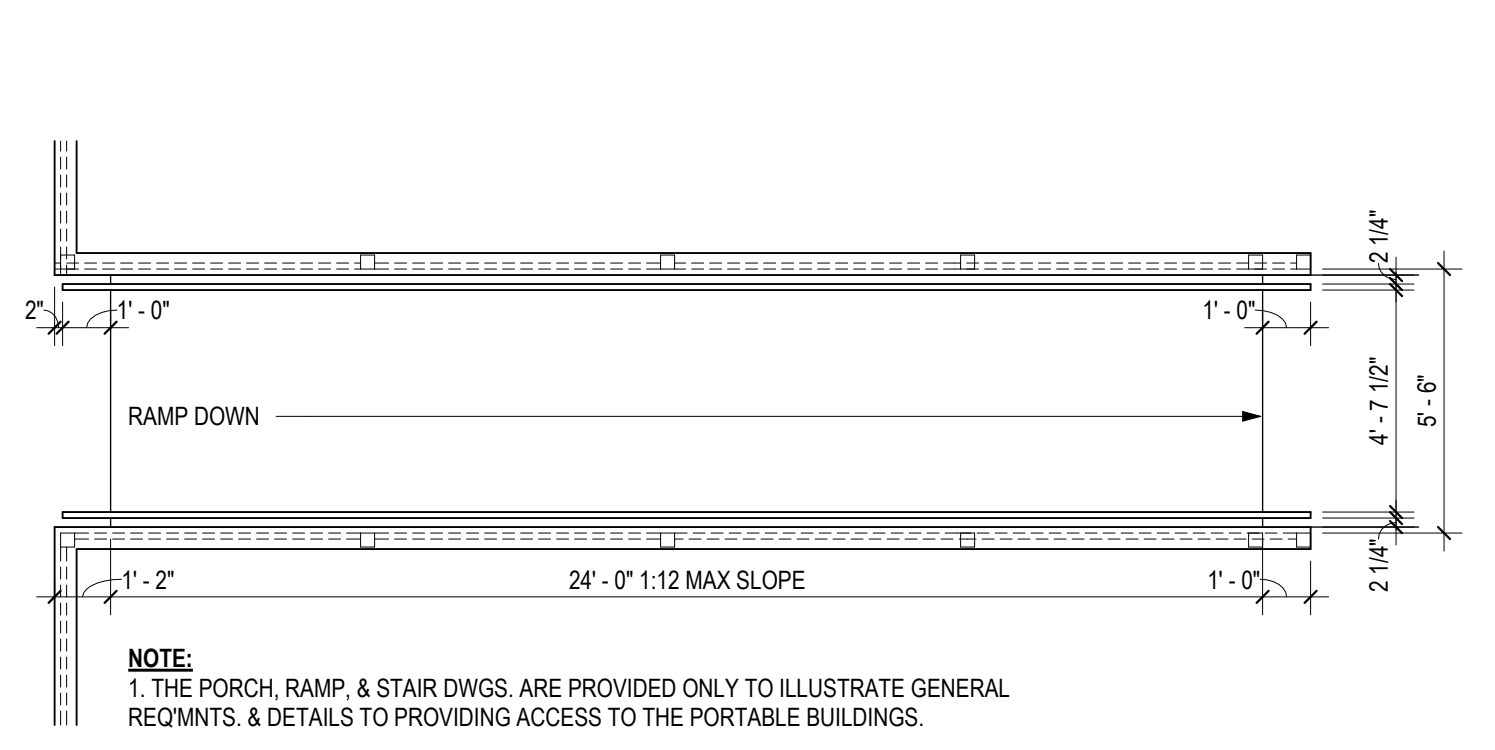
6 PORTABLE - RAMP CROSS SECTION
1/4" = 1'-0"



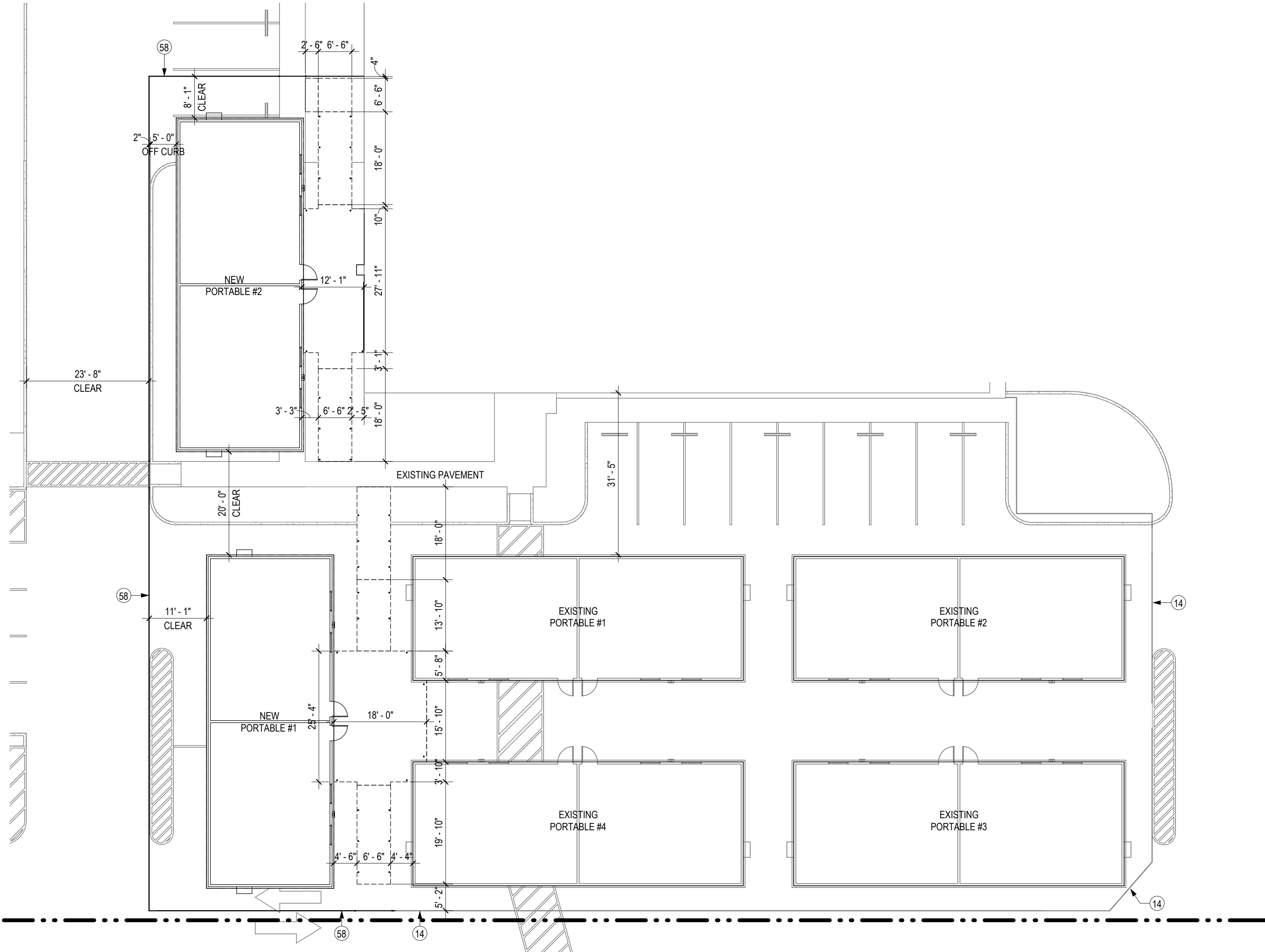
5 PORTABLE - RAMP SECTION
1/4" = 1'-0"



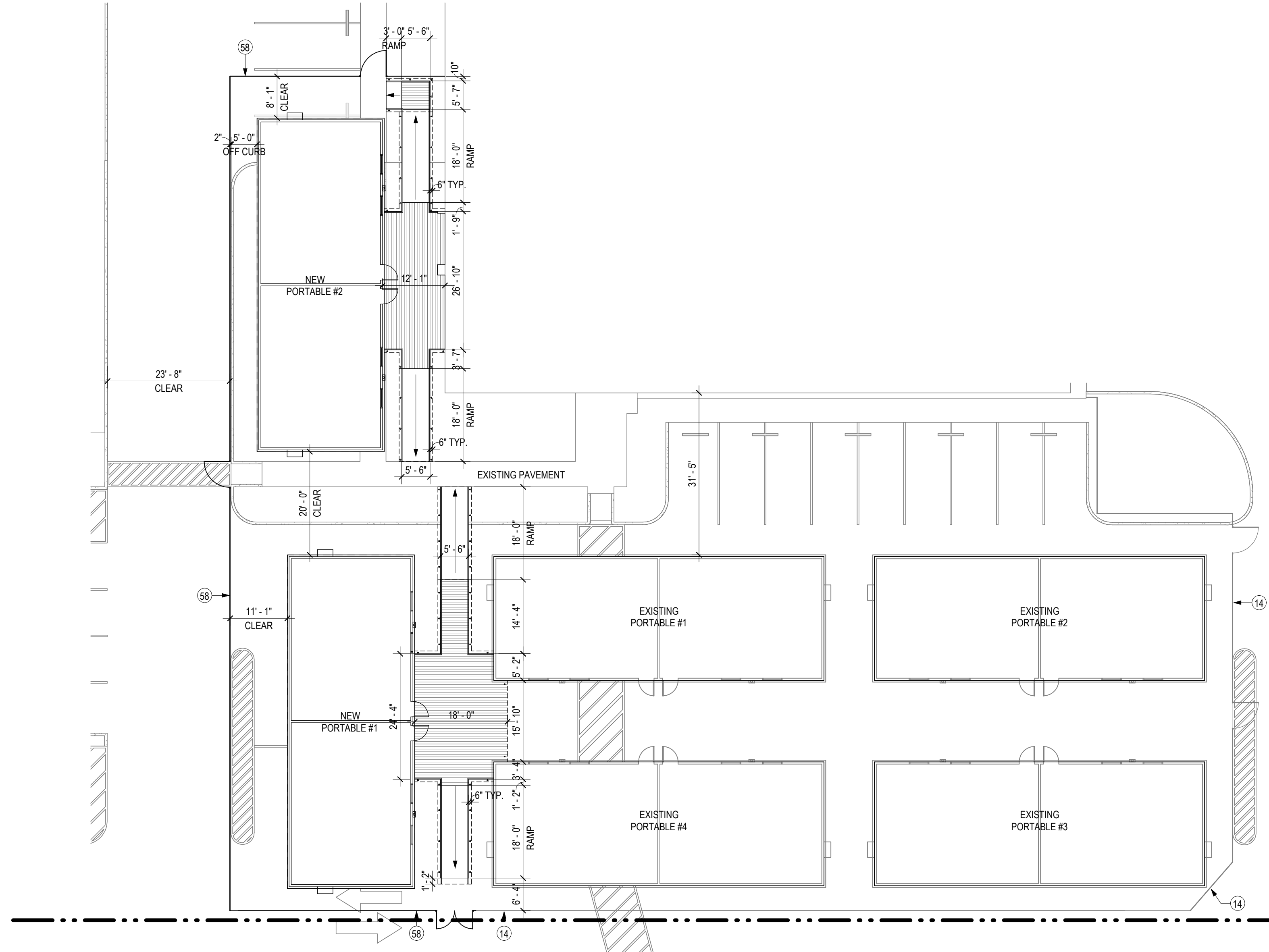
4 PORTABLE - GALV CANOPY SECTION
1/4" = 1'-0"



3 PORTABLE - RAMP PLAN
1/4" = 1'-0"



2 CANOPY PLAN - NEW PORTABLES
1:180



1 ENLARGED SITE PLAN - PORTABLES
1:180

DESCRIPTION	GRAPHIC	MATERIAL	REINFORCING
SIDEWALKS/ FLATWORK		4" THICK CONCRETE	#3 BARS @ 18" O.C. EACH WAY
STANDARD DUTY PARKING AREAS & DRIVES		5" THICK CONCRETE	#3 BARS @ 18" O.C. EACH WAY
MEDIUM DUTY PARKING AREAS & DRIVES		6" THICK CONCRETE	#3 BARS @ 18" O.C. EACH WAY
HEAVY DUTY PARKING AREAS, DRIVES, & SERVICE YARDS		7" THICK CONCRETE	#3 BARS @ 18" O.C. EACH WAY
EXPANSION JOINT		REFER TO DWG 1C1.10 & 3C1.10	
CONTROL JOINT		REFER TO DWG 4C1.10	

LEGEND - PAVING/ FLATWORK
1" = 1'-0"

- 1 SIDEWALK EXPANSION JT., RE. C1.10, C1.11
- 2 SIDEWALK CONTROL JT., RE. C1.10, C1.11
- 3 WHEEL STOPS, RE. C1.10
- 4 EXISTING PORTABLE
- 5 REMOVABLE BOLLARD, RE. C1.10, C1.11
- 6 4" PAINT STRIPING
- 7 TENNIS BLEACHER AND CANOPY, RE. C1.08
- 8 DIRECTIONAL ARROW, RE. C1.10, C1.11
- 9 ACCESSIBLE RAMP, RE. C1.10, C1.11
- 10 NEW TENNIS COURT, RE. CS SHEETS
- 11 LIGHT POLE, RE. ELECTRICAL DWGS.
- 12 FIXED BENCHES - 12 FT LENGTH, RE. SPECS
- 13 CAR ACCESSIBLE PARKING SPACES RE. C1.10, C1.11
- 14 EXISTING ORNAMENTAL SECURITY FENCING TO REMAIN, PROTECT DURING CONSTRUCTION
- 15 EXISTING LIGHT POLES
- 16 RE-INSTALLED EXISTING LIGHT POLES
- 17 SIDEWALK AT EXIST. COLUMN, RE. C1.10, C1.11
- 18 NEW GATE: PROVIDE POST TO LOCK GATE IN OPEN POSITION, RE. C1.10, C1.11
- 19 RESTRIPE PAVEMENT W/ 4" PAINT STRIPING TO MATCH EXISTING. EXISTING PARKING SPACE NUMBER MARKINGS TO REMAIN AND BE PROTECTED
- 20 NEW SIDEWALK, RE. PAVING WALK SCHED.
- 21 NEW PAVING, RE. PAVING WALK SCHED.
- 22 NEW PRESSBOX STRUCTURE AND STAIRS
- 23 RE-INSTALLED EXISTING SIGNAGE
- 24 PROPOSED DETENTION POND RE. CIVIL
- 25 PROPOSED DETENTION STRUCT WALL RE. CIVIL & CIVIL STRUCT.
- 26 EXISTING DISCUS PAD TO REMAIN RE. CIVIL
- 27 NEW DISCUS POLES AND NETTING (RE. CIVIL)
- 28 PAVEMENT EXPANSION JT., RE. C1.10, C1.11
- 29 PAVEMENT CONTROL JT., RE. C1.10, C1.11
- 30 FIXED BOLLARD, RE. C1.10, C1.11
- 31 NEW CONCRETE CURB
- 32 CONC. PLATFORM / RAMP, RE. C1.10, C1.11
- 33 ALUMINUM CANOPY SYSTEM, RE. C1.08 (RE. CIVIL FOR DRAINAGE TO STORM)
- 34 NEW FIRE HYDRANT (RE. CIVIL)
- 35 POLE MOUNTED "FDC" SIGN
- 36 PAINTED FIRE LANE, RE. C1.10, C1.11
- 37 PAINTED BAND LOT STRIPING AND FOOTBALL MARKINGS TO MATCH EXISTING. EXISTING PARKING SPACE NUMBER MARKINGS TO REMAIN AND BE PROTECTED
- 38 12" TACKLE SURFACE
- 39 NEW SECURITY CAMERAS TO BE MOUNTED TO EXISTING POLES
- 40 INLET DRAIN, RE. CIVIL DWGS.
- 41 6'-0" HIGH CHAINLINK DETENTION FENCE
- 42 GC TO INSPECT AND COORDINATE EXISTING BASEBALL PRESSBOX STRUCTURE REINFORCEMENT (RE. STRUCT)
- 43 FIRE EXTINGUISHER W/ CABINET
- 44 EXISTING FIRE HYDRANT
- 45 FDC INLET W/ FDC SIGNAGE
- 46 FDC OUTLET W/ FDC SIGNAGE
- 47 FIRE DEPT. LOCK BOX
- 48 NEW POST, RE. C1.10, C1.11
- 49 ACCESSIBLE RAMP (2 IN-LINE), RE. C1.10, C1.11
- 50 ACCESSIBLE SIGN, RE. C1.10, C1.11
- 51 COORD. IRRIGATION: PROVIDE SOD AND HYDROMULCH FOR PROJECT COMPLETION EXISTING ROOF OVERHANG (PROTECT)
- 52 NEW METERS, VALVES AND UTILITY LINES (RE. CIVIL)
- 53 NEW ELEC. RE. MEP
- 54 REMOTE FIRE HOSE INLET CONNECTION (RE. CIVIL)
- 55 COORDINATE WITH DISTRICT CENTERPOINT ON NEW 48" X 48" SLAB FOR NEW GENERATOR. COORDINATE WITH DISTRICT ON PAPERWORK/ LEAD TIMES WITH CENTERPOINT FOR NEW GENERATOR. (RE. ELEC. DWGS & GAS)
- 57 NEW PORTABLE: PROVIDE NEW WOOD DECKING, RAMPS, & STAIRS AS PART OF NEW LOCATION. PROVIDE NEW GALV. CANOPY, RE. SPECS. GC TO COORDINATE CONNECTIONS, RE. MEP
- 58 NEW ORNAMENTAL SECURITY FENCING TO MATCH EXISTING. FENCING TO BE REMOVED AFTER PORTABLES ARE REMOVED

REFER TO ALL DISCIPLINES CONSTRUCTION DOCUMENTS FOR ALL OTHER SITE SCOPE ITEMS FOR CONTRACTOR COORDINATION (I.E. IRRIGATION, CIVIL, MEP, ETC.)

KEYNOTES - SITE PLAN
1/4" = 1'-0"

CONSULTANTS
STRUCTURAL
 CJG Engineers
 3200 Wilcrest Drive, Suite 305
 Houston, TX 77042
 Tel: 713.780.3345
 Fax: 713.780.3712

MEP
 Lee Truong & Yu Engineers, PLLC
 16225 Park Ten Place, Suite 810
 Houston, TX 77084
 Tel: 281.945.8888
 Fax: 281.945.8889

FOODSERVICE
 Foodservice Design Professionals
 26215 Oak Ridge Drive
 Spring, TX 77380-1960
 Tel: 281.350.2323
 Fax: 281.350.5959

CIVIL
 Brooks and Sparks, Inc.
 21020 Park Row Dr.
 Katy, TX 77449
 Tel: 281.578.9595
 Fax: 281.578.9686

LANDSCAPE
 Kudela & Weinheimer
 7155 Old Katy Rd., Suite 270
 Houston, TX 77024
 Tel: 281.869.6987
 Fax: 281.869.0908

JERSEY VILLAGE HIGH SCHOOL RENOVATIONS
 CYPRESS FAIRBANKS ISD
 7600 Solomon St, Jersey Village, TX 77040

IBI
TEXAS-IBI GROUP, INC.
 465 E MEDICAL CENTER BLVD, STE 600
 P.O. BOX 891209
 HOUSTON, TEXAS 77289
 281.286.6605

THESE DOCUMENTS ARE FOR ILLUSTRATION ONLY AND ARE NOT TO BE USED FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION.
 ARCHITECT: MARK R. FRENCH, AIA
 10294

PROJECT NO.	202319
DATE:	2024-12-16
DRAWN:	Author
CHECKED:	Checker
DATE	ISSUE
2024-12-16	PERMIT & PROPOSAL
2024-01-07	ADDENDUM 04
	A

C1.17
 ENLARGED SITE PLANS - PORTABLES

1. RE: G1 SERIES SHEETS FOR ACCESSIBLE MOUNTING HEIGHTS
2. RE: A6 SERIES SHEETS FOR PARTITION TYPES
3. RE: A9 SERIES SHEETS FOR DOOR & FRAME ELEVATIONS
4. RE: A11 SERIES SHEETS FOR COLOR SELECTIONS IN FINISH LEGEND
5. ALL CMU COLUMN FURROUTS ARE TO BE 1'-0" OFF COLUMN CENTER LINE, UNLESS NOTED OTHERWISE
6. MASONRY DIMENSIONS ARE NOMINAL
7. ALL DIMENSIONS ARE TO FINISH FACE OF EXTERIOR WALLS, FOUNDATION, MASONRY, OR TO CENTER LINE OF COLUMN, UNLESS NOTED OTHERWISE
8. ALL WALL FINISH GOES TO DECK IN ROOMS WITHOUT CEILINGS
9. ALL EXTERIOR WALLS EXTEND TO BOTTOM OF ROOF DECK
10. PROVIDE EXPANSION JOINT COVERS ON INTERIOR WALLS @ BUILDING EXPANSION JOINTS RE: SPECS
11. ALL SPACES W/ FLOOR DRAINS SHALL HAVE FINISHED FLOOR SLOPE TO DRAIN. VERIFY W/ ARCH. IN FIELD
12. ALL EQUIP. PADS SHALL BE AS PER STRUC. DWGS. COORDINATE SIZES, THICKNESS & LOCATIONS W/ MECH. CHAMFER EDGES
13. ALL EXTERIOR DOORS SHALL RECEIVE A THRESHOLD. THRESHOLD TO BE OF SUFFICIENT WIDTH TO COVER SIDEWALK TO FOUNDATION EXPANSION JOINT TO MAINTAIN ONLY 1/2" RISE & STAY ADA COMPLIANT
14. PROVIDE TRANSITION STRIPS @ ALL FLOOR FINISH TRANSITIONS PER SPECS, UNLESS NOTED OTHERWISE
15. ALL FLOOR MATERIAL CHANGES SHALL OCCUR @ CENTERLINE OF DOOR, UNLESS NOTED OTHERWISE
16. F.E.C. DENOTES FIRE EXTINGUISHER & CABINET
17. DASHED EQUIPMENT/ FURNITURE IS NOT IN CONTRACT (N.I.C.)
18. PROVIDE HORIZONTAL BLINDS @ ALL NEW EXTERIOR WINDOWS, EXCEPT WINDOWS ADJACENT TO EXISTING ENTRY DOORS. PROVIDE HORIZONTAL BLINDS @ ALL NEW INTERIOR WINDOW LOCATIONS
19. SAWTOOTH ALL NEW MASONRY INTO EXISTING CMU OR BRICK
20. REPLACE ANY DAMAGED CEILING TILES WITH SALVAGED EXISTING TILES IN THE INSTALLATION OF SPEAKERS, FIRE ALARM, ETC. AS SHOWN ON THE 'T' SERIES DRAWINGS
21. REPLACE THE PLASTER SOFFIT AS REQUIRED FOR THE INSTALLATION OF THE SPEAKERS AS SHOWN ON THE 'T' SERIES DRAWINGS
22. GENERAL NOTE: FOR CONC. CURB AT BASE OF PARTITION, REFER TO PARTITION TYPES SHEET A6 SERIES PER ROOM TYPE
23. THE CONTRACTOR WILL NEED TO REMOVE CEILINGS (GYPSUM BOARD CEILINGS AND/OR CEILING TILES) AS NECESSARY TO INSTALL CONDENSATION LINES, TECHNOLOGY LINES, LIFE SAFETY THROUGHOUT THE BUILDING. ONCE INSTALLED THE CONTRACTOR WILL NEED TO REPAIR, PATCH, OR REPLACE THE CEILINGS AS REQUIRED. THE CONTRACTOR WILL NEED TO REFER TO THE MEPT SHEETS TO DETERMINE THE PATHS.
24. CONTRACTOR TO INSTALL PAINTABLE METAL PLATE AT LOCATIONS WHERE CORRIDOR CLOCKS REMOVED.
25. INSTALL NEW CEMENTITIOUS FIREPROOFING AT ALL LOCATIONS WHERE FIREPROOFING WAS ABATED

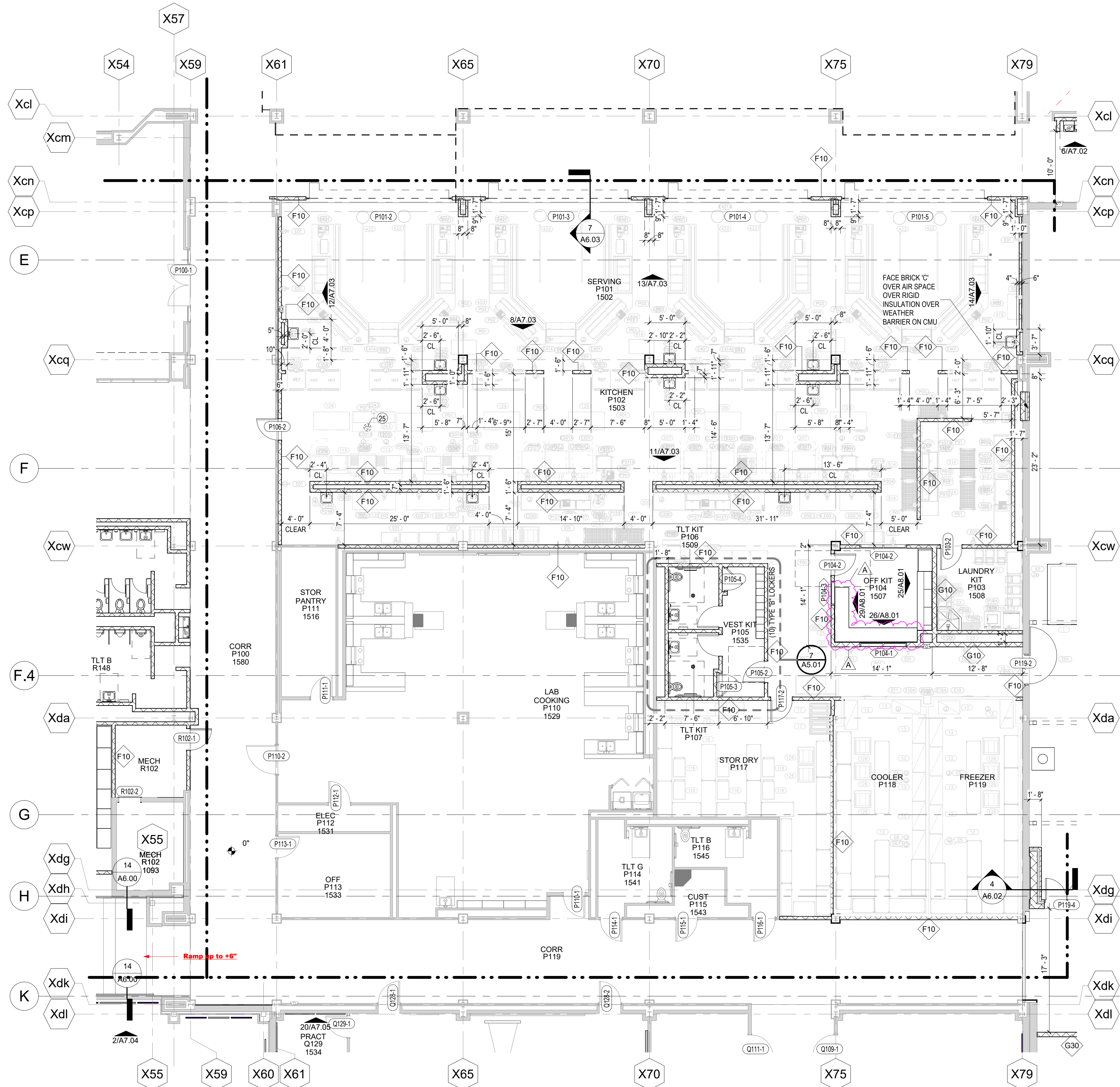
GENERAL PLAN NOTES

1:1

- 1 DRYER, RE: SPECS
- 2 NOT USED
- 3 NOT USED
- 4 NEW FLAKER ICE MACHINE (RE: MEP)
- 5 MTL STUD MANUF. TO ENGINEER SUPPORT (RE: AUDIOVISUAL)
- 6 COPIER/ PRINTER (N.I.C.)
- 7 PAPER TOWEL DISPENSER
- 8 SOAP DISPENSER
- 9 INTERACTIVE MONITOR, 0.0 P.C.I., CENTER ON WALL
- 10 NEW ACCESSIBLE SINK IN NEW CASEWORK, C105
- 11 ACCESSIBLE SINK WITH HOSE SPRAYER
- 12 WASHER/DRYER 4" CONC. HOUSEKEEPING PAD (RE: STRUCT)
- 13 NEW SLOTTED FUME HOODS (RE: MEP)
- 14 NEW SOURCE CAPTURE ARM W/ EXHAUST FAN (RE: MEP)
- 15 NEW CONC. PLATFORM ON EXISTING SLAB FOR NEW CONTROL BOOTH
- 16 NEW 2" PIPE RAILINGS 34" W/ ANGLE BASES BOLTED TO FLOOR
- 17 NEW FLAT CONC. SLAB ON EXISTING SLAB FOR NEW CONTROL BOOTH
- 18 NEW TEACHER'S CABINET, T401
- 19 REPAIR DEMOLISHED CONC. AS REQUIRED FOR NEW CONDUIT FURROUT AT EXISTING BRICK COLUMN WRAP
- 20 NEW PLAM COUNTERTOP ON EXISTING BOOKCASE CASEWORK, V.I.F. COUNTER LENGTH, PROVIDE 1" OVERHANG
- 21 EXISTING RELOCATED WENGER MUSIC STORAGE
- 22 REMOVE AND REPLACE SECURITY GLAZING
- 23 EXISTING GLAZING TO RECEIVE IMPACT FILM, RE: SPECS
- 24 NEW SLAB AND STEP (MATCH EXISTING) FOR CONDUITS (RE: AV AND ELEC. DRAWINGS)
- 25 CORD REELS, RE: RCP
- 26 NEW ART WALL MURAL LOCATION ALLOWANCE
- 27 LOCKER BENCH, RE: SPECS, RE: 7/A8.04
- 28 NEW WENGER MUSIC STORAGE, TYPE #5, RE: SPECS

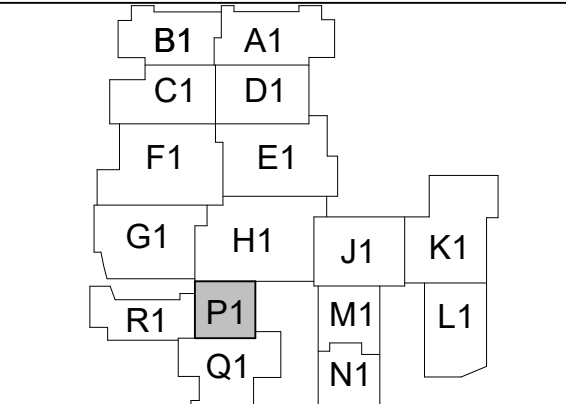
PLAN KEYNOTES

1/4" = 1'-0"



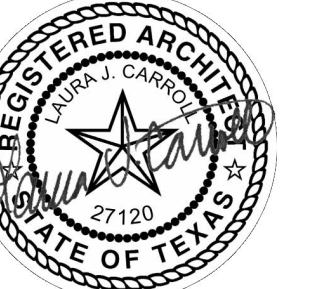
1 AREA 'P1' - FLOOR PLAN
1/8" = 1'-0"

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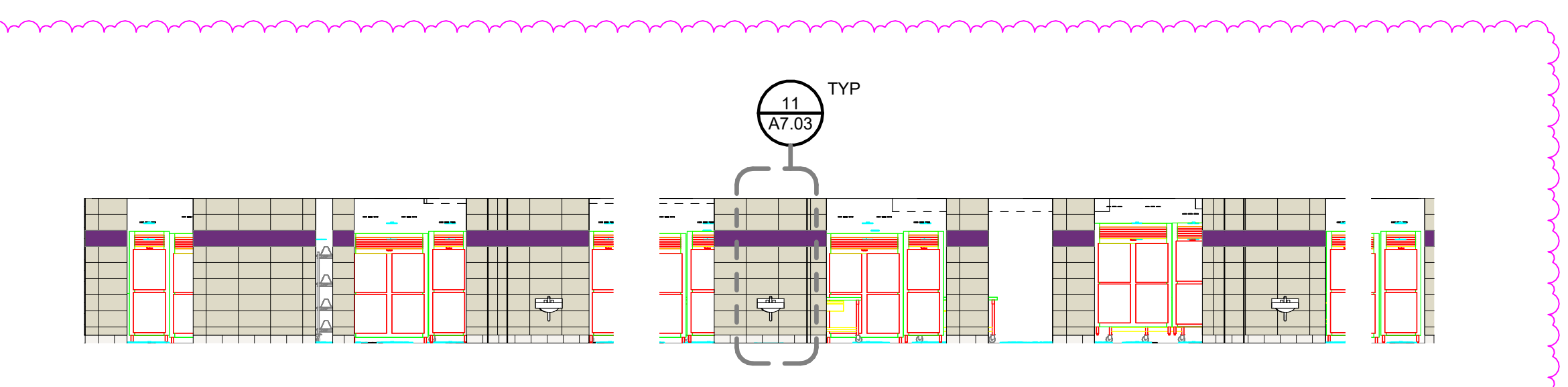
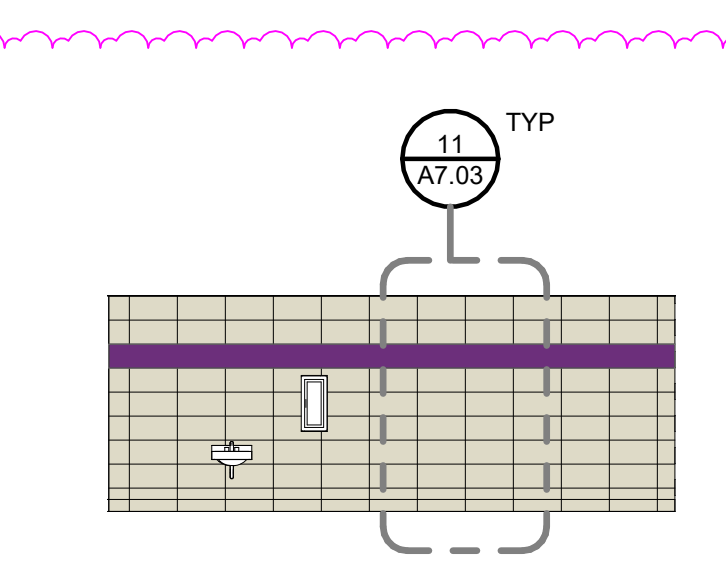
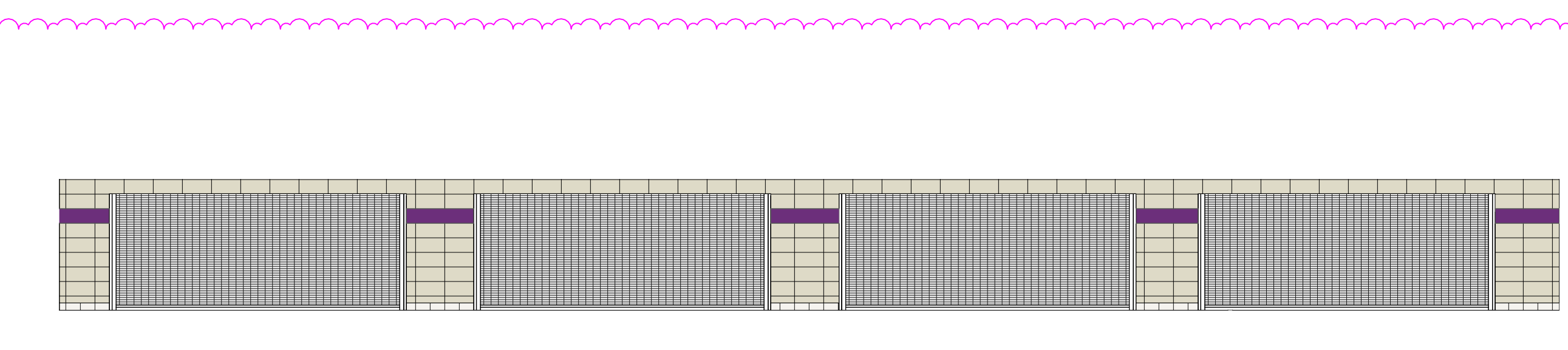
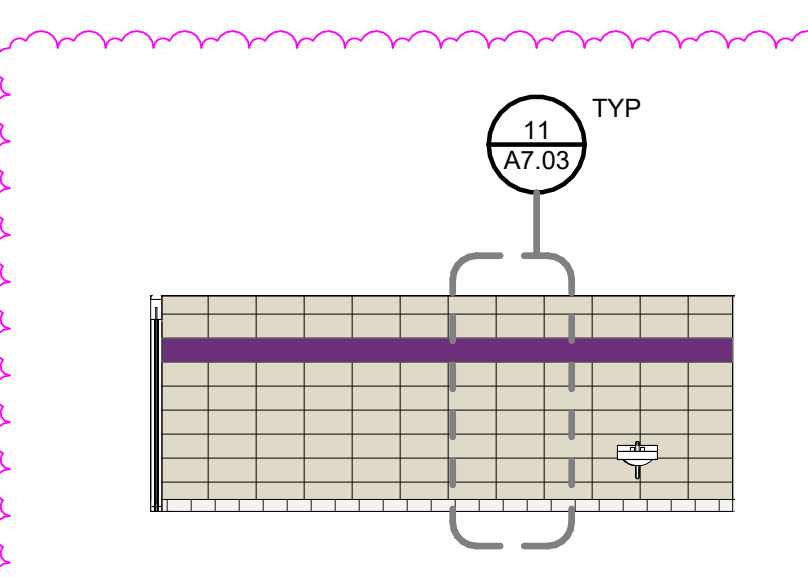
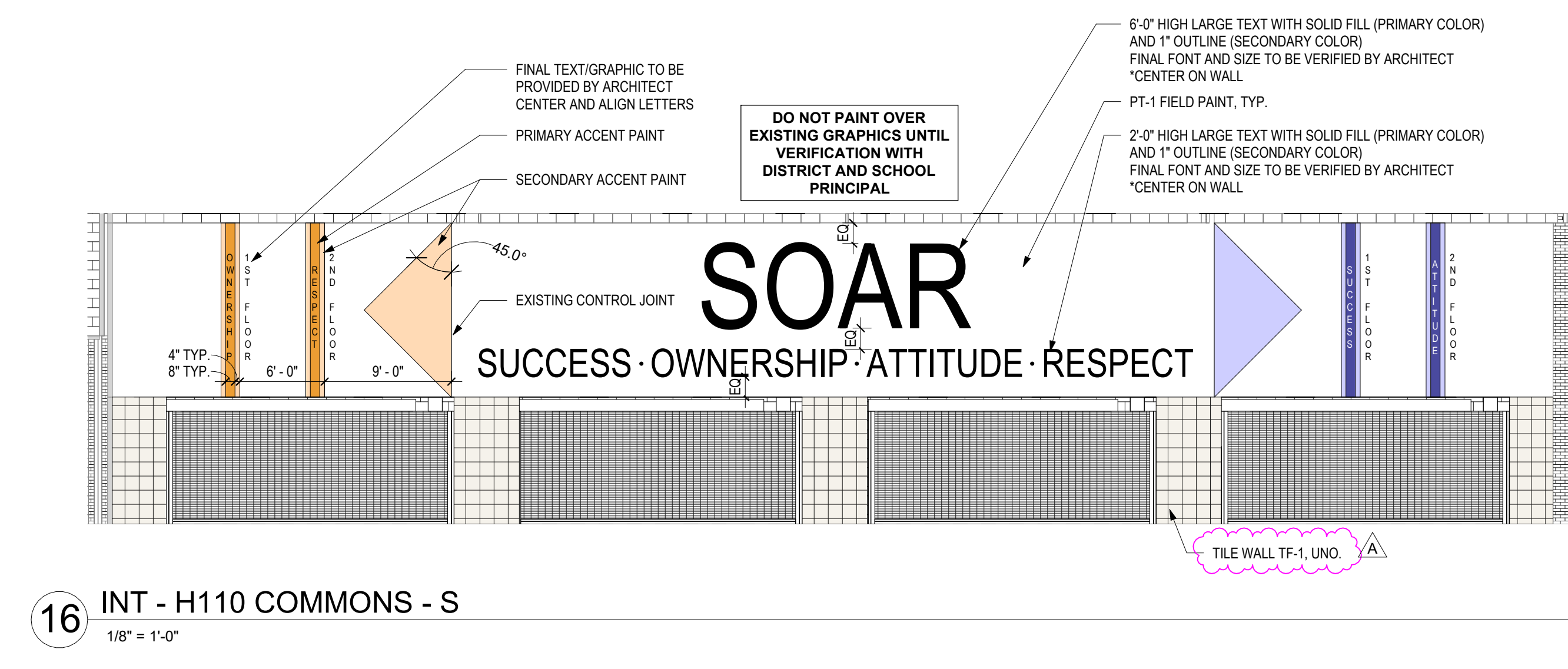
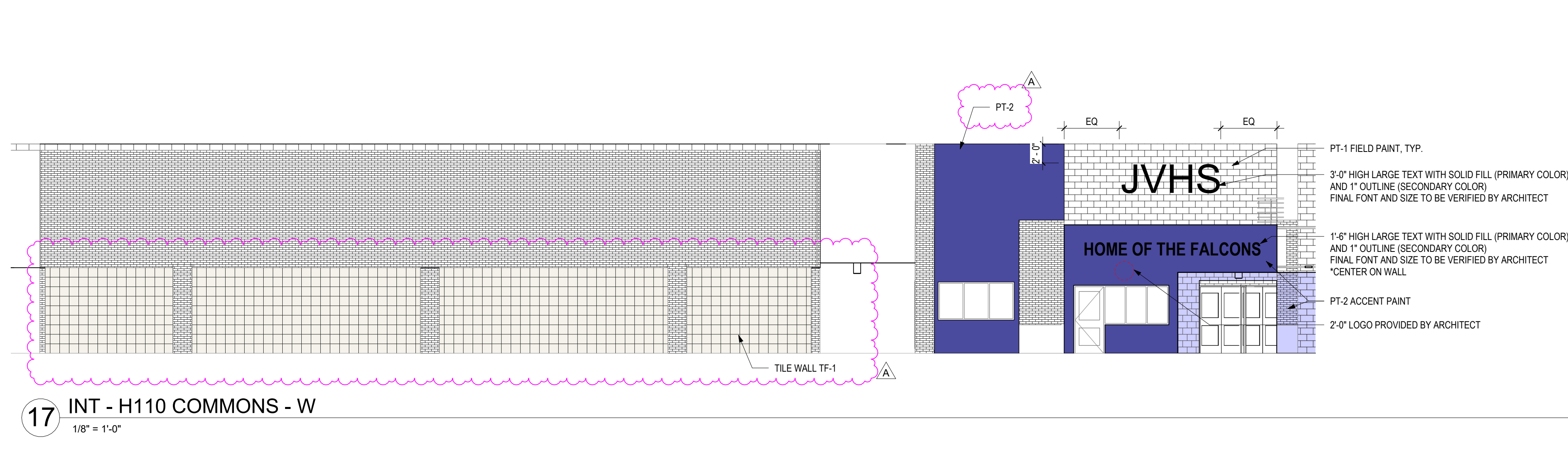


2024-12-20

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DATE:	ISSUE
2024-12-20	PERMIT & PROPOSAL
2024-01-07	ADDENDUM 04

A2.14
 AREA 'P1' 1ST FLOOR PLAN



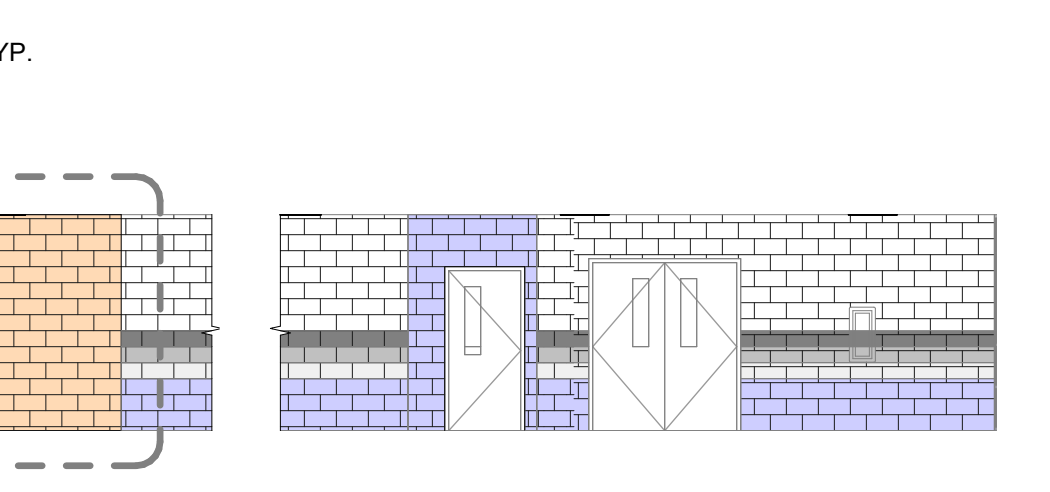
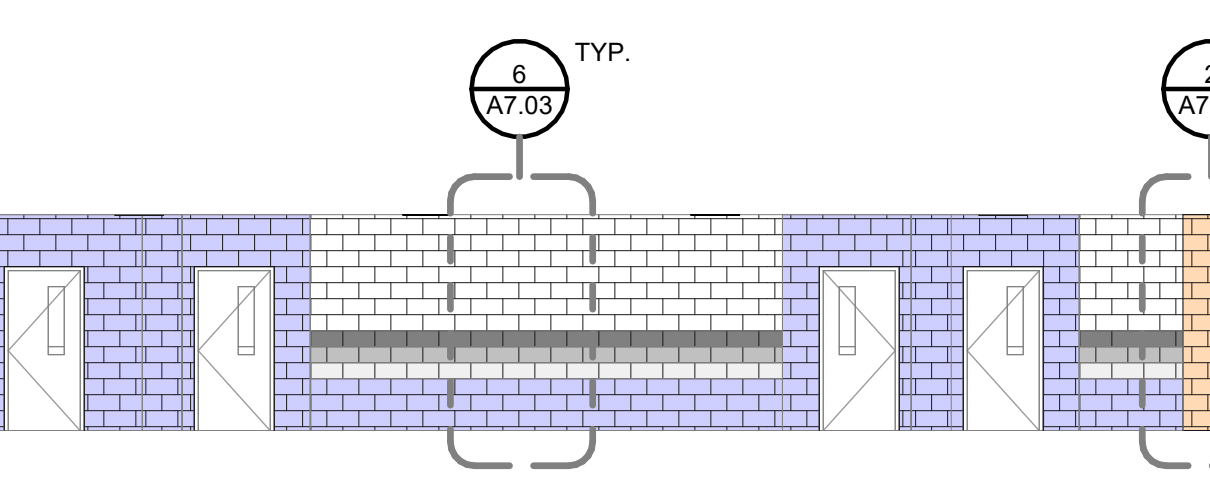
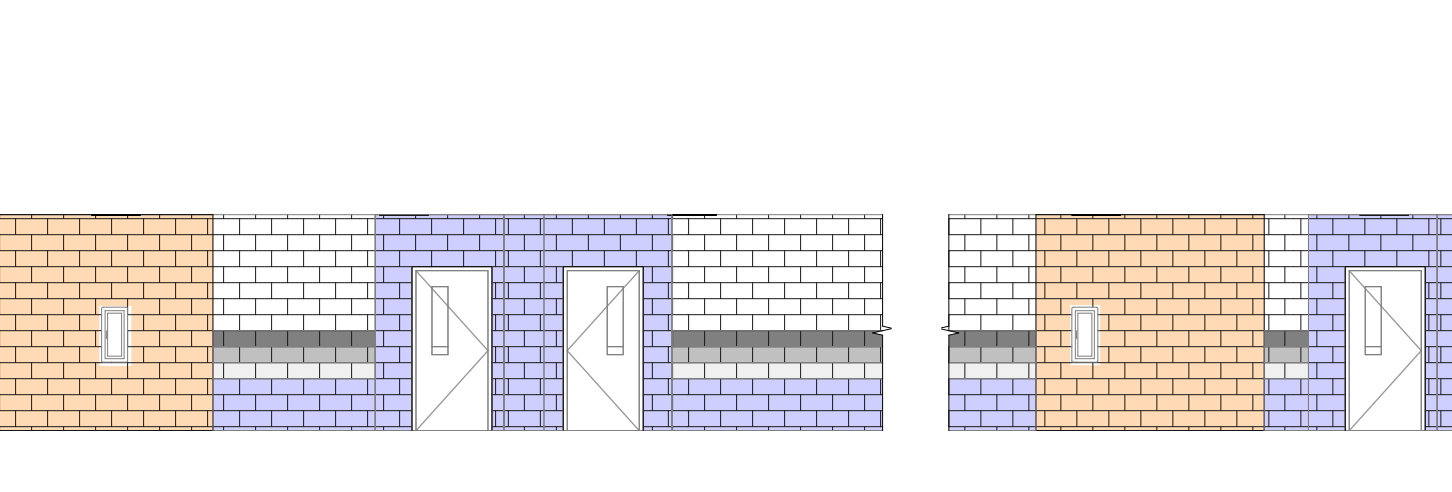
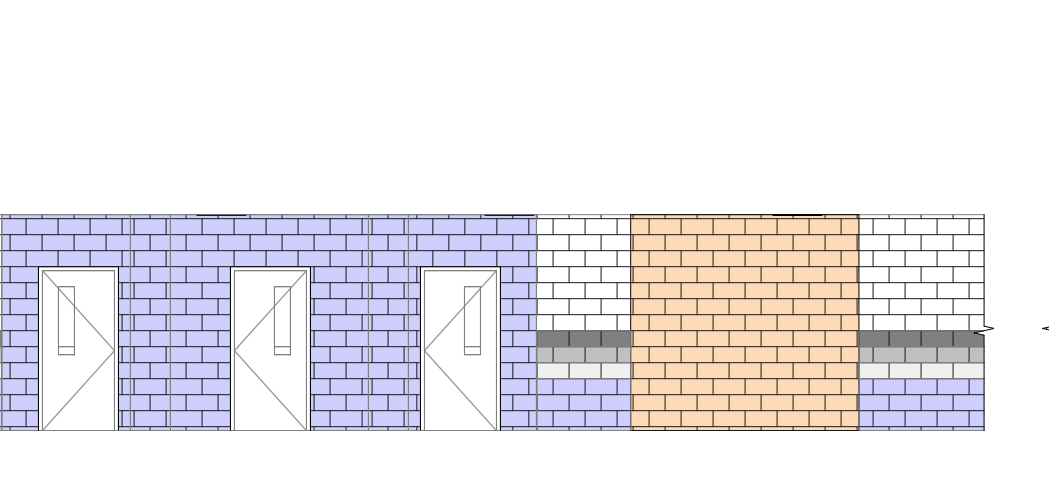
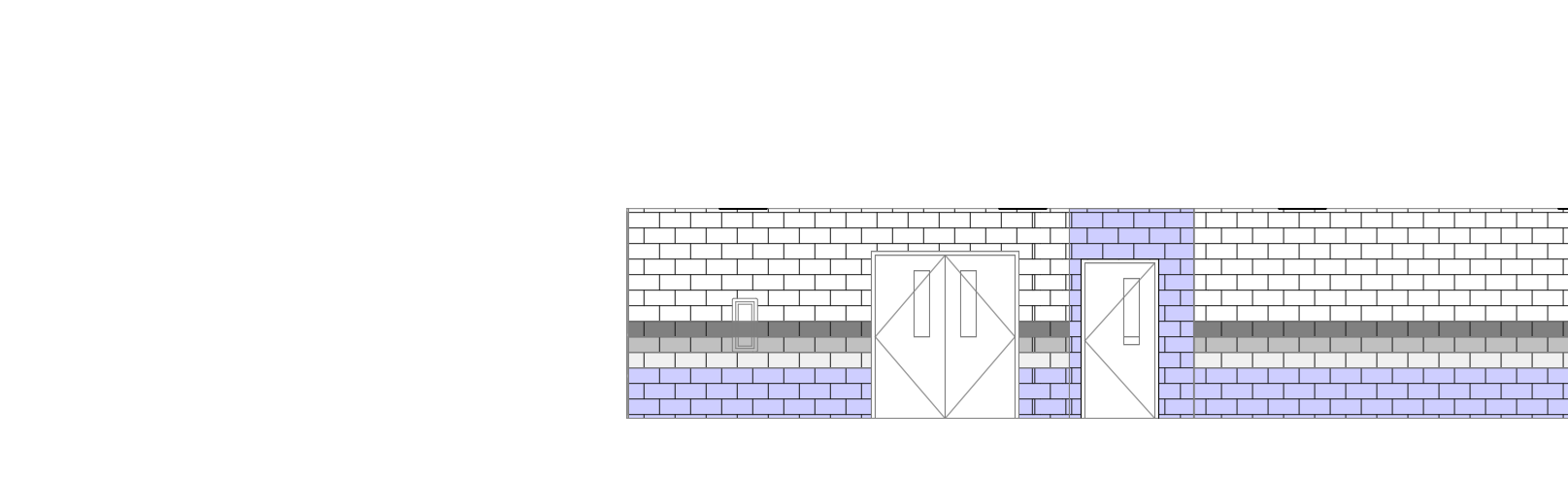
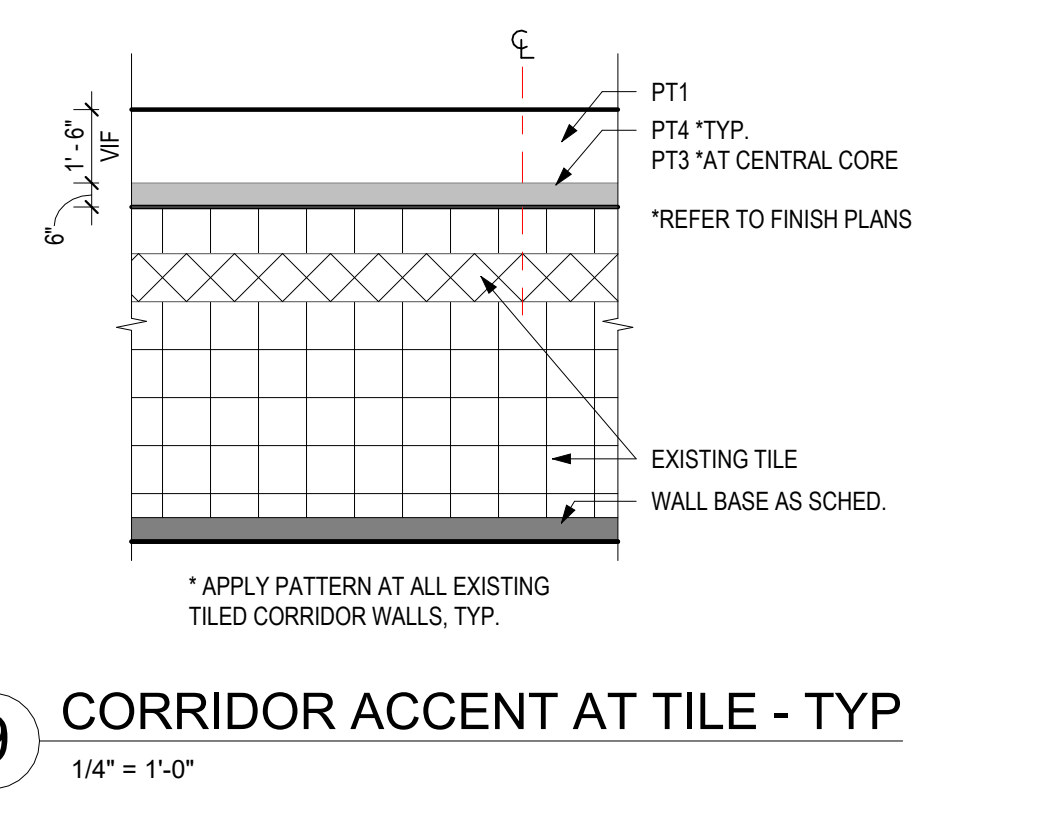
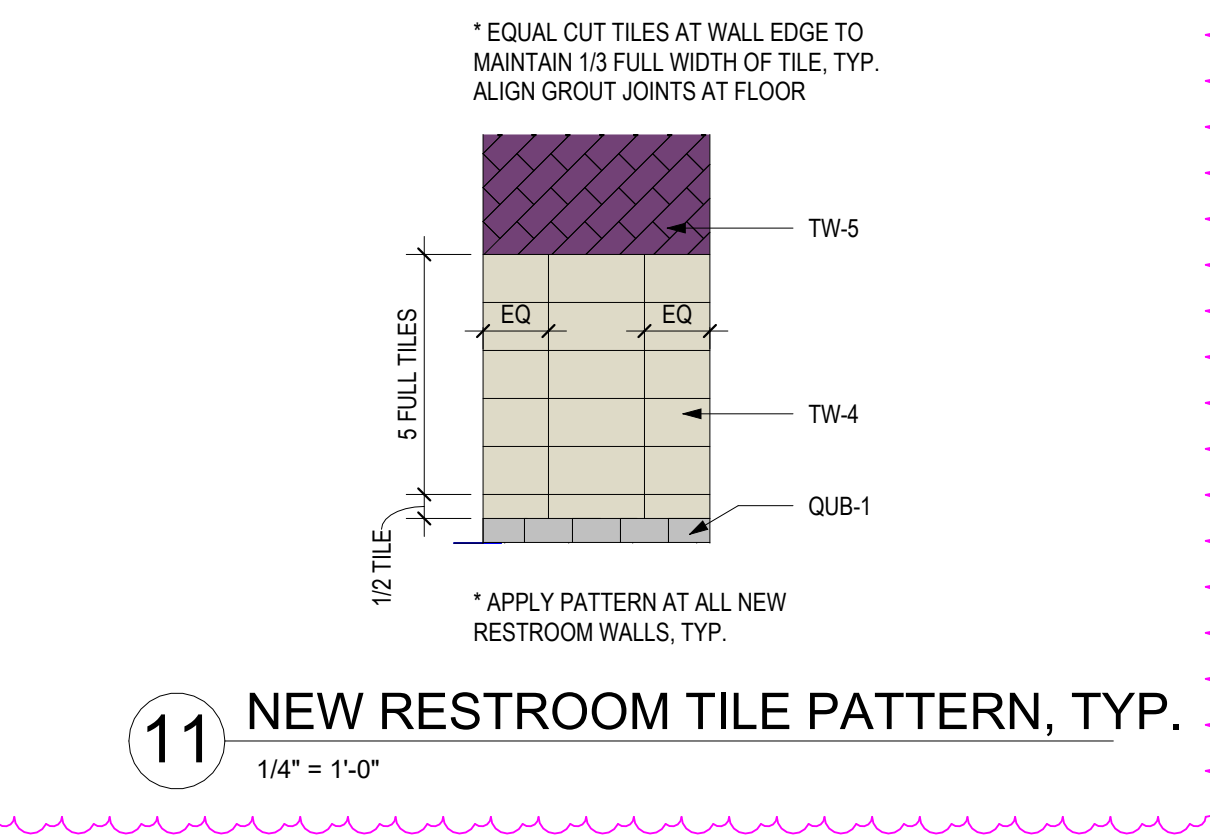
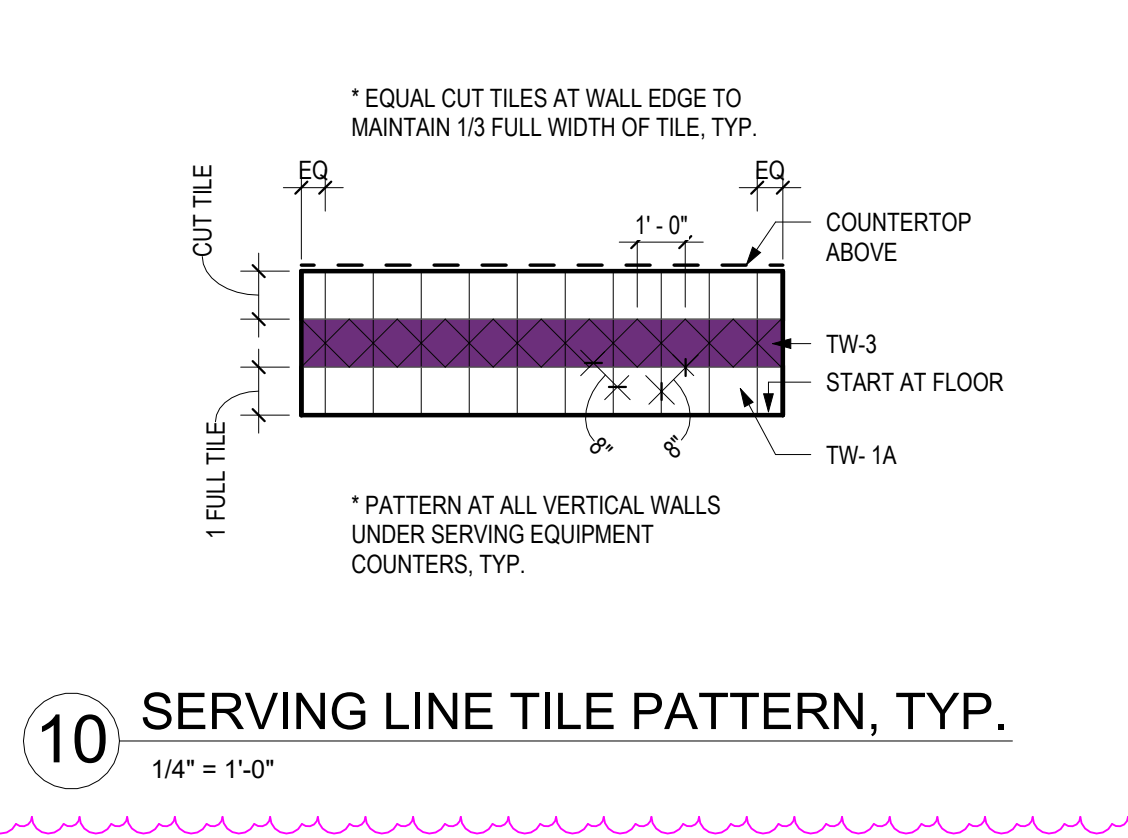
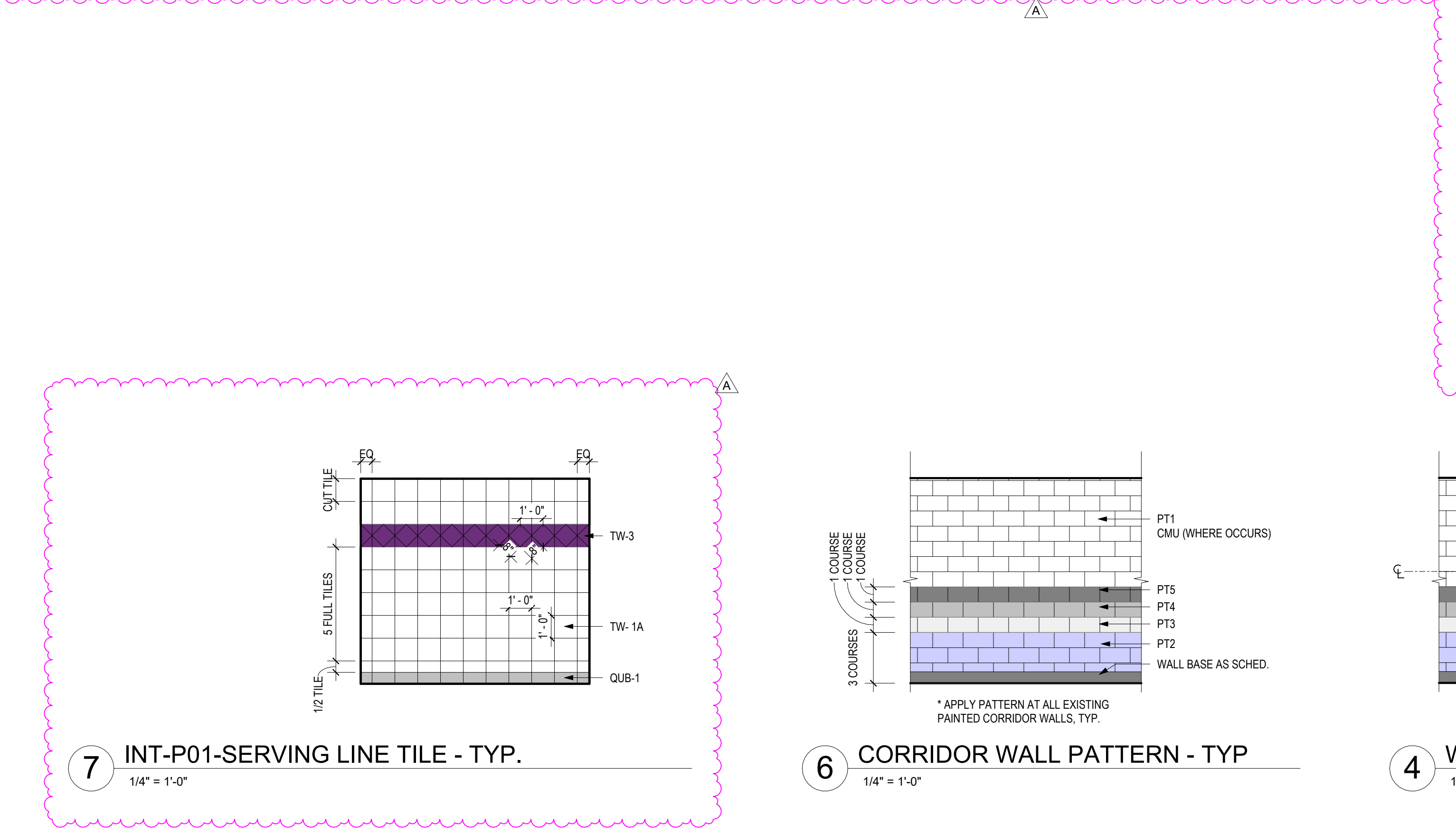


14 INT - SERVING P101 - E
1/8" = 1'-0"

13 INT - SERVING P101 - N
1/8" = 1'-0"

12 INT - SERVING P101 - W
1/8" = 1'-0"

8 INT - SERVING P101 - S
1/8" = 1'-0"



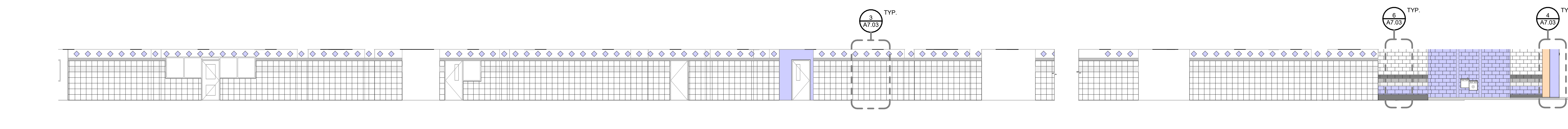
7 INT-P01-SERVING LINE TILE - TYP.
1/4" = 1'-0"

6 CORRIDOR WALL PATTERN - TYP
1/4" = 1'-0"

4 WAYFINDING GRAPHIC 2
1/4" = 1'-0"

3 CORRIDOR ACCENT AT CORE
1/4" = 1'-0"

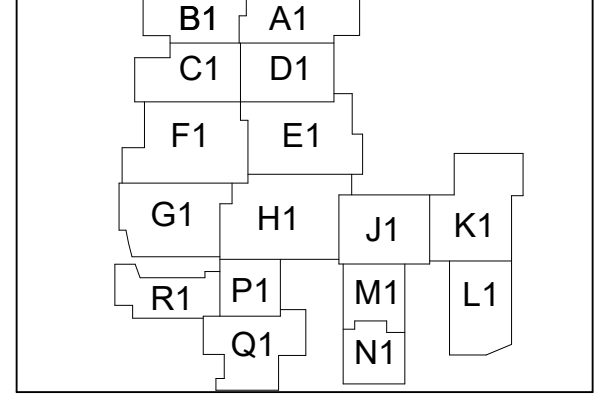
2 WAYFINDING GRAPHIC 1
1/4" = 1'-0"



5 INT - OVERALL - CORR A101 - NORTH
1/8" = 1'-0"

1 INT - OVERALL - CORR A116 1400 - WEST
1/8" = 1'-0"

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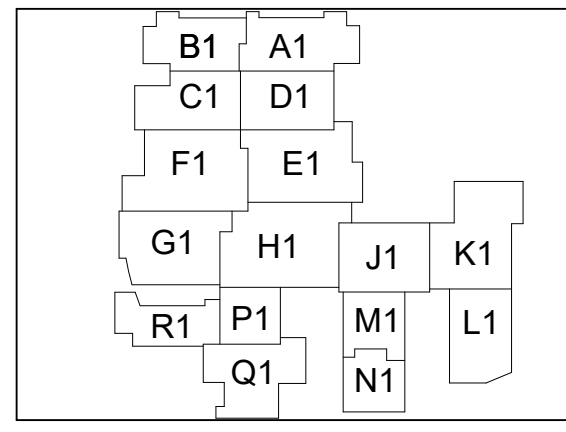


2024-12-20

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	A

A7.03
INTERIOR ELEVATIONS

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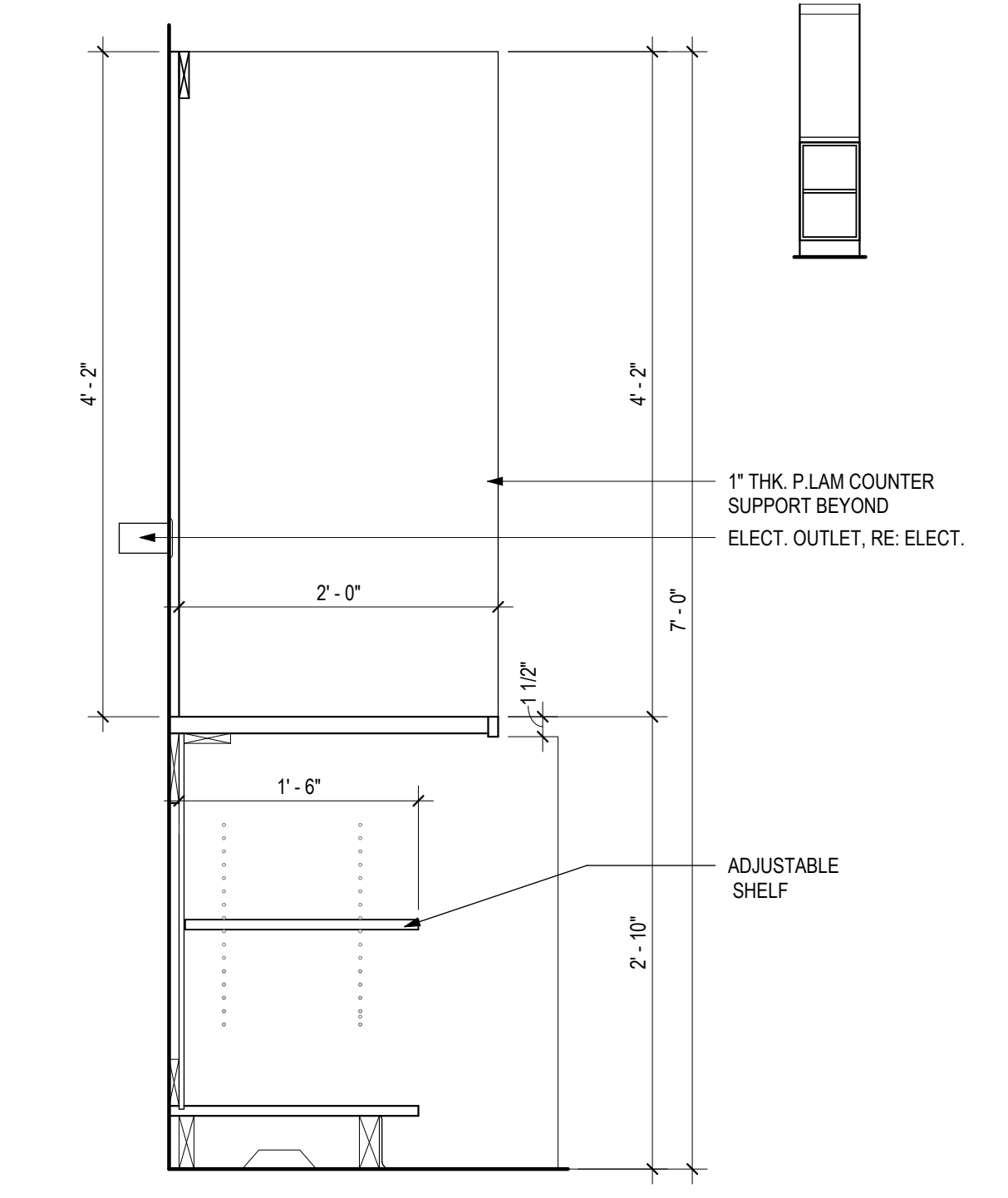
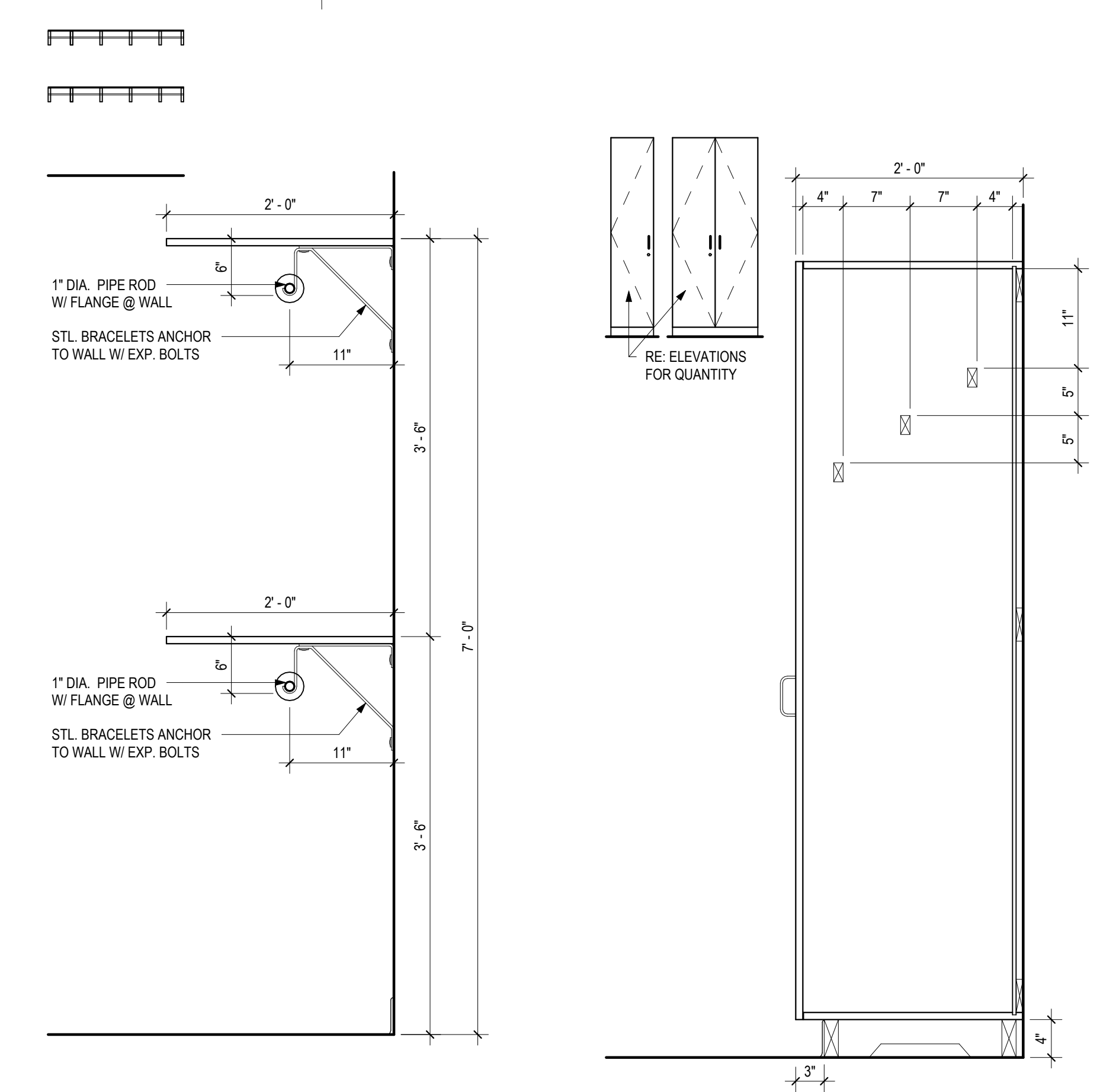
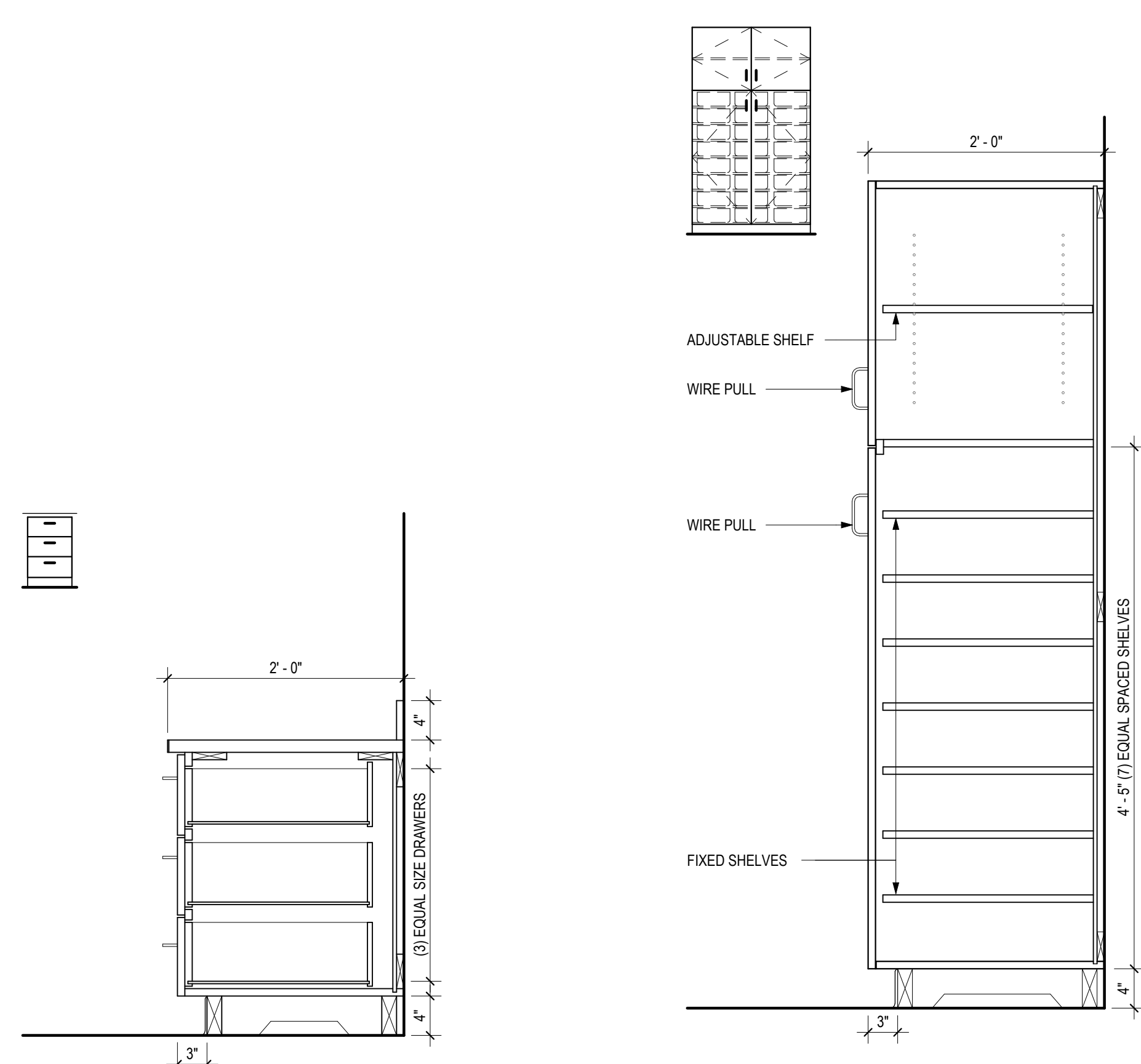
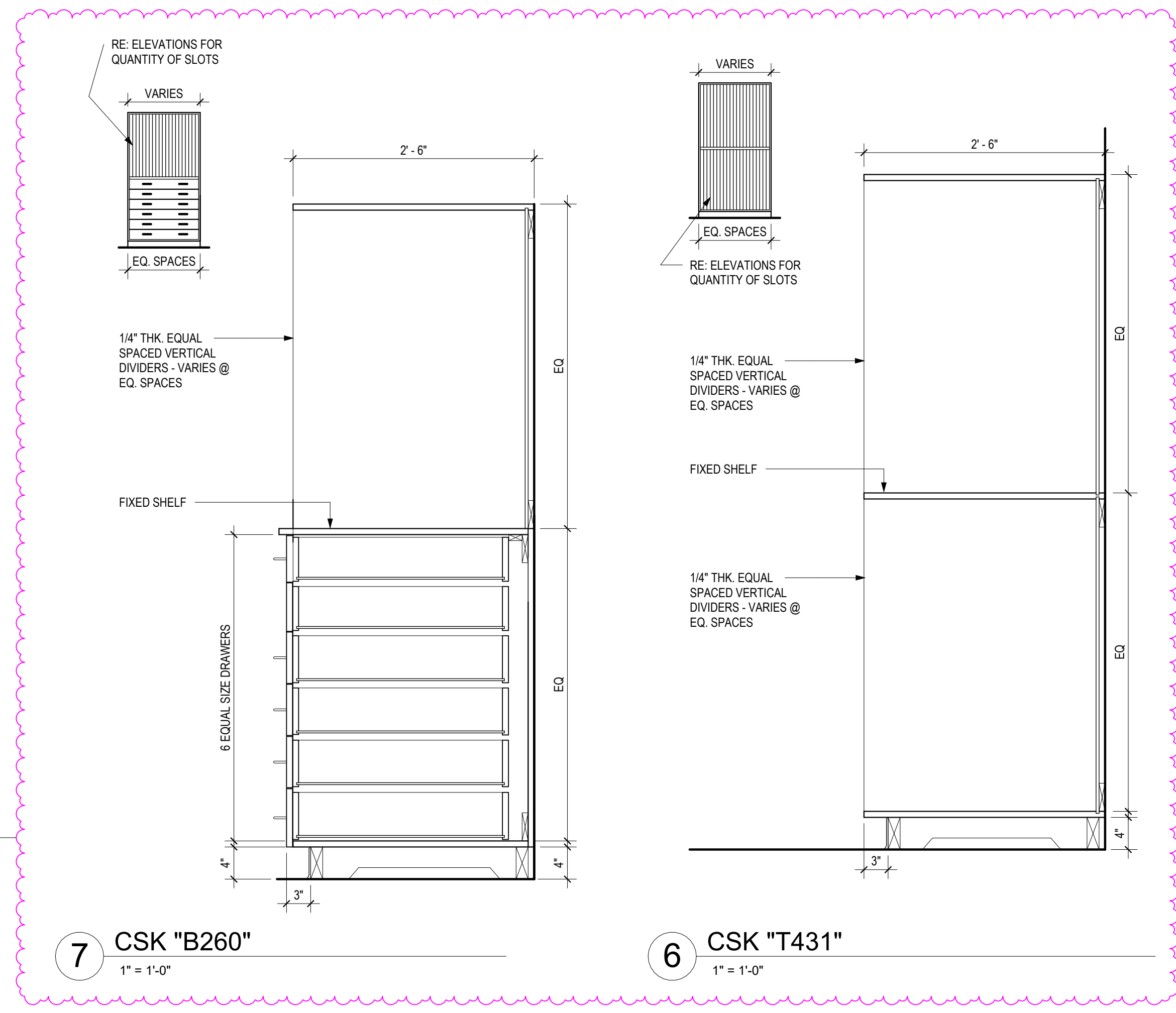
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2024-12-20	ADDENDUM 01
2024-01-07	ADDENDUM 04
	A
	B

A8.00A
 CASEWORK SECTIONS



5 CSK "B232"
 1" = 1'-0"

4 CSK "T406"
 1" = 1'-0"

3 CSK "U330 DOUBLE"
 1" = 1'-0"

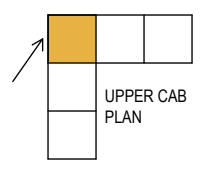
2 CSK "T501"
 1" = 1'-0"

1 CSK "T416"
 1" = 1'-0"

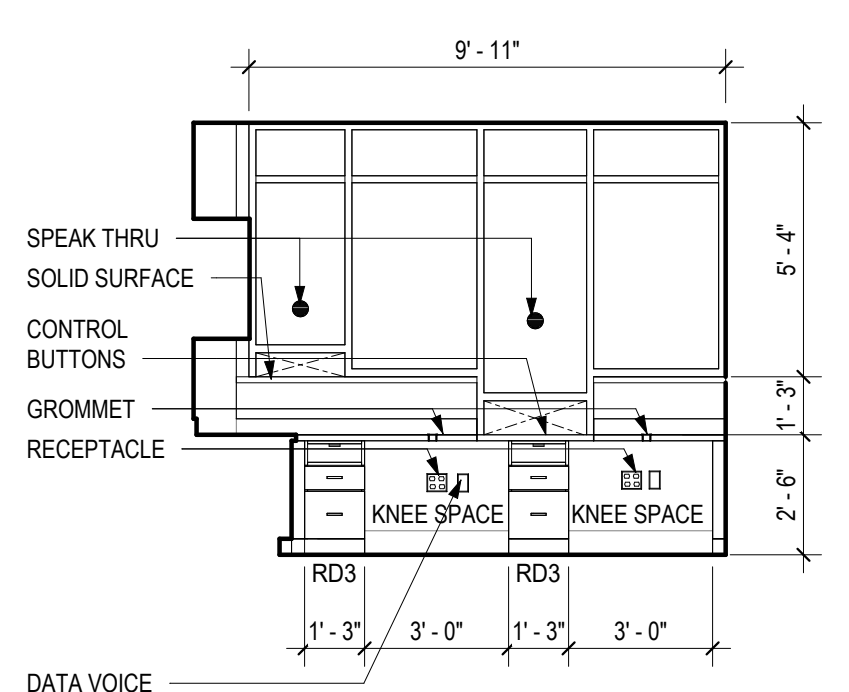


CASEWORK GENERAL NOTES

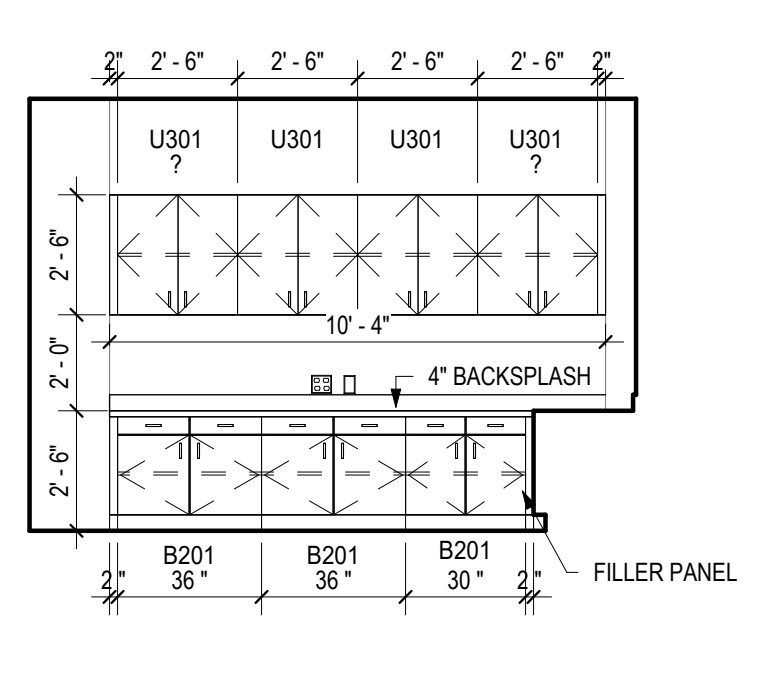
- INDICATES ACCESSIBLE PLUMBING FIXTURE AT ACCESSIBLE MOUNTING HEIGHT. RE: SHEET G11 AND PLUMBING DRAWINGS.
- ALL CABINETS SHALL HAVE 4" RESILIENT BASE BY FLOORING CONTRACTOR, UNLESS NOTED OTHERWISE.
- PROVIDE LOCKS ON ALL DOORS AND DRAWERS. LOCKS SHALL BE MASTER KEYPED PER SPECS.
- ALL COUNTERTOPS ARE 1-1/4" THICK PLASTIC LAMINATE W/ 4" HIGH BACKSPLASH AND SPLASH RETURNS, UNLESS NOTED OTHERWISE.
- ALL EXPOSED BACK AND ENDS SHALL BE FINISHED WITH LAMINATE.
- F.E. ON CASEWORK ELEVATIONS INDICATES "FINISHED END".
- PROVIDE FILLER AND CLOSURE PANELS AS REQUIRED TO MATCH UNITS (INCLUDE TOP CORNERS).
- ALL SINKS IN CASEWORK SHOULD BE SUPPLIED AND INSTALLED BY PLUMBING CONTRACTOR AND SHOULD INCLUDE STRAINER AND TAIL PIECE REFER TO PLUMBING DRAWINGS FOR SINK TYPES.
- ALL COUNTERTOPS ARE 25" DEEP UNLESS INDICATED OTHERWISE.
- ALL UPPER WALL CABINETS ARE 14" DEEP UNLESS NOTED OTHERWISE.
- PROVIDE 25" GROMMETS AT ALL KNEE SPACES.
- RADIUS EDGE AT ALL OUTSIDE COUNTERTOP CORNERS.
- TEACHERS CABINET TO INCLUDE ONE (1) FIXED SHELF AND ROD, TWO (2) ADJUSTABLE SHELVES, TWO (2) LETTER SIZE FILE DRAWERS, AND ONE (1) 10x12" MIRROR AND PEN TRAY.
- FILE DRAWERS TO INCLUDE INTEGRAL FILE HANGING SYSTEM.
- RE: MECHANICAL, ELECTRICAL, AND PLUMBING DWGS. FOR OTHER DEVICES, ONLY UNIQUE COORDINATIONS ARE SHOWN ON THESE DRAWINGS.
- FINISH TOE SPACE OF ALL CABINETS WITH RESILIENT BASE AS SCHEDULED PER ROOM FINISH SCHEDULE.
- PROVIDE REMOVABLE BACK PANEL ON ALL SINK CASEWORK.
- ALL CASEWORK IS EDUCATIONAL CASEWORK UNLESS NOTED OTHERWISE.
- CASEWORK ELEVATIONS ARE INTENDED TO SHOW CASEWORK AND MILLWORK ONLY. ANY OTHER ELEMENTS SUCH AS WALLS, WINDOWS, AND DOORS ARE FOR REFERENCE ONLY. RE: FLOOR PLANS, SCHEDULES AND RELATED ELEVATIONS FOR SPECIFIC INFO RELATED TO THESE ELEMENTS.



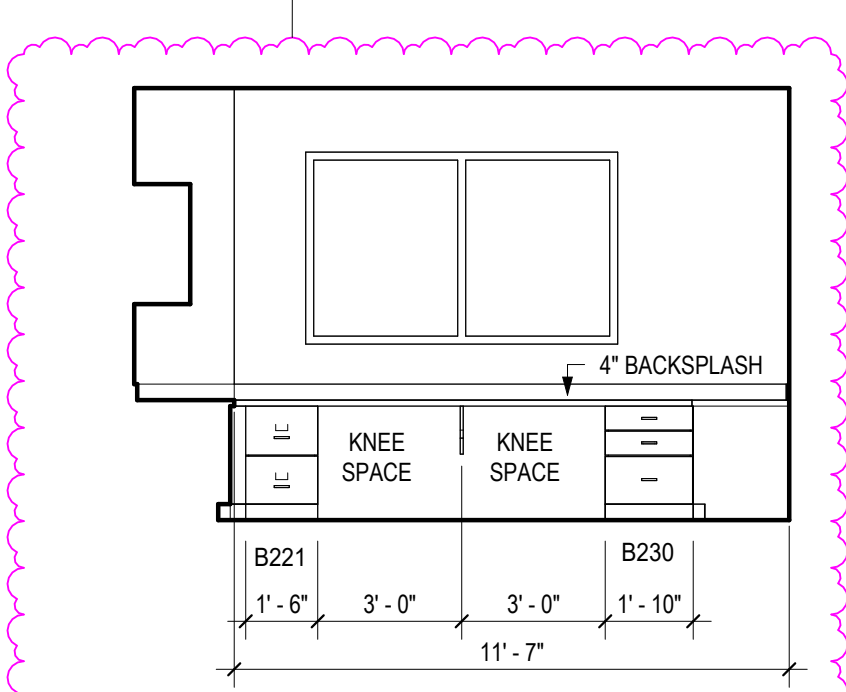
CASEWORK GENERAL NOTES
1/4" = 1'-0"



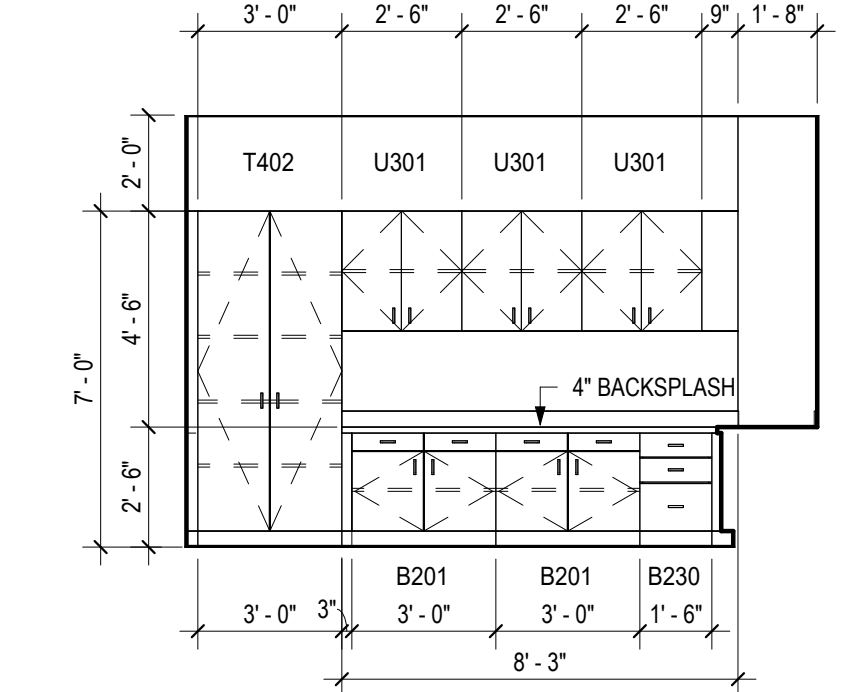
28 G102 RECEPTION - N
1/4" = 1'-0"



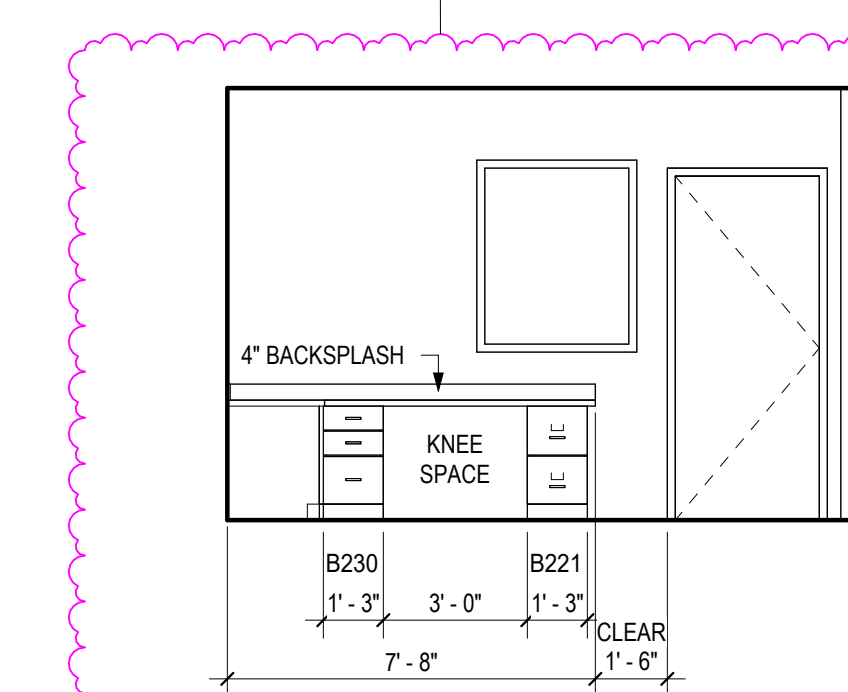
27 G102 RECEPTION - E
1/4" = 1'-0"



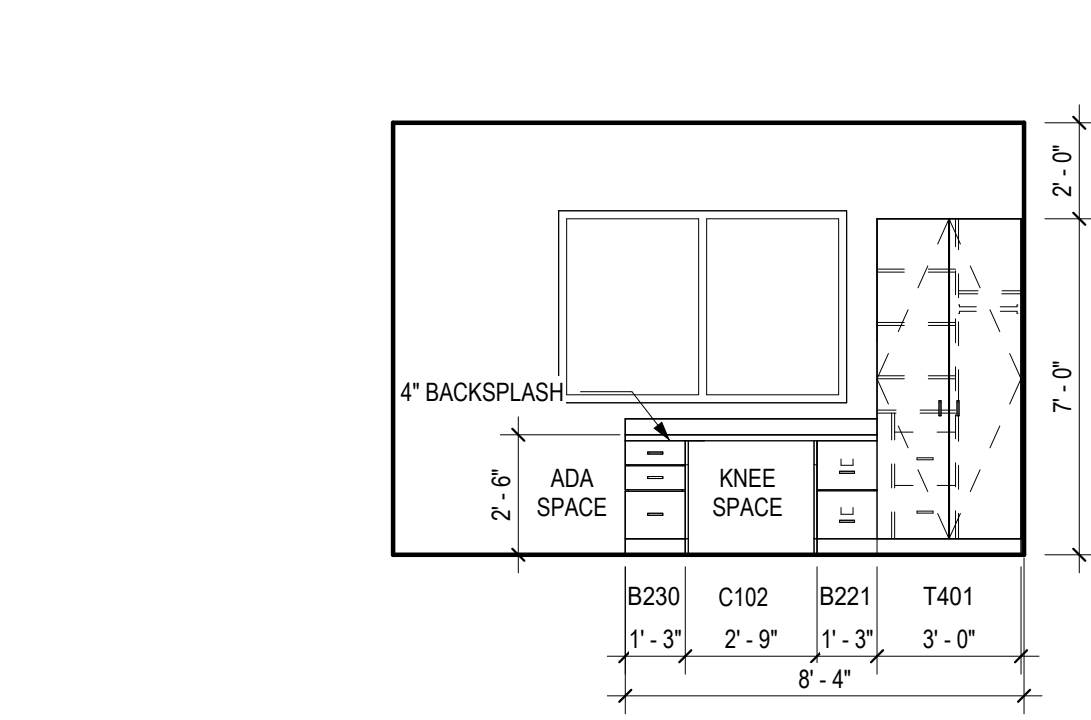
26 P104 OFF KIT - S
1/4" = 1'-0"



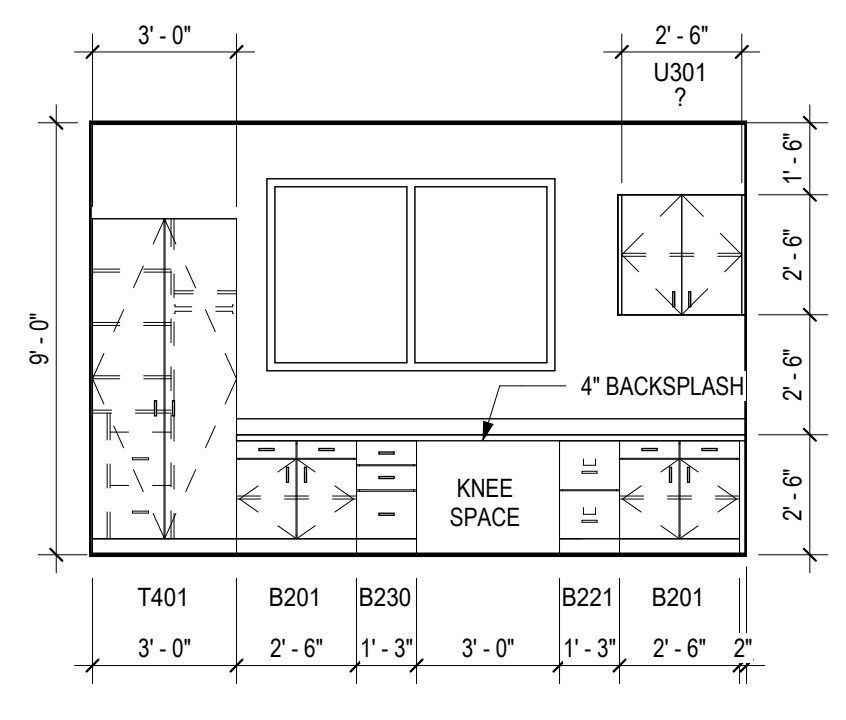
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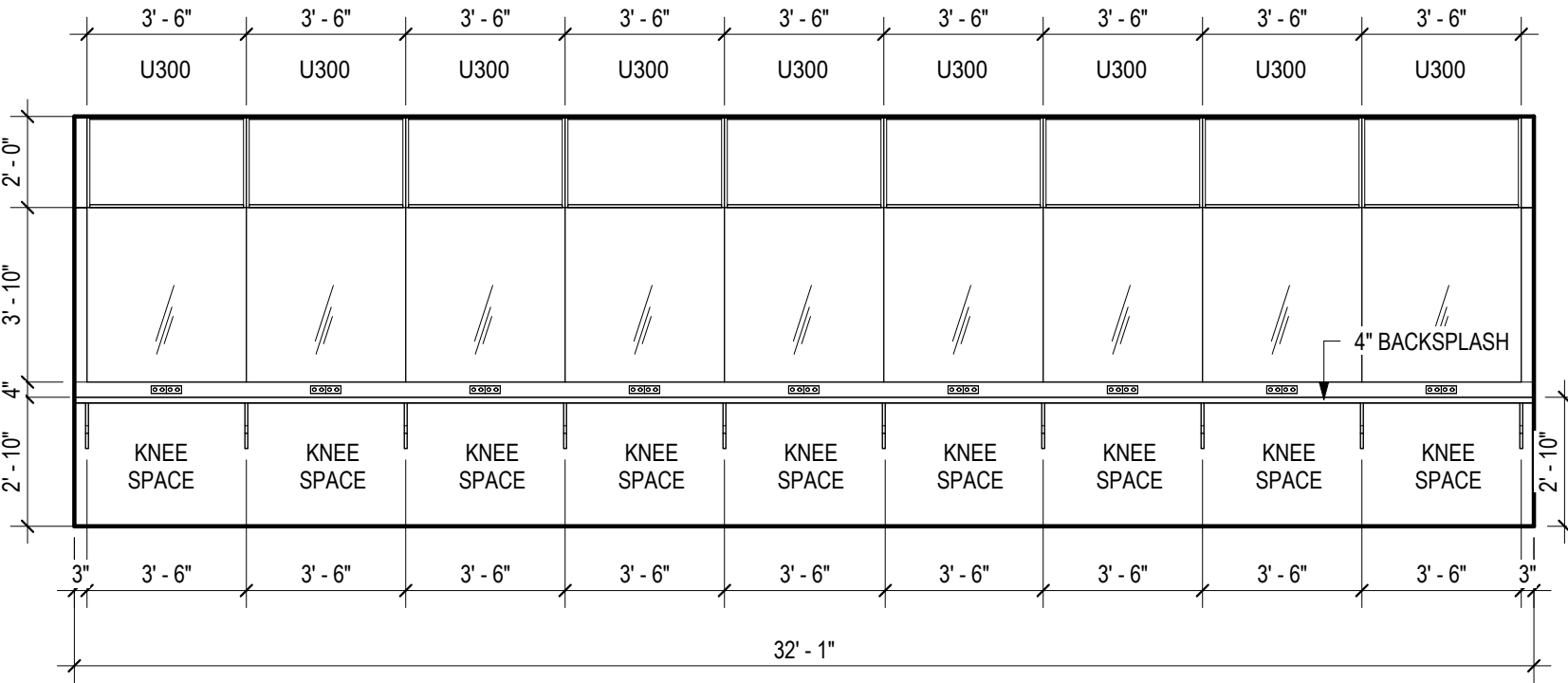
29 P104 OFF KIT - W
1/4" = 1'-0"



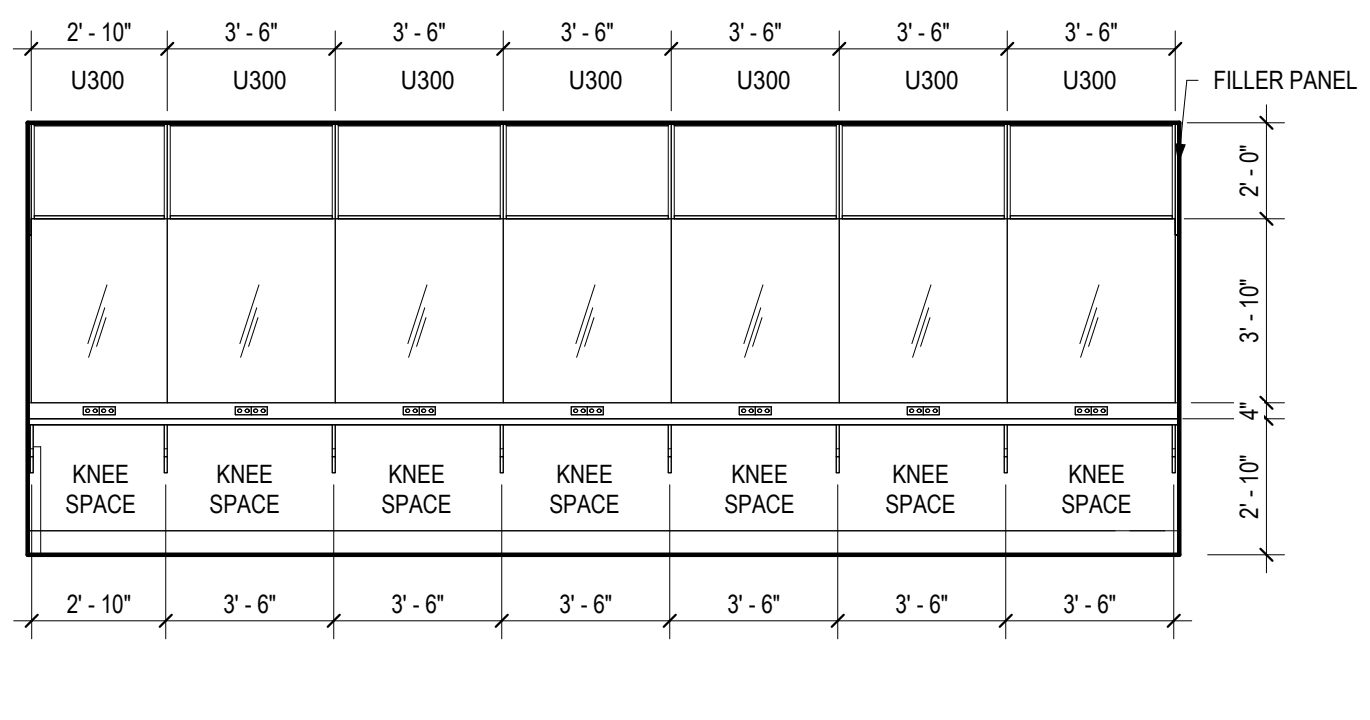
22 M114 OFF - S
1/4" = 1'-0"



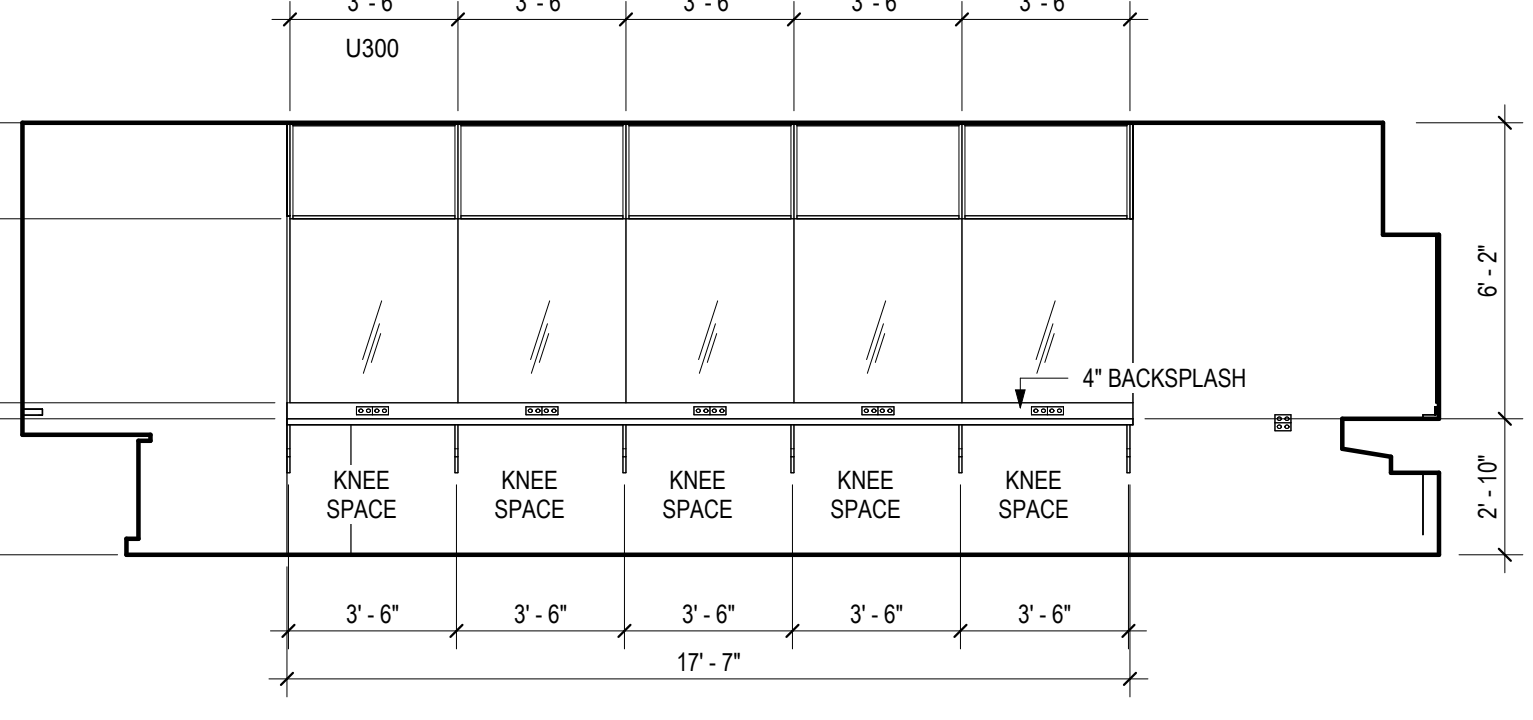
21 M114 OFF - W
1/4" = 1'-0"



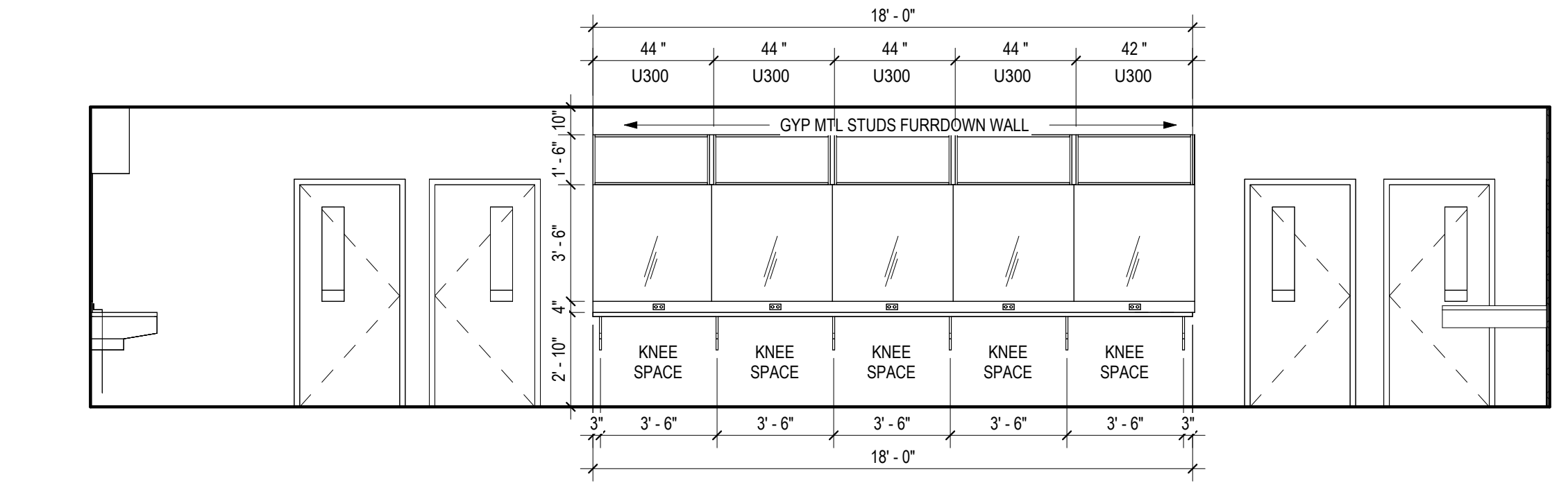
20 M110 CR COSMETOLOGY - W
1/4" = 1'-0"



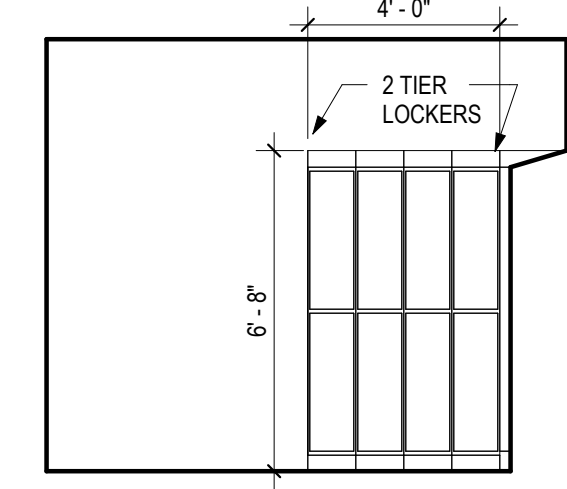
19 M110 COSMETOLOGY - S
1/4" = 1'-0"



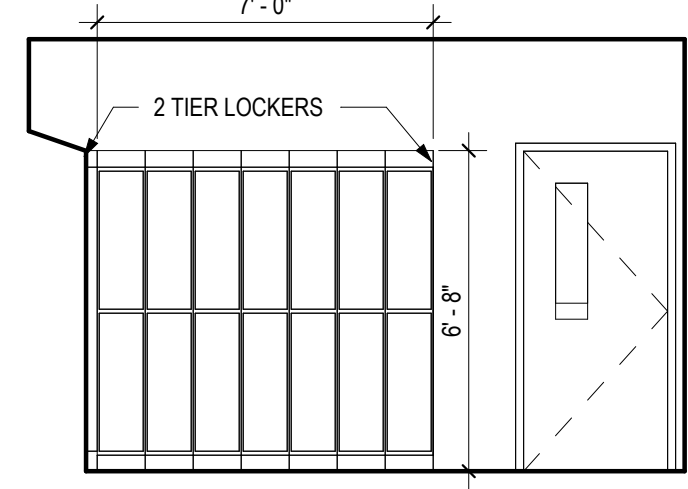
18 M110 COSMETOLOGY - E
1/4" = 1'-0"



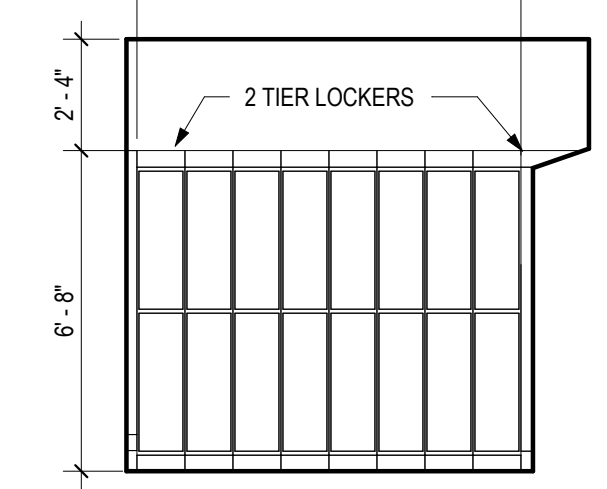
17 M110 CR COSMETOLOGY - N
1/4" = 1'-0"



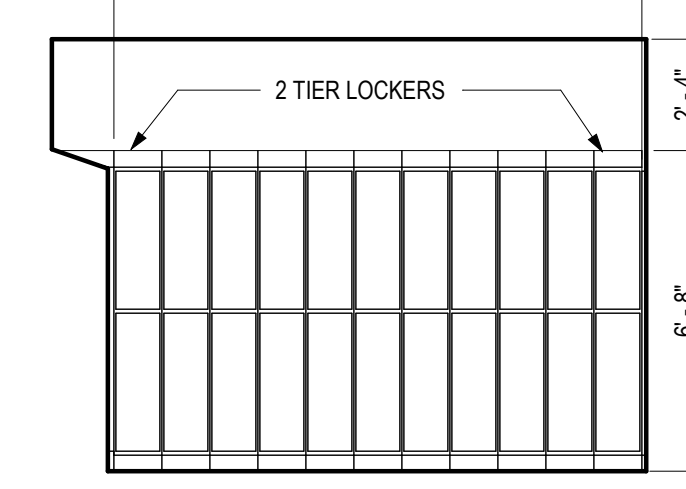
16 M113 LCKR - W
1/4" = 1'-0"



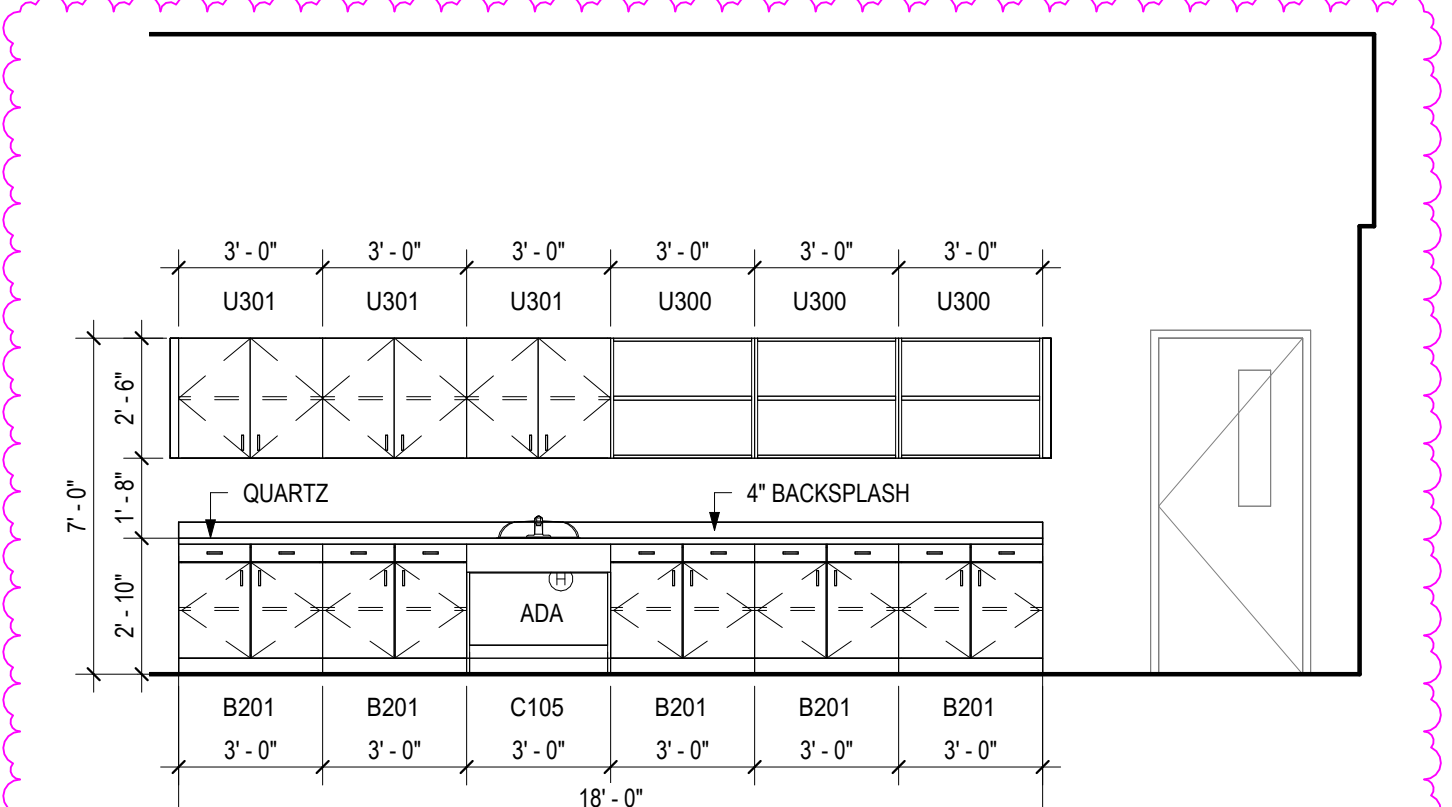
15 M113 LCKR - S
1/4" = 1'-0"



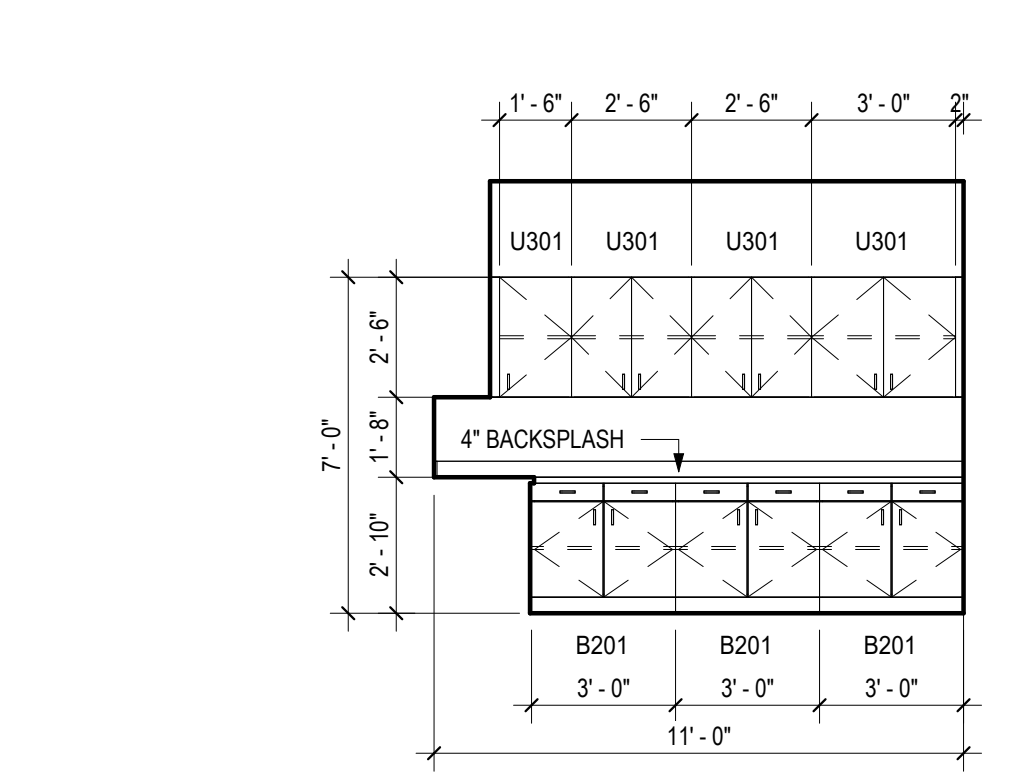
14 M113 LCKR - E
1/4" = 1'-0"



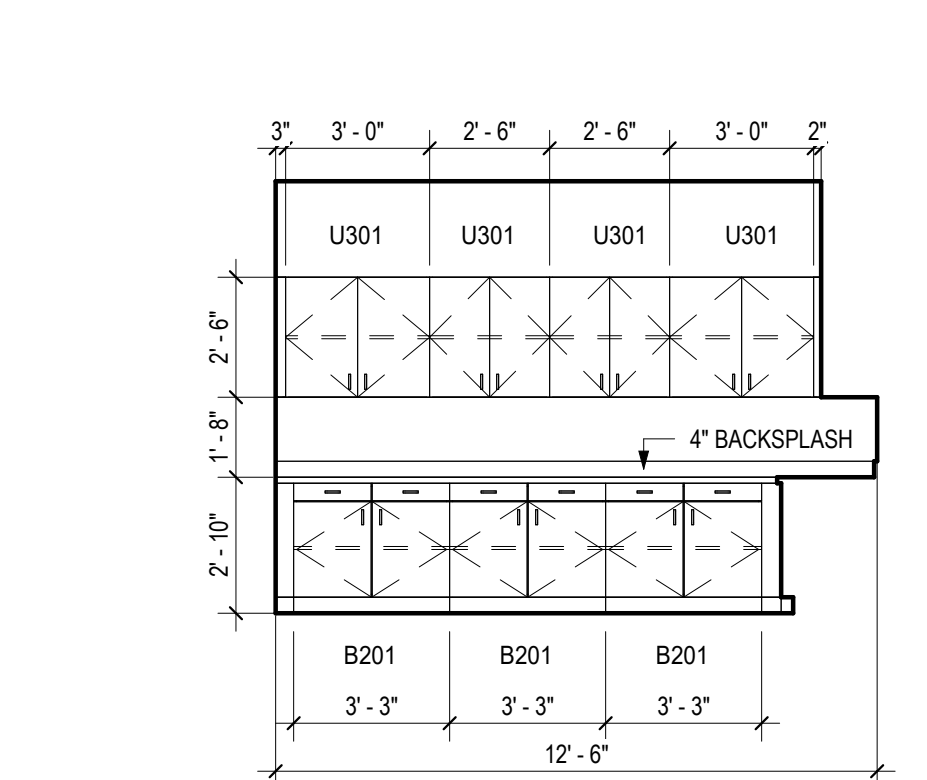
13 M113 LCKR - N
1/4" = 1'-0"



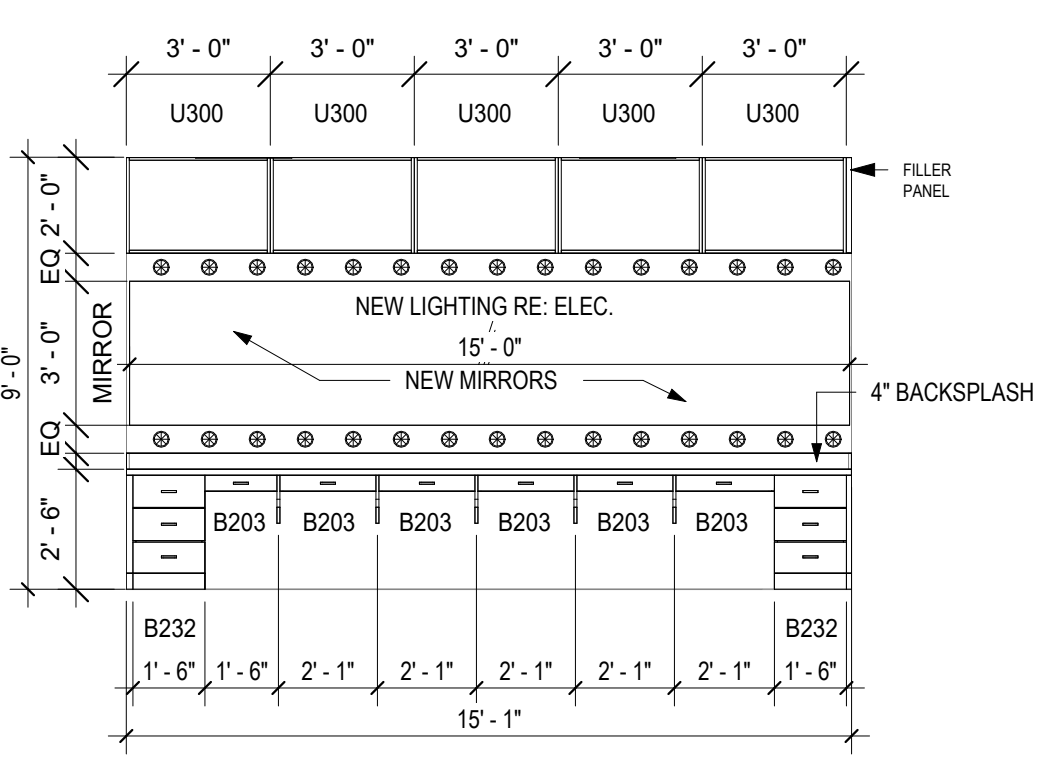
24 M118 CR PHOTO - S
1/4" = 1'-0"



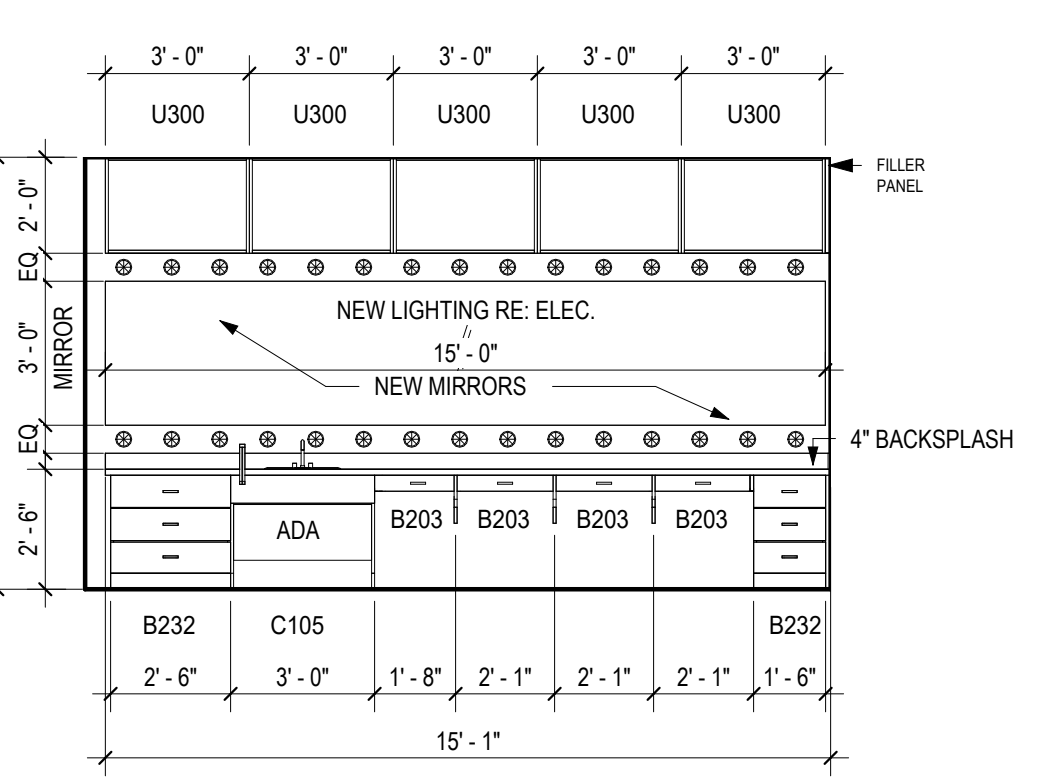
10 L108 WORKROOM - W
1/4" = 1'-0"



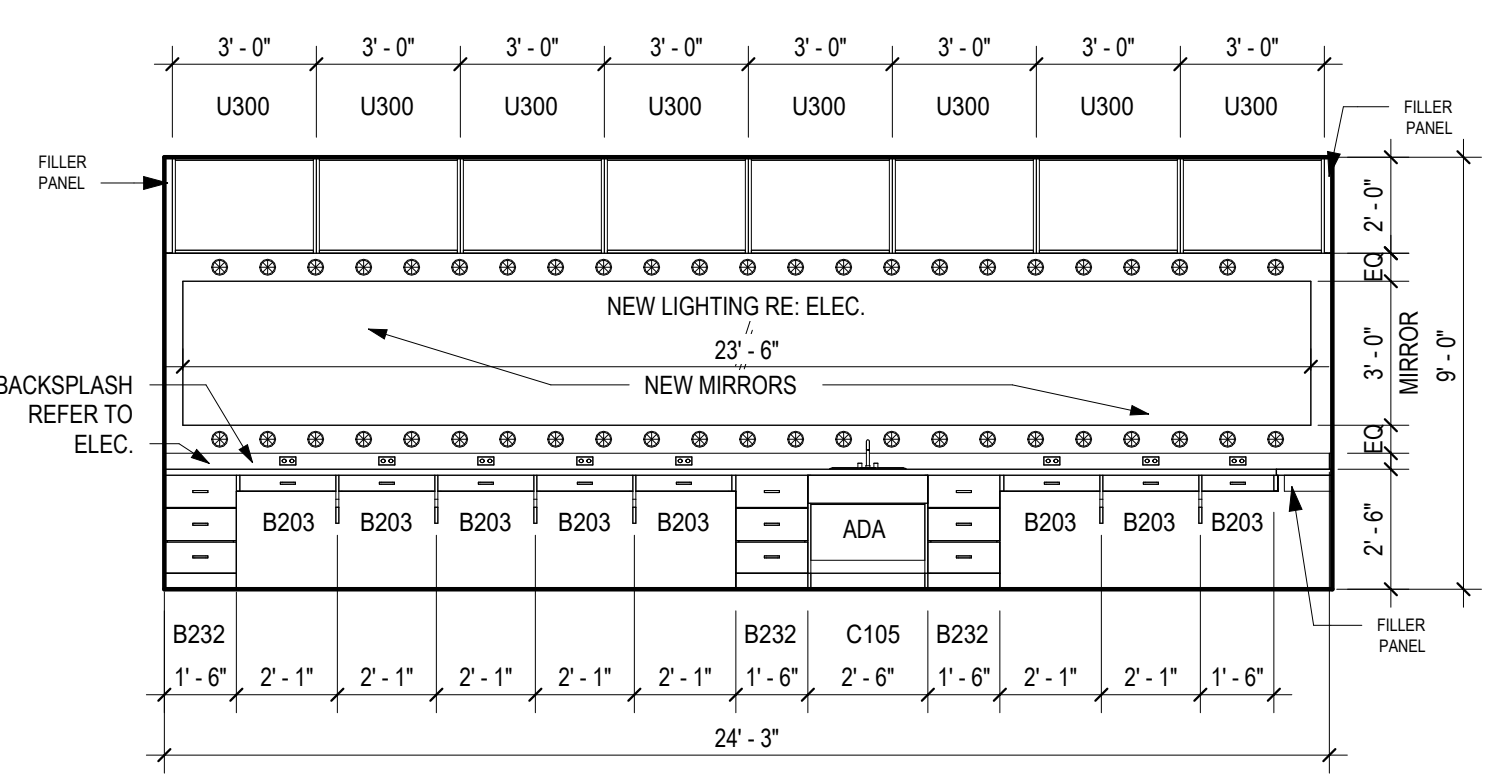
9 L108 WORKROOM - N
1/4" = 1'-0"



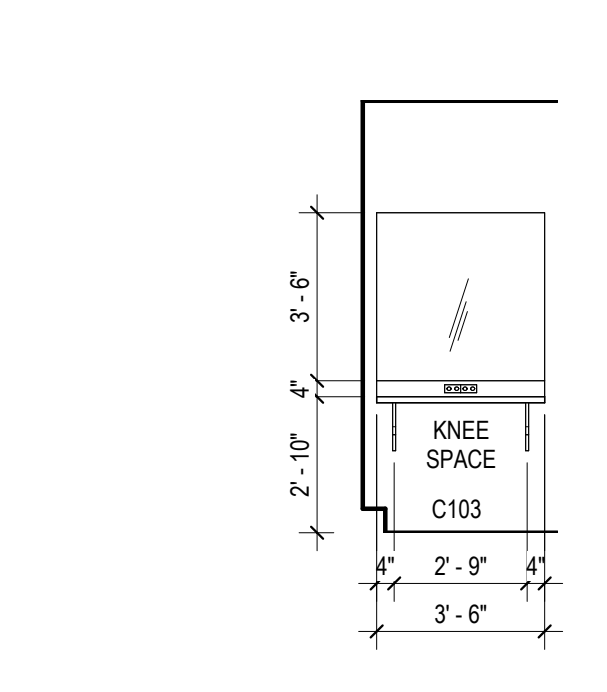
8 G115 LCKR DRESS A - E
1/4" = 1'-0"



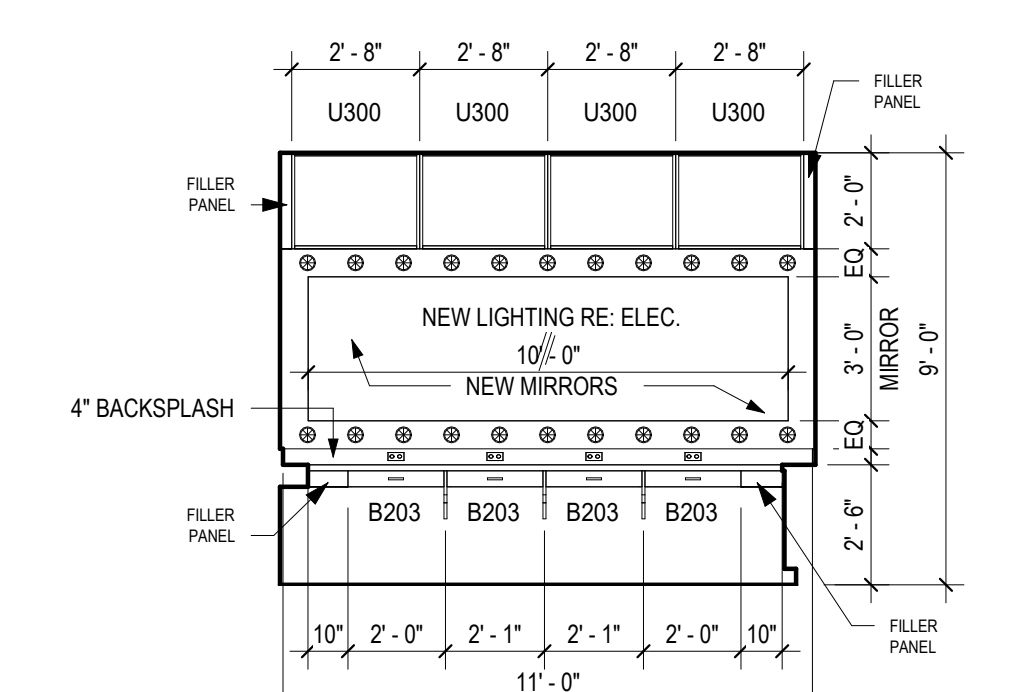
7 G115 LCKR DRESS A - W
1/4" = 1'-0"



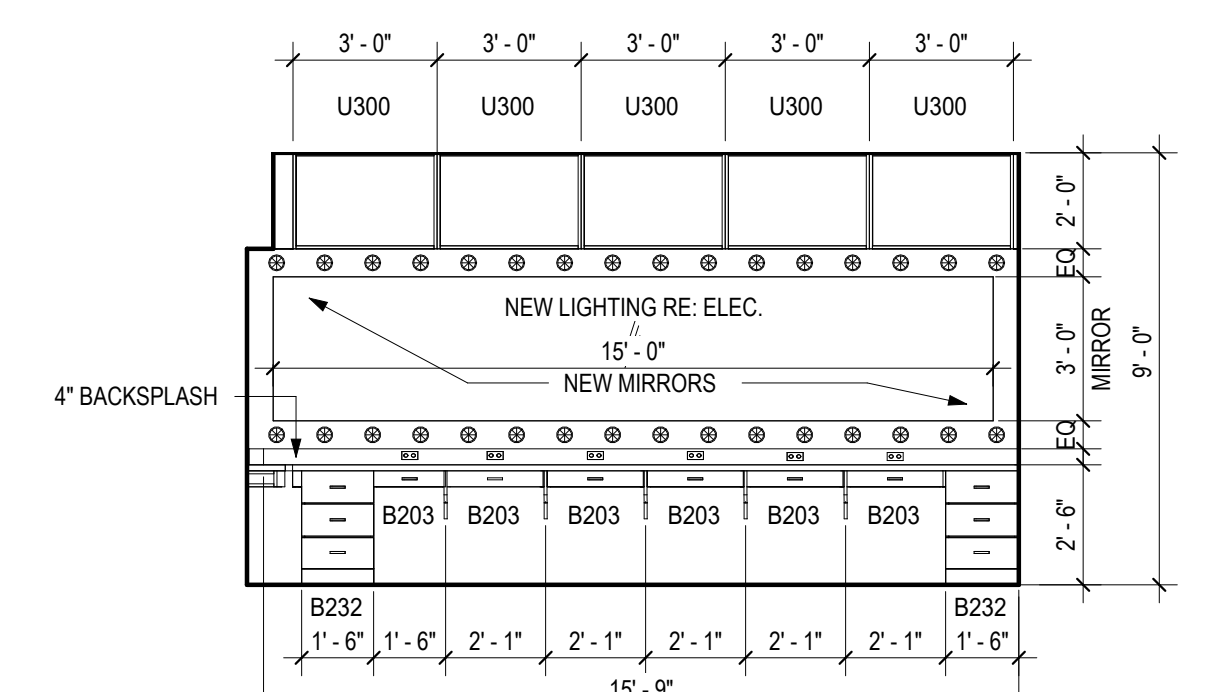
6 G118 LCKR DRESS B - E
1/4" = 1'-0"



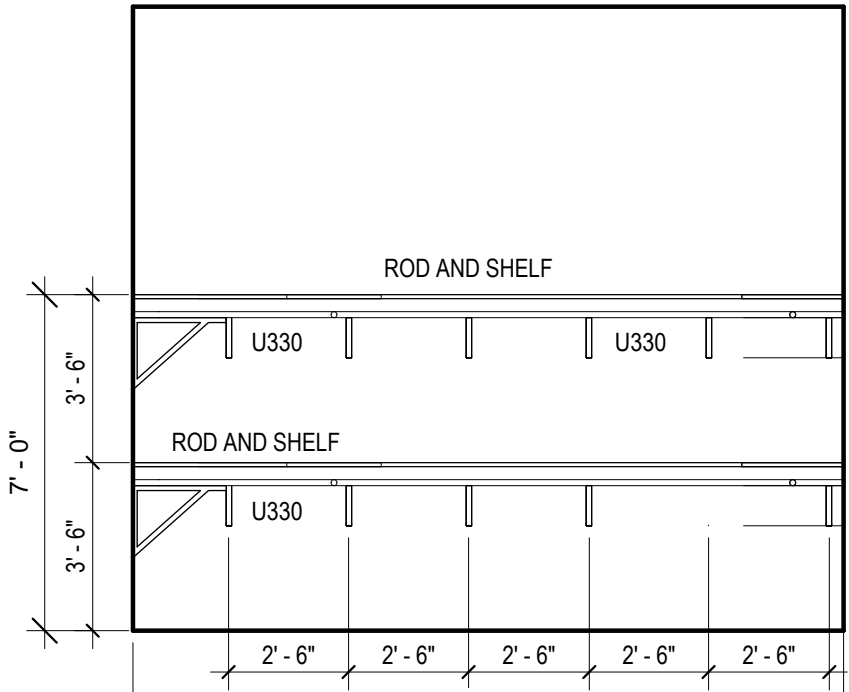
23 M110 CR COSMETOLOGY - S1
1/4" = 1'-0"



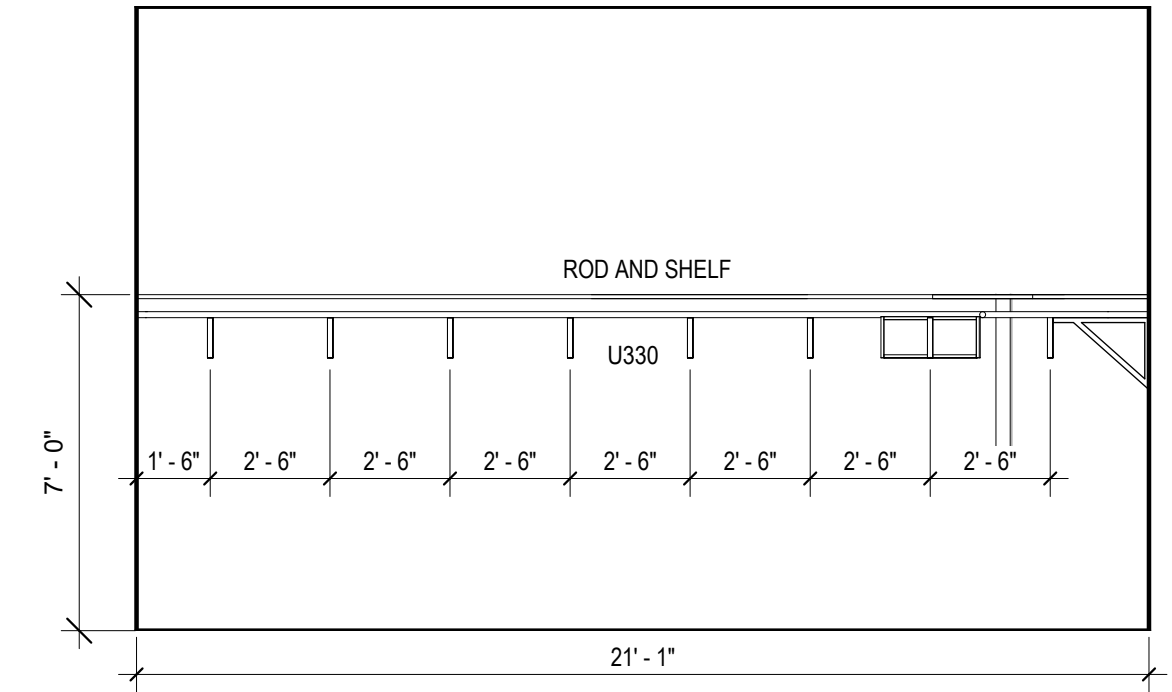
5 G118 LCKR DRESS B - S
1/4" = 1'-0"



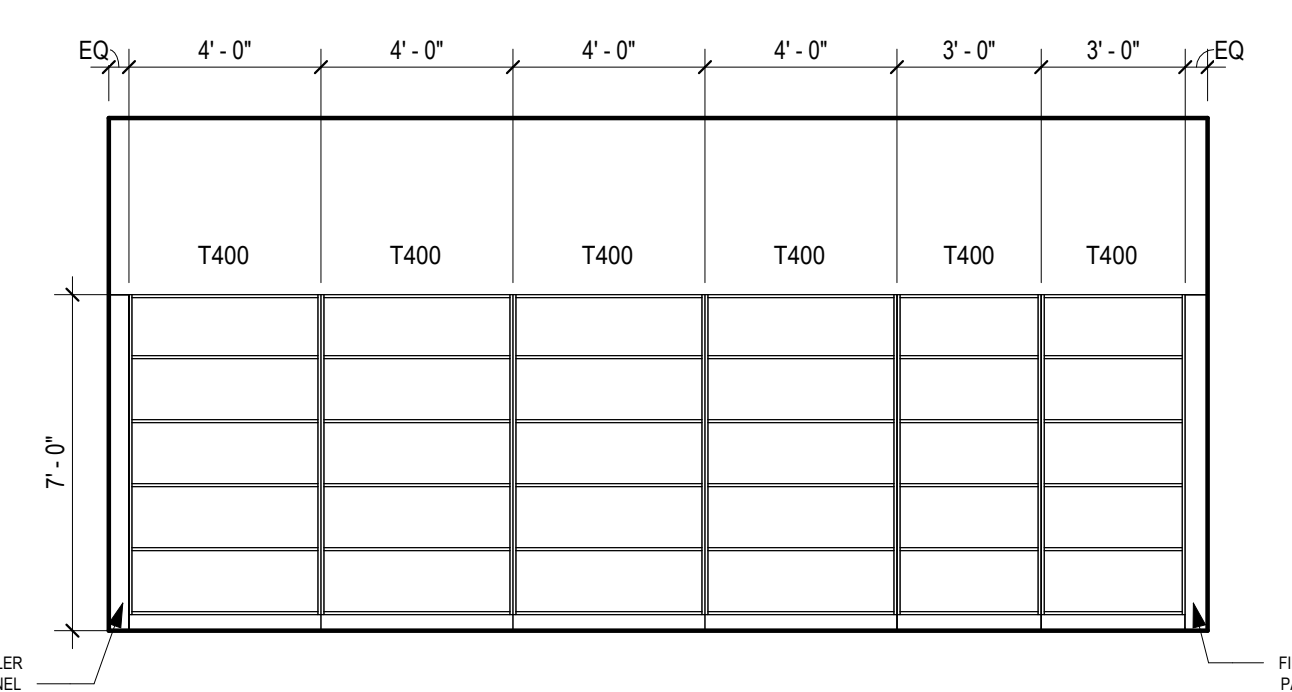
4 G118 LCKR DRESS B - W
1/4" = 1'-0"



3 G116 STOR COSTUME A - N
1/4" = 1'-0"

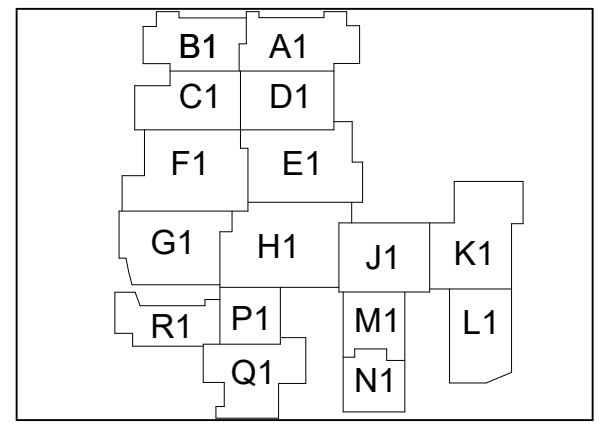


2 G116 STOR COSTUME A - W
1/4" = 1'-0"



1 H144 STOR AUD - W
1/4" = 1'-0"

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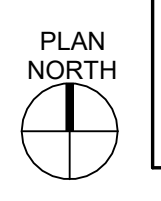
JERSEY VILLAGE HIGH SCHOOL RENOV.
CYPRESS FAIRBANKS ISD
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A8.01
CASEWORK ELEVATIONS AND DETAILS



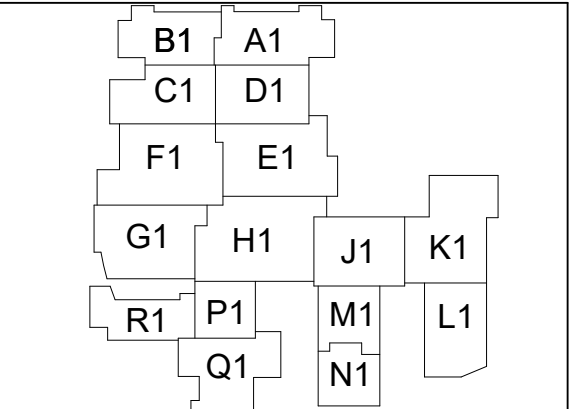
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A11.00

INTERIOR FINISH
LEGEND &
DETAILS

FLOORING	WALLS	MISCELLANEOUS	FINISH NOTES
CARPET	ACOUSTICAL PANELS	GROUT	<p>1. IN AREAS SCHEDULED TO RECEIVE PAINT, WORK SHALL INCLUDE BUT NOT BE LIMITED TO: CLEANING, MINOR CRACK FILLING, PATCHING, SANDING AND PROPER MASKING OF EXISTING SURFACES. PRIMER USED ON PRE-FINISHED SURFACES SHALL BE AS RECOMMENDED BY THE PAINT MANUFACTURER FOR USE ON THAT SPECIFIC SURFACE.</p> <p>2. EXISTING ATHLETIC LOCKERS WILL NOT BE PAINTED UNLESS SPECIFICALLY NOTED ON THE FINISH PLANS.</p> <p>3. AT EXISTING AREAS RECEIVING NEW FLOOR FINISHES, REMOVE EXISTING FLOORING AND BASE AS REQ'D FOR NEW FLOORING; PREP FLOORS AND WALL SURFACES AS REQUIRED TO INSTALL NEW SCHEDULED FLOORING AND BASE.</p> <p>4. SEE ROOM FINISH SCHEDULES AND A11 SERIES DRAWINGS FOR MATERIAL LOCATIONS.</p> <p>5. REFER TO ELEVATIONS, PLANS, AND SECTIONS FOR FINISH EXTENTS.</p> <p>6. ALL CHANGES IN FLOORING MATERIAL BETWEEN ROOMS SHALL OCCUR AT THE CENTERLINE OF THE DOOR UNLESS OTHERWISE NOTED.</p> <p>7. REFER TO DRAWINGS FOR TILE PATTERN ORIGIN POINTS, IF ORIGIN POINT IS NOT INDICATED, ALL TILE PATTERNS TO BE CENTERED IN ROOMS AND CORRIDORS ACCORDING TO DRAWING.</p> <p>8. ALL TILE COVE BASES SHALL HAVE A FLAT TOP WHEN ADJOINING A WALL TILE. ALL TILE COVE BASES SHALL HAVE A ROUNDED TOP WHEN NOT ADJOINING A WALL TILE.</p> <p>9. A LIGHT "ORANGE PEEL" TEXTURE SHALL BE APPLIED TO ALL NEW INTERIOR WALLS.</p> <p>10. NOT USED.</p> <p>11. CONFIRM ALL PAINTED ACCENT WALL LOCATIONS WITH CLIENT PRIOR TO PAINTING.</p> <p>12. ALL SCHEDULED HOLLOW METAL NEW DOOR AND WINDOW FRAMES TO BE PAINTED PT-3.</p> <p>13. ALL NEW PAINTED GYP. BD. CEILINGS TO HAVE FLAT FINISH, UNLESS NOTED OTHERWISE.</p> <p>14. ALL RESILIENT FLOORING INSTALLED TO BE QUARTER TURNED.</p> <p>15. EPOXY FLOORING IS TO RECEIVE 4" HIGH EPOXY COVE BASE.</p> <p>16. CONFIRM WITH OWNER BEFORE PAINTING OVER GRAPHICS IN ALL AREAS. APPLY TWO COATS OF PRIMER OVER GRAPHICS PRIOR TO PAINTING. OLD GRAPHICS CAN NOT SHOW THROUGH NEW PAINT.</p> <p>17. IN AREAS SCHEDULED TO RECEIVE PAINT, ALL EXISTING PAINTED SURFACES SHALL BE PREPARED, PRIMED, AND REPAINTED.</p>
CPT-1 (FIELD) MFR: TARKETT PATTERN: AFTERMATH II COLOR: MOSAIC 25813 TYPE/BACKING: ROLL/POWERBOND-RS	AWP-1 MFR: GUILFORD OF MAINE PATTERN: FR701 COLOR: EGGSHELL 144	GRT-1 MFR: LATIURETE TYPE: EPOXY COLOR: TBD	
CPT-2 MFR: TARKETT PATTERN: FABRICATE COLOR: CUSTOM PURPLE 115309864-40 TYPE/BACKING: ROLL/POWERBOND-RS	AWP-2 MFR: GUILFORD OF MAINE PATTERN: FR701 COLOR: IRIS 798	QUARTZ	
CPT-3 MFR: TARKETT PATTERN: FABRICATE COLOR: CUSTOM GOLD 115309864-20 TYPE/BACKING: ROLL/POWERBOND-RS	AWP-3 MFR: GUILFORD OF MAINE PATTERN: FR701 COLOR: BLACK 408	QTZ-1 MFR: WILSONART COLOR: YES/VIVIS Q1017 LOCATION: COSMETOLOGY COUNTERTOPS	
EPOXY FLOORING	PAINT	QTZ-2 MFR: CAMBRIA COLOR: ELLA LOCATION: FRONT DESK COUNTERTOPS	
EPX-1 MFR: DEK-O-TEX STYLE: DECOR FLOR BROADCAST COLOR: TBD GRIT LEVEL: PER SPECS	PT-1 (FIELD) MFR: SHERWIN WILLIAMS COLOR: MATCH EXISTING SHEEN: EGGSHELL (UNO)	QUARRY TILE	
LINOLEUM TILE (MCT)	PT-2 MFR: SHERWIN WILLIAMS COLOR: CONCORD GRAPE 6559 SHEEN: EGGSHELL (UNO)	QU-1 MFR: DAL TILE LINE: QUARRY COLOR: ARID GRAY SIZE: 6" X 6" FLOOR TILE	
MCT-1 MFR: FORBIO LINE: MARMOLEUM COMPOSITE TILE COLOR: BLACK 2939 SIZE: 13X13	PT-3 MFR: SHERWIN WILLIAMS COLOR: OBI LILAC 6556 SHEEN: EGGSHELL (UNO)	QUB-1 MFR: DAL TILE LINE: QUARRY COLOR: ARID GRAY SIZE: 6" X 5" COVE BASE Q3565	
LUXURY VINYL TILE	PT-4 MFR: SHERWIN WILLIAMS COLOR: COMPATIBLE CREAM 6387 SHEEN: EGGSHELL (UNO)		
LVT-1 MFR: TARKETT PATTERN: ID LATITUDE COLOR: VILLA WHITE 7563 SIZE: 18X18	PT-5 MFR: SHERWIN WILLIAMS COLOR: JONGUL 6674 SHEEN: EGGSHELL (UNO)		
LVT-2 MFR: TARKETT PATTERN: ID LATITUDE COLOR: BARLEY 7564 SIZE: 18X18 X 20 MIL.	PT-6 MFR: SHERWIN WILLIAMS COLOR: VEILED VIOLET 6288 SHEEN: EGGSHELL (UNO)		
LVT-3 MFR: TARKETT PATTERN: ID LATITUDE COLOR: PALACE 7551 SIZE: 18X18 X 20 MIL.	PT-7 MFR: SHERWIN WILLIAMS COLOR: RESTRAINED GOLD 6129 SHEEN: EGGSHELL (UNO)		
LVT-4 MFR: MOHAWK PATTERN: MOLVENO STONES COLOR: PERFECT GREEGE 879 SIZE: 11.75" X 33.75" X 20 MIL.	PT-8 MFR: SHERWIN WILLIAMS COLOR: BLACK MAGIC 6991 SHEEN: EGGSHELL (UNO)		
	PT-9 MFR: SHERWIN WILLIAMS COLOR: MONORAL SILVER 7663 SHEEN: EGGSHELL (UNO) *CONFIRM COLOR/SHEEN COMPLIES WITH WELDING INDUSTRY SAFETY STANDARDS*		
RUBBER TREAD FLOORING	PLASTIC LAMINATE		
RTF-1 MFR: ROPPE COLOR: 193 BLACK BROWN LINE: RAISED CIRCULAR VANTAGE #86 WITH RISER AT STAIR TREADS, #896 RUBBER TILE AT LANDINGS.	PL-1 MFR: FORMICA COLOR: GINGER ROOT MAPLE 7288-58 LOCATION: ALL DOORS AND CASEWORK (UNO)		
CONCRETE	PL-2 MFR: FORMICA COLOR: MINERAL SPA 6920-58 PLACEMENT: ALL COUNTERTOPS (UNO)		
SC-1 SEALED CONCRETE. SEE SPECIFICATIONS	PL-3 MFR: WILSONART COLOR: BLACKBIRD 5024K-19 PLACEMENT: COSMETOLOGY CASEWORK		
PC-1 POLISHED CONCRETE. SEE SPECIFICATIONS	RUBBER BASE		
TILE (FLOORS)	RB-1 MFR: ROPPE COLOR: 193 BLACK BROWN STYLE: 4" COVE		
TF-1 MFR: DAL TILE LINE: HAUT MONDE COLOR: ARISTOCRAT CREAM SIZE: 12" X 12" TYPE: PORCELAIN	TILE BASE		
TF-2 MFR: CROSSVILLE LINE: COLOR BOX 2.0 COLOR: MIDDIE SIZE: 12" X 12" TYPE: PORCELAIN	TB-1 MFR: DAL TILE LINE: HAUT MONDE COLOR: ARISTOCRAT CREAM SIZE: 12" X 6" TYPE: PORCELAIN		
TF-3 MFR: AMERICAN OLEAN LINE: UNION COLOR: RUSTED BROWN UN4 SIZE: 12" X 12" TYPE: PORCELAIN	TILE (WALLS)		
TF-4 MFR: DAL TILE LINE: SYNCHRONIC COLOR: LAURE SYR SIZE: 12" X 24" TYPE: PORCELAIN LOCATION: SERVING LINE FLOOR	TW-1A (FIELD) MFR: DAL TILE LINE: NATURAL HUES COLOR: BURLAP NH10 SIZE: 12" X 12" TYPE: PORCELAIN		
WEIGHT ROOM FLOORING	TW-1B MFR: DAL TILE LINE: NATURAL HUES COLOR: GRAPE NH54 SIZE: 8" X 8" CUT IN HALF TYPE: PORCELAIN		
WRF-1 MFR: REGUPOL SPORTS LINE: AKTYPRO ROLL STRENGTH COLOR: STORMY NIGHT APR35107 SIZE: TBD TYPE: ROLL	TW-2 NOT USED		
WRF-2 MFR: REGUPOL SPORTS LINE: AKTYPRO ROLL COLOR: BLACK 9004 SIZE: CUSTOM CUT GRAPHICS TYPE: ROLL	TW-3 MFR: DAL TILE LINE: NATURAL HUES COLOR: GRAPE NH54 SIZE: 8" X 8" TYPE: PORCELAIN		
WRF-3 MFR: REGUPOL SPORTS LINE: AKTYPRO ROLL COLOR: PURPLE 4005 SIZE: CUSTOM CUT GRAPHICS TYPE: ROLL	TW-4 MFR: DAL TILE LINE: NATURAL HUES COLOR: BURLAP NH10 SIZE: 6" X 12" TYPE: PORCELAIN		
WRF-4 MFR: REGUPOL SPORTS LINE: AKTYPRO ROLL COLOR: YELLOW 1012 SIZE: CUSTOM CUT GRAPHICS TYPE: ROLL	TW-5 MFR: DAL TILE LINE: NATURAL HUES COLOR: GRAPE NH54 SIZE: 6" X 12" TYPE: PORCELAIN		
WALK-OFF MAT			
WM-1 MFR: TARKETT PATTERN: ASSERTIVE ACTION COLOR: TBD BACKING: POWERBOND-RS			



NOTES - GENERAL FINISH PLANS

1/2" = 1'-0"

ROOM NAME	ROOM NUMBER
OFF AP	F148
CPT-1	RB-1
PT-1	PT-1

- RE: ROOM FINISH SCHEDULES FOR MATERIAL LOCATIONS.
- RE: A11 SERIES DIMS: FOR TILE PATTERN ORIGIN POINTS.
- ALL CHANGES IN FLOOR MATERIAL BETWEEN ROOMS SHALL OCCUR @ CENTERLINE OF DOORWAY UNLESS OTHERWISE NOTED.
- ANY FINISH CONFLICT BETWEEN FINISH SCHEDULES & FINISH FLOOR PLANS TO BE BROUGHT TO THE ARCH'S ATTENTION FOR RESOLUTION.
- ALL WALLS WITHIN SCOPE TO RECEIVE NEW FINISH UNLESS NOTED OTHERWISE.
- ALL DIGITAL WALL PROTECTION SYSTEM GRAPHICS T.B.D.
- PAINTING NOTES ONLY APPLY TO EXISTING PAINTED SURFACES; DO NOT APPLY PAINT AT EXISTING WALL TILE.

* REFER TO GENERAL FINISH NOTES OR ADDITIONAL DRAWINGS FOR MORE INFORMATION.

WF1A REFER TO WAYFINDING GRAPHIC 1 AND CONFIRM FINAL CONTENT WITH ARCHITECT. COLORS TO BE PT6 (PRIMARY) AND PT7 (SECONDARY) AT THIS LOCATION.

WF1B REFER TO WAYFINDING GRAPHIC 1 AND CONFIRM FINAL CONTENT WITH ARCHITECT. COLORS TO BE PT8 (PRIMARY) AND PT9 (SECONDARY) AT THIS LOCATION.

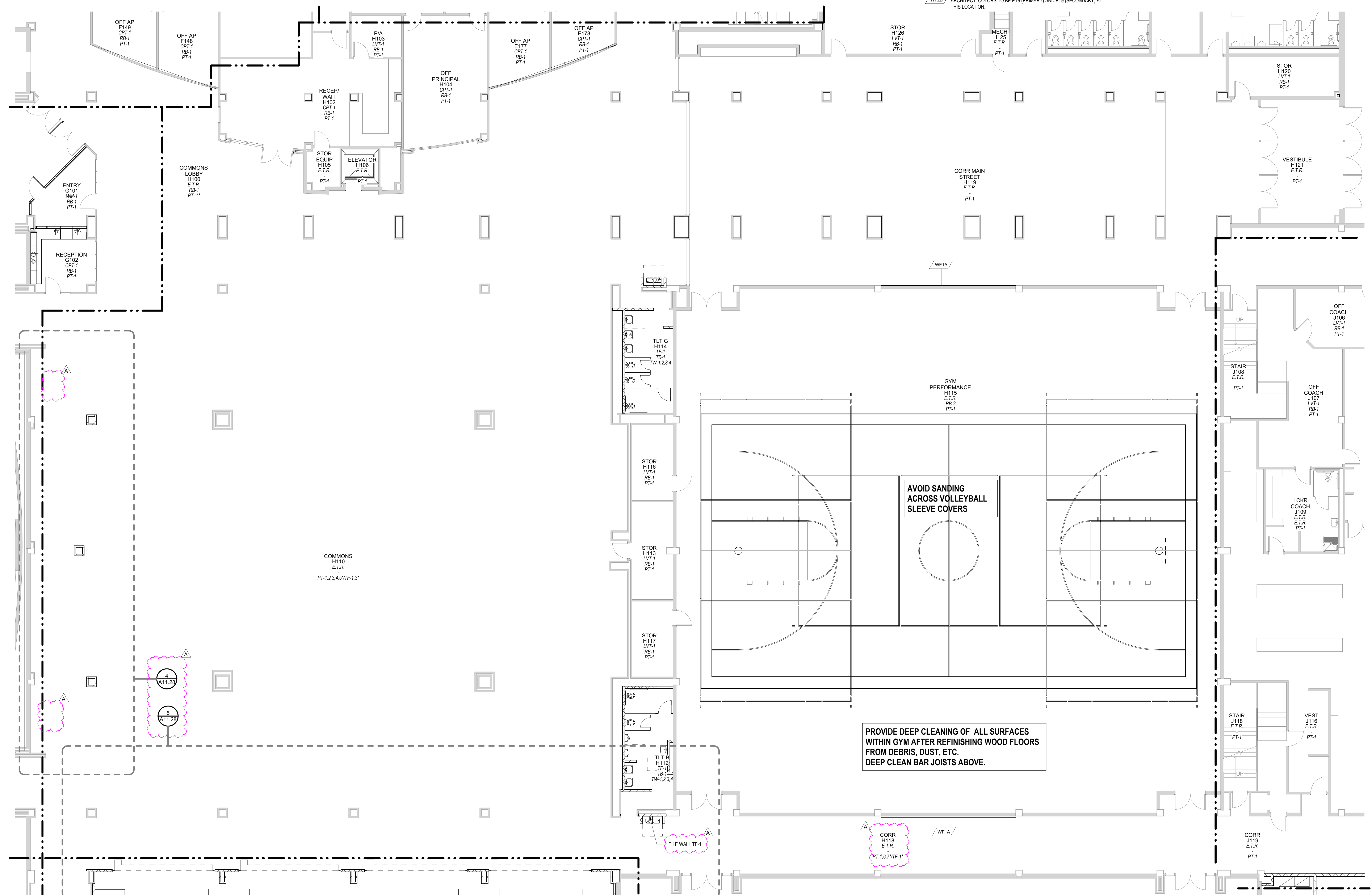
WF2A REFER TO WAYFINDING GRAPHIC 2 AND CONFIRM FINAL CONTENT WITH ARCHITECT. COLORS TO BE PT6 (PRIMARY) AND PT7 (SECONDARY) AT THIS LOCATION.

WF2B REFER TO WAYFINDING GRAPHIC 2 AND CONFIRM FINAL CONTENT WITH ARCHITECT. COLORS TO BE PT8 (PRIMARY) AND PT9 (SECONDARY) AT THIS LOCATION.

FINISH KEY NOTES

1/4" = 1'-0"

- ALL ENTRY DOOR ALCOVES TO RECEIVE PT-2 WALL FINISH. TERMINATE AT OUTSIDE CORNER, TYP.
- REPLACE EXISTING CARPET AT AISLES AND CIRCULATION AREAS WITH NEW CARPET AS SPECIFIED. EXISTING FINISHED CONCRETE UNDER FIXED SEATING TO REMAIN; PATCH AND REPAIR AS NEEDED.



1 AREA 'H1' - 1ST FLOOR FINISH PLAN

1/8" = 1'-0"

CONSULTANTS

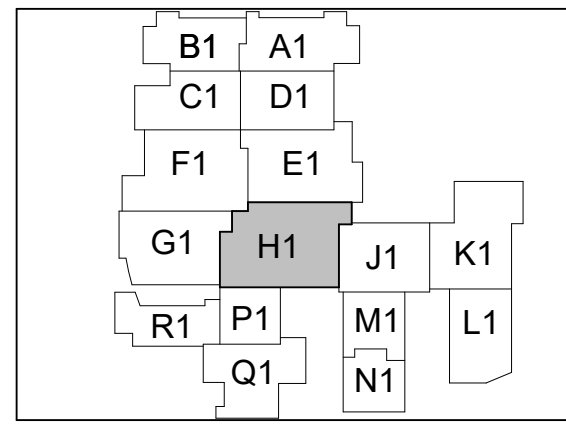
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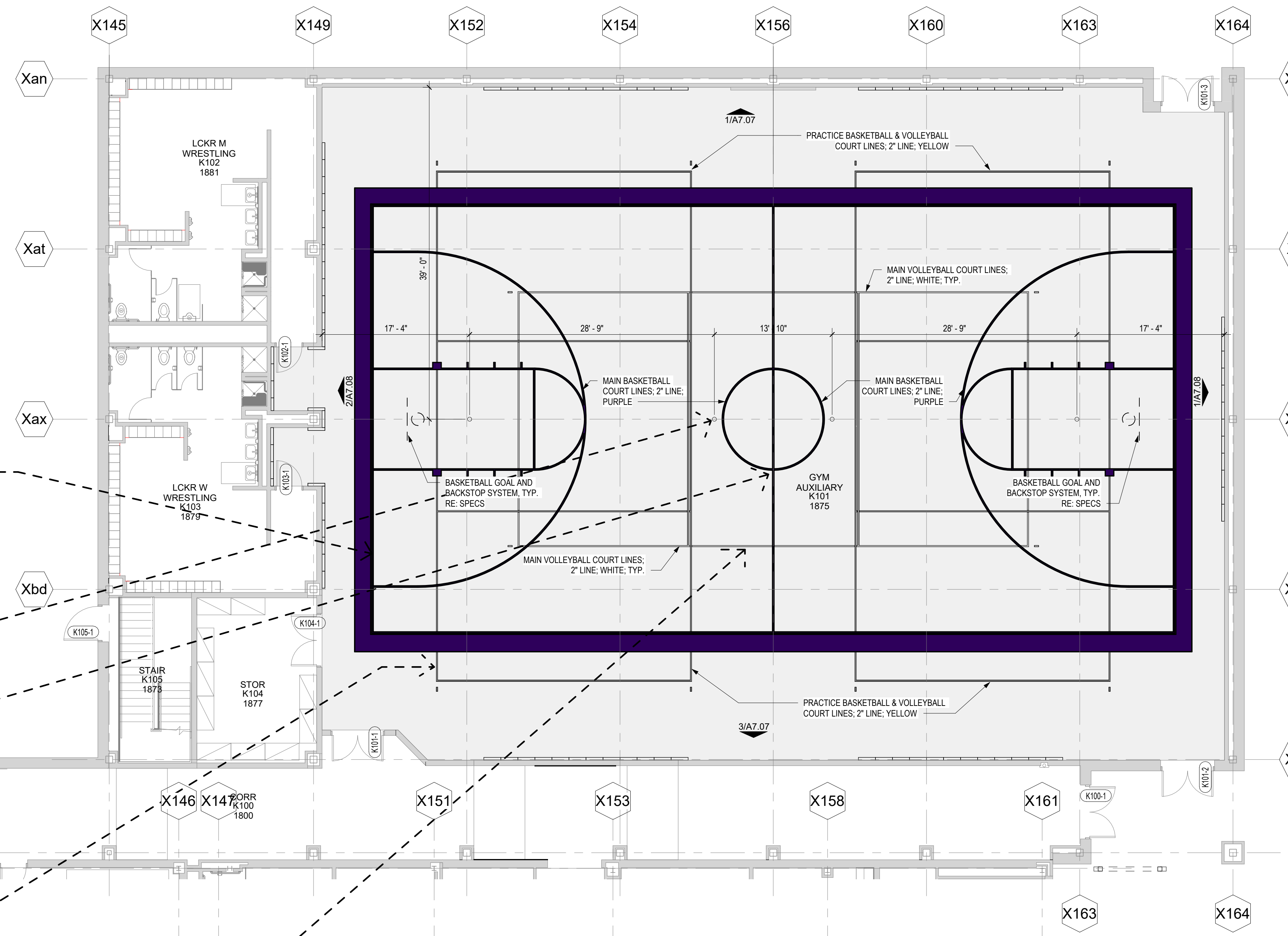
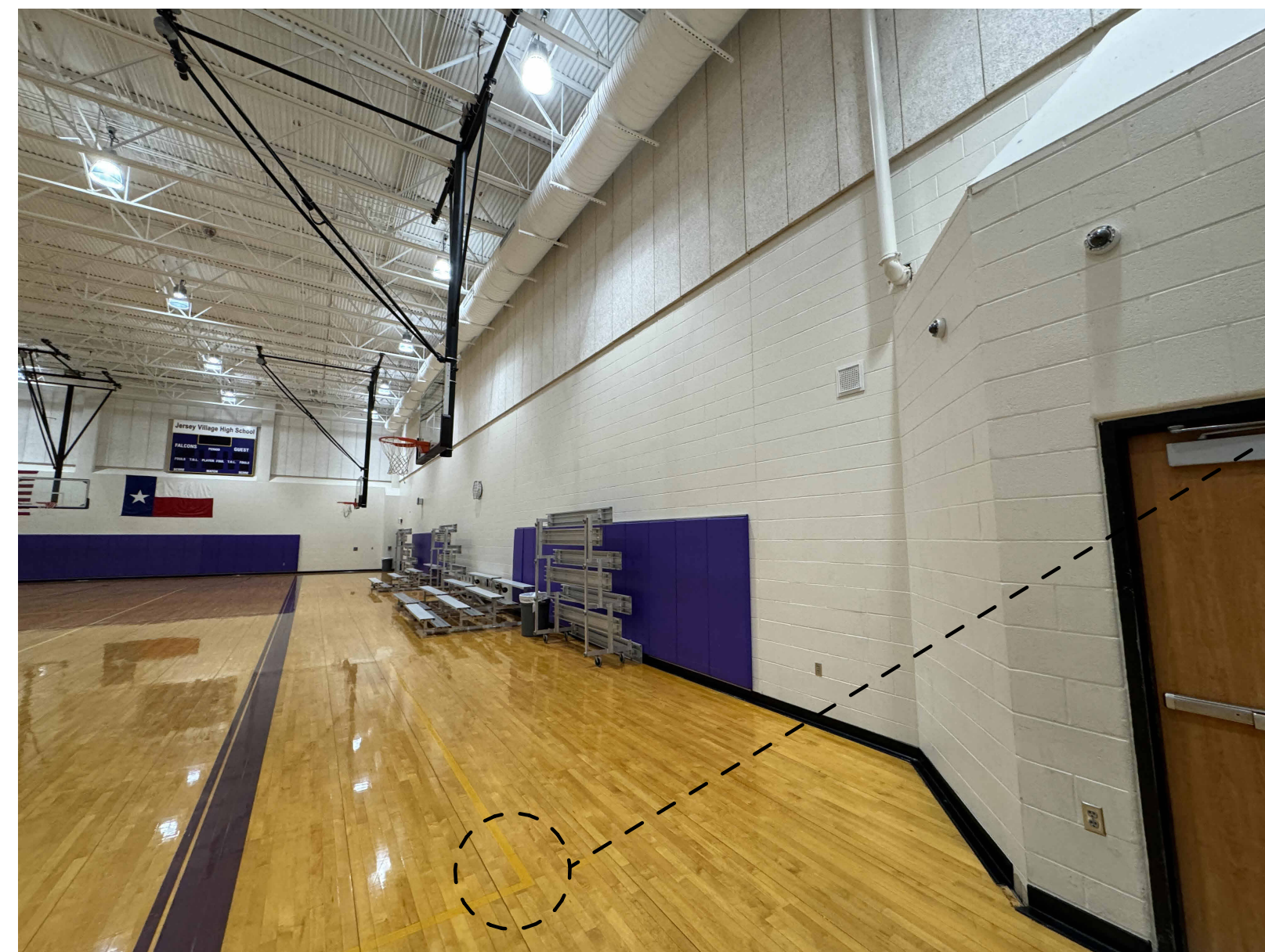
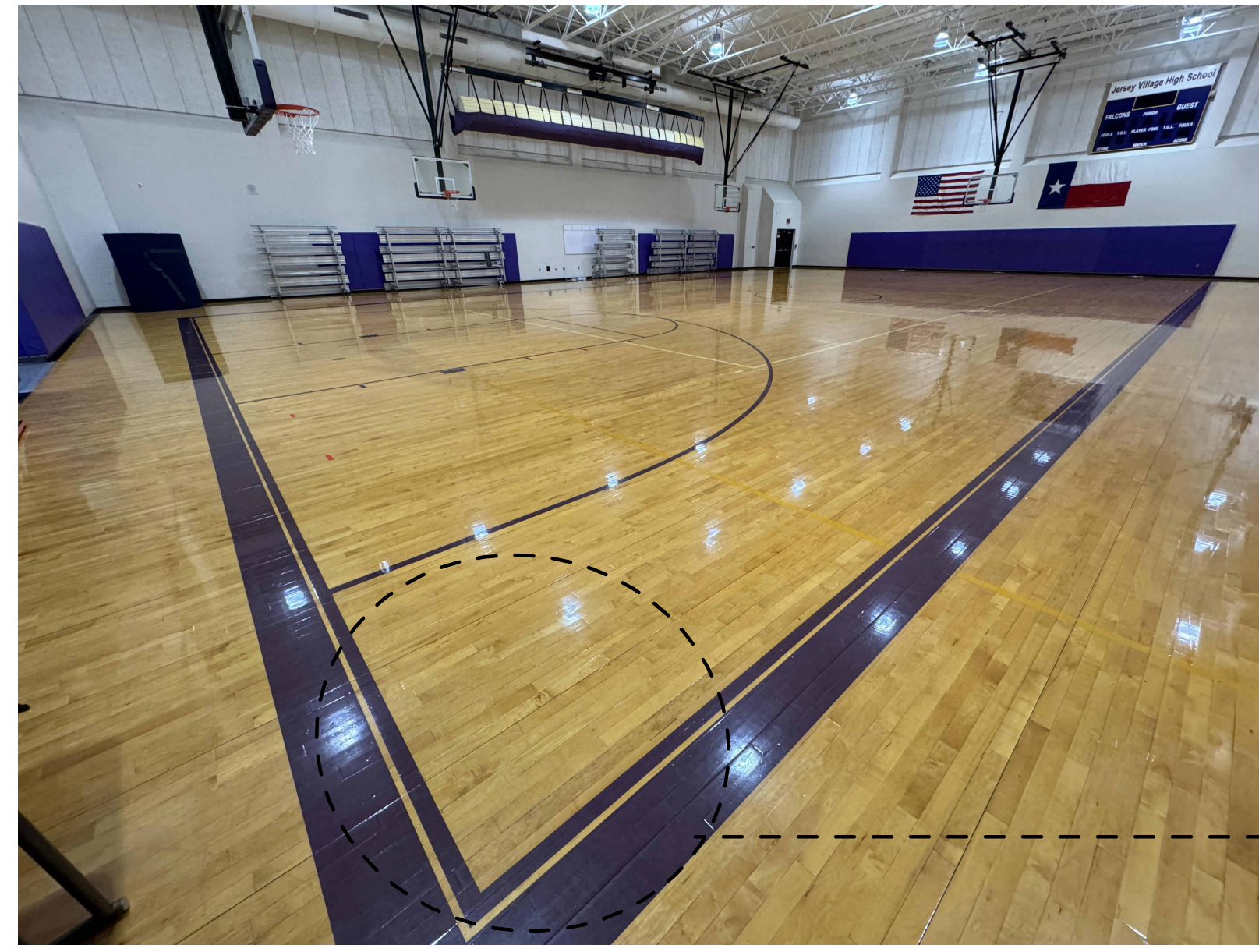


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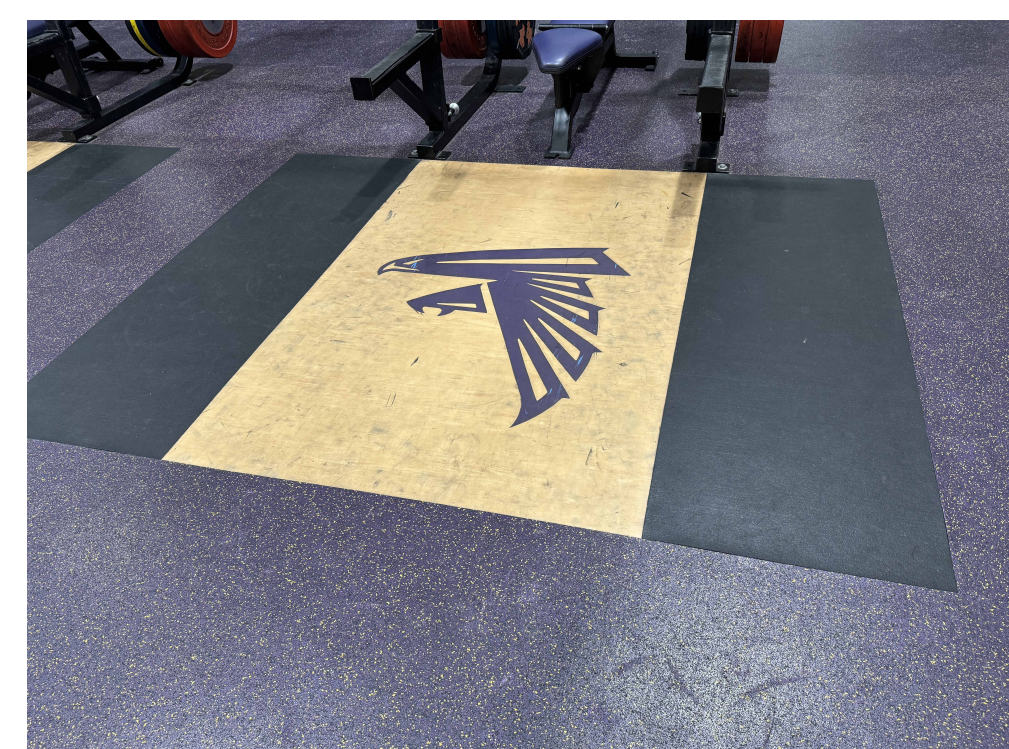
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AREA 'H1' - 1ST FLOOR FINISH PLAN





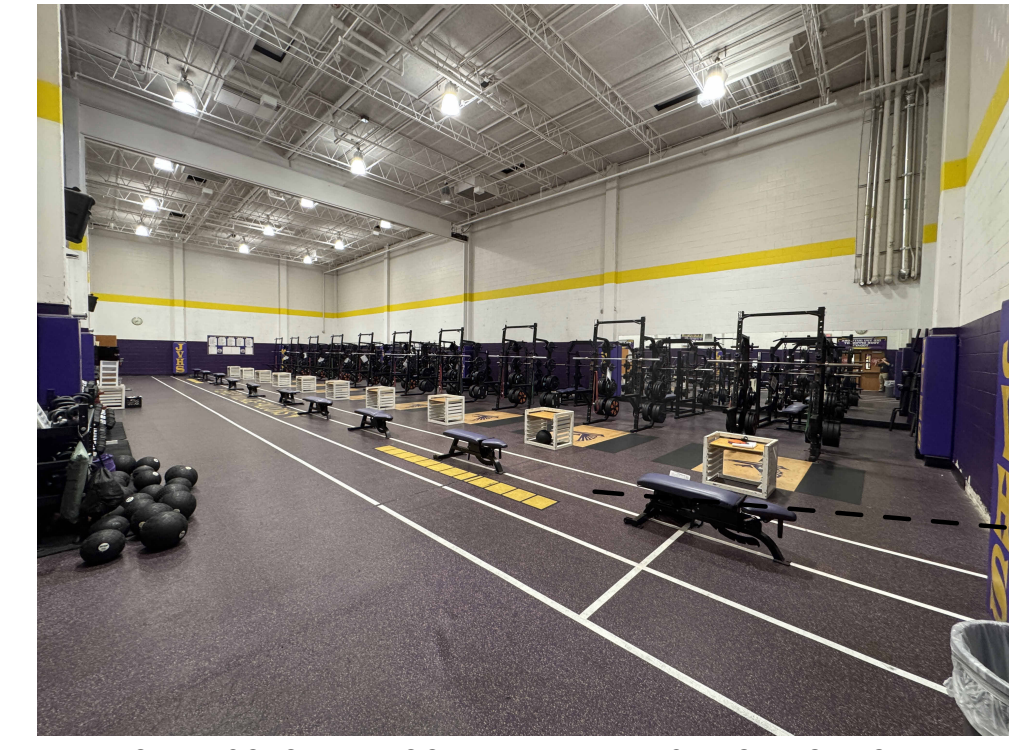
1 AREA 'K1' - AUXILIARY GYM STRIPING FLOOR PLAN
1/8" = 1'-0"



PROVIDE APPROVED GRAPHIC AT EVERY DROP ZONE, TYP.

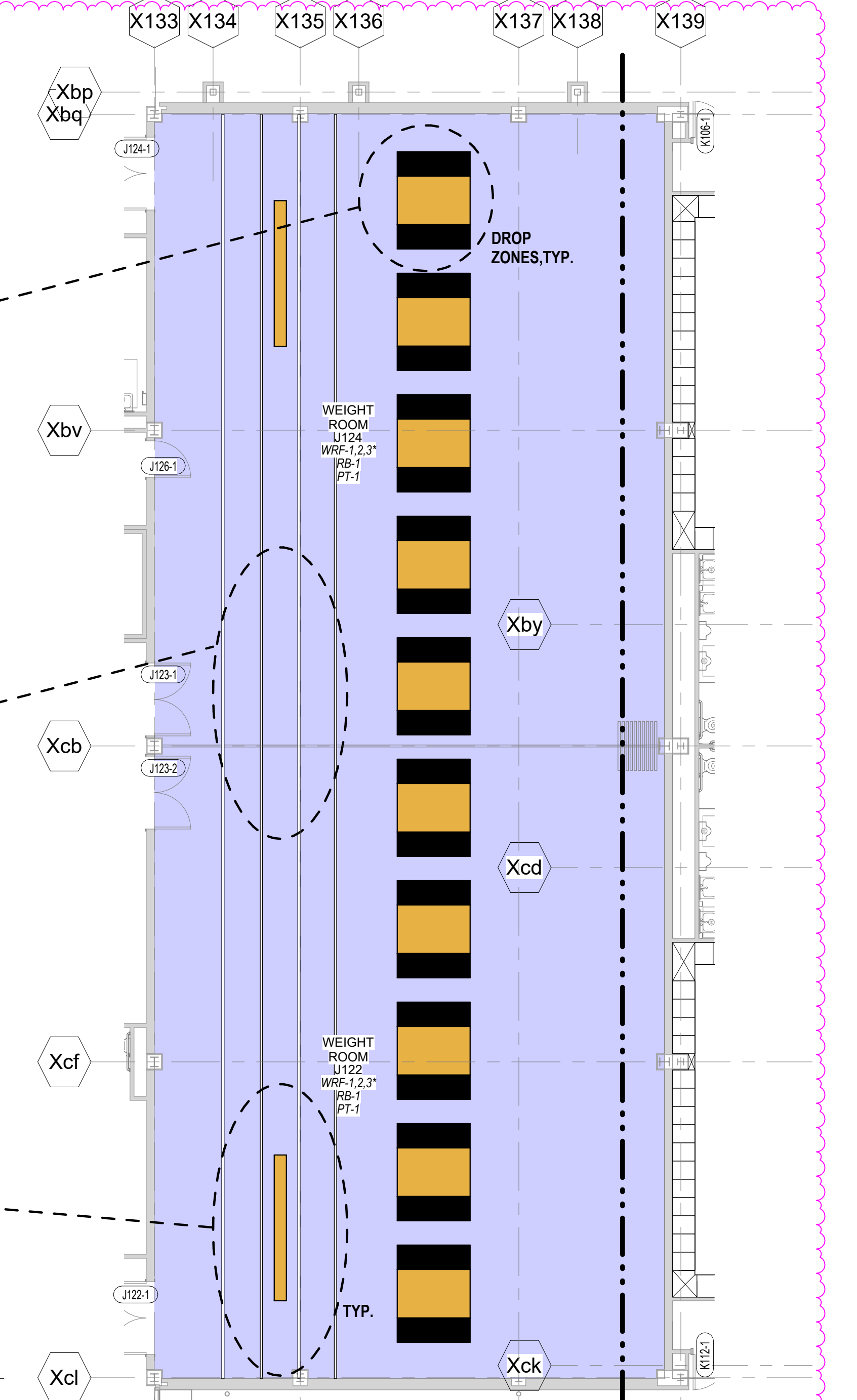


PROVIDE APPROVED GRAPHIC AT FLOOR FINISH

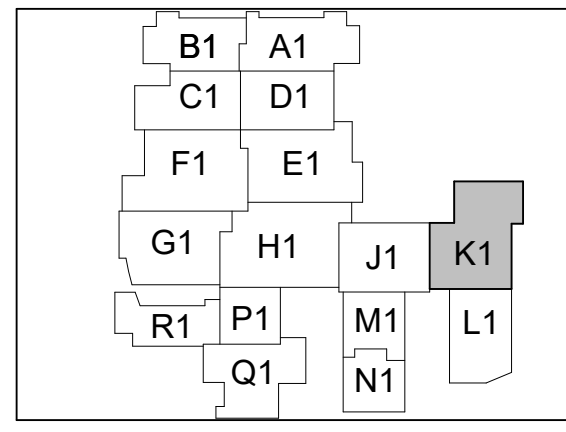


PROVIDE COLORED FLOOR PATTERN MATCHING EXISTING

2 AREA 'J1' - WEIGHT ROOM FLOOR PATTERN
1/8" = 1'-0"



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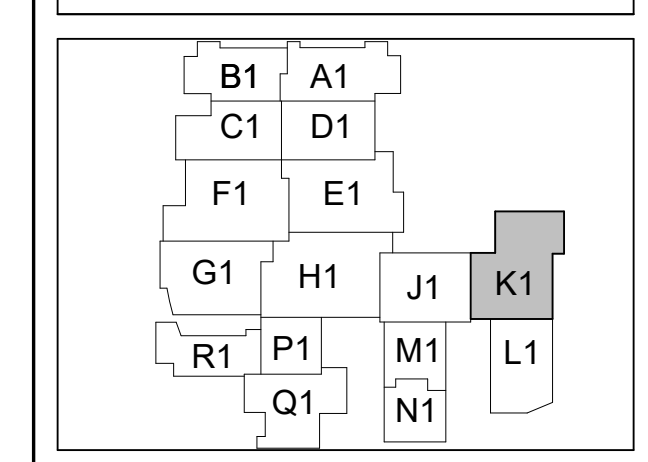


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A11.26
 AUXILIARY GYM & WEIGHT ROOM FLOOR PATTERN



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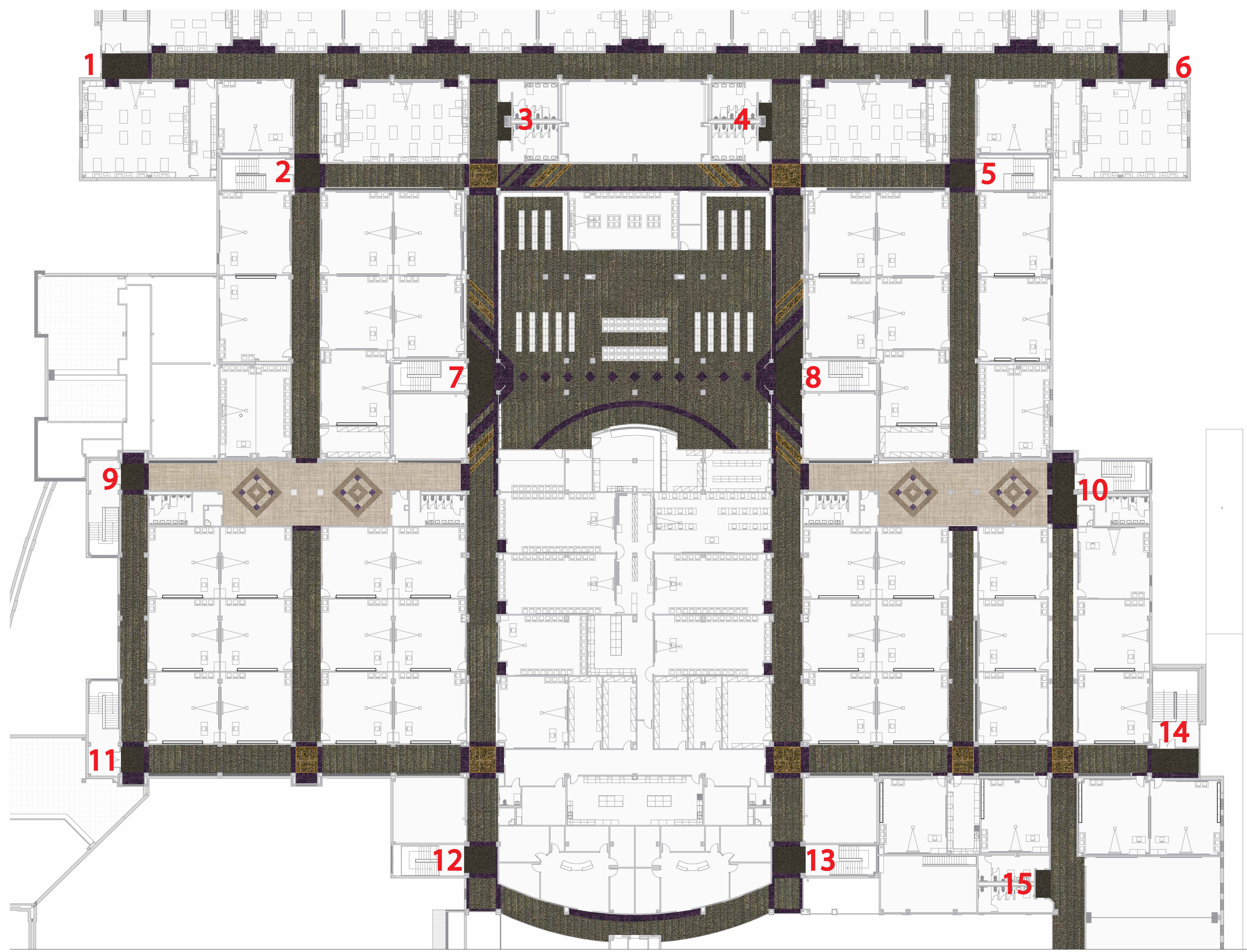
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 2ND FLOOR CORRIDORS - CARPET PATTERN

Proposed Floors



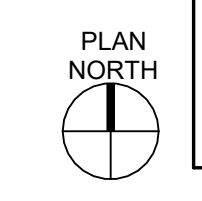
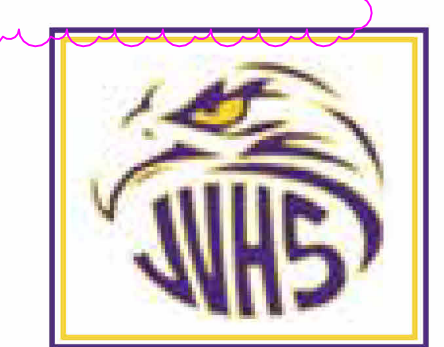
CARPET

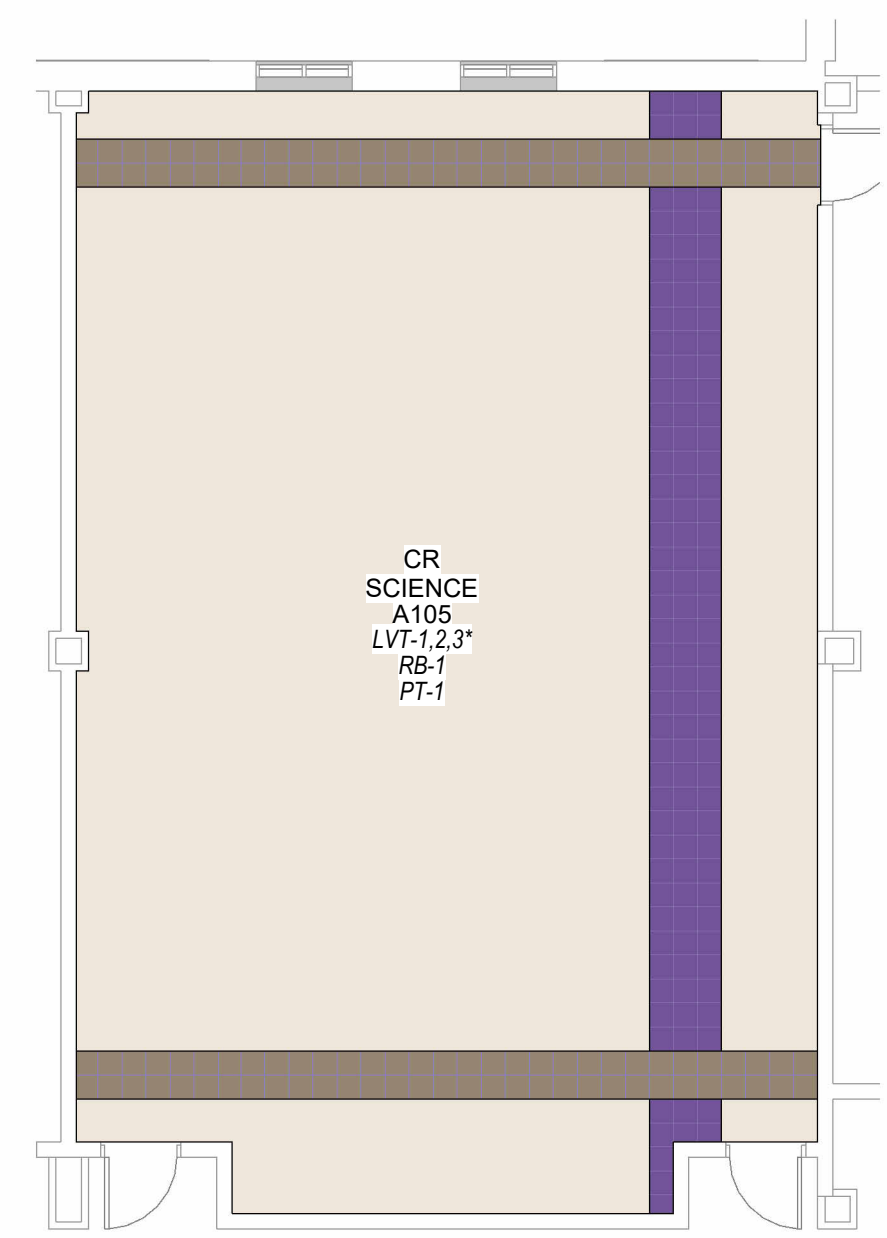
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- *  WM-1
-  CPT-2
-  CPT-3

LVT

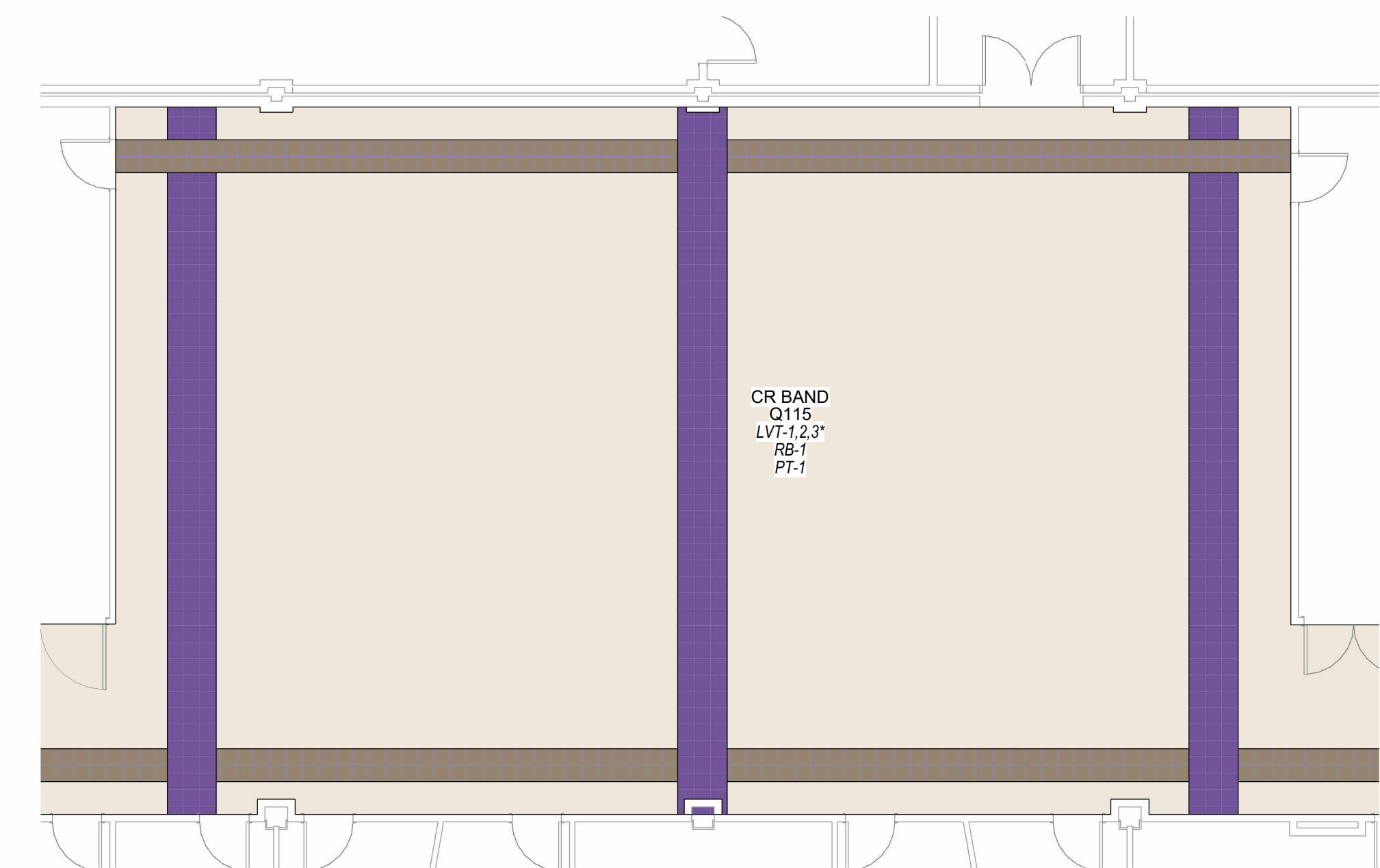
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-  LVT-2
-  LVT-3

2nd Floor Flooring Patterns and Color Placements
 Colors represent changes in pattern and/or material.

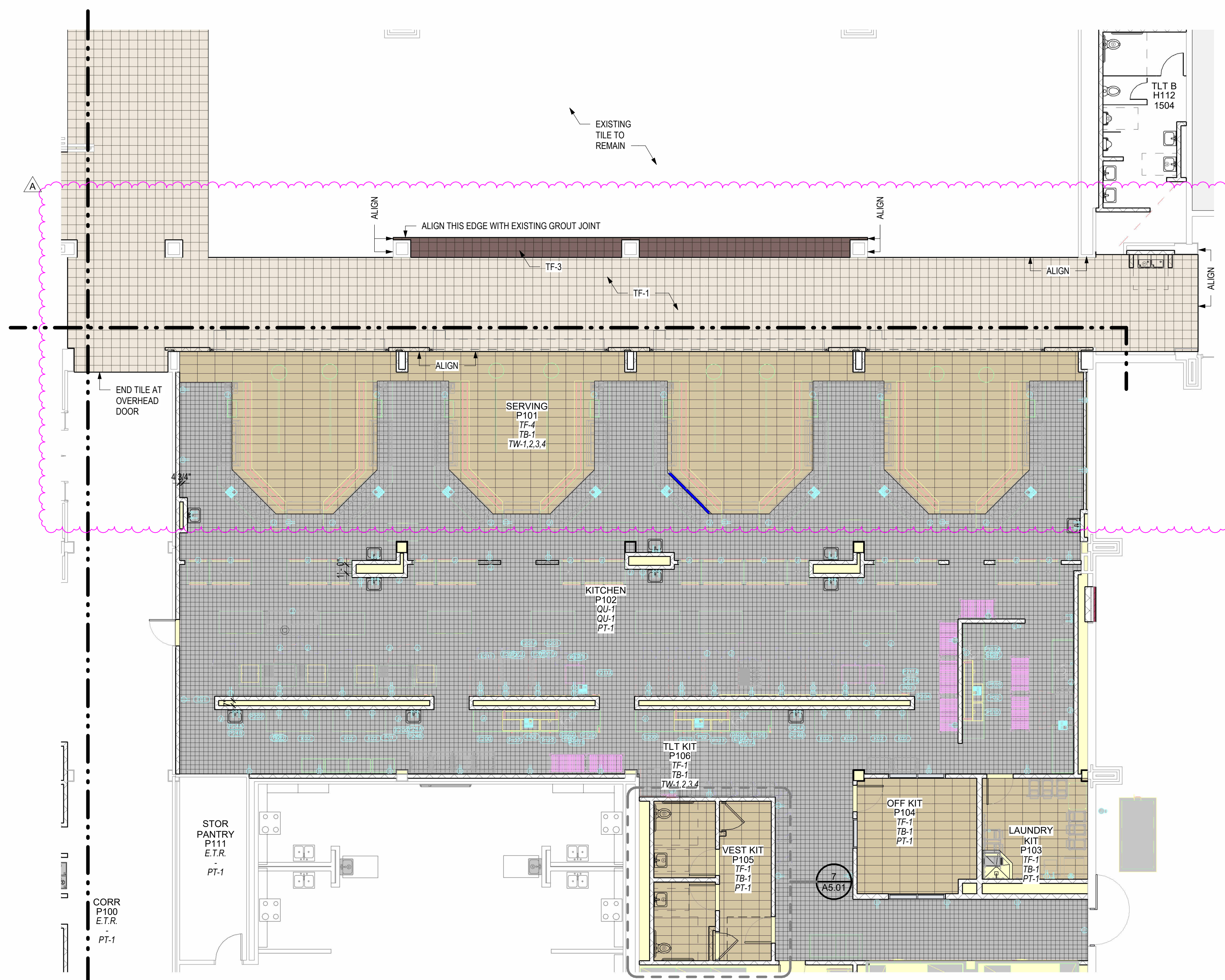




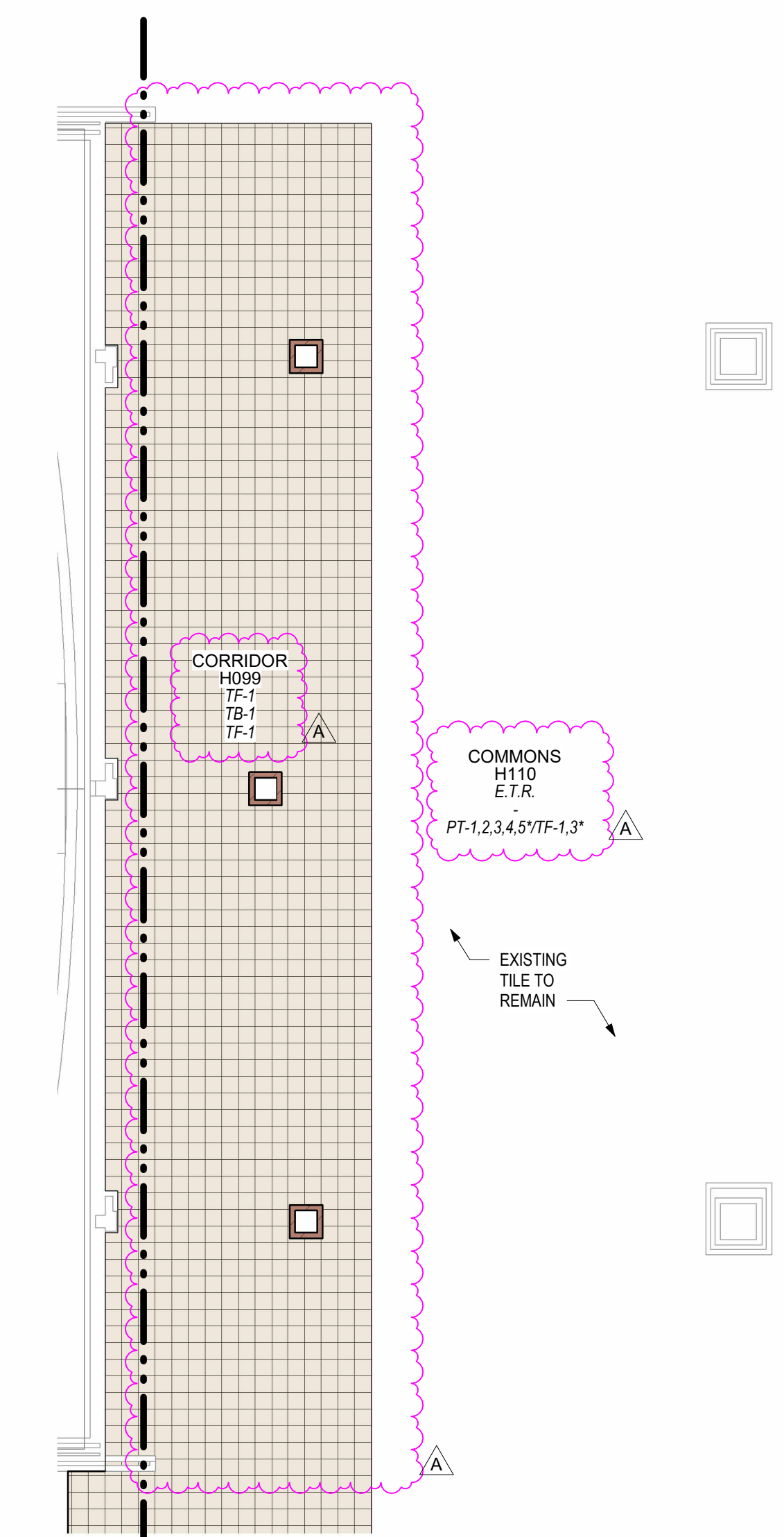
7 1ST FLOOR - TYPICAL ROOM TYP. FLOOR FINISH PLAN
1/8" = 1'-0"



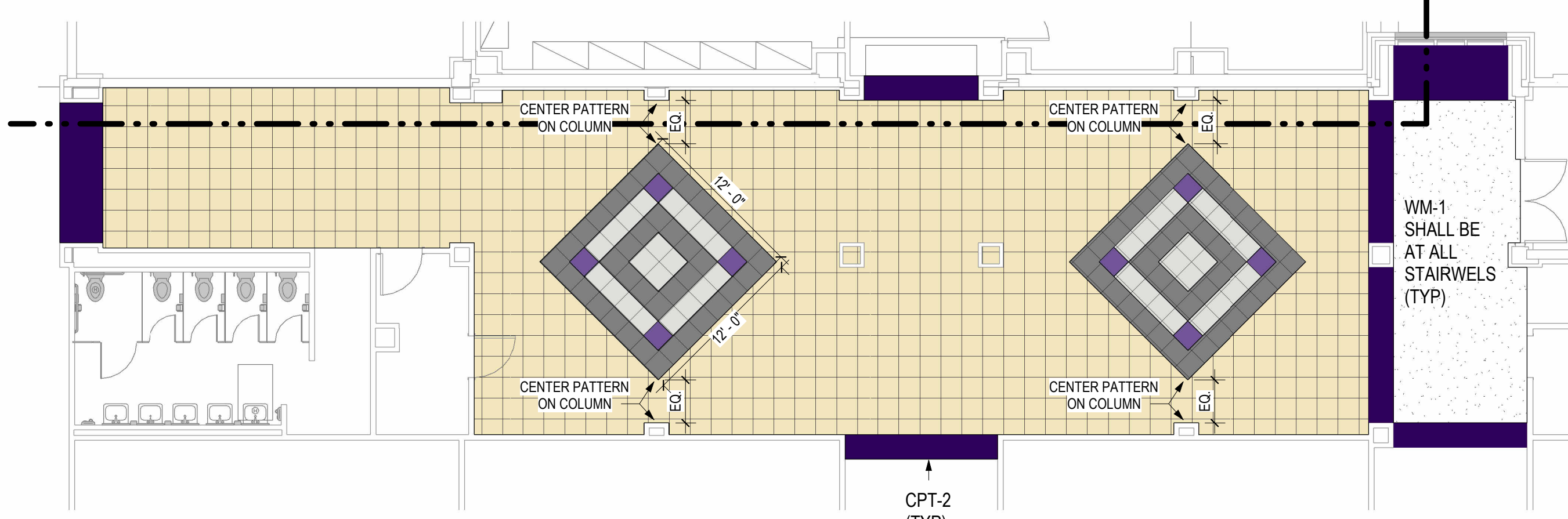
6 1ST FLOOR - TYPICAL LARGE ROOM FLOOR FINISH PLAN
1/8" = 1'-0"



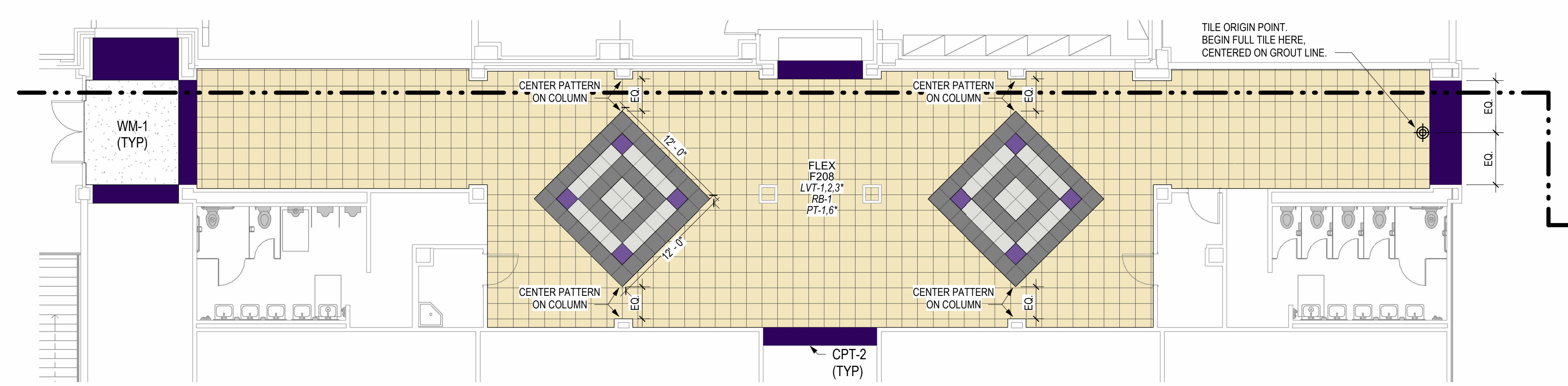
5 1ST FLOOR - KITCHEN FLOOR FINISH PATTERN
1/8" = 1'-0"



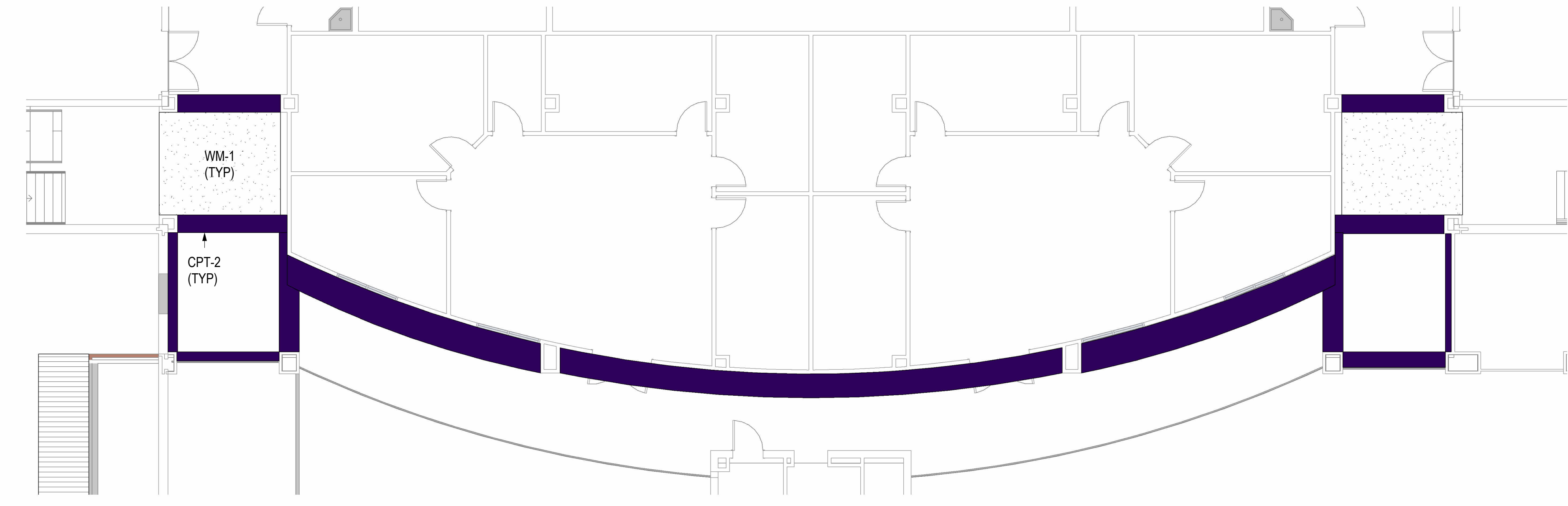
4 1ST FLOOR - CORRIDOR H099 FLOOR PATTERN
1/8" = 1'-0"



3 2ND FLOOR FLEX E - FLOOR PATTERN DETAILS
1/8" = 1'-0"

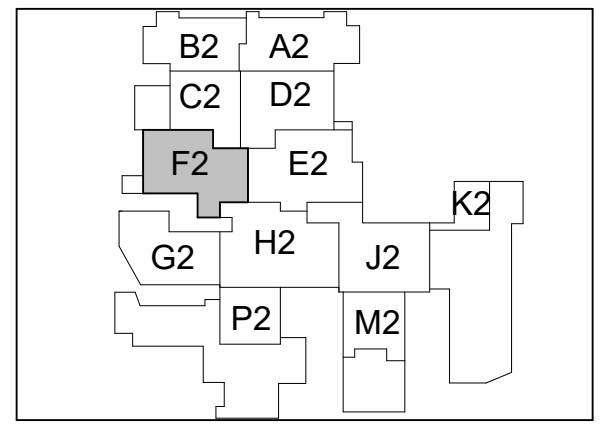


2 2ND FLOOR FLEX F - FLOOR PATTERN DETAILS
1/8" = 1'-0"



1 2ND FLOOR ADMIN AREA + STAIRWELLS - FLOOR PATTERN
1/8" = 1'-0"

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 21020 Park Row Dr.
 Katy, TX 77449
 Tel: 281.578.9595
 Fax: 281.578.9686
ACOUSTIC
 BAI, LLC
 4726 Rainbow Run
 Sugarland, Texas 77479
 Tel: 281.813.8518
 Fax: 214.584.6124



JERSEY VILLAGE HIGH SCHOOL RENOV.
 CYPRESS FAIRBANKS ISD
 7600 Solomon St, Jersey Village, TX 77040

ARCADIS
 TEXAS ARCADIS INC.
 1330 POST OAK BOULEVARD, SUITE 2250
 HOUSTON, TX 77042
 tel 281.286.6605, fax 713.977.4620



2024-12-20

PROJECT #:	202319
DATE:	2024-12-20
DRAWN:	NA
CHECKED:	DB
DATE:	ISSUE
2024-12-20	PERMIT & PROPOSAL
2024-01-07	ADDENDUM 04
	A

A11.28
 AREA 'F2' - FLOOR PATTERN DETAILS - MULTI FLOORS

