

ADDENDUM NO. 3



**For: Elementary School # 38
522 Brookewater Boulevard
Rosenberg, TX 77471
for
LAMAR CISD
3911 Avenue I
Rosenberg, TX 77471**

TO: DRAWINGS AND SPECIFICATIONS DATED: December 12, 2024

DATE: 1/14/25

PREPARED BY: PFLUGER ARCHITECTS, L.P.

ADDENDUM DATE: January 13, 2025

PROJECT NO: 24-028

This addendum shall be considered part of the Bid Documents for the above named project as though it had been issued at the same time and shall be incorporated integrally therewith. Where provisions of the following supplementary data differ from those of the original Bid Documents, this Addendum shall govern and take precedence.

Bidders are hereby notified that they shall make any necessary adjustments in their estimates as a result of this Addendum. It will be construed that each bidder's proposal is submitted with full knowledge of all modifications and supplemental data specified herein.

Addendum No.3 consists of the following:

- ADD. NO. 3 - Pfluger Narrative
- ADD. NO. 3 - Specifications
- ADD. NO. 3 - Drawings
- ADD. NO.3 - Bid Log

GENERAL:

The Bid Documents are modified and clarified as follows:

Reference to Specification or Detail modifications in this Addendum are to attached documents. Including the following attached narratives

- Addendum 3 Architectural Narrative - 2 pages
- Addendum 3 MEPT Narrative - 2 pages.
- Addendum 3 Structural Narrative - 2 pages
- Addendum 3 Civil Narrative - 1 pages.
- Addendum 3 Specs - 26 pages
- Addendum 3 Sheets - 23 pages
- RFI Log - 8 pages

GENERAL:

ITEM	SHEET	DESCRIPTION
GO-1		RFI Log Attached at the end of this Addendum
GO-2		Specification Section 00 11 00 REQUEST FOR COMPETITIVE SEALED PROPOSALS pages 24 and 25 TEXAS STATUTORY PERFORMANCE BOND and TEXAS STATUTORY PAYMENT BOND forms will only be executed when there is a contract in place.
GO-3		Confirmation was received from Centerpoint on January 14, 2025, that the transformer had been ordered. The expected delivery of the transformer is in 55 weeks from this date.

SPECIFICATIONS:

ITEM	SECTION	DESCRIPTION
S3-1	00 01 01	Table of Contents is REVISED to reflect sections issued as part of this Addendum
S3-2	00 01 01.1	Architect Table of Contents is REVISED to reflect sections issued as part of this Addendum
S3-3	00 20 00	Paragraph 1.13.B is ADDED
S3-4	09 84 13	Paragraph 2.01.A.5 is REVISED
S3-5	32 31 19	This section is REISSUED in its entirety

DRAWINGS:

ITEM	SHEET	DESCRIPTION
D3-1	A1.06	Adjusted dimensioning on detail 2
D3-2	A9.00A	Adjusted material schedule for AWP - 1, AWP - 2, AWP - 3
D3-3	A9.00B	Updated remarks on material schedule for gym C107
D3-4	A9.00B	Changed floor type to sealed concrete on rooms B127, E130, and A125
D3-4	A9.01A	Moved weapon rack In A115
D3-5	A9.01A	Modified library casework schedule
D3-6	A9.01A	Updated Floor in room A125
D3-7	A9.01A	Removed wall clocks in rooms A106, A108, A109, A121, A122, A123, A124.
D3-8	A9.01B	Updated Floor in room B127
D3-9	A9.01E	Updated Floor in room E130
D3-10	A9.10	Modified casework and added Weapon rack to elevation 16
D3-11	A9.12	Added note regarding high impact wall acoustical wall panels in elevation 2 and 3

END OF ADDENDUM 3

Civil Narrative

Lamar CISD Elementary School No. 38
Addendum 3
January 14, 2025

Below is a summary of the sheet revisions for Addendum 3.

C2.00 DEMOLITION PLAN

- Added linework for existing steel casing.
- Added linework to remove or relocate existing steel casing.

C3.01 SCHOOL ZONE SIGNAGE PLAN

- Added linework for existing steel casing.
- Added linework to remove or relocate existing steel casing.
- Added two (2) school zone flashers on Future Brookewater Boulevard (keynote G1).
- Added No Parking Sign locations to plans (keynotes G5, G6, G7).

C5.00 STORM SEWER UTILITY PLAN

- Revised proposed storm piping within future Brookewater Boulevard from HDPE to RCP (add alternate).
- Revised layout of 54" RCP within future Brookewater Boulevard to match the intended ultimate outfall into the existing detention pond (add alternate)
- Added proposed storm inlet within future Brookewater Boulevard (add alternate)

C5.01 SANITARY AND WATER UTILITY PLAN

- Background update for proposed storm revisions within future Brookewater Boulevard.

C7.00 DRAINAGE PLAN

- Background update for proposed storm revisions within future Brookewater Boulevard.

C15.00 MISCELLANEOUS DETAILS

- Added artificial turf detail.
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If you have any questions, please contact us at (713) 337-8881.

Thank you,

Fred Dally, P.E.
Dally + Associates, Inc.



1/14/2025

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GENERAL:

ITEM	SHEET	#	DESCRIPTION
G1-1			
G1-2			

SPECIFICATIONS:

ITEM	SECTION	#	DESCRIPTION
S1-1			
S1-2			

DRAWINGS:

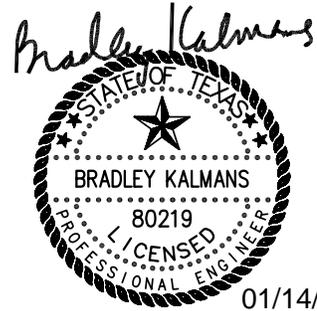
ITEM	SHEET	#	DESCRIPTION
D1-1	S3.02		Detail 14/S3.02 is added.

D1-2	S6.01		Detail 13/S6.01 is revised to call out base connection at window support at hollowcore plank slabs.
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END OF ADDENDUM 3

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ITEM	SHEET	#	DESCRIPTION
G3-1			N/A

SPECIFICATIONS:

ITEM	SECTION	#	DESCRIPTION
S3-1			N/A

DRAWINGS:

ITEM	SHEET	#	DESCRIPTION
D3-1	M2.01F		Revise condensate pipe routing for DMS-5.

D3-2	M2.01F	Storage F132, add 6x4 return air path.
D3-3	M2.01F	Replace sheet in its entirety.
D3-4	E2.01A	Library A132, revise fixture type P1-D to type P1-B.
D3-5	E2.01A	Parents Volunteer, revise fixture type P1-E to type P1-C.
D3-6	E2.01A	Revise note for fixture type M8 to the following: "...SIGNAGE PRIOR TO ORDERING. (TYPICAL OF 12)"
D3-7	E3.01D	Add keyed note 7, note shall read: "PROVIDE JUNCTION BOX FOR WALL MOUNTED CLOCKS, COORDINATE EXACT LOCATION WITH T-SERIES (TECHNOLOGY) DRAWINGS AND MAKE FINAL CONNECTION."
D3-8	E3.01D	Revise keyed note at column BE/19 to keyed note 7.
D3-9	E3.01D	Column EA/D2, add a junction box via keyed note 7 for wall mounted clock. Connect to circuit LB-61 with 2#12, 1#12G., 3/4"C.
D3-10	P4.02	Add water to fill faucets in kitchen.
D3-11	P4.03	Add water to fill faucets in kitchen and show floor drain.
D3-12	P5.01	Revise grease trap sizing calculation detail.
D3-13	T2.00	Add Card reader at mechanical yard door S007
D3-14	T2.01D	Add double faced clock in corrido D100
D3-15	T4.03	Add ACS Door Connection Detail

END OF ADDENDUM 3

SECTION 00 01 01

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List of Specifications, As Prepared by:

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12-12-2024

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**SECTION 00 20 00
INSTRUCTIONS TO OFFERORS**

1.01 QUALIFIED OFFERORS

- A. Competitive Sealed Proposals will be accepted from qualified Offerors (General Contractors) only for the entire scope of work described in the Contract Documents. As a prerequisite to an Offeror's qualifying for the award of contract on this work, the Offeror must complete each item of the Contractor's Qualification Statement (AIA Document A305). The Statement forms may be obtained from the Houston Chapter of the American Institute of Architects, 315 Capitol, Suite 120, Houston, Texas 77002, (713) 520-0155. In addition to the information contained in the Statement form, offerors shall also address the selection criteria issues listed under the paragraph below for Determination of Successful Respondent and Award of Contract. **Submit to Architect via email**
- B. The primary purposes of the evaluation process will be to:
 - 1. Gather information for the Owner's evaluation procedure.
 - 2. Enable the Owner and/or Architect to evaluate the Offeror's qualifications.
- C. After review of Proposals and Contractor's qualifications evaluation the Owner will make his decision and each Offeror will be notified.
- D. In arriving at his opinion concerning the Offeror's qualifications, the Architect will use the same criteria that the Owner will use in determination of the successful Offeror as detailed hereinafter.
- E. In the event a proposed Offeror fails to submit the specified Contractor's Qualification Statement at time of receipt for Proposals, such noncompliance shall be considered by both the Owner and Architect as a negative factor in the determination of the successful Offeror.

1.02 OFFEROR'S PRESENTATION

- A. Each Offeror by making his Proposal represents that:
 - 1. He has read and understands the Proposal Documents and his Proposal is made in accordance therewith.
 - 2. He has thoroughly familiarized themselves with Division 01 General Requirements as they are applicable to subsequent specification sections.
 - 3. He has visited the site, has familiarized himself with the local conditions under which the work is to be performed and has correlated his observations with the requirements of the proposed Contract Documents.
 - 4. He agrees to comply with the requirements of the following paragraph. Any Offeror who subsequently does not agree to comply with these requirements will automatically disqualify himself from proposing or receiving award of the contract.
- B. He agrees that:
 - 1. Work on the project will begin immediately upon receipt of signed Contract or Notice to Proceed.
 - 2. Offeror will participate as a team member in cooperation with the Project Architect, Engineers, Owner, and Owners agents and/or consultants.
 - 3. The Offeror will assign a competent full-time superintendent, to the project, and that superintendent shall be maintained on the project for the duration of the project, subject only to his continuous employment.
 - 4. The Offeror will furnish and pay for a proposal bond in the amount of ten percent (10%) of the contract amount.
 - 5. If awarded, the Offeror shall furnish and pay for a Performance Bond and a Payment Bond each in the full contract amount.

6. Offeror shall carry and keep in full force for the duration of the Project, insurance coverage for builder's risk, workmen's compensation, comprehensive general liability, and automobile liability as required by the General Conditions and/or Supplementary General Conditions of the Specifications.
7. Each Offeror by making his Proposal represents that his Proposal includes only material and equipment specified in the Proposal Documents and supplemented, if necessary, for a complete and operating system.
8. Where subcontract work is involved and where Acceptable Subcontractors are designated for particular sections or phases of the Work, each Offeror by making his Proposal represents that his Proposal includes only firms designated as Acceptable Subcontractors.
9. That no asbestos PCBs or lead building materials shall be used, and that each Offeror (and sub-offeror or supplier submitting a proposal to an Offeror) shall submit an affidavit at Project Close-out stating that no asbestos, PCB's or lead building materials has been used on the Project.

1.03 PROPOSAL DOCUMENTS

- A. Proposal Documents include the Competitive Sealed Proposal, Noticed Package, Instructions to Offerors, and the proposed Contract Documents, including any Addenda issued prior to receipt of proposals.
- B. Contract Documents for the work consist of the Owner-Contractor Agreement, the Conditions of the Contract (General, Supplementary and other Conditions), the Drawings, the Specifications, and all Addenda issued prior to receipt of proposals.

1.04 PROPOSAL PROCEDURES

- A. A proposal is invalid if it has not been received at the designated location prior to the time and date for receipt of proposals indicated in the Request for Competitive Sealed Proposals, or prior to any extension thereof issued to the Offerors by Addenda.
- B. All requested Alternates shall be proposed. If no change in the Base Proposal is required, enter "No Change".
- C. Prior to the receipt of Proposals, Addenda will be forwarded by the Architect and will be available for inspection wherever the proposal documents are kept available for that purpose.

Proposals will be received in duplicate only on the Owner's Form of Proposal for the work as indicated by the Proposal Documents, filled in, and enclosed in a sealed envelope addressed as follows:

**Name of Offeror (General Contractor)
Prototype #2 - Elementary School #38
Lamar Consolidated
Independent School District
CSP # 03-2025**

Attn: Ms. Brandi Pittman, Director of Purchasing & Materials Management

- E. The Proposal Bond Form (attached to section 00 40 01), must be accompanied by Proposal Bond or Certified Check in the amount of 10% of the proposal.
- F. All proposals must be delivered sealed to the following address at or before the time and date set. Proposals will be received at no other place. If Proposal is sent by U.S. Mail, it must be sent Registered Mail.

**LCISD Service Center
4901 Avenue I,
Rosenberg, Texas 77471**

- G. A proposal may be withdrawn only upon request by the Offeror or his duly authorized representative, provided such request is received by the Owner at the place designated for receipt of proposals and prior to the time fixed for the opening of proposals. A withdrawal of a proposal shall not be effective unless a written confirmation of the withdrawal is received by the Owner at said place within 48 hours before the time fixed for the opening of proposals. The Proposal Bond will be returned with the proposals if withdrawn in accordance with the above. The withdrawal of a proposal does not prejudice the right of the Offeror to file a new proposal at the time and place stated. No proposal may be withdrawn after the time fixed for the opening of proposals for a period of 30 days.

1.05 INTERPRETATION OF PROPOSAL DOCUMENTS

- A. Offerors and sub-offerors requiring clarification or interpretation of the Proposal Documents shall make a written or verbal request which shall reach the Architect at least ten (10) days prior to the date for receipt of proposals.
- B. Any interpretation, correction or change of the Proposal Documents will be made by Addendum. Interpretations, corrections, or changes of the Proposal Documents made in any other manner will not be binding.

1.06 SUBSTITUTIONS OF MATERIALS AND EQUIPMENT

- A. The materials, products and equipment described in the Proposal Documents establish a standard of required function, dimension, appearance and quality to be met by any proposed substitution. The materials and equipment named in, and the procedures covered by these specifications have been selected as a standard because of quality, particular suitability or record of satisfactory performance. It is not intended to preclude the use of equal or better materials or equipment provided that same meets the requirements of the particular project and is approved in an addendum as a substitution prior to the submission of proposals.
- B. No substitution will be considered prior to receipt of proposals unless written request for approval has been received by the Architect at least seven (7) days prior to the date for receipt of proposals as described in Section 01 25 00 – Products Substitution Procedures. Each such request shall include the name of the material or equipment for which it is to be substituted and a complete description of the proposed substitute including drawings, cuts, performance and test data and any other information necessary for an evaluation. The Architect's decision of approval or disapproval of a proposed substitution shall be final.
- C. If the Architect approves any proposed substitution prior to receipt of proposals, such approval will be set forth in an Addendum. Offerors shall not rely upon approvals made in any other manner.
- D. No substitutions will be considered after the Contractaward.

1.07 REJECTION OF PROPOSALS

- A. The Owner shall have the right to reject any or all proposals and to reject a proposal not accompanied by any required proposal security, or by other data required by the Proposal Documents, or to reject a proposal which is in any way incomplete or irregular.
- B. The Owner reserves the right to reject any or all proposals and to waive any formalities or irregularities and to make the award of the contract in the best interest of the Owner.

- C. The Owner reserves the right to reject any proposal if the evidence submitted by, or investigation of, such offeror fails to satisfy the Owner that such offeror is properly qualified to carry out the obligations of the contract and to complete the work therein. Award may be made to other than the low-dollar offeror and given the one offering the "best value" to the school district, in addition to the purchase price, based on the published selection criteria and on its ranking evaluation.
- D. Do not submit voluntary alternates. The Owner reserves the right to reject any proposal which is accompanied by conditional or qualifying statements, or "voluntary alternates".

1.08 INSURANCE

- A. Each Offeror shall include in his proposal the complete cost and shall carry and keep in full force for the duration of the project, insurance coverage required under the General Conditions and Document 00 73 00 – LCISD Supplementary Conditions.

1.09 PERFORMANCE BOND AND PAYMENT BOND

- A. Each Offeror shall include in this proposal the premium costs for 100% Performance Bond and 100% Payment Bond. These bonds shall cover the faithful performance of the contract and payment of all obligations arising thereunder in such form as the Owner may prescribe. The bonding companies must be acceptable to the Owner. The selected Offeror shall deliver the required bonds to the Owner not later than the date of execution of the Contract.

1.10 PROPOSAL SECURITY

- A. No proposal will be considered unless it is accompanied by a Certified or Cashier's Check or Proposal Bond executed on the Proposal Bond Form (attached to Section 00 40 01) In either case the amount shall be not less than ten percent (10%) of the greatest amount proposed (considering alternates, if any). The proposal security shall insure the execution of the contract and the furnishing of an acceptable Performance Bond and Payment Bond by the successful Offeror within ten (10) days after notification of award to such Offeror and that this proposal will not be withdrawn within 30 days after date of opening of proposals without the consent of the Owner. Proposal Bond shall be prepared in the identical form of AIA Document A310 or the form attached.

1.11 SUBMISSION OF POST PROPOSAL INFORMATION

- A. The apparent Selected Offeror shall within three (3) days after proposals are received submit the following:
 - 1. A designation of the work to be performed by the Offeror with his own forces.
 - 2. An experience profile of the selected Offeror's superintendent scheduled to work on this project. In addition, the apparent selected Offeror shall cooperate with the Owner, supplying requested information to substantiate the qualifications of the superintendent. If, in the opinion of the Owner, the superintendent does not qualify, the Owner may request the submission of another superintendent and more information. The Owner reserves the right to reject the apparent selected Offeror if an acceptable superintendent is not presented.
- B. The Selected Offeror shall within five (5) days thereafter submit the following:
 - 1. A statement of costs for each major item of work included in the proposal as described in Section 01 29 00 – Payment Procedures. Each section of specifications will be considered a major item of work and shall be shown as a separate cost item.

1.12 AWARD OF CONTRACT

- A. The Offeror to whom the award is made will be promptly notified. If an Offeror (a) withdraws his proposal within 60 days after the date of time fixed for the opening of proposals in the Request for Competitive Sealed Proposals, or (b) fails or refuses to execute the Agreement, or other required forms within ten (10) days after the same are presented to him for signature, or (c) fails or refuses to

furnish properly executed Performance Bond and Certification of Required Insurance within 15 calendar days of execution date of the Agreement, the Owner may award the work to another Offeror or Offerors or may call for new proposals.

- B. The Offeror will be required to (a) submit his Proposal and Proposal Bond, (b) execute Contract and Performance and Payment Bonds, and (c) submit Certification of required insurances, all using the Owner's own forms for such respective purposes.
- C. Proposal Bond is forfeited if proposal is withdrawn after the proposal opening, or Contract Documents are not executed in accordance with the above.

1.13 NOTICE TO PROCEED

- A. The Offeror shall not commence work under this Contract until he receives the written Notice to Proceed, or the Contract is duly signed by the Owner.
- B. Access to the site will be granted 45 days after the Owner's formal "Notice-To-Proceed" issue date.**

1.14 COMPLETION TIME

- A. Offerors shall familiarize themselves with the Owners requirements concerning the project schedule as described in Section 01 32 16 of this Project Manual. **There will be no extension of time due to weather.**
- B. Having thoroughly familiarized himself with the conditions as they exist at the building sites and acquainted himself with the labor supply and the material market, the Offeror will state in his proposal that he agrees to be substantially complete with the work by the date stated above.
- C. It is therefore expressly agreed as a part of the consideration inducing the Owner to execute this contract that the Owner may deduct liquidated damages from the final payment made to the Contractor for each and every calendar day beyond the agreed date which the Contractor shall require for Substantial Completion of the work included in this contract. It is expressly understood that the said sum per day is agreed upon as a fair estimate of the pecuniary damages which will be sustained by the Owner in the event that the work is not completed within the agreed time, or within the legally extended time, if any, otherwise provided for herein. Said sum shall be considered as liquidated damages only and in no sense shall be considered a penalty, said damage being caused by additional compensation to personnel, for loss of interest on money and other miscellaneous increased costs, all of which are difficult of exact ascertainment. Also, any disruption of Owner's use of the existing facilities or newly completed facilities will also be subject to liquidated damages. Refer to Section 01 32 00 for additional requirements. Delays, disruption of use, failures to complete, and liquidated damages are fully described under Article 8.3 of the Supplementary Conditions.

The definition of Substantial Completion is found in Article 9.8.1 of the AIA General Conditions and Supplementary Conditions bound herein.

1.15 FELONY CONVICTION NOTIFICATION

- A. Section 44.034, of the Texas Education Code requires a person or business entity that enters into a contract with a school district must give advance notice to the district if the person or an owner or operator of the business entity has been convicted of a felony. The notice must include a general description of the conduct resulting in the conviction of a felony. Subsection (b) states "a school district may terminate a contract with a person or business entity if the district determines that the person or business entity failed to give notice as required by Subsection (a) or misrepresented the conduct resulting in the conviction. The district must compensate the person or business entity for services performed before the termination of the contract." Subsection (c) states "this section does not apply to a publicly held corporation."

1.16 AFFIDAVIT OF NON-DISCRIMINATORY EMPLOYMENT

- A. The Offeror, and sub-offerors, shall agree to refrain from discrimination in terms and conditions of employment to the basis of race, color, religion, sex, or national origin, and agrees to take affirmative action as required by Federal Statutes and Rules and Regulations issued in order to maintain and insure non-discriminatory employment practices.
- B. The Offerors **must** execute, Affidavit of Non-Discriminatory Employment (attached to Section 00 40 13) and submit with Proposal. The sub-offerors shall execute, Affidavit of Non-Discriminatory Employment (attached to Section 00 40 13) before commencing work on this Project. Offerors and sub-offerors who have not executed this document will not be eligible to work on this project.

1.17 LIST OF SUBCONTRACTORS

- A. The Offeror shall supply a list of their subcontractors.
- B. The Offeror **must** execute, List of Subcontractors (attached to Section 00 40 12) and submit **24 hours after submission of Proposal to Architect via email.**

1.18 AFFIDAVIT OF NON-ASBESTOS, LEAD, AND PCB USE IN PROJECT

- A. The use of any construction process or the installation of any asbestos, lead and PCBs or material containing asbestos, lead and PCBs is strictly prohibited for this Project.
- B. Prior to submitting a proposal, Offerors shall notify the Architect, in writing, of any materials in these specifications which are known to contain or are likely to contain asbestos, lead or PCBs.
- C. The Offeror, and sub-offerors shall agree to refrain from using products which are known to contain asbestos, lead, and PCB containing materials as applicable to the project. They shall also affirm that lead or lead bearing materials have not been incorporated into potable water systems, and that lead sheet flashing used in through roof plumbing penetration applications is the only lead on the Project.
- D. The Selected Offeror (Contractor) **must** execute Affidavit of Non-Asbestos, Lead, and PCB Use (attached to Section 00 40 14) and submit at Project Closeout. The Subcontractors to the Contractor **must** execute Close-out Form "D", Subcontractors Hazardous Material Certificate (attached to section 01 77 01), and submit at Project Closeout.

1.19 PROPOSAL EVALUATION WAIVER

- A. By submitting a proposal, each offeror agrees to waive any claim it has or may have against the District and its respective employees, the Program Manager and their respective employees, the Architect/Engineer and consultants, and their respective employees, arising out of or in connection with the administration, evaluation, or recommendation of any proposal; waiver of any requirements under the Proposal Documents, acceptance or rejection of any proposals; and award of the contract.
- B. All Offeror's **must** execute Proposal Evaluation Waiver (attached to 00 65 01) and submit with their Proposal.

1.20 CONFLICT OF INTEREST QUESTIONNAIRE

- A. According to Local Government Code, Chapter 176, a person or an agent of a person who contracts or seeks to contract for the sale or purchase of property, goods, or services with any government agency must file a completed Conflict of Interest Questionnaire with the records administrator of the local government not later than the seventh business day after the date that the person begins contract discussions or negotiations with the District or submits to the District an application, response to a request for proposals or bids, correspondence, or another writing related to a potential agreement with the District.
- B. All Offeror's and sub-offeror's proposing to do work with the District **must** execute the Conflict of Interest Questionnaire (attached to Section 00 11 00) and submit with their Competitive Sealed Proposal Notice package.

1.21 CRIMINAL HISTORY RECORDS

- A. Prior to commencing any work on this Project, the Selected Contractor shall certify, on the form provided Criminal History Record Information (attached to Section 00 40 17), for each of its employee who will have direct contact with students, the Selected Contractor has obtained, as required by Texas Education Code Section 22.0834:
 - 1. National criminal history record information from a law enforcement or criminal justice agency for each employee of the Selected Contractor hired before January 1, 2008 who will have direct contact with students; and
 - 2. National criminal history record information from the Texas Department of Safety for each employee of the Selected Contractor hired on or after January 1, 2008 who will have direct contact with students; Fingerprinting is required and shall be provided by the contractor (applicant) and administered through FAST (Fingerprint Applicant Services of Texas) which will be recorded by the District in the FACT (Fingerprint-based Applicant Clearinghouse of Texas). Currently applicant must obtain fingerprinting from L-1 Identity Solutions Company, (888) 467-2080, or schedule an appointment online at: <https://tx.ibtfingerprint.com/>.
- B. Any personnel who will have direct contact with students must not have been convicted of an offense identified in Texas Education Code Section 22.085.
- C. At this time, Senate Bill 9 applies only to contractors with direct contracts with the District. This requirement does not apply to sub-contractors of the Contractor, material suppliers, or a one-time service provider such as a service technician, delivery person, testing agent, code official, or similar personnel. However, changes to these requirements are anticipated and may require the acquisition and submittal of additional background checks to the District during the course of the Work.
- D. The Selected Contractor shall execute and submit, Certification of Criminal History Record Information (attached to Section 00 40 17), Review by Contractor-Employer along with required list documenting proposed employees/ contractor personnel to be working on site, within 10 days after receipt of Notice To Proceed and prior to commencement of Work.
- E. Furthermore, an updated list employees/ contractor personnel shall be submitted weekly to the District indicating changes to contractor personnel with accompanying certifications and criminal history records. Any fingerprinting and photographing required by the aforementioned code will be the responsibility of the Contractor-Employer.

1.22 AVAILABILITY OF MATERIALS AND SYSTEMS

- A. A serious effort has been made to select only materials that are systems that are readily available. As far as is known at proposal time all items are either available "off the shelf" or within a relatively short period of time. If during the proposal period, an Offeror becomes aware of an availability or delivery problem with any of the specified systems or materials, he should notify the Architect immediately. The Architect will promptly explore possibilities for selecting other systems or materials which would circumvent the problem and notify Offerors of any changes in an addendum, otherwise it will be understood that only specified systems and materials that are readily available are included in the proposals.

1.23 DETERMINATION OF SUCCESSFUL RESPONDENT AND AWARD OF CONTRACT

- A. In determining the Selected Offeror, the Owner will evaluate the information submitted on the Proposal Form (attached to Section 00 11 00).
- B. The Selection Committee consisting of LCISD administrators, architects, and other staff will make an initial evaluation of the proposals. The committee's recommendation will be considered by the LCISD Board of Trustees ("Board"). The final decision-making authority on the proposals rests with the full Board. Decision-making authority has not been delegated to any person or entity other than the Board.

- C. The District will make such investigations as it deems necessary to determine the ability of the offeror to perform the Work, and the offeror shall furnish all such information and data for this purpose as may be requested. The District reserves the right to reject any proposal if the evidence submitted by, or investigation of, such offeror fails to satisfy the District that such offeror is properly qualified to carry out the obligations of the Contract and to complete the Work contemplated therein.
- D. The District reserves the right to reject any or all proposals and to waive any formalities or irregularities and to make the award of the contract in the best interest of the District.
- E. A decision regarding determination of the successful Offeror will be made by the District as soon as practical.

1.24 USE OF ASBESTOS FREE MATERIALS, PRODUCTS AND SYSTEMS

- A. The Offeror is reminded to refer to the Paragraph below for requirements during the Proposal period and the following requirements during performance of the Work regarding the use of asbestos free materials, products and systems in the Project.
 - 1. Since many materials, products and systems are proprietary, it is not possible to know all of the materials or components which go into producing such material, product or system without the manufacturer divulging trade secrets or patent information. Every effort has been made to specify materials, products or systems, which either as an "off the shelf" material, product or system or as a custom material, product or system do not contain asbestos.
 - 2. It is the Contractor's responsibility to submit an affidavit from the manufacturer to ascertain that every material, product or system used in the Project does not contain asbestos. In the event the material, product or system is found to contain asbestos, the Contractor shall offer for the Architect's consideration a substitution which he knows does not contain asbestos.
 - 3. Even though a material, product or system is specified or a specification is based on a particular material, product or system, the Contractor will not be relieved from the responsibility to ascertain that materials, products and systems used in the Project do not contain asbestos. Under no circumstances shall a material, product or system which is known, suspected or found to contain asbestos be used on the Project.
 - 4. If a material, product or system containing asbestos is used, the Contractor shall remove and replace the material, product or system with one which is asbestos free at no additional expense to the Owner, including removal and replacement of other materials affected by the removal of the asbestos bearing material, product or system, i.e. gypsum wallboard removed, replaced, and repainted on account of insulation being removed, etc.

END OF SECTION 00 20 00

SECTION 09 84 13

FABRIC COVERED ACOUSTIC PANELS

PART 1 - GENERAL

1.01 SCOPE

- A. The Contractor shall furnish and install complete acoustical wall panels as shown on plan and called for herein.
- B. Provide all labor, equipment, supplies, accessories, and material necessary for the proper installation of acoustical wall panels.

1.02 SITE INSPECTION

- A. The Contractor shall visit and examine the site and verify all existing items and familiarize himself with existing work conditions and understand the conditions which affect performance of the work before submitting shop drawings. He shall notify the Architect of any special or existing conditions which may affect the work to be performed.
- B. Field Measurements: Check actual wall surfaces by accurate field measurements before fabrication and show recorded measurements on final shop drawings.

1.03 GENERAL REQUIREMENTS/QUALITY ASSURANCE

- A. Manufacturer: Shall be a company specializing in manufacturing commercial acoustical wall panels.

1.04 CODES AND REGULATIONS:

- A. Comply with the requirements of Occupational Safety and Health Act (OSHA) and all other applicable federal, state, fire, and local codes. All codes and standards shall be per the latest edition with all supplements and official interpretations included.
- B. Should the Contractor perform any work that does not comply with the requirements of the applicable building codes, state laws, local ordinances, and industry standards, he shall bear all costs arising in correcting the deficiencies as approved by the school district.

1.05 FIRE PERFORMANCE CHARACTERISTICS

- A. Provide test reports verifying flame/fuel/smoke ratings of acoustical wall panels. All materials shall meet or exceed the requirements of and shall be approved by the fire authority having jurisdiction for this location. Unless exceeded by the local fire authority, the minimum requirements of surface-burning characteristics shall be as indicated below and shall be as determined by testing assembled materials composed of facings and backings identical to be used on this project per ASTM-84-81a, by a testing organization acceptable to the authorities having jurisdiction:
 - 1. Flame Spread: Class 1 (25 or less)
 - 2. Smoke Developed: 450 or less
- B. All equipment and material shall be rated and U.L. listed.

1.06 NOISE REDUCTION

- A. Noise reduction coefficient (N.R.C.) shall be a minimum of 1.00 when tested in accordance with ASTM C423.

1.07 DELIVERY, STORAGE, AND HANDLING

- A. Protect acoustical wall panel material from excessive moisture in shipment, storage, and handling. Deliver in unopened bundles and store in a dry place with adequate air circulation.

PART 2 - MATERIALS

2.01 PRODUCTS

- A. Acoustical Wall Panels Construction and Fabrication:

1. Description:
 - a. Content: 100% Polyester
 - b. Reduced Environmental Impact: Single Source Fiber Content, NSF 336 Compliant, GREENGUARD Certified
 - c. Railroded: No
 - d. Dye: Piece
 - e. Backing: None
 - f. Finish: PFAS-Free Stain Resistant
 - g. Durability: 115,000 * D.R.
 - h. Flame Resistance: CA Bulletin 117 2013, UFAC Class 1, NFPA 260 Class 1, ASTM E84
 - i. Width: 56"
 - j. Color Fastness: A4 - AATCC 16 opt 3, CLASS 4
 - k. Weight: 1.23 lb
 - m. Maintenance: WS - Water-Based Cleaning Agents or Foam
2. Finish: Panels shall be covered on front face and have all edges wrapped with manufacturer's standard 100% polyester woven fabric (basis of design = Guilford of Maine). See drawings for location of impact resistant fabric covering; colors to be selected by Architect (multiple colors may be selected). No seams permitted in fabric covering or exposed faces and edges. Covering material shall be adhered to front surface and bonded on all four edges and rear of panel. Material returned on rear of panel shall be a minimum of 1-1/2". Backing shall be fiberglass scrim (without foil).
3. Mounting: Panels shall be internally reinforced as required for mounting system. Mounting and suspension system and fasteners shall be of types and sizes recommended by the manufacturer for installations indicated.
4. Mounting System: Mechanical system using metal wall track, panel clips, and leveling angle at bottom as required. Provide continuous closure trim to conceal all gaps between panel and wall on bottom and sides of panels. Hook and loop, impaling clips, and magnetic fasteners are not permitted.
5. **Dimensions: The panel thickness shall be minimum 2" thick or 2-1/8" thick. The 2-1/8" thick panel will be a high impact panel. Refer to drawings for locations.**

2.02 MANUFACTURER

- A. Product/Manufacturer – Basis of Design: Momentum Textiles and Wallcoverings
[Momentum](#)

1. Patterns/Colors: Refer to Material Schedule on drawing sheet A9.00

- B. The following are also approved manufacturers:

Acoustical Resources, Inc.
P.O. Box 200504
Austin, Texas 78720
(512) 259-5858

USG Interiors, Inc.
14643 Dallas Parkway, #575
Dallas, Texas 75240
(972) 490-0355

Designer Acoustics, Inc.
2070 Five Mile Line Road
Penfield, NY 14526
(716) 385-3320

Sound Concepts
5.99 Henry Ave.
Winnipeg Manitoba, Canada, R3A0V1
(612) 473-1334

Lamvin, Inc.
7992 Miramar Road
San Diego, CA 92126-4212
(800) 446-6239

Decoustics
15 Webster Street
North Tonawanda, NY 14120-5874
(716) 692-6332

AVL SYSTEMS
www.avlonline.com
800-228-7842

2.03 MOUNTING ACCESSORIES:

- A. Wall panels shall be back mounted with concealed metal panel clips designed to allow for panel removal with clips of number and size recommended by the manufacturer to adequately support wall panels.
- B. Two-part metal clip system shall consist of one clip part mechanically attached to the back of panel and the other to the wall. Clip shall be designed to support panels laterally.
- C. Furnish and install manufacturer and owner-approved metal wall anchors to anchor wall clips to CMU walls, gyp. bd. walls, etc.
- D. Provide fabric-covered closure trim (to match wall panel finish) to conceal all gaps around perimeter of panels at wall.

PART 3 - EXECUTION

3.01 EXAMINATION

- A. Examine substrates and blocking, with installer present, for compliance with requirements for installation tolerances and other conditions affecting fabric covered tack board performance. Proceed with installation only after unsatisfactory conditions have been corrected.

- B. Installation shall not begin until all wet work (plastering, concrete, etc.) is completed and dry. Building shall be properly enclosed and under standard occupancy prior to installation. Maintain humidity and temperature conditions as recommended by the manufacturer for the particular panel finish(es).
- C. The contractor shall be responsible for the examination and acceptance of all surfaces and conditions prior to the acoustical panel installation.

3.02 INSTALLATION

- A. General: Perform installation in accordance with manufacturer's recommendations and instructions, except where more stringent requirements are shown or specified, and except where project conditions require extra precautions or provisions to ensure satisfactory performance of the work.
- B. Install work in accordance with approved shop Drawings.
- C. Install fabric covered tack boards in locations indicated with vertical surfaces and edges plumb, top edges level and in alignment with other panels, and ascribed to fit adjoining work accurately at borders and at penetrations. Comply with panel manufacturer's written instructions for installation of panels using type of mounting accessories indicated or, if not indicated, as recommended by manufacturer.
- D. Construction Tolerances: As follows:
 - 1. Variation from Plumb and Level: Plus or minus 1/32 inch.
 - 2. Variations of Joints from Hairline: Not more than 1/32 inch.
- E. Cut units to be at least fifty percent (50%) of unit width with facing material extended over cut edge to match uncut edge. Scribe acoustical wall panels to fit adjacent work; butt joints tightly.
- F. Panels shall not twist, warp, bow, or bend after installation. Defective panels shall be replaced at no charge.

3.03 CLEANING

- A. Clip loose threads; remove pills and extraneous materials.
- B. Clean panels with fabric facing, on completion of installation, to remove dust and other foreign materials according to manufacturer's written instructions.
- C. Remove surplus materials, rubbish, and debris resulting from fabric covered tack board installation, on completion of the Work, and leave areas of installation in a neat and clean condition.

3.04 PROTECTION

- A. Provide final protection and maintain conditions, in a manner acceptable to manufacturer and installer, that ensure fabric covered tack boards are without damage or deterioration at time of Substantial Completion.
- B. Replace panels that cannot be cleaned and repaired, in a manner approved by Architect, before time of Substantial Completion.

END OF SECTION 09 84 13

SECTION 32 31 19

ORNAMENTAL FENCE SYSTEM

PART 1 - GENERAL

1.01 WORK INCLUDED

- A. The contractor shall provide all labor, materials and appurtenances necessary for installation of the welded ornamental steel fence system defined herein.

1.02 QUALITY ASSURANCE

- A. The contractor shall provide laborers and supervisors who are thoroughly familiar with the type of construction involved and materials and techniques specified.

1.03 REFERENCES

- A. ASTM A653/A653M - Standard Specification for Steel Sheet, Zinc-Coated (Galvanized) or Zinc-Iron Alloy Coated (Galvannealed) by the Hot-Dip Process.
B. ASTM B117 - Practice for Operating Salt-Spray (Fog) Apparatus.
C. ASTM D523 - Test Method for Specular Gloss
D. ASTM D714 - Test Method for Evaluating Degree of Blistering in Paint.
E. ASTM D822 - Practice for Conducting Tests on Paint and Related Coatings and Materials using Filtered Open-Flame Carbon-Arc Light and Water Exposure Apparatus.
F. ASTM D1654 - Test Method for Evaluation of Painted or Coated Specimens Subjected to Corrosive Environments.
G. ASTM D2244 - Test Method for Calculation of Color Differences from Instrumentally Measured Color Coordinates.
H. ASTM D2794 - Test Method for Resistance of Organic Coatings to the Effects of Rapid Deformation (Impact).
I. ASTM D3359 - Test Method for Measuring Adhesion by Tape Test.
J. ASTM F2408 – Ornamental Fences Employing Galvanized Steel Tubular Pickets.

1.04 SUBMITTAL

- A. Product Data:
1. Manufacturer's specifications and other data needed to prove compliance with specified requirements.
2. Manufacturer's installation instructions.
- B. Shop Drawings:
1. Show locations of footings, sizes of members, and construction details.
2. Indicate post, foundation, and gate hinge details for the specific installation.

1.05 PRODUCT HANDLING AND STORAGE

- A. Upon receipt at the job site, all materials shall be checked to ensure that no damage occurred during shipping or handling. Materials shall be stored in such a manner to ensure proper ventilation and drainage, and to protect against damage, weather, vandalism and theft.

1.06 PRODUCT WARRANTY

- A. All structural fence components (i.e. rails, pickets, and posts) shall be warranted within specified limitations, by the manufacturer for a period of 20 years from date of original purchase. Warranty shall cover any defects in material finish, including cracking, peeling, chipping, blistering or corroding.
- B. Reimbursement for labor necessary to restore or replace components that have been found to be defective under the terms of manufacturer's warranty shall be guaranteed for five (5) years from date of original purchase.

PART 2 - MATERIALS

2.01 MANUFACTURER - BASIS OF DESIGN

- A. AMERISTAR; www.ameristarperimeter.com
1. Fence System Description:
 - a. Montage Plus Majestic; 3 rail panel system
 - b. 6'-0" tall
 - c. 2-1/2" square post
- B. Substitutions: Refer to section 01 25 13.

2.02 MATERIAL

- A. Steel material for fence panels and posts shall conform to the requirements of ASTM A653/A653M, with a minimum yield strength of 45,000 psi (310 MPa) and a minimum zinc (hot-dip galvanized) coating weight of 0.60 oz/ft² (184 g/m²), Coating Designation G-60.
- B. Material for pickets shall be 3/4" square x 18 Ga. tubing. The rails shall be steel channel, 1.5" x 1.4375" x 14 Ga. Picket holes in the rail shall be spaced 3.500" o.c. for 3" air space. Fence posts and gate posts shall meet the minimum size requirements of Table 1.

2.03 FABRICATION

- A. Pickets, rails and posts shall be pre-cut to specified lengths. Rails shall be pre-punched to accept pickets.
- B. Pickets shall be inserted into the pre-punched holes in the rails and shall be aligned to standard spacing using a specially calibrated alignment fixture. The aligned pickets and rails shall be joined at each picket-to-rail intersection by Ameristar's proprietary fusion welding process, thus completing the rigid panel assembly (Note: The process produces a virtually seamless, spatter-free good-neighbor appearance, equally attractive from either side of the panel).
- C. The manufactured panels and posts shall be subjected to an inline electrode position coating (E-Coat) process consisting of a multi-stage pretreatment/wash, followed by a duplex application of an epoxy primer and an acrylic topcoat. The minimum cumulative coating thickness of epoxy and acrylic shall be 2 mils (0.058 mm). The color shall be Black. The coated panels and posts shall be capable of meeting the performance requirements for each quality characteristic shown in Table 2 (Note: The requirements in Table 2 meet or exceed the coating performance criteria of ASTM F2408).
- D. The manufactured fence system shall be capable of meeting the vertical load, horizontal load, and infill performance requirements for Commercial weight fences under ASTM F2408.
- E. Fence and components meet applicable requirements of the IBC. Panel, post and bracket assemblies shall be subjected to structural performance testing according to Chapter 17 – Structural Tests and Special Inspections – International Building Code (IBC). Physical testing to be completed by accredited third party testing facility. Completed assembly shall demonstrate loading capacity of 2.5 times prescribed design loads found in section 1607.8.1, 1607.8.1.1 and 1607.8.1.2 of IBC 2018 for Handrails and Guards. IBC compliant fence system requirements detailed within Table 4.
- F. Gates with an out-to-out leaf dimension less than and including 72 inches shall be fabricated using Montage Plus ornamental panel material and 1-3/4" sq. x 14ga. gate ends. Gate leafs greater than 72 inches shall be fabricated using ForeRunner rails, 17 gauge pickets, intermediate uprights, gussets and 1-3/4" sq. x 14ga. gate ends. All rail and upright intersections shall be joined by welding. All picket and rail intersections shall also be joined by welding.

PART 3 - EXECUTION

3.01 PREPARATION

- A. All new installation shall be laid out by the contractor in accordance with the construction plans.

3.02 INSTALLATION

A. Fence post shall be spaced according to Table 3, plus or minus 1/4". For installations that must be raked to follow sloping grades, the post spacing dimension must be measured along the grade. Fence panels shall be attached to posts with brackets supplied by the manufacturer. Posts shall be set in concrete footers having a minimum depth of 36" (Note: In some cases, local restrictions of freezing weather conditions may require a greater depth). The "Earthwork" and "Concrete" sections of this specification shall govern material requirements for the concrete footer. Posts setting by other methods such as plated posts or grouted core-drilled footers are permissible only if shown by engineering analysis to be sufficient in strength for the intended application.

3.03 FENCE INSTALLATION MAINTENANCE

A. When cutting/drilling rails or posts adhere to the following steps to seal the exposed steel surfaces; 1) Remove all metal shavings from cut area. 2) Apply zinc-rich primer to thoroughly cover cut edge and/or drilled hole; let dry. 3) Apply 2 coats of custom finish paint matching fence color. Failure to seal exposed surfaces per steps 1-3 above will negate warranty. Ameristar spray cans or paint pens shall be used to prime and finish exposed surfaces; it is recommended that paint pens be used to prevent overspray. Use of non-Ameristar parts or components will negate the manufactures' warranty.

3.04 GATE INSTALLATION

A. Gate posts shall be spaced according to the manufacturers' gate drawings, dependent on standard out-to-out gate leaf dimensions and gate hardware selected. Type and quantity of gate hinges shall be based on the application; weight, height, and number of gate cycles. The manufacturers' gate drawings shall identify the necessary gate hardware required for the application. Gate hardware shall be provided by the manufacture of the gate and shall be installed per manufacturer's recommendations.

3.05 CLEANING

A. The contractor shall clean the jobsite of excess materials; post-hole excavations shall be scattered uniformly away from posts.

Table 1 – Minimum Sizes for Montage Plus Posts

Fence Posts	Panel Height	
2-1/2" x 16 Ga.	Up to & Including 6' Height	
Gate Leaf	Gate Height	
	Up to & Including 4'	Over 4' Up to & Including 6'
Up to 4'	2-1/2" x 16 Ga.	2-1/2" x 14 Ga.
4'1" to 6'	3" x 12 Ga.	3" x 12 Ga.
6'1" to 10'	4" x 11 Ga.	4" x 11 Ga.
10'1" to 16'	6" x 3/16" wall	6" x 3/16" wall

Table 2 – Coating Performance Requirements

Quality Characteristics	ASTM Test Method	Performance Requirements
Adhesion	D3359 – Method B	Adhesion (Retention of Coating) over 90% of test area (Tape and knife test).
Corrosion Resistance	B117, D714 & D1654	Corrosion Resistance over 1,500 hours (Scribed per D1654; failure mode is accumulation of 1/8" coating loss from scribe or medium #8 blisters).
Impact Resistance	D2794	Impact Resistance over 60-inch lb. (Forward impact using 0.625" ball).
Weathering Resistance	D822 D2244, D523 (60° Method)	Weathering Resistance over 1,000 hours (Failure mode is 60% loss of gloss or color variance of more than 3 delta-E color units).

Table 3 – Montage Plus – Post Spacing By Bracket Type

Span	For CLASSIC, GENESIS, MAJESTIC, & WARRIOR 8' Nominal (91.95" Rail)					
Post Size	2-1/2"	2-1/2"	2-1/2"	3"	2-1/2"	3"
Bracket Type	Montage Plus Universal (BB112)	Montage Plus Line Blvd. (BB114)	Montage Plus Flat Mount (BB111)		Montage Plus Swivel (BB113)*	
Post Settings ± 1/4" O.C.	95"	95"	95"	95-1/2"	*95"	*95-1/2"

*Note: When using BB113 swivel brackets on either or both ends of a panel installation, care must be taken to ensure the spacing between post and adjoining pickets meets applicable codes. This will require trimming one or both ends of the panel.

Table 4 – Montage Plus – IBC Compliant System Requirements				
Panel Options		Post Options		Brackets Options
Styles	Rail Configuration	Steel Post Options	Post Plate Options (anchorage by others)	Line Boulevard Brackets
Classic	3-Rail & 4-Rail	2.5" SQ x 14ga	8" x 8" x 3/8" – for 2.5" posts 10" x 10" x 3/8" – for 3" posts	End Boulevard Brackets
Majestic		3" SQ x 12ga		Corner Boulevard Brackets
Genesis		4" SQ x 12ga		*Flat Mount Brackets
Warrior				<i>*Note: Flat Mount Brackets require a thru-bolt installation</i>
Panel, post, and bracket assemblies shall be subjected to structural performance testing according to Chapter 17 - Structural Tests and Special Inspections - International Building Code (IBC) 2018. Physical testing to be completed by accredited third party testing facility. Completed assembly shall demonstrate loading capacity of 2.5 times prescribed design loads found in section 1607.8.1, 1607.8.1.1 and 1607.8.1.2 of IBC 2018 for Handrails and Guards.				

END OF SECTION

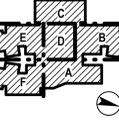
GENERAL NOTES - FURNISHING AND EQUIPMENT:

1. MODEL NUMBERS/MFRS ARE LISTED ON CASEWORK ELEVATIONS SO THAT A MINIMUM DESIGN BASIS MAY BE ESTABLISHED. THE DIMENSIONS SHOWN (XXXXX) MAY DIFFER FROM THE SELECTED MFR'S STANDARD DIMENSIONS FOR THE LISTED MODEL NUMBERS.
2. PROVIDE SIDE, TOP, AND BOTTOM FILLER PIECES AS REQ'D TO COMPLETE CASEWORK INDICATED ON PLANS.
3. ALL FLOOR MOUNTED FIXTURES ARE TO HAVE THE SAME FINISH FACE MATERIAL AS THE ROOM IN WHICH THEY ARE LOCATED.
4. BLIND CABINETS, AT CORNERS, ARE TO BE LEFT OR RIGHT HAND AS REQ'D PER PLAN.
5. ALL CABINETS TO HAVE PLASTIC LAMINATE THROUGHOUT, INCLUDING ALL EXPOSED SURFACES INSIDE AND OUT.
6. PROVIDE PLASTIC LAMINATE FINISHED END PANELS AT EXPOSED CABINET ENDS INCLUDING KNEESPACES (TYP).
7. FIELD VERIFY DIMENSIONS PRIOR TO FABRICATION AND INSTALLATION OF ANY FIXTURES.
8. BOOKCASES AND SHELVES TO HAVE FRONT FACING SURFACE OF BACK PANEL TO MATCH FINISH OF REMAINDER OF BOOKCASE.
9. COUNTERTOPS TO HAVE PLASTIC LAMINATE SURFACE W/ 4" HIGH BACKSPLASH TYP. UON.
10. PROVIDE KEVED LOOKS AT CABINET DOORS AND DRAWERS, WHERE INDICATED.
11. KNEESPACE UNITS NOT RECEIVING SINKS SHALL RECEIVE GROMMETS CENTERED ON THE UNIT, 3" FROM THE BACK EDGE OF THE KNEESPACE UNIT (UON).
12. KNEESPACE UNITS IN THE ADMINISTRATION AREA TO HAVE MFR'S STANDARD COMPUTER KEYBOARD DRAWER (UON).
13. PROVIDE MFR'S STANDARD PENCIL DRAWER INSERT AT KNEESPACE UNITS W/ STANDARD DRAWERS (NOT KEYBOARD DRAWERS) (UON).
14. PROVIDE SNAP ON PVC CORNER GUARDS FROM TOP OF BASE TO TOP OF DOOR FRAME. ALL OUTSIDE CORNERS (NON CMU WALLS) IN HIGH TRAFFIC AREAS, INCLUDING PARTITIONS WITH W.C.
15. PROVIDE STAINLESS STEEL CORNER GUARDS, 4" AT KITCHEN AREA AND SURROUNDING SPACES.
16. SHELVES SHALL BE ADJUSTABLE, UON. SHELVES OVER 36" IN LENGTH SHALL BE 1" THICK.
17. PROVIDE 7/8" WORK TOPS WITH PLASTIC LAMINATE FINISH AT CASEWORK SHELVING UNITS UNDER 48".
18. PROVIDE 4'-0" TALL TACKBOARDS (TB) AND MARKERBOARDS (MB) UON. BOARDS SHALL BE IN THE SAME FRAME WHEN ADJACENT.
19. MB AND TB TO HAVE CONT TACKSTRIPS AND PEN TROUGHS (UON). TACKSTRIPS TO HAVE MAP HOOKS, UON.
20. PROJECTION SCREENS: SPRING-ROLLER OPERATED, WALL MOUNTED, 72"x72" W/ 70"x70" VIEWING AREA, UON.
21. PROVIDE ROLLER SHADES (RS) AT INTERIOR WINDOWS U.O.N., REFER TO A9.01A - A9.02D SERIES FOR LOCATIONS.
22. PROVIDE HORIZONTAL LOUVER BLINDS (HLB) AT EXTERIOR WINDOWS U.O.N., REFER TO A9.01A - A9.02D SERIES FOR LOCATIONS.

GENERAL NOTES - INTERIOR FINISH AND COLOR SCHEDULE:

1. MANUFACTURERS NAMES AND IDENTIFICATION NUMBERS ARE LISTED AS A MEANS OF ESTABLISHING A STANDARD OF TYPE, FUNCTION, COLOR, AND QUALITY. REFER TO PROJECT MANUAL FOR ADDITIONAL MANUFACTURERS & PROCEDURES.
2. THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT A SAMPLE OF ALL FINISH MATERIALS FOR APPROVAL BEFORE MATERIALS ARE APPLIED ON THE JOB.
3. VERIFY ALL VINYL WALL GRAPHICS WITH THE ARCHITECT BEFORE PAINTING. GRAPHICS MAY NEED TO BE ADJUSTED AFTER ENLARGING TO REFLECT THE SAME COMPOSITION AS ON THE DRAWINGS.
4. IF REQUESTED THE ARCHITECT WILL PROVIDE 8 1/2" X 11" CLEAR ACETATE OR MYLAR OF DETAILED MURAL GRAPHICS FOR PROJECTION ON WALL.
5. TERMINATE ALL ACENT PAINTS & VINYL WALL COVERING ON INSIDE CORNERS ONLY UNLESS OTHERWISE INDICATED.
6. PAINT ALL INTERIOR & EXTERIOR EXPOSED PIPING, VERIFY COLOR W/ ARCHITECT.
7. PAINT ANY VENTS, GRILLES, PIPING, ETC. SAME COLOR AS ADJACENT WALL.
8. UNDESIGNATED PAINTED GYPSUM BOARD WALLS TO BE MARK "P-1".
9. UNDESIGNATED PAINTED CMU WALLS TO BE MARK "P-1".
10. ALL INTERIOR HOLLOW METAL DOOR AND WINDOW FRAMES SHALL BE PAINTED TO MATCH MARK "P-1" (U.O.N.). ALL VISION PANEL FRAMES IN INTERIOR DOORS TO MATCH MARK P-2.
11. ALL INTERIOR HOLLOW METAL DOORS SHALL BE PAINTED TO MATCH MARK "P-1".
12. ALL INTERIOR WOOD DOORS & UNASSIGNED WOOD TRIM PIECES SHALL BE MARK "P-1".
13. ALL METAL HANDRAIL (INTERIOR) SHALL BE PAINTED STEEL RALING, UON. ALL METAL HANDRAIL (EXTERIOR) SHALL BE GALVANIZED STEEL RAILING, SHOP PRIMED, FIELD PAINTED, UON.
14. ALL BOYS AND GIRLS TOILET PARTITIONS SHALL BE AS SPECIFIED.
15. ALL BASE CABINETS, WALL CABINETS, AND MISC. CASE WORK IN CLASSROOM/ ACADEMIC AREA SHALL BE MARK "PL-1" UON. ALL BASE CABINETS, WALL CABINETS, AND MISC. CASE WORK IN ADMIN SUITE SHALL BE MARK "PL-1" UON.
16. ALL COUNTERTOPS IN CLASSROOM SHALL BE MARKED "PL-3" UON. ALL COUNTERTOPS IN ADMIN SUITE SHALL BE MARKED "PL-3" UON.
17. PROVIDE MATCHING COLOR FOR ALL EDGE BANDING AT ALL COUNTERS.
18. RECEPTION COUNTERTOPS SHALL BE MARKED "SS-1".
19. ALL PLASTIC LAMINATE WALL PANELS TO BE AS NOTED ON SHEETS A9.10 - A9.16.
20. ALL RESTROOM TILE, KITCHEN, OR ANY OTHER WET AREA SHALL RECEIVE EPOXY GROUT. PREFER MATERIAL & FINISH SCHEDULE FOR SPECIFIC GROUT COLOR.
21. ALL EXPOSED STRUCTURAL STEEL INCLUDING ROOF DECK, JOISTS, GIRDERS, BEAMS AND ANY MISC. STEEL SHALL BE PAINTED MARK "P-1". DUCTS, DIFFUSERS AND AIR HANDLING UNITS SHALL BE GALVANIZED METAL.
22. PATTERNS AND COLORS FOR AREAS SCHEDULED TO RECEIVE LVT SHALL BE AS REPRESENTED ON SHEETS A9.01A THRU A9.01D.
23. LOW PROFILE TRANSITION STRIPS TO BE PLACED AT ANY FLOORING MATERIAL CHANGE.
24. METAL LOW PROFILE TRANSITION STRIPS TO BE PLACED AT ANY FLOORING MATERIAL CHANGE ADJACENT TO CT.
25. REFER TO FINISH SCHEDULE FOR CT GROUT TYPE IN ALL BATHROOM AND KITCHEN AREAS.
26. ALL WALLS TO RECEIVE DRY ERASE WALLCOVERING TO BE LEVEL 5 FINISH. INSTALL ALUMINUM J TRIM AT PERIMETER. DRY ERASE WALLCOVERING SHOULD BE WRITABLE AND PROJECTABLE.
27. ALL FINE FISSURED CEILING TO BE 0.70 NRC.

pfluger



ELEMENTARY SCHOOL #38 IN BROOKEWATER

LAMAR CISD



DATE: 1/14/2025

PROJECT NO. 24-028
DATE: 1/14/2025
DRAWN BY: DRW CHECKED BY: CHK
REVISIONS:
2 01/10/2025 ADDENDUM #2
3 01/13/2025 ADDENDUM #3

100% CONSTRUCTION DOCUMENTS
A9.00A
INTERIOR EXTERIOR
FINISH LEGEND

MATERIAL SCHEDULE							
UON	MARK	MATERIAL	MANUFACTURER	STYLE	COLOR	SPECS	REMARKS
01 FLOOR FINISH							
01 FLOOR FINISH	CPT-1	POWERBOND CARPET	TARRETT	TEXTURE MAP	COLOR:4202 PICTORAM	POWERBOND	ADMINISTRATION, LIBRARY, COLLABORATION AND CLASSROOMS
01 FLOOR FINISH	CPT-2	POWERBOND CARPET	TARRETT	SQUAREDUP II	COLOR: CUSTOM 1153781-10	POWERBOND	ACCENT
01 FLOOR FINISH	EPF-1	EPOXY RESINOUS FLOORING	STONHARD	STONSHIELD	COLOR: GLACIER	MEDIUM TEXTURE	KITCHEN AND RESTROOM FLOORING
01 FLOOR FINISH	LVT-1	LUXURY VINYL TILE	TARRETT	EVENT ABSTRACT	COLOR: 1114 CHANTILLY	12" X 24"	WHERE APPLICABLE
01 FLOOR FINISH	SC-1	SEALED CONCRETE					MEZZANINE, STAIRS
01 FLOOR FINISH	T-1	TERRAZZO	TM SUPPLY, THICK SET	CEMENT TERRAZZO	COLOR: REFER TO CONTROL SAMPLE	THICK SET	MAIN CORRIDORS
01 FLOOR FINISH	T-2	TERRAZZO	TM SUPPLY, THICK SET	CEMENT TERRAZZO	COLOR: REFER TO CONTROL SAMPLE	THICK SET	ACCENT AT CORRIDORS
01 FLOOR FINISH	VCT-1	VINYL COMPOSITION TILE	ARMSTRONG	STANDARD EXCEL ON IMPERIAL TEXTURE	COLOR: SOFT WARM GRAY	12" X 12"	FIELD VCT, NEUTRAL
01 FLOOR FINISH	VCT-2	VINYL COMPOSITION TILE	ARMSTRONG	STANDARD EXCEL ON IMPERIAL TEXTURE	COLOR: COLOBRAND STONE	12" X 12"	ACCENT VCT, ACCENT BLUE
01 FLOOR FINISH	VCT-3	VINYL COMPOSITION TILE	ARMSTRONG	STANDARD EXCEL ON IMPERIAL TEXTURE	COLOR: CLASSIC BLACK	12" X 12"	BLACK VCT
01 FLOOR FINISH	VCT-4	VINYL COMPOSITION TILE	ARMSTRONG	STANDARD EXCEL ON IMPERIAL TEXTURE	COLOR: MD GRAYED BLUE	12" X 12"	ACCENT SQUARES AT GYM
01 FLOOR FINISH	WD-1	STAINED WOOD		SPECIES: MAPLE	TO BE STAINED		STAGE STEPS
01 FLOOR FINISH	WF-1	WALK-OFF	TARRETT	ASSERTIVE ACTION	COLOR: STEELWORK		MAIN EXITS/ENTRANCE, DRINKING FOUNTAINS
02 BASE							
02 BASE	EPB	EPOXY BASE	STONHARD	STONSHIELD	COLOR: GLACIER	MEDIUM TEXTURE	
02 BASE	RB-1	RUBBER BASE	TARRETT/JOHNSONITE	4" HEIGHT, TRADITIONAL	COLOR:40 GREY		FIELD RUBBER BASE
02 BASE	RB-2	RUBBER BASE	TARRETT/JOHNSONITE	4" HEIGHT, TRADITIONAL	COLOR:40 BLACK		AT STAGE
03 WALL FINISH							
03 WALL FINISH	P-1	PAINT	SHERWIN WILLIAMS		SW7648 BIG CHILL		FIELD PAINT
03 WALL FINISH	P-2	PAINT	SHERWIN WILLIAMS		SW7862 MINERAL DEPOSIT		ACCENT
03 WALL FINISH	P-3	PAINT	SHERWIN WILLIAMS		SW7019 GUNMET GRAY		DOOR FRAMES
03 WALL FINISH	P-4	PAINT	SHERWIN WILLIAMS		SW647 FL CLOUBURST		BLUE
03 WALL FINISH	P-5	PAINT	SHERWIN WILLIAMS		SW6268 TRICORN BLACK		ACCENT AT STAGE & RAMP
03 WALL FINISH	VWC-1	TYPE 2 VINYL WALL COVERING	MOMENTUM	WALLCOVERING UPPERCASE	COLOR: EDITION		ACCENT AT LIBRARY, RECEPTION ACCENT
03 WALL FINISH	VWC-2	VINYL WALLCOVERING	MOMENTUM	WALLCOVERING UPPERCASE	COLOR: SYNTEX		RECEPTION FIELD
03 WALL FINISH	VWC-3	VINYL WALLCOVERING	KORSEAL	DESERT SAND	COLOR: GRAY ANGORA		FIELD AT CLASSROOMS AND MAIN CORRIDORS
03 WALL FINISH	VWC-4	VINYL WALLCOVERING	KORSEAL	DESERT SAND	COLOR: CUSTOM COLOR, KIP49581		TEACHING WALLS AT CLASSROOM
03 WALL FINISH	WS-1	WRITABLE SURFACE	KORSEAL	WALL TALKERS/MAG-RITE	COLOR: WHITE		WHERE APPLICABLE, TEACHING WALLS
03 WALL FINISH	WT-1	WALL TILE	DALTILE	FABRIC ART MODERN LINEAR	COLOR: ML3 MEDIUM GRAY	12" X 24"	CORRIDOR WAINSCOT AT 4' AFF
03 WALL FINISH	WT-2	WALL TILE	DALTILE	COLOR WHEEL LINEAR	COLOR: DESERT GRAY	6" X 24"	RESTROOM WALLS FIELD, SERVING LINE FIELD
03 WALL FINISH	WT-3	WALL TILE	CROSSVILLE	GLASS BLOK	COLOR:VIVID TEAL	2" X 4" MOSAIC	RESTROOM ACCENT (BLUE) GLASS TILE
03 WALL FINISH	WT-4	WALL TILE	CROSSVILLE	GLASS BLOK	COLOR:AZUA GLEAM	2" X 4" MOSAIC	SERVING COUNTER ACCENT
04 CEILING							
04 CEILING	AWC	ACOUSTICAL WOOD CEILING	CERTAANTEED	BOX SERIES	FINISH 8475 LIGHT PECAN		LIBRARY AND COLLABORATION
04 CEILING	EXP	EXPOSED CEILING			COLOR: SW6268 TRICORN BLACK		PAINTED
04 CEILING	OSP	GYPSUM CEILING					PAINTED
04 CEILING	SAP-1	SUSPENDED ACOUSTIC CEILING	ARMSTRONG	FINE FISSURED	WHITE	24" X 24"	CLASSROOMS, REFER TO RCP
04 CEILING	SAP-2	SUSPENDED ACOUSTIC VINYL TILE	CERTAANTEED	VINYL FACED GYPSUM BOARD	WHITE	24" X 24"	RESTROOMS, KITCHEN AND SERVING LINE
04 CEILING	SAP-3	SUSPENDED ACOUSTICAL TILE/BLACK					STAGE PLATFORM
05 MISC FINISHES							
05 MISC FINISHES		OPERABLE PARTITION SYSTEM	BOD, MODERN/CLD	ACOUSTI-SEAL PREMIERELECTRIC PARTITION 9334E	FINISH: PREMIUM VINYL		CLASSROOM FINISH PER ARCHITECT
05 MISC FINISHES	AWP-1	FABRIC WRAPPED PANEL	MOMENTUM	FELTRO	COLOR: CLOUD		MAIN CORRIDOR, LIBRARY, DINING AND GYM. ALL PANELS TO BE 2" THICK UNLESS OTHERWISE NOTED
05 MISC FINISHES	AWP-2	FABRIC WRAPPED PANEL	MOMENTUM	FELTRO	COLOR: SPA		MAIN CORRIDOR, LIBRARY, DINING AND GYM. ALL PANELS TO BE 2" THICK UNLESS OTHERWISE NOTED
05 MISC FINISHES	AWP-3	FABRIC WRAPPED PANEL	MOMENTUM	FELTRO	COLOR: SPA		MAIN CORRIDOR, LIBRARY, DINING AND GYM. ALL PANELS TO BE 2" THICK UNLESS OTHERWISE NOTED
05 MISC FINISHES	CG-1	CORNER GUARDS	WALLANDCORNERGUARD.COM	THE INVISIBLE CORNERGUARD	COLOR: CLEAR		
05 MISC FINISHES	CG-2	CORNER GUARDS	KORSEAL	KOROGARD SERIES (S40)	FINISH: STAINLESS STEEL, MATTE FINISH		AT KITCHEN ONLY
05 MISC FINISHES	PL-1	PLASTIC LAMINATE	WILSONART	STANDARD LAMINATE	COLOR: 7886-38 PASADENA OAK	FINE VELVET FINISH	CASE WORK, DOORS
05 MISC FINISHES	PL-2	PLASTIC LAMINATE	WILSONART		COLOR:Y0835-60, RENDEZVOUS	MATTE FINISH	ACCENT PLAM
05 MISC FINISHES	PL-3	PLASTIC LAMINATE	WILSONART		COLOR: 4962-28, CRISP LINEN	FINE VELVET FINISH	COUNTERTOPS
05 MISC FINISHES	SS-1	SOLID SURFACE	WILSONART		COLOR: CALMING WAVES		COUNTERTOPS WHERE APPLICABLE
05 MISC FINISHES	STC	STAGE CURTAIN	KM FABRICS	MEMORABLE	COLOR: TBD		
05 MISC FINISHES	TP	TOILET PARTITIONS	ASI	SOLID PLASTICS, HOPE	COLOR: CHARCOAL	PEBBLE GRAINED TEXTURE	RESTROOMS
07 EXTERIOR							
07 EXTERIOR	ALUM	STOREFRONT AND CURTAIN WALL	KAWNEER		CHAMPAGNE		079A1465 PERMAZOE
07 EXTERIOR	BK-1	BRICK	UPCHURCH KIMBOROUGH	CLOUD CERAMICS	ASH GRAY	KING SIZE, VELOUR	FILED
07 EXTERIOR	BK-2	BRICK	UPCHURCH KIMBOROUGH	CLOUD CERAMICS	CORONADO	KING SIZE, VELOUR	STACKED BOND
07 EXTERIOR	BK-3	BRICK	UPCHURCH KIMBOROUGH	CLOUD CERAMICS	GREY BLEND	KING SIZE, VELOUR	STRIPES
07 EXTERIOR	GL-1	GLAZING	INSULATED TINTED SAFETY (TEMPERED)				
07 EXTERIOR	GL-2	GLAZING	INS. CHILDGARD GLAZING (TEMPERED)				
07 EXTERIOR	GL-3A	GLAZING	INS. CHILDGARD GLAZING (TEMPERED)/FROSTED				
07 EXTERIOR	GL-3	GLAZING	CLEAR SAFETY (TEMPERED)				
07 EXTERIOR	GL-4	GLAZING	CHILDGARD GLAZING				
07 EXTERIOR	GL-5	GLAZING	SHADOWBOX - INS. TEMPTED SAFETY (TEMP)				
07 EXTERIOR	GL-6	GLAZING					
07 EXTERIOR	MP-1	METAL PANEL - INTERMIXED PANELS	BERRIDGE	HS 4, HS-12, HR-4, HR-16	CHAMPAGNE		KYNAR 500
07 EXTERIOR	MP-2	INSULATED METAL	KINGSPAN	QUADCORE OPTIMO SMOOTH	DARK BRONZE - PREMIUM COLOR		SHERWIN-WILLIAMS® FLUOROPOLYMER CLASSIC - 70% PVDF METALLIC COLORS
07 EXTERIOR	MPC	METAL PANEL SOFFIT	CERTAANTEED	BOX SERIES - EXTERIOR	FINISH 8475 LIGHT PECAN	LAMINATE FLM, WOOD FINISH	AT SOFFIT
07 EXTERIOR	STN-1	NATURAL STONE	UPCHURCH KIMBOROUGH	FINNEY VALLEY CHOPPED STONE BLEND COURSED	ASHLAR PATTERN	3-5" THICK X 4" SAWN HEIGHTS X RANDOM LENGTHS	AT LIBRARY

CLASSROOM FINISH PER ARCHITECT
MAIN CORRIDOR, LIBRARY, DINING AND GYM. ALL PANELS TO BE 2" THICK UNLESS OTHERWISE NOTED
MAIN CORRIDOR, LIBRARY, DINING AND GYM. ALL PANELS TO BE 2" THICK UNLESS OTHERWISE NOTED
MAIN CORRIDOR, LIBRARY, DINING AND GYM. ALL PANELS TO BE 2" THICK UNLESS OTHERWISE NOTED

ROOM FINISH SCHEDULE - FIRST FLOOR - AREA A

ROOM #	ROOM NAME	FLOOR	BASE	WALLS				CEILING	REMARKS
				NORTH	EAST	SOUTH	WEST		
A100	VESTIBULE	WF-1	RB-1	GLAZING	WT-1GRAPHC ABOVE	GLAZING	WVC-1	SAP-1	WVC-1 FLOOR TO CEILING ON WEST WALL
A100A	RR VESTIBULE	WF-1	RB-1	WT-1, P-1	-	WT-1, P-1	WVC-1	SAP-1	WVC-1 UP TO 8' AWP ON EAST & WEST WALLS. MOTORIZED ROLLER SHADES AT EXTERIOR WALL
A101	PARENTS VOLUNTEER	CPT-2	RB-1	WVC-3, P-1	WVC-3, P-1	GLAZING	WVC-3, P-1	AWC, GYP	WVC-3 UP TO 8' AWP ON EAST & WEST WALLS. MOTORIZED ROLLER SHADES AT EXTERIOR WALL
A102	RR	EPF-1	EPB	WT-2	WT-2	WT-2	WVC-3	SAP-2	WALL TILE FLOOR TO CEILING
A103	CORRIDOR	T-1, T-2, CPT-1, WF-1	RB-1	WT-1, WVC-3, P-1	GLAZING	REFER TO ELEVATION	WVC-3	SAP-1, GYP	AWP ON WALLS REFER TO INTERIOR ELEVATIONS FOR TILE & WVC-3 LOCATIONS
A104	RECEPTION	CPT-1	RB-1	WVC-2	WVC-2	P-1	WVC-2	SAP-1, GYP	NO WALLCOVERING AT EXTERIOR WALL. REFER TO INTERIOR ELEVATIONS FOR CASEWORK
A105	SECRETARY	CPT-1	RB-1	WVC-3	WVC-3	P-1	WVC-3	SAP-1	NO WALLCOVERING AT EXTERIOR WALL. REFER TO INTERIOR ELEVATIONS FOR CASEWORK
A106	A. PRINCIPAL	CPT-1	RB-1	WVC-3	WVC-3	P-1	WVC-3	SAP-1	NO WALLCOVERING AT EXTERIOR WALL. REFER TO INTERIOR ELEVATIONS FOR CASEWORK
A107	CONFERENCE	CPT-1	RB-1	WVC-3	WVC-3	P-1	WVC-3	SAP-1	NO WALLCOVERING AT EXTERIOR WALL. REFER TO INTERIOR ELEVATIONS FOR CASEWORK
A108	PRINCIPAL	CPT-2	RB-1	WVC-3	WVC-3	P-1	WVC-3	SAP-1, GYP	NO WALLCOVERING AT EXTERIOR WALL. REFER TO INTERIOR ELEVATIONS FOR CASEWORK
A109	CLINIC	LVT-1	RB-1	WVC-3	WVC-3	WVC-3	WVC-3	SAP-1	REFER TO ELEVATIONS FOR CASEWORK
A110	RR	EPF-1	EPB	WT-2	WT-2	WT-2	WVC-3	SAP-2	WALL TILE FLOOR TO CEILING
A111	STO.	VCT-1	RB-1	P-1	P-1	P-1	P-1	SAP-1	MS-3 SHELVES IN THIS LOCATION
A112	EXAM/ISO	LVT-1	RB-1	WVC-3	WVC-3	WVC-3	WVC-3	SAP-1	ELEVATIONS FOR CASEWORK
A113	COT	LVT-1	RB-1	WVC-3	WVC-3	WVC-3	WVC-3	SAP-1	ELEVATIONS FOR CASEWORK
A114	CORRIDOR	CPT-1, WF-1	RB-1	WVC-3	WVC-3	WVC-3	WVC-3	SAP-1, GYP	REFER TO ELEVATIONS FOR CASEWORK
A115	SECURITY	CPT-1	RB-1	WVC-3	WVC-3	WVC-3	WVC-3	SAP-1	REFER TO ELEVATIONS FOR CASEWORK. WEAPON RACK IN THIS ROOM
A116	RR	EPF-1	EPB	WT-2	WT-2	WT-2	WVC-3	SAP-2	WALL TILE FLOOR TO CEILING
A117	RR	EPF-1	EPB	WT-2	WT-2	WT-2	WVC-3	SAP-2	WALL TILE FLOOR TO CEILING
A118	VOLUNTARY	VCT-1	RB-1	P-1	P-1	P-1	P-1	SAP-1	VAULT, MS-2 & 3 IN THIS ROOM
A119	STORAGE	VCT-1	RB-1	P-1	P-1	P-1	P-1	SAP-1	
A120	MDF	SC-1	RB-1	P-1	P-1	P-1	P-1	EXP	
A121	LOUNGE	LVT-1	RB-1	P-1	WVC-3	WVC-3	WVC-3	SAP-1	NO WALLCOVERING AT EXTERIOR WALL. REFER TO INTERIOR ELEVATIONS FOR CASEWORK
A122	WORKROOM	LVT-1	RB-1	P-1	WVC-3	WVC-3	WVC-3	SAP-1	NO WALLCOVERING AT EXTERIOR WALL. REFER TO INTERIOR ELEVATIONS FOR CASEWORK
A123	COUNSELOR	CPT-1	RB-1	WVC-3	WVC-3	WVC-3	WVC-3	SAP-1	NO WALLCOVERING AT EXTERIOR WALL. REFER TO INTERIOR ELEVATIONS FOR CASEWORK
A124	COUNSELOR	CPT-1	RB-1	WVC-3	WVC-3	WVC-3	WVC-3	SAP-1	REFER TO ELEVATIONS FOR CASEWORK
A125	ELEC	SE-1	RB-1	P-1	P-1	P-1	P-1	EXP	
A126	ART	RB-1	RB-1	WVC-4	P-1	WVC-3	WVC-3	SAP-1	REFER TO ELEVATION FOR TEACHING WALL & CASEWORK. NO WALL COVERING AT EXTERIOR WALL
A127	CORRIDOR	T-2	-	WT-1, WVC-3, P-1	-	WT-1, WVC-3, P-1	-	SAP-1	REFER TO ELEVATIONS
A128	FLEX	CPT-2	RB-1	WVC-3	WVC-3	WVC-3	WVC-3	SAP-1, GYP	REFER TO TEACHING WALL ELEVATION
A129	KIVA	CPT-2	RB-1	WVC-3	WVC-3	WVC-3	WVC-3	SAP-1, GYP	REFER TO ELEVATION FOR TEACHING WALL
A130	LARGE GROUP	CPT-2	RB-1	WVC-3	WVC-3	WVC-3	WVC-3	SAP-1, GYP	REFER TO ELEVATION FOR TEACHING WALL
A131	FLEX	CPT-2	RB-1	WVC-3	WVC-3	WVC-3	WVC-3	SAP-1, GYP	REFER TO ELEVATION FOR TEACHING WALL
A132	LIBRARY	CPT-1	RB-1	REFER TO ELEVATION	REFER TO ELEVATION	P-1	REFER TO ELEVATION	SAP-1, GYP	MOTORIZED ROLLER SHADES AT EXTERIOR WALL
A133	COMP. STO.	VCT-1	RB-1	P-1	P-1	P-1	P-1	SAP-1	
A134	AV. STO.	VCT-1	RB-1	P-1	P-1	P-1	P-1	SAP-1	
A135	COMPUTER LAB	CPT-1	RB-1	WVC-4	WVC-3	P-1	WVC-3	SAP-1	REFER TO ELEVATION FOR TEACHING WALL, MOTORIZED ROLLER SHADES AT EXTERIOR WALL
A136	OFFICE	CPT-1, LVT-1	RB-1	WVC-1	WVC-1	WVC-1	WVC-1	SAP-1	

ROOM FINISH SCHEDULE - FIRST FLOOR - AREA B

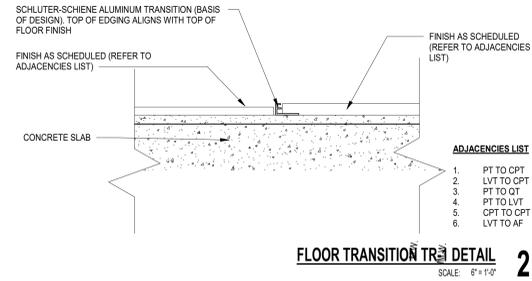
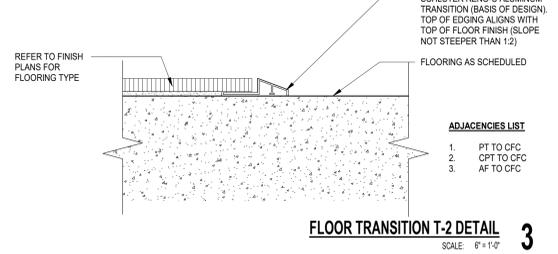
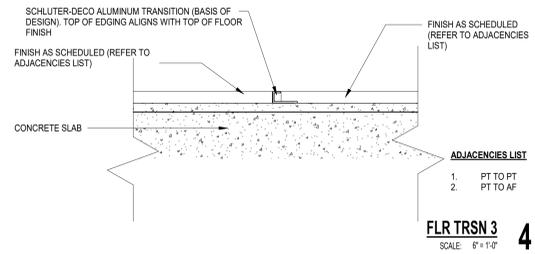
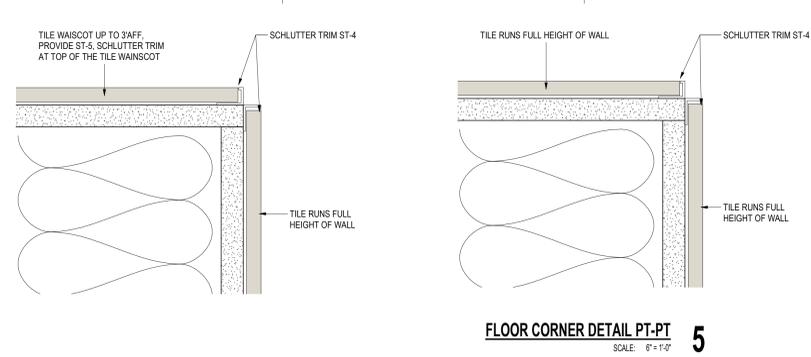
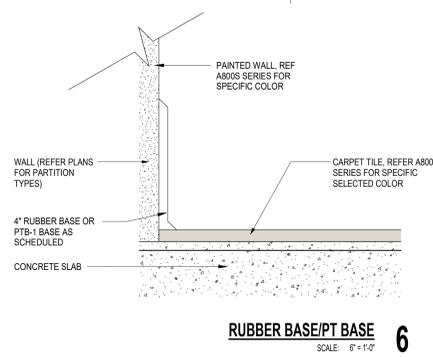
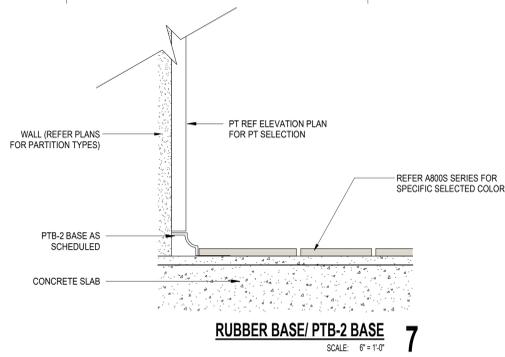
ROOM #	ROOM NAME	FLOOR	BASE	WALLS				CEILING	REMARKS
				NORTH	EAST	SOUTH	WEST		
B100	CORRIDOR	T-1, T-2	-	-	-	-	-	SAP-1, GYP	WALL TILE UP TO TOP OF DOOR. REFER TO ELEVATIONS
B101	CORRIDOR	EPF-1	EPB	WT-2, P-4	WT-2	REFER TO ELEVATION	WT-2, P-4	GYP	WALL TILE UP TO TOP OF DOOR. REFER TO ELEVATIONS
B102	CORRIDOR	CPT-1, CPT-2, WF-1	RB-1	WT-1, WVC-3	WT-1, WVC-3	WT-1, WVC-3	WT-1, WVC-3	SAP-1, GYP, AWC	WALL TILE UP TO TOP OF DOOR. REFER TO ELEVATIONS
B102A	COLLABORATION	CPT-2	RB-1	-	SEE INT. ELEVATION	-	SEE INT. ELEVATION	AWC	REFER TO ELEVATION FOR TEACHING WALL
B102B	COLLABORATION	CPT-2, WF-1	RB-1	SEE INT. ELEVATION	-	SEE INT. ELEVATION	-	AWC	MARKER WALL AT THIS LOCATION
B103	BOOK ROOM	SC-1	RB-1	P-1	P-1	P-1	P-1	SAP-1, GYP	
B104	DIAG.	CPT-1	RB-1	WVC-3	WVC-3	WVC-3	WVC-3	SAP-1	REFER TO ELEVATIONS FOR CASEWORK
B105	CUSTODIAN STO.	SC-1	RB-1	P-1	P-1	P-1	P-1	SAP-2	
B106	ART STO.	LVT-1	RB-1	P-1	P-1	P-1	P-1	SAP-1	REFER TO ELEVATIONS FOR CASEWORK
B107	1ST GRADE	CPT-1	RB-1	WVC-3	WVC-3	P-1	WVC-4	SAP-1	NO WALLCOVERING AT EXTERIOR WALLS. REFER TO ELEVATIONS FOR CASEWORK AND TEACHING WALL
B108	1ST GRADE	CPT-1	RB-1	WVC-3	WVC-3	P-1	WVC-4	SAP-1	NO WALLCOVERING AT EXTERIOR WALLS. REFER TO ELEVATIONS FOR CASEWORK AND TEACHING WALL
B109	1ST GRADE	CPT-1	RB-1	WVC-3	WVC-4	P-1	P-1	SAP-1	NO WALLCOVERING AT EXTERIOR WALLS. REFER TO ELEVATIONS FOR CASEWORK AND TEACHING WALL
B110	1ST GRADE	CPT-1	RB-1	WVC-3	WVC-3	P-1	WVC-4	SAP-1	NO WALLCOVERING AT EXTERIOR WALLS. REFER TO ELEVATIONS FOR CASEWORK AND TEACHING WALL
B111	1ST GRADE	CPT-1	RB-1	WVC-3	P-1	WVC-4	WVC-3	SAP-1	NO WALLCOVERING AT EXTERIOR WALLS. REFER TO ELEVATIONS FOR CASEWORK AND TEACHING WALL
B112	1ST GRADE	CPT-1	RB-1	WVC-3	P-1	WVC-4	WVC-3	SAP-1	NO WALLCOVERING AT EXTERIOR WALLS. REFER TO ELEVATIONS FOR CASEWORK AND TEACHING WALL
B113	KINDERGARTEN	CPT-1, LVT-1	RB-1	WVC-3	P-1	WVC-4	WVC-3	SAP-1	NO WALLCOVERING AT EXTERIOR WALLS. REFER TO ELEVATIONS FOR CASEWORK AND TEACHING WALL
B114	KINDERGARTEN	CPT-1, LVT-1	RB-1	WVC-4	P-1	WVC-3	WVC-3	SAP-1	NO WALLCOVERING AT EXTERIOR WALLS. REFER TO ELEVATIONS FOR CASEWORK AND TEACHING WALL
B115	KINDERGARTEN	CPT-1, LVT-1	RB-1	P-1	P-1	WVC-3	WVC-3	SAP-1	NO WALLCOVERING AT EXTERIOR WALLS. REFER TO ELEVATIONS FOR CASEWORK AND TEACHING WALL
B116	KINDERGARTEN	CPT-1, LVT-1	RB-1	P-1	WVC-3	WVC-3	WVC-4	SAP-1	NO WALLCOVERING AT EXTERIOR WALLS. REFER TO ELEVATIONS FOR CASEWORK AND TEACHING WALL
B117	KINDERGARTEN	CPT-1, LVT-1	RB-1	P-1	WVC-4	WVC-3	WVC-3	SAP-1	NO WALLCOVERING AT EXTERIOR WALLS. REFER TO ELEVATIONS FOR CASEWORK AND TEACHING WALL
B118	KINDERGARTEN	CPT-1, LVT-1	RB-1	WVC-3	WVC-3	P-1	WVC-4	SAP-1	NO WALLCOVERING AT EXTERIOR WALLS. REFER TO ELEVATIONS FOR CASEWORK AND TEACHING WALL
B119	PRE-K	CPT-1, LVT-1	RB-1	P-1	WVC-3	WVC-3	WVC-4	SAP-1	NO WALLCOVERING AT EXTERIOR WALLS. REFER TO ELEVATIONS FOR CASEWORK AND TEACHING WALL
B120	RR	EPF-1	EPB	WT-2	WT-2	WT-2	WT-3	SAP-2	WALL TILE FLOOR TO CEILING
B121	PRE-K	CPT-1, LVT-1	RB-1	WVC-3	WVC-3	WVC-3	WVC-3	SAP-2	WALL TILE FLOOR TO CEILING
B122	RR	EPF-1	EPB	WT-2	WT-2	WT-2	WT-2	SAP-2	WALL TILE FLOOR TO CEILING
B123	LIT LIB	VCT-1	RB-1	P-1	P-1	P-1	P-1	SAP-1	
B124	MATH STOR	VCT-1	RB-1	P-1	P-1	P-1	P-1	SAP-1	
B125	ELECTRICAL	SC-1	RB-1	P-1	P-1	P-1	P-1	EXP	
B126	BOOK ROOM	VCT-1	RB-1	P-1	P-1	P-1	P-1	SAP-1	
B127	IDF	SE-1	RB-1	P-1	P-1	P-1	P-1	SAP-1, GYP	
B128	CUST	VCT-1	RB-1	P-1	P-1	P-1	P-1	SAP-2	
B130	TLT	EPF-1	EPB	WT-2	WT-2	WT-2	WT-2	SAP-2	WALL TILE FLOOR TO CEILING
B131	TLT	EPF-1	EPB	WT-2	WT-2	WT-2	WT-2	SAP-2	WALL TILE FLOOR TO CEILING
B132	TLT	EPF-1	EPB	WT-2	WT-2	WT-2	WT-2	SAP-2	WALL TILE FLOOR TO CEILING
B132A	TLT VEST	EPF-1	EPB	WT-2	WT-2	WT-2	WT-2	SAP-2	WALL TILE FLOOR TO CEILING
B133	TLT	EPF-1	EPB	WT-2	WT-2	WT-2	WT-2	SAP-2	WALL TILE FLOOR TO CEILING
B134	TLT	EPF-1	EPB	WT-2	WT-2	WT-2	WT-2	SAP-2	WALL TILE FLOOR TO CEILING
B134A	TLT VEST	EPF-1	EPB	WT-2	WT-2, P-4	WT-2, P-4	WT-2, P-4	GYP	WALL TILE UP TO TOP OF DOOR. REFER TO ELEVATIONS
B135	TLT	EPF-1	EPB	WT-2	WT-2	WT-2	WT-2	SAP-2	WALL TILE UP TO TOP OF DOOR
B136	STORAGE	VCT-1	RB-1	P-1	P-1	P-1	P-1	SAP-1	

ROOM FINISH SCHEDULE - FIRST FLOOR - AREA C

ROOM #	ROOM NAME	FLOOR	BASE	WALLS				CEILING	REMARKS
				NORTH	EAST	SOUTH	WEST		
C100	MUSIC	CPT-2	RB-1	WVC-4, P-1	P-1	P-1, CASEWORK	P-1	SAP-1	REFER TO ELEVATIONS FOR CASEWORK AND TEACHING WALL
C101	MUSIC STORAGE	CPT-2	RB-1	P-1	P-1	P-1	P-1	SAP-1	
C102	PLATFORM	VCT-3	RB-1	BLACK PAINT	BLACK PAINT	BLACK PAINT	BLACK PAINT	SAP-3	
C103	PLATFORM STO.	VCT-3	RB-1	P-1	P-1	P-1	P-1	SAP-1	
C104	RAMP	VCT-3	RB-1	BLACK PAINT	BLACK PAINT	BLACK PAINT	BLACK PAINT	SAP-3	
C105	GYM STORAGE	VCT-2	RB-1	P-1	P-1	P-1	P-1	SAP-1	
C106	PE OFFICE	CPT-1	RB-1	P-1	P-1	P-1	P-1	SAP-1	
C107	GYM	VCT-1, VCT-2, VCT-4	RB-1	P-1	OPERABLE PARTITION	P-1	P-4 REFER TO ELEVATION	SAP-1, SAP-3, GYP	REFER TO ELEVATIONS FOR CASEWORK
C108	DINING	VCT-1, VCT-2	RB-1	P-1	P-1	P-1	P-1	SAP-1, SAP-3, GYP	REFER TO ELEVATIONS FOR CASEWORK
C108E	STORAGE	EPF-1	EPB	P-1	P-1	P-1	P-1	SAP-1	
C109	CHAIR STORAGE	VCT-2	RB-1	P-1	P-1	P-1	P-1	SAP-1	
C110	DRY STORAGE	EPF-1	EPB	P-1	P-1	P-1	P-1	SAP-2	
C111	WAREWASH	EPF-1	EPB	P-1	P-1	P-1	P-1	SAP-2	
C112	KITCHEN	EPF-1	EPB	WT-2, P-2	-	WT-2, P-2	P-2	SAP-2	WT-4 AT SERVING LINE
C113	WALK INS	EPF-1	EPB	-	-	-	-	SAP-2	
C114	OFFICE	VCT-1	RB-1	P-1	P-1	P-1	P-1	SAP-1	SAFE IN THIS ROOM
C115	TEACHERS DINING	LVT-1	RB-1	P-1	P-1, CASEWORK	P-1	P-1, CASEWORK	SAP-1	REFER TO ELEVATIONS FOR CASEWORK
C116	RR	EPF-1	EPB	WT-2	WT-2	WT-2	WT-3	SAP-2	WALL TILE FLOOR TO CEILING
C117	LOOKERS	EPF-1	EPB	P-1	P-1	P-1	P-1	SAP-2	
C118	CUST	SC-1	RB-1	P-1	P-1	P-1	P-1	SAP-2	
C120	CENTRAL PLANT	SC-1	REFER TO REMARKS	P-1	P-1	P-1	P-1	-	FIRST COARSE OF CMU BLOCKS WILL BE FILLED

ROOM FINISH SCHEDULE - FIRST FLOOR - AREA D

ROOM #	ROOM NAME	FLOOR	BASE	WALLS				CEILING	REMARKS
				NORTH	EAST	SOUTH	WEST		
D100	CORRIDOR	T-2, WF-1	-	-	-	-	-	SAP-1, GYP	SEE INT. ELEVATION
D100A	TLT VESTIBULE	EPF-1	EPB	WT-3	WT-2, P-4	WT-2, P-4	WT-2, P-4	GYP	SEE INT. ELEVATION. TILE TO ALIGN WITH TOP OF DOOR. SEE ELEVATIONS FOR DESIGN DETAILS.
D101	CORRIDOR	T-2	-	WT-1, WVC-3, P-1	-	WT-1, WVC-3, P-1	-	SAP-1	SEE INT. ELEVATION
D102	CUSTODIAN OFFICE	VCT-1	RB-1	P-1	P-1	P-1	P-1	SAP-1	
D103	IDF	SC-1	RB-1	P-1	P-1	P-1	P-1	SAP-1	
D104	RESOURCE	LVT-1	RB-1	WVC-3, CASEWORK	WVC-4	WVC-3	WVC-3	SAP-1	REFER TO ELEVATIONS FOR CASEWORK AND TEACHING WALL
D105	RR	EPF-1	EPB	WT-2	WT-2	WT-2	WT-3	SAP-2	WALL TILE FLOOR TO CEILING
D106	RR	EPF-1	EPB	WT-2	WT-2	WT-2	WT-2	SAP-2	WALL TILE FLOOR TO CEILING
D107	STAIR	SC-1	RB-1	P-1	P-1	P-1	P-1	EXP	
D10									



MATERIAL FINISH LEGEND

CPT-1 (FIELD CARPET)	VCT-2
CPT-2 (ACCENT CARPET)	VCT-3
T-1 (TERRAZZO)	VCT-4 ACCENT SQUARES AT GYM
T-2 (TERRAZZO)	WF-1 (WALK OFF CARPET)
LVT-1 (LUXURY TILE VINYL)	EPF-1 (EPOXY RESIN)
VCT-1	WD-1 (WOOD)
	SC-1 (SEALED CONCRETE)

PROVIDE CONTROL JOINTS (C.J.) AS SHOWN & AT COLOR CHANGES. WHERE CONTROL JOINTS ARE NOT SHOWN, REFER TO STRUCTURAL DWGS.

SYMBOLS

MW	MARKER WALL - DRY ERASE WALL COVERING
CJ	CONTROL JOINT
EJ	EXPANSION JOINT
CG	CORNER GUARD
HLB	HORIZONTAL LOWER BLINDS
RS	ROLLER SHADES
CPT	FLOOR FINISH TRANSITION
WT	TILE WAINSCOT UP TO 4 FT
LIB	SERVING LINE, ACCENT TILE AT LIBRARY
WT-4	FIELD RESTROOM TILE - FULL HEIGHT
WT-3	ACCENT RESTROOM TILE - FULL HEIGHT

WALL FINISH TYPES

PLP-1	TYPE 1, HORIZONTAL PATTERN
PLP-2	TYPE 2, VERTICAL PATTERN
PLP-3	TYPE 3, HORIZONTAL PATTERN

REFER TO 3A.9.35 FOR MORE INFORMATION.



LIBRARY CASEWORK

Type Mark	Manufacturer	Model	Series	Quantity	Width	Height	Depth	Shelves	Casters	Top	Material
A1	TESCO	ADDR. CONT TOP 4584127213	PATRIOT	39	36"	45"	24"	6	Yes	CONTINUOUS WITH FLUSH WOOD	WOOD
A2	TESCO	STARTER. CONT TOP 4583127213	PATRIOT	21	36"	45"	24"	6	Yes	CONTINUOUS WITH FLUSH WOOD	WOOD

LEVEL 01 - FINISH PLAN - AREA A
SCALE: 1/8" = 1'-0"

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ELEMENTARY SCHOOL #38 IN BROOKEWATER
522 BROOKEWATER BLVD ROSENBERG, TX 77471

LAMAR CISD
3911 AVENUE I
ROSENBERG, TX 77471

REGISTERED ARCHITECT
STATE OF TEXAS
23278

DATE: 1/14/2025

PROJECT NO. 24-028
DATE: 1/14/2025
DRAWN BY: DRW CHECKED BY: CHK
REVISIONS:
2 01/10/2025 ADDENDUM #2
3 01/13/2025 ADDENDUM #3

100% CONSTRUCTION DOCUMENTS
A9.01A
LEVEL 1 FINISH / CASEWORK PLAN AREA A



MATERIAL FINISH LEGEND

PROVIDE CONTROL JOINTS (C.J.) AS SHOWN & AT COLOR CHANGES. WHERE CONTROL JOINTS ARE NOT SHOWN, REFER TO STRUCTURAL DWGS.

SYMBOLS

MW MARKER WALL - DRY ERASE WALL COVERING
 CJ CONTROL JOINT
 EJ EXPANSION JOINT
 CG CORNER GUARD
 RS ROLLER SHADES
 HLB HORIZONTAL LOWER BLINDS
 CPT-VCT FLOOR FINISH TRANSITION
 INSTALL DIRECTION
 WT-1 TILE WANSCOT UP TO 4 FT
 WT-4 SERVING LINE, ACCENT TILE AT LIBRARY
 WT-2 FIELD RESTROOM TILE - FULL HEIGHT
 WT-3 ACCENT RESTROOM TILE - FULL HEIGHT

PAINT
 P-1 MAIN WALL PAINT
 P-2 WHITE (SELECT CEILING AREAS)
 P-3 ACCENT

ROOM
 FLOOR FINISH

* PROVIDE CONTROL JOINTS AS SHOWN. WHERE CONTROL JOINTS ARE NOT SHOWN, REFER TO STRUCTURAL DWGS. REFER TO STRUCTURAL DWGS FOR DIMENSIONS. AT COLOR TRANSITIONS, PROVIDE SCORE LINE U.N.O.
 ** REFER TO ROOM FINISH SCHEDULE FOR FULL LIST OF FINISH WITHIN ROOM

WALL FINISH TYPES

PLP-1 TYPE 1 HORIZONTAL PATTERN
 PLP-2 TYPE 2 VERTICAL PATTERN
 PLP-3 TYPE 3 HORIZONTAL PATTERN
 REFER TO SA.35 FOR MORE INFORMATION

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ELEMENTARY SCHOOL #38 IN BROOKWATER
 522 BROOKWATER BLVD ROSENBERG, TX 77471

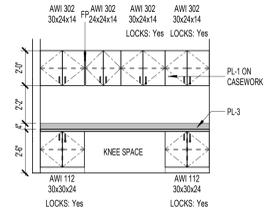
LAMAR CISD
 3911 AVENUE I ROSENBERG, TX 77471

REGISTERED ARCHITECT
 STATE OF TEXAS
 23278

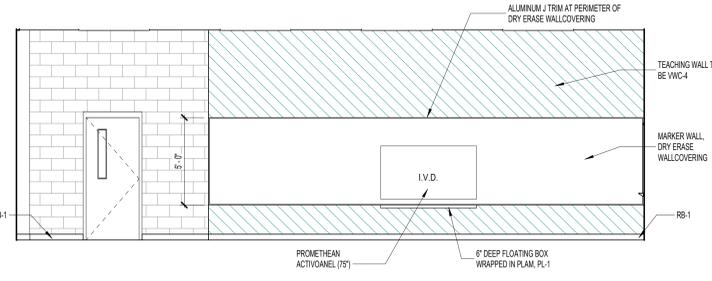
DATE: 1/14/2025
 PROJECT NO. 24-028
 DATE: 1/14/2025
 DRAWN BY: DRW CHECKED BY: CHK
 REVISIONS:
 2 01/10/2025 ADDENDUM #2
 3 01/13/2025 ADDENDUM #3

100% CONSTRUCTION DOCUMENTS
A9.01B
 LEVEL 1 FINISH / CASEWORK PLAN AREA B

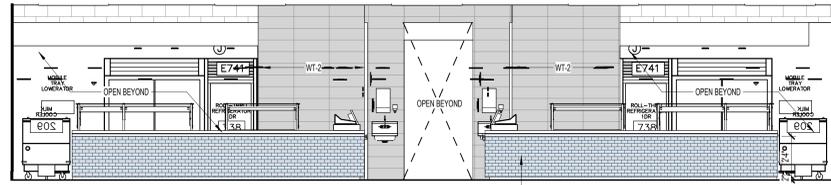
DRY-ERASE WALLCOVERING NOTES:
1. ALL WALLS TO RECEIVE DRY ERASE WALLCOVERING TO BE LEVEL 5 FINISH.
2. INSTALL ALUMINUM J TRIM AT PERIMETER.
3. DRY ERASE WALLCOVERING SHOULD BE WRITABLE AND PROJECTION.



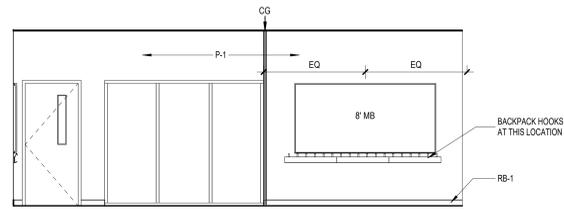
D120 ESL COACH
SCALE: 1/4" = 1'-0" **11**



C100 - MUSIC NORTH
SCALE: 1/4" = 1'-0" **10**



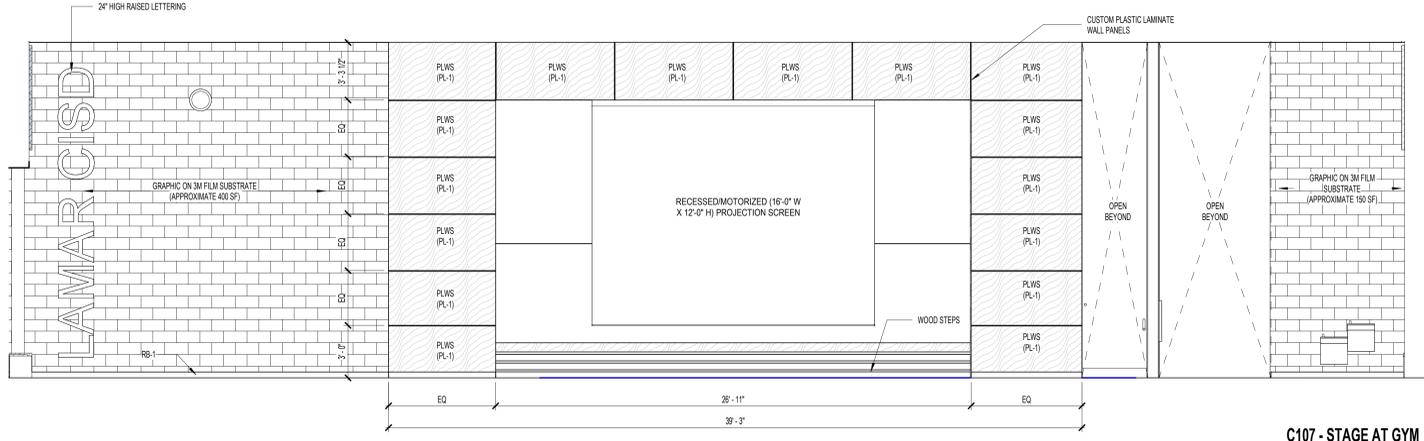
TILE AT SERVING LINE
SCALE: 1/4" = 1'-0" **9**



BACKPACK HOOKS AT DOOR WALL
SCALE: 1/4" = 1'-0" **8**

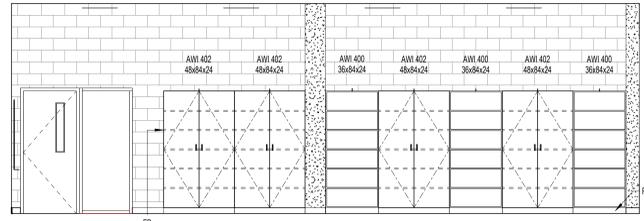
ELAM SYSTEMS TRIM NOTE FOR STAGE (PLWS)
1. ALL VERTICAL DIVIDER MOLDING SHALL BE #302A 018", UON
2. ALL HORIZONTAL DIVIDER MOLDING SHALL BE #631
3. ALL TOP AND BOTTOM EDGE TRIM SHALL BE #604A 3/8", UON
4. ALL CORNER REVEAL SHALL BE #803, UON
5. ALL SIDE TRIM SHALL BE #804, UON
BASIS OF DESIGN: PSI SYSTEM

ACOUSTICAL WALL PANEL NOTES:
1. BASIS OF DESIGN: MOMENTUM, FELTRO
AWP-1: FELTRO, CLOUD
AWP-2: FELTRO, SLATE
AWP-3: FELTRO, SPA

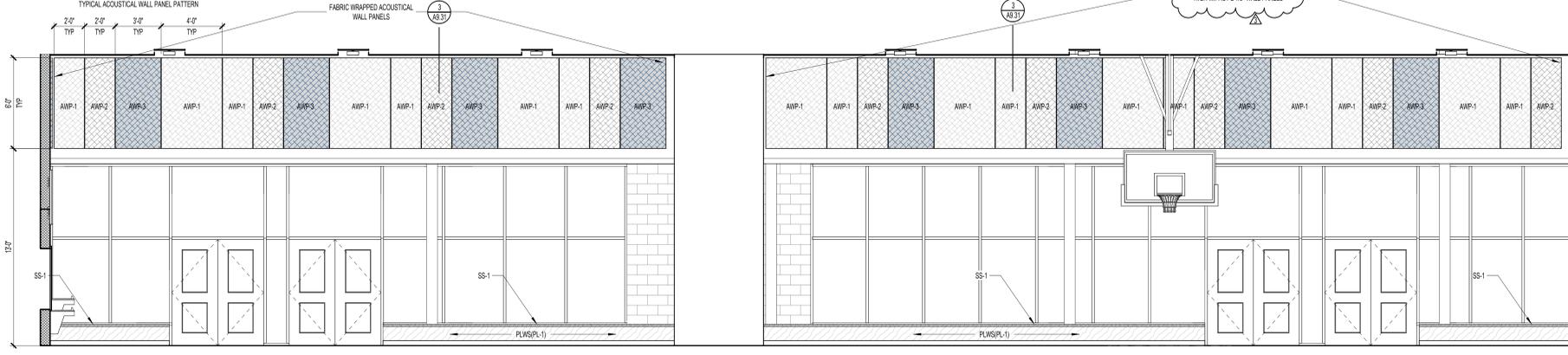


C107/C108 - EAST
SCALE: 1/4" = 1'-0" **4**

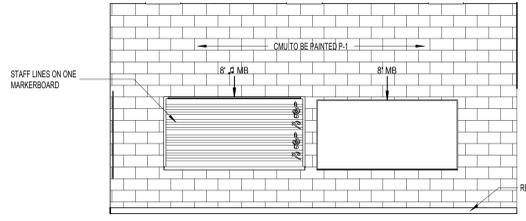
C107 - STAGE AT GYM
SCALE: 1/4" = 1'-0" **3**



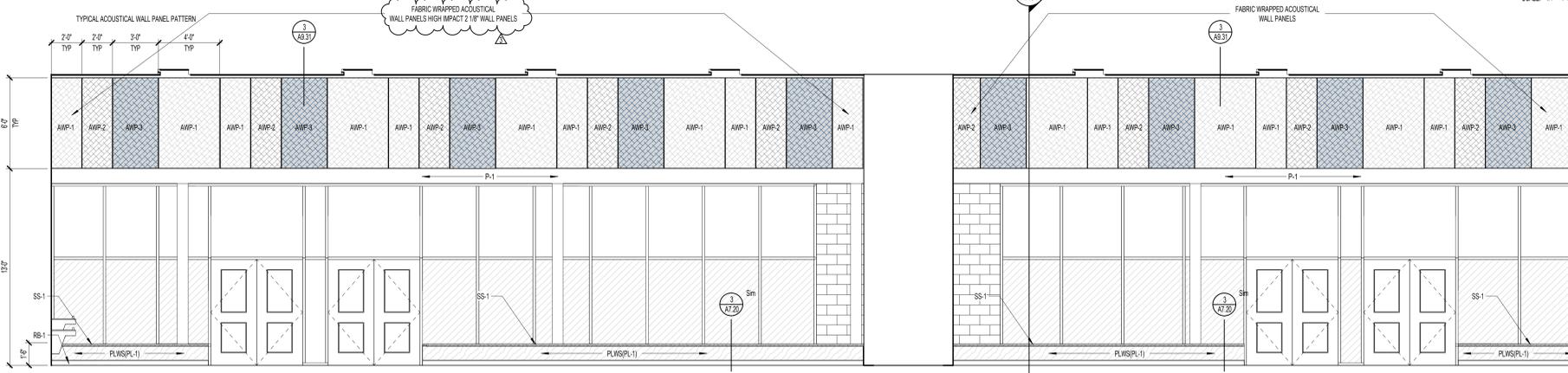
C100 - MUSIC CASEWORK
SCALE: 1/4" = 1'-0" **7**



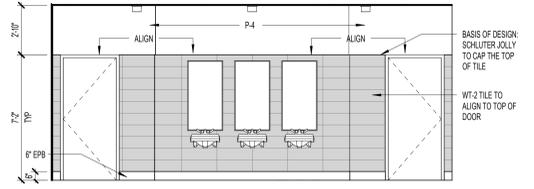
C107/C108 - SOUTH
SCALE: 1/4" = 1'-0" **2**



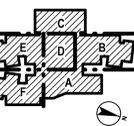
C100 - MUSIC EAST
SCALE: 1/4" = 1'-0" **6**



C107/C108 - NORTH
SCALE: 1/4" = 1'-0" **1**

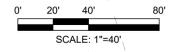
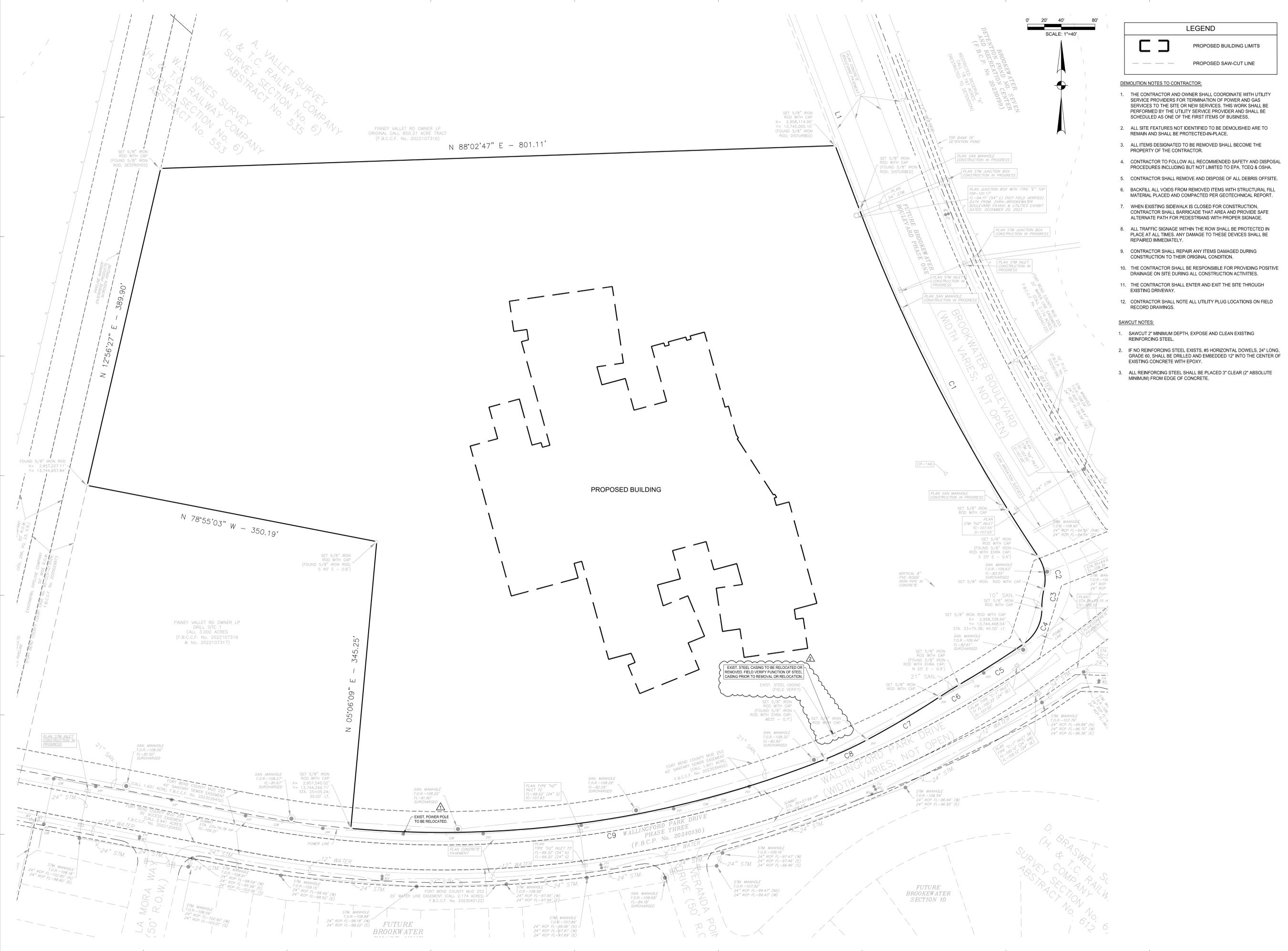


TYPICAL SINK WALL AT TLT VESTIBULE
SCALE: 1/4" = 1'-0" **5**



DATE: 1/14/2025

PROJECT NO.	24-028	
DATE:	1/14/2025	
DRAWN BY:	DRW	
CHECKED BY:	CHK	
REVISIONS:		
1	Date	Description
2	01/10/2025	ADDENDUM #2
3	01/13/2025	ADDENDUM #3



LEGEND	
	PROPOSED BUILDING LIMITS
	PROPOSED SAW-CUT LINE

- DEMOLITION NOTES TO CONTRACTOR:**
1. THE CONTRACTOR AND OWNER SHALL COORDINATE WITH UTILITY SERVICE PROVIDERS FOR TERMINATION OF POWER AND GAS SERVICES TO THE SITE OR NEW SERVICES. THIS WORK SHALL BE PERFORMED BY THE UTILITY SERVICE PROVIDER AND SHALL BE SCHEDULED AS ONE OF THE FIRST ITEMS OF BUSINESS.
 2. ALL SITE FEATURES NOT IDENTIFIED TO BE DEMOLISHED ARE TO REMAIN AND SHALL BE PROTECTED-IN-PLACE.
 3. ALL ITEMS DESIGNATED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR.
 4. CONTRACTOR TO FOLLOW ALL RECOMMENDED SAFETY AND DISPOSAL PROCEDURES INCLUDING BUT NOT LIMITED TO EPA, TCEQ & OSHA.
 5. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL DEBRIS OFFSITE.
 6. BACKFILL ALL VOIDS FROM REMOVED ITEMS WITH STRUCTURAL FILL MATERIAL PLACED AND COMPACTED PER GEOTECHNICAL REPORT.
 7. WHEN EXISTING SIDEWALK IS CLOSED FOR CONSTRUCTION, CONTRACTOR SHALL BARRICADE THAT AREA AND PROVIDE SAFE ALTERNATE PATH FOR PEDESTRIANS WITH PROPER SIGNAGE.
 8. ALL TRAFFIC SIGNAGE WITHIN THE ROW SHALL BE PROTECTED IN PLACE AT ALL TIMES. ANY DAMAGE TO THESE DEVICES SHALL BE REPAIRED IMMEDIATELY.
 9. CONTRACTOR SHALL REPAIR ANY ITEMS DAMAGED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING POSITIVE DRAINAGE ON SITE DURING ALL CONSTRUCTION ACTIVITIES.
 11. THE CONTRACTOR SHALL ENTER AND EXIT THE SITE THROUGH EXISTING DRIVEWAY.
 12. CONTRACTOR SHALL NOTE ALL UTILITY PLUG LOCATIONS ON FIELD RECORD DRAWINGS.

- SAWCUT NOTES:**
1. SAWCUT 2" MINIMUM DEPTH, EXPOSE AND CLEAN EXISTING REINFORCING STEEL.
 2. IF NO REINFORCING STEEL EXISTS, #5 HORIZONTAL DOWELS, 24" LONG, GRADE 60, SHALL BE DRILLED AND EMBEDDED 12" INTO THE CENTER OF EXISTING CONCRETE WITH EPOXY.
 3. ALL REINFORCING STEEL SHALL BE PLACED 3" CLEAR (2" ABSOLUTE MINIMUM) FROM EDGE OF CONCRETE.

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ELEMENTARY SCHOOL #38 IN BROOKEWATER

522 BROOKEWATER BLVD, ROSENBERG, TX 77471

LAMAR GISD

3911 AVENUE I
ROSENBERG, TX 77471

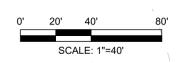
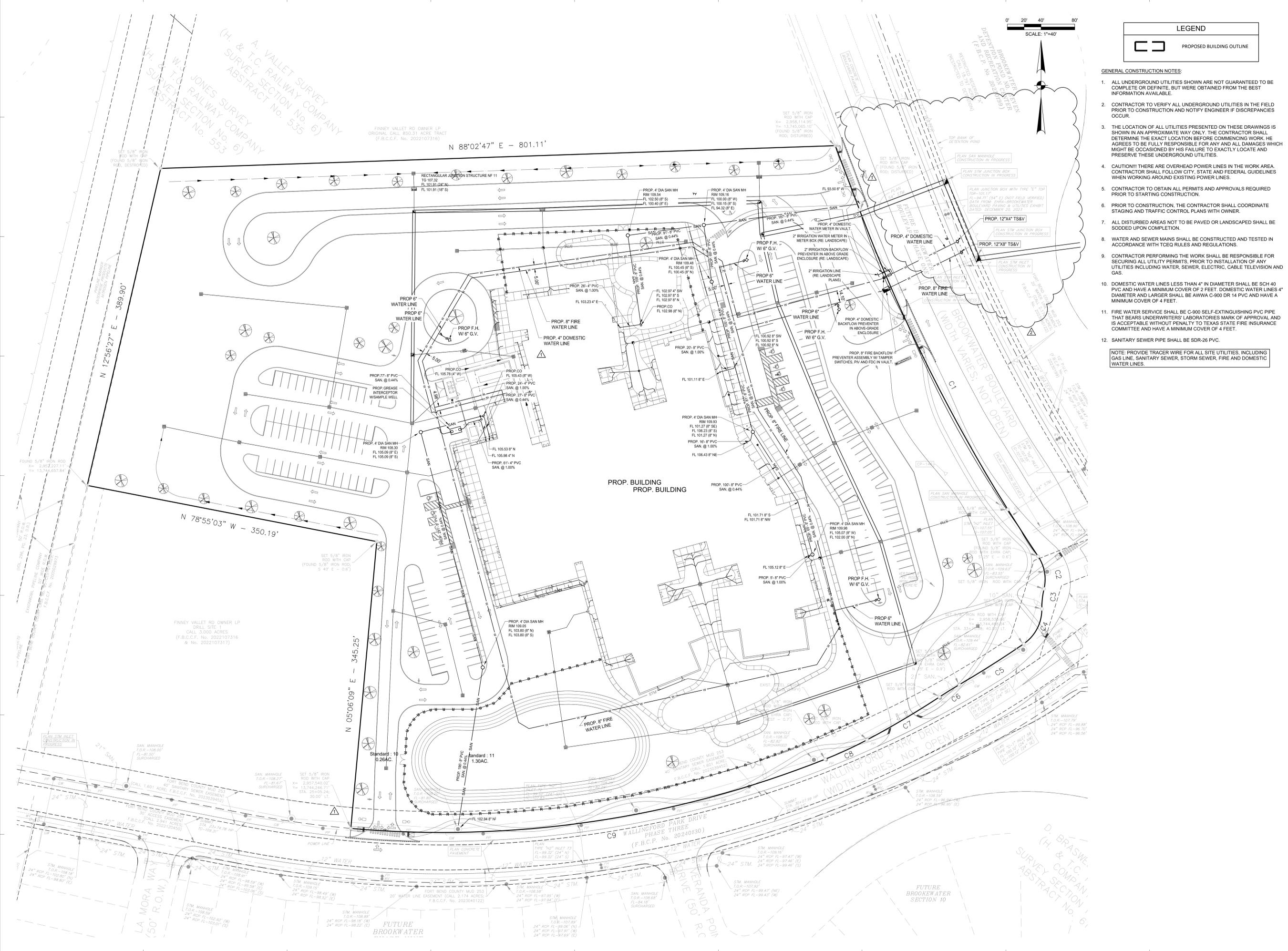
PROJECT NO. J4-08
DATE 01/14/2025
DRAWN BY: MR. FREDDY DAILY
CHECKED BY: CP

1 01/14/2025 ADDENDUM 1
2 01/14/2025 ADDENDUM 2

100% CONSTRUCTION DOCUMENTS

C2.00
DEMOLITION PLAN

8/28/2024 2:10:54 PM P:\2024 - Daily + Associates - Civil\24-032-00 LCISD ES38 Brookwater\Emails\Received\2024-08-05 Revit File from Arch\24-028_ARCH_ES38 BROOKWATER_R24 - DA.rvt



LEGEND	
	PROPOSED BUILDING OUTLINE

- GENERAL CONSTRUCTION NOTES:**
- ALL UNDERGROUND UTILITIES SHOWN ARE NOT GUARANTEED TO BE COMPLETE OR DEFINITE, BUT WERE OBTAINED FROM THE BEST INFORMATION AVAILABLE.
 - CONTRACTOR TO VERIFY ALL UNDERGROUND UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER IF DISCREPANCIES OCCUR.
 - THE LOCATION OF ALL UTILITIES PRESENTED ON THESE DRAWINGS IS SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE THESE UNDERGROUND UTILITIES.
 - CAUTION!!! THERE ARE OVERHEAD POWER LINES IN THE WORK AREA. CONTRACTOR SHALL FOLLOW CITY, STATE AND FEDERAL GUIDELINES WHEN WORKING AROUND EXISTING POWER LINES.
 - CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS REQUIRED PRIOR TO STARTING CONSTRUCTION.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE STAGING AND TRAFFIC CONTROL PLANS WITH OWNER.
 - ALL DISTURBED AREAS NOT TO BE PAVED OR LANDSCAPED SHALL BE SODED UPON COMPLETION.
 - WATER AND SEWER MAINS SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH TCEQ RULES AND REGULATIONS.
 - CONTRACTOR PERFORMING THE WORK SHALL BE RESPONSIBLE FOR SECURING ALL UTILITY PERMITS, PRIOR TO INSTALLATION OF ANY UTILITIES INCLUDING WATER, SEWER, ELECTRIC, CABLE TELEVISION AND GAS.
 - DOMESTIC WATER LINES LESS THAN 4" IN DIAMETER SHALL BE SCH 40 PVC AND HAVE A MINIMUM COVER OF 2 FEET. DOMESTIC WATER LINES 4" DIAMETER AND LARGER SHALL BE AWWA C-900 DR 14 PVC AND HAVE A MINIMUM COVER OF 4 FEET.
 - FIRE WATER SERVICE SHALL BE C-900 SELF-EXTINGUISHING PVC PIPE THAT BEARS UNDERWRITERS' LABORATORIES MARK OF APPROVAL AND IS ACCEPTABLE WITHOUT PENALTY TO TEXAS STATE FIRE INSURANCE COMMITTEE AND HAVE A MINIMUM COVER OF 4 FEET.
 - SANITARY SEWER PIPE SHALL BE SDR-26 PVC.
- NOTE: PROVIDE TRACER WIRE FOR ALL SITE UTILITIES, INCLUDING GAS LINE, SANITARY SEWER, STORM SEWER, FIRE AND DOMESTIC WATER LINES.

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 Houston, Texas 77046
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ELEMENTARY SCHOOL #38 IN BROOKWATER

522 BROOKWATER BLVD, ROSENBERG, TX 77471

LAMAR GISD

3911 AVENUE I
ROSENBERG, TX 77471

PROJECT NO. J4408
DATE 01/14/2025

DRAWN BY: MR. CHECKED BY: CP

1 01/14/2025 ADDENDUM 1

2 01/14/2025 ADDENDUM 2

100% CONSTRUCTION DOCUMENTS

C5.01

SANITARY AND WATER
UTILITY PLAN

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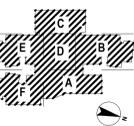


0' 20' 40' 80'
SCALE: 1"=40'



LEGEND	
SYMBOL	DESCRIPTION
(XX Y.YY)	DRAINAGE AREA DESIGNATION DRAINAGE AREA (ACRES)
(OS Y.YY)	OFFSITE DRAINAGE AREA DESIGNATION OFFSITE DRAINAGE AREA (ACRES)
(XXX Y.YY)	3-YEAR FLOW (C.F.S.) 100-YEAR FLOW (C.F.S.)
---	DRAINAGE AREA BOUNDARY
- - - -	DRAINAGE SUB-AREA BOUNDARY
(XX)	MANHOLE OR INLET NUMBER
→	DRAINAGE PATTERN
—	PROPOSED SWALE LINE

- GENERAL CONSTRUCTION NOTES:**
- ALL UNDERGROUND UTILITIES SHOWN ARE NOT GUARANTEED TO BE COMPLETE OR DEFINITE, BUT WERE OBTAINED FROM THE BEST INFORMATION AVAILABLE.
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 - SANITARY SEWER PIPE SHALL BE SDR-26 PVC.



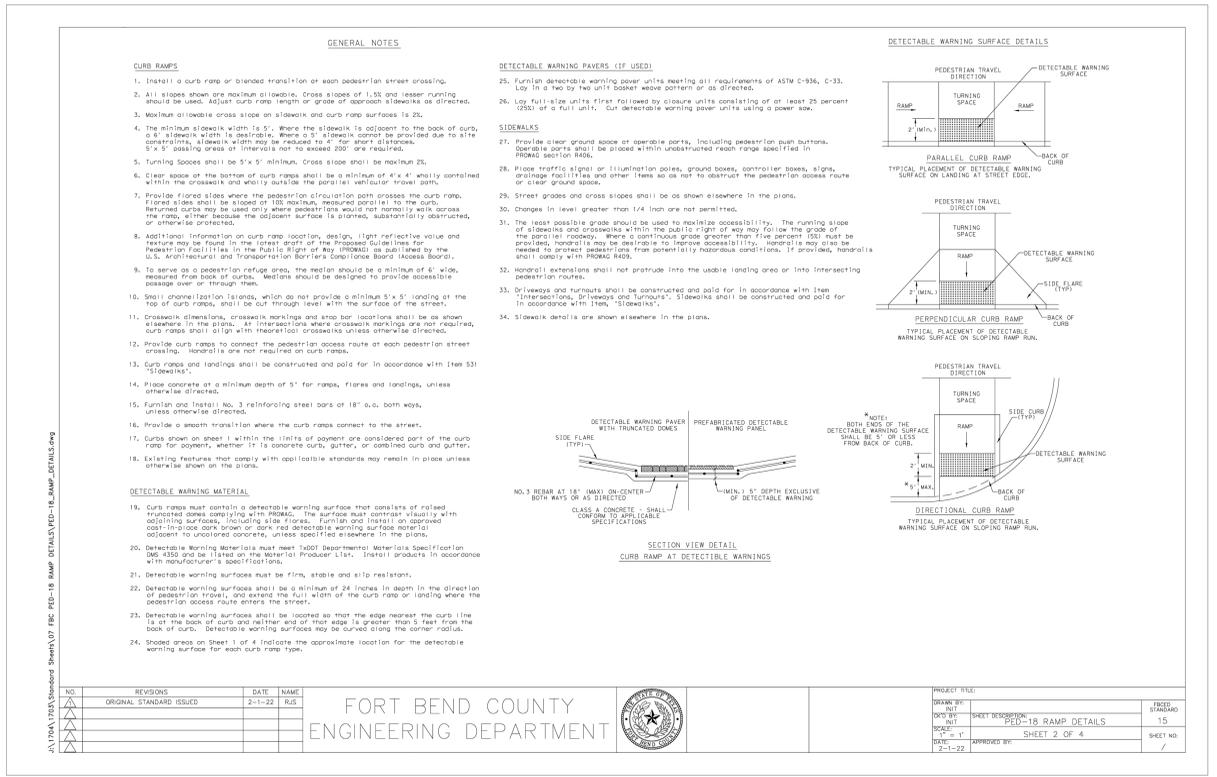
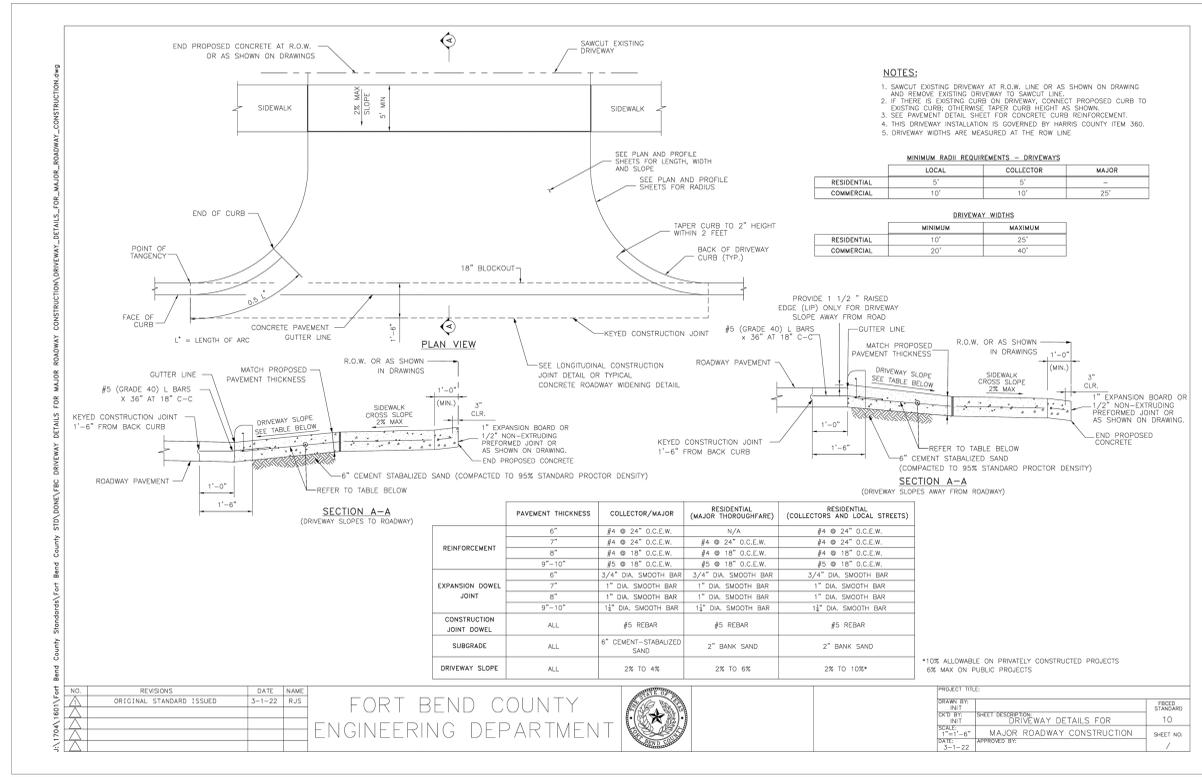
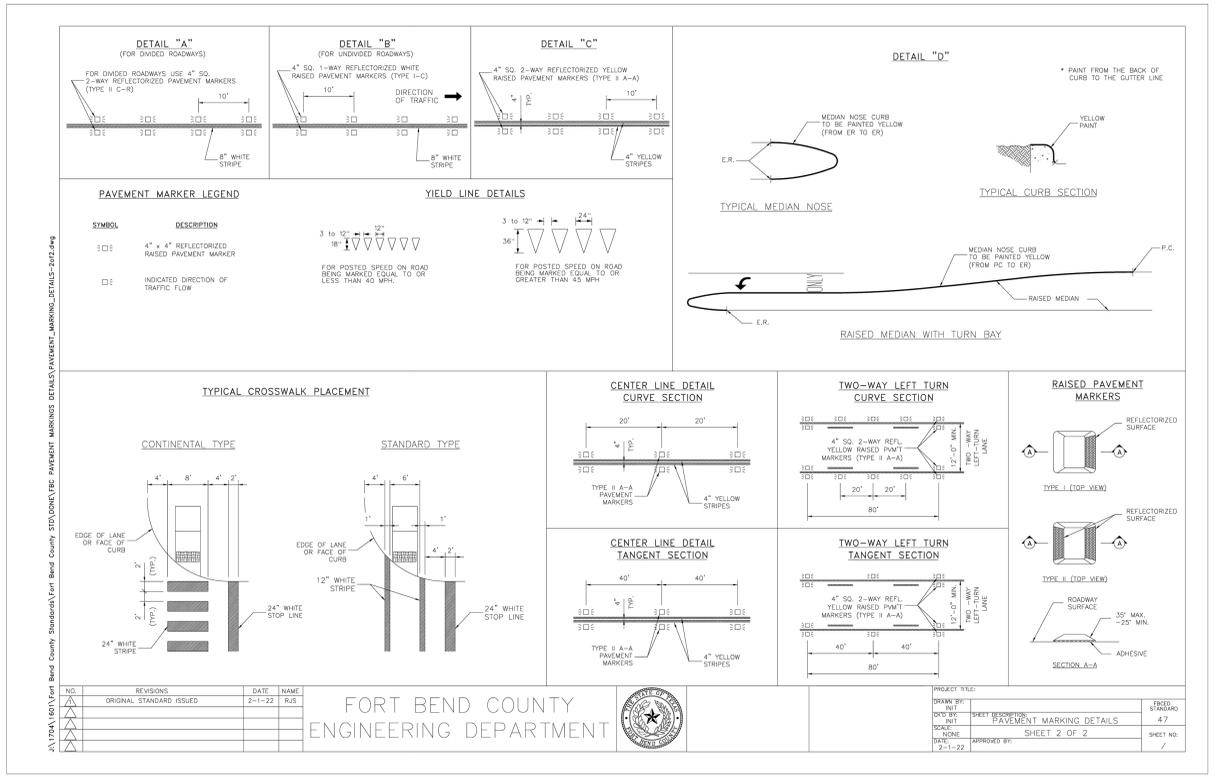
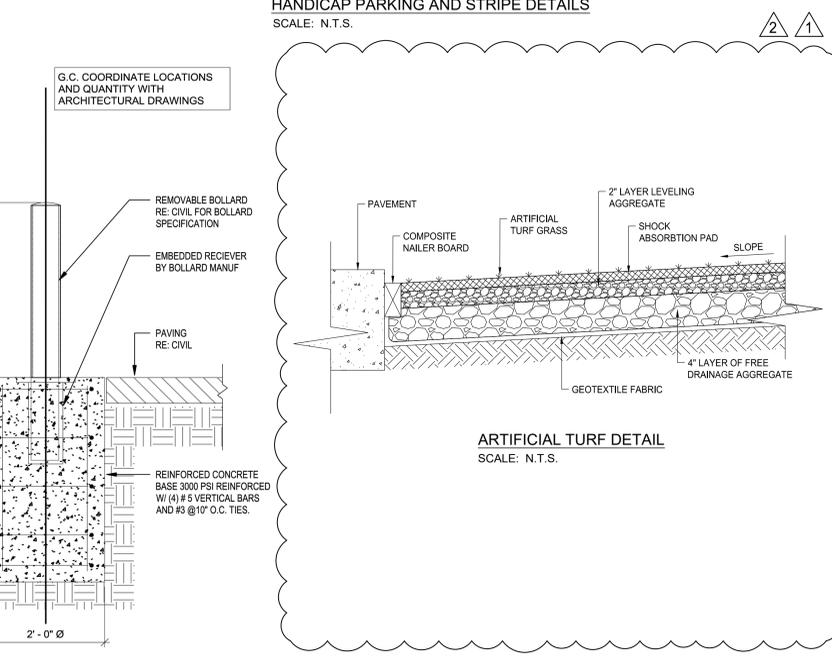
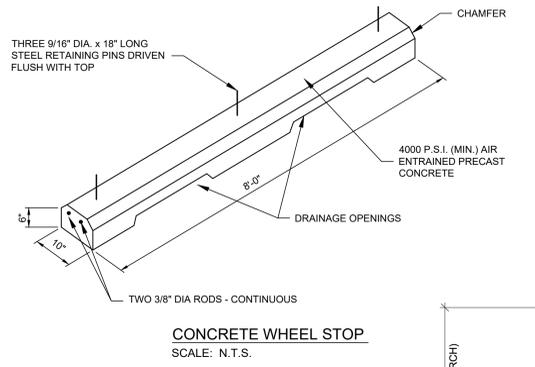
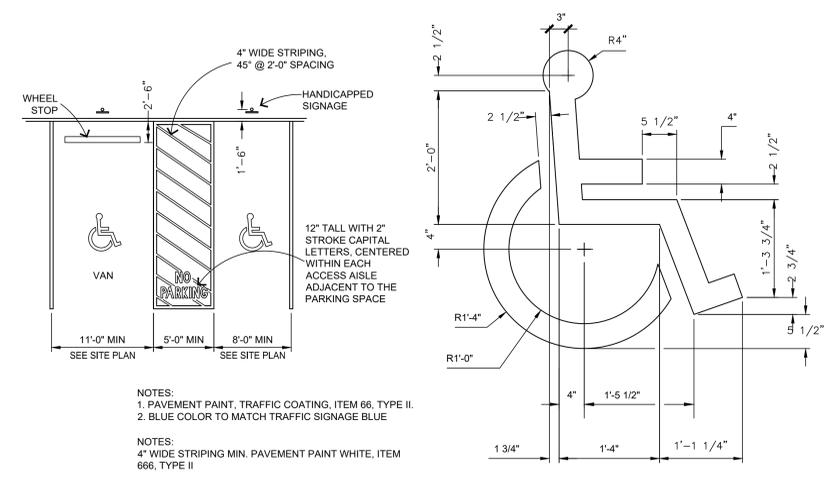
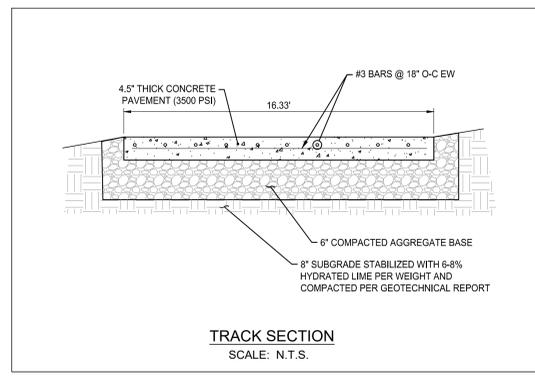
ELEMENTARY SCHOOL #38 IN BROOKWATER

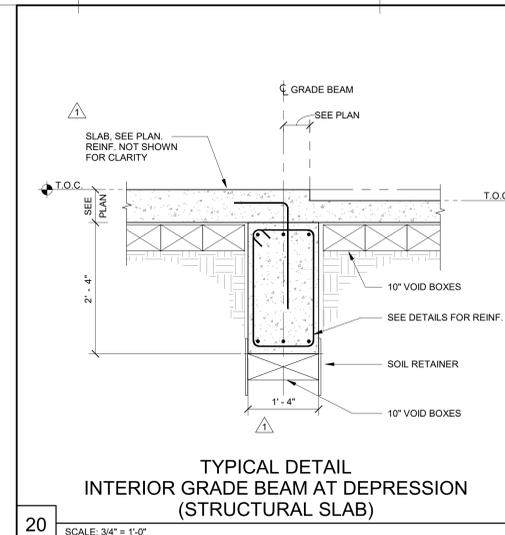
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ROSENBERG, TX 77471



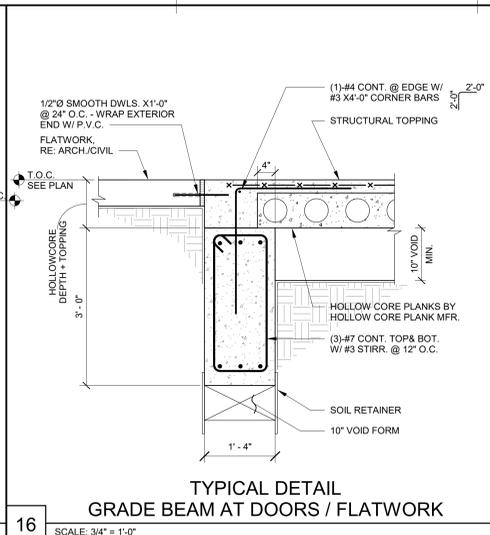
PROJECT NO.	24-028	
DATE	01/14/2025	
DRAWN BY:	MR	
CHECKED BY:	CP	
REVISIONS:		
1	01/14/2025	ADDENDUM 1
2	01/14/2025	ADDENDUM 2

100% CONSTRUCTION DOCUMENTS
C7.00
DRAINAGE PLAN

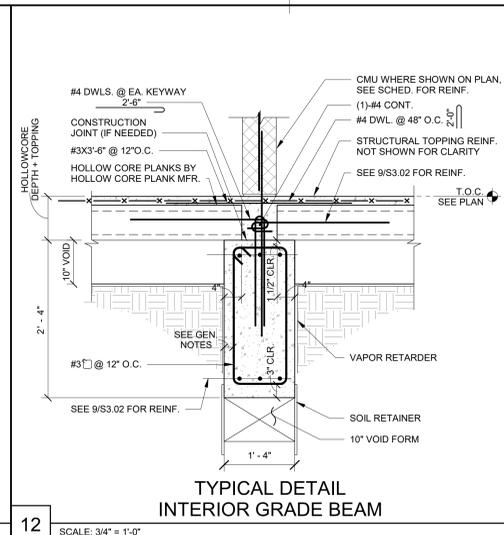




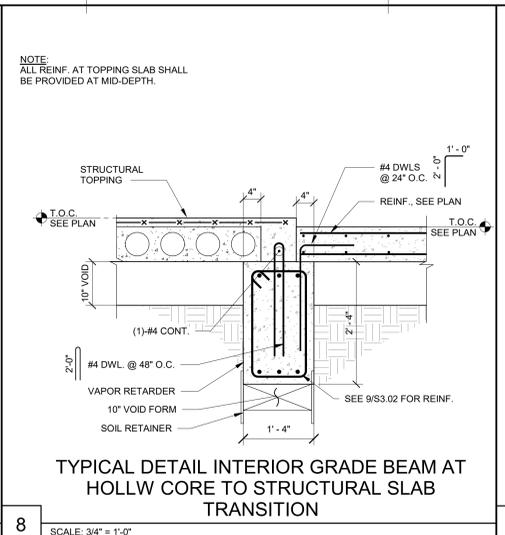
20 TYPICAL DETAIL INTERIOR GRADE BEAM AT DEPRESSION (STRUCTURAL SLAB) SCALE: 3/4" = 1'-0"



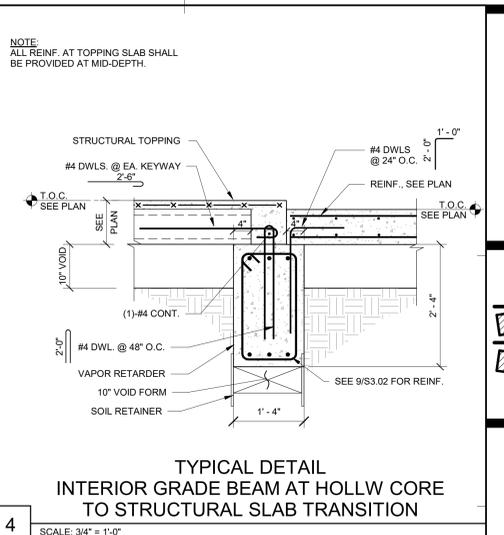
16 TYPICAL DETAIL GRADE BEAM AT DOORS / FLATWORK SCALE: 3/4" = 1'-0"



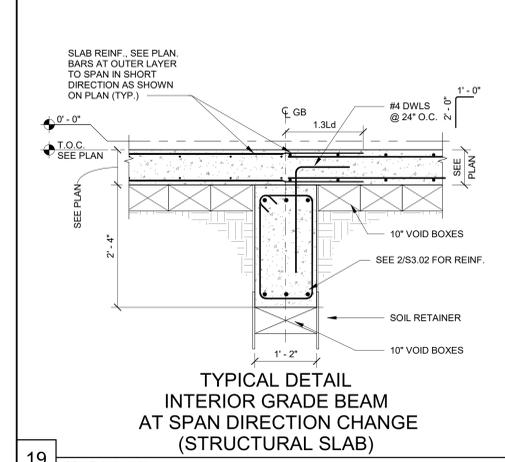
12 TYPICAL DETAIL INTERIOR GRADE BEAM SCALE: 3/4" = 1'-0"



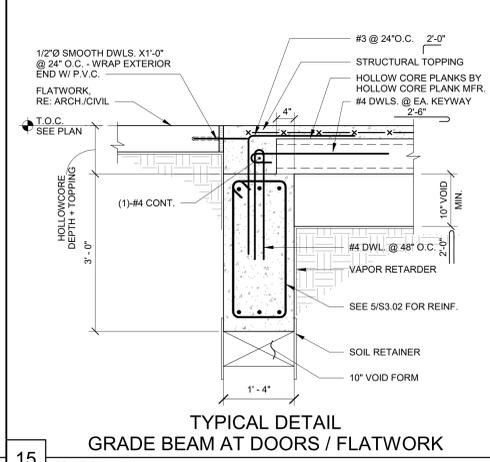
8 TYPICAL DETAIL INTERIOR GRADE BEAM AT HOLLOW CORE TO STRUCTURAL SLAB TRANSITION SCALE: 3/4" = 1'-0"



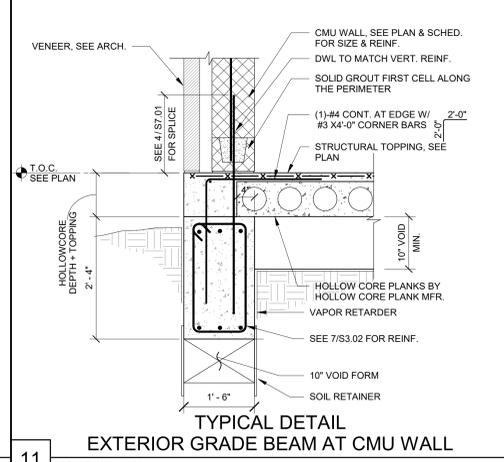
4 TYPICAL DETAIL INTERIOR GRADE BEAM AT HOLLOW CORE TO STRUCTURAL SLAB TRANSITION SCALE: 3/4" = 1'-0"



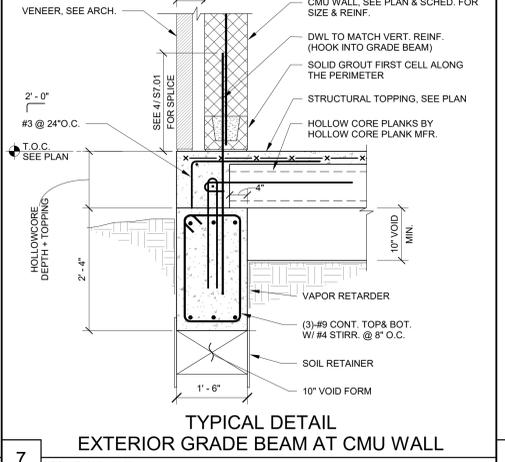
19 TYPICAL DETAIL INTERIOR GRADE BEAM AT SPAN DIRECTION CHANGE (STRUCTURAL SLAB) SCALE: 3/4" = 1'-0"



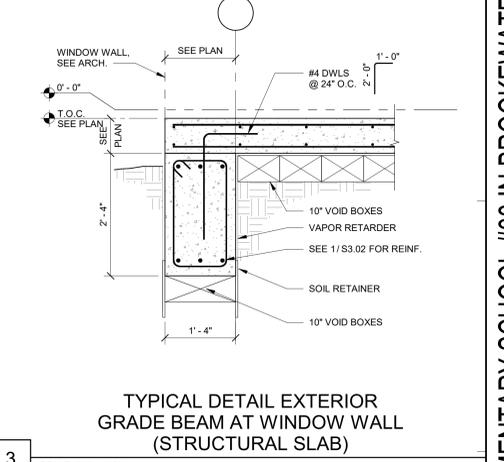
15 TYPICAL DETAIL GRADE BEAM AT DOORS / FLATWORK SCALE: 3/4" = 1'-0"



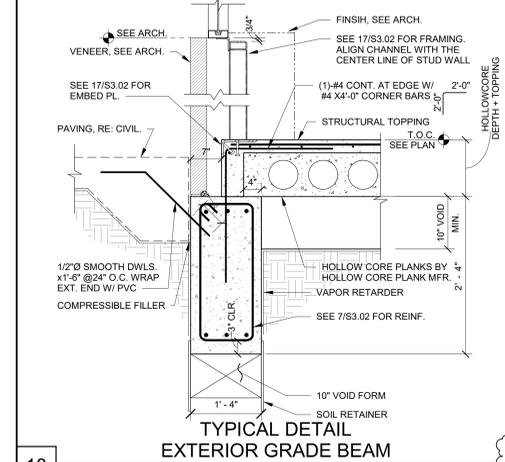
11 TYPICAL DETAIL EXTERIOR GRADE BEAM AT CMU WALL SCALE: 3/4" = 1'-0"



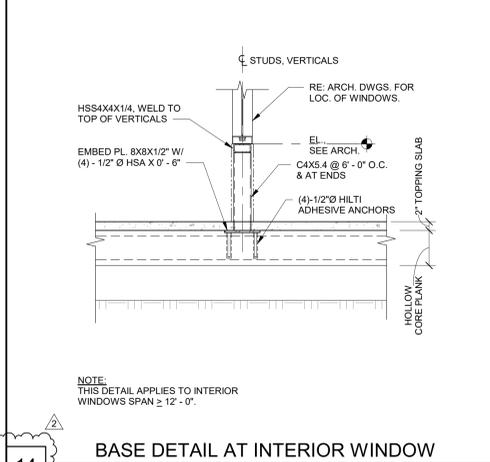
7 TYPICAL DETAIL EXTERIOR GRADE BEAM AT CMU WALL SCALE: 3/4" = 1'-0"



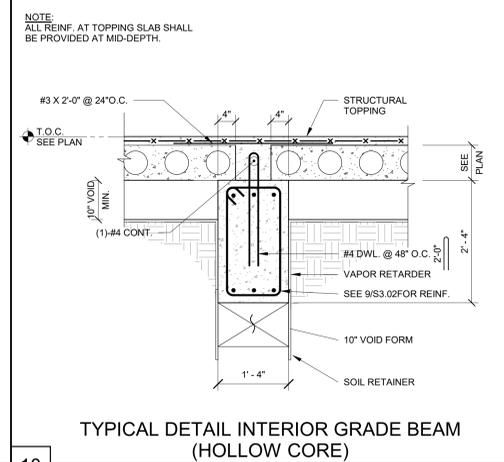
3 TYPICAL DETAIL EXTERIOR GRADE BEAM AT WINDOW WALL (STRUCTURAL SLAB) SCALE: 3/4" = 1'-0"



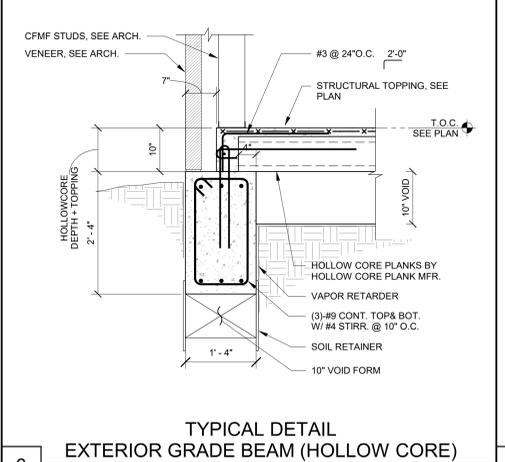
18 TYPICAL DETAIL EXTERIOR GRADE BEAM SCALE: 3/4" = 1'-0"



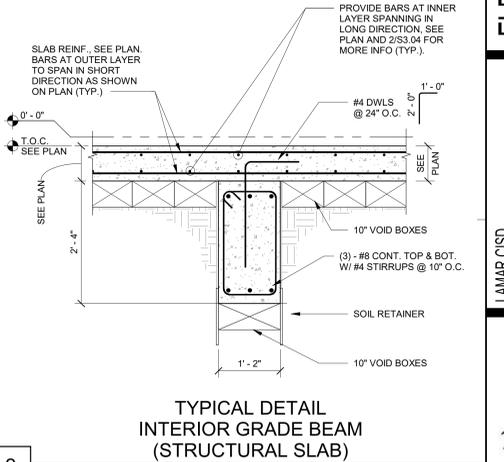
14 BASE DETAIL AT INTERIOR WINDOW SCALE: N.T.S.



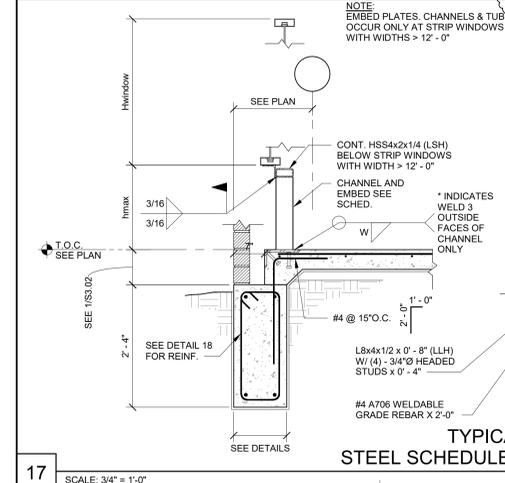
10 TYPICAL DETAIL INTERIOR GRADE BEAM (HOLLOW CORE) SCALE: 3/4" = 1'-0"



6 TYPICAL DETAIL EXTERIOR GRADE BEAM (HOLLOW CORE) SCALE: 3/4" = 1'-0"



2 TYPICAL DETAIL INTERIOR GRADE BEAM (STRUCTURAL SLAB) SCALE: 3/4" = 1'-0"



17 TYPICAL DETAIL STEEL SCHEDULE AT STRIP WINDOWS SCALE: 3/4" = 1'-0"

hmax	Hwindow max	CHANNEL	WELD "W"	EMBED	SPACING
1'-4"	4'-6"	C3x3.5	3/16"	TYPE 3	3'-0" O.C.
2'-0"	5'-0"	C3x3.5	3/16"	TYPE 3	2'-0" O.C.
2'-0"	5'-0"	C3x3.5	3/16"	TYPE 2	3'-0" O.C.
2'-0"	5'-0"	C3x3.5	3/16"	TYPE 2	2'-6" O.C.
2'-6"	7'-0"	C3x3.5	3/16"	TYPE 2	2'-0" O.C.
3'-0"	10'-0"	C4x4.5	3/16"	TYPE 1	4'-0" O.C.
3'-0"	15'-0"	C4x5.4	3/16"	TYPE 1	3'-0" O.C.
3'-0"	18'-0"	C4x5.4	3/16"	TYPE 1	2'-6" O.C.
4'-0"	13'-0"	C4x5.4	3/16"	TYPE 1	2'-6" O.C.
4'-0"	17'-0"	C5x6.7	1/4"	TYPE 1	2'-0" O.C.

NOTE: EMBED PLATES, CHANNELS & TUBES OCCUR ONLY AT STRIP WINDOWS WITH WIDTHS > 12'-0"

CONT. HSS4x2x1/4 (LSH) BELOW STRIP WINDOWS WITH WIDTH > 12'-0"

CHANNEL AND EMBED SEE SCHED.

* INDICATES WELD 3 OUTSIDE FACES OF CHANNEL ONLY

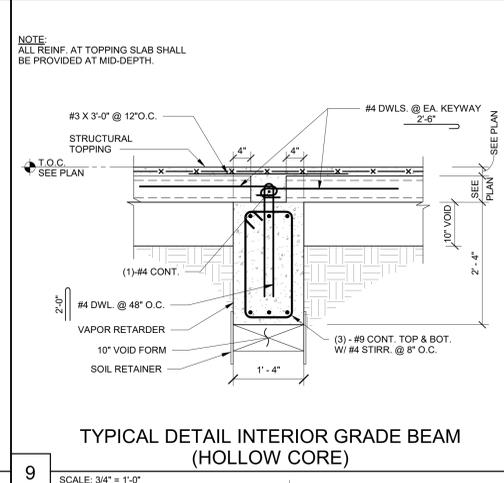
L8x4x1/2 x 0'-8" (LLH) W/ #4 3/4" DIA HEADED STUDS x 0'-4"

#4 A706 WELDABLE GRADE REBAR x 2'-0"

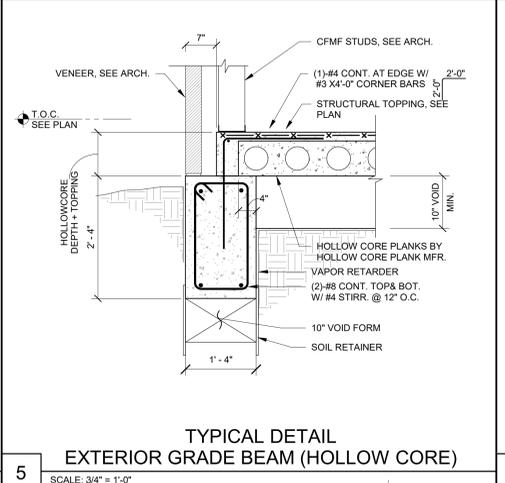
TYPE 1 EMBED

TYPE 2 EMBED

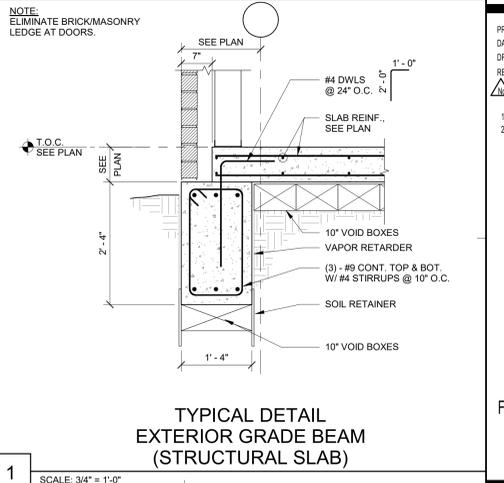
TYPE 3 PLATE AND EPOXY



9 TYPICAL DETAIL INTERIOR GRADE BEAM (HOLLOW CORE) SCALE: 3/4" = 1'-0"



5 TYPICAL DETAIL EXTERIOR GRADE BEAM (HOLLOW CORE) SCALE: 3/4" = 1'-0"



1 TYPICAL DETAIL EXTERIOR GRADE BEAM (STRUCTURAL SLAB) SCALE: 3/4" = 1'-0"

pfluger
 office: 713.222.1141 | fax: 713.222.1174
 2 Greenway Plaza #800 Houston, Texas 77046 pflugerarchitects.com

ELEMENTARY SCHOOL #38 IN BROOKEWATER
 522 BROOKEWATER BLVD ROSENBERG, TX 77471

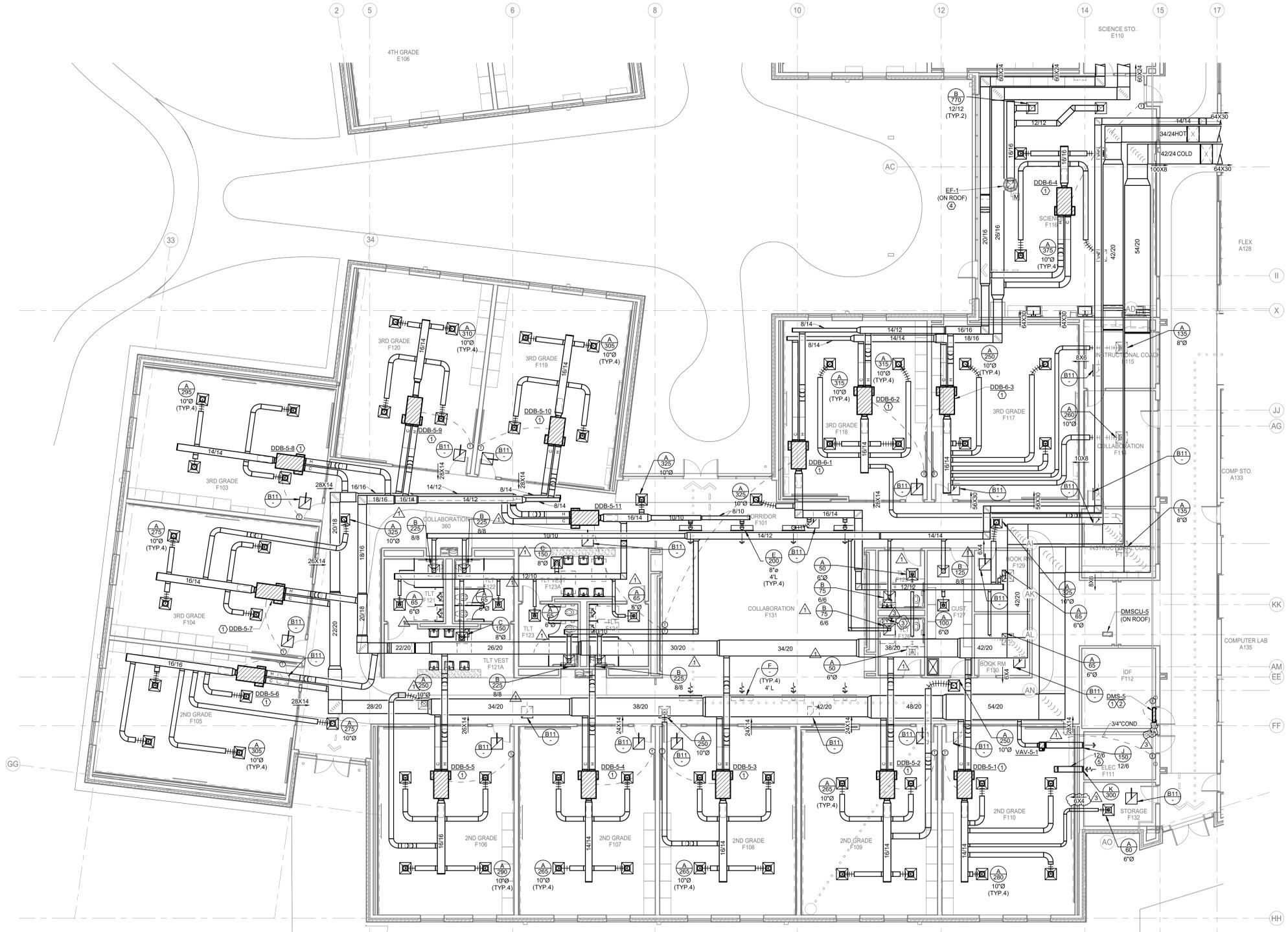
LAMAR CISD
 3911 AVENUE I ROSENBERG, TX 77471

Matrix Structural Engineers
 TBP# Firm Registration No. F-2640

STATE OF TEXAS
 KHALIL TABAKA
 12175
 PROFESSIONAL SEAL
 01/14/2025

PROJECT NO. 24-028
 DATE: 12/12/2024
 DRAWN BY: KN CHECKED BY: KT
 REVISIONS:
 1 01/10/2025 Addendum #2
 2 01/14/2025 Addendum #3

100% CONSTRUCTION DOCUMENTS
S3.02
 FOUNDATION DETAILS

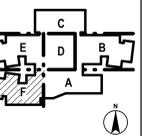


MECHANICAL GENERAL NOTES:

- COORDINATE IN THE FIELD THE EXACT LOCATION OF MECHANICAL EQUIPMENT WITH CONTRACTOR AND ALL TRADES.
- SENSORS SHALL BE MOUNTED AT 48" AFF (ABOVE FINISHED FLOOR), UNLESS OTHERWISE NOTED.
- MECHANICAL CONTRACTOR SHALL COORDINATE WITH THE ELECTRICAL CONTRACTOR FOR ALL ELECTRICAL POWER REQUIREMENTS.
- THESE CONSTRUCTION DRAWINGS ARE DIAGRAMMATIC AND DO NOT NECESSARILY REFLECT ACTUAL DIMENSIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND COORDINATE PLACEMENT OF ALL EQUIPMENT AND ROUTING OF ALL PIPING AND/OR HVAC SYSTEMS.

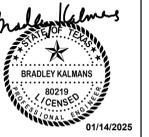
MECHANICAL KEYED NOTES

- VERIFY SERVICE CLEARANCES WITH EQUIPMENT MANUFACTURER. COORDINATE WITH ALL TRADES NOT TO OBSTRUCT.
- ROUTE REFRIGERANT LINES TO ASSOCIATED CONDENSING UNIT ON ROOF. SIZE LINES PER MANUFACTURER'S RECOMMENDATION.
- ROUTE CONDENSATE PIPE AT SIZE INDICATED TO WYE TAIL PIECE. REFER TO PLUMBING DRAWINGS.
- ROUTE EXHAUST AIR DUCTWORK AT SIZE INDICATED UP TO EXHAUST FAN ON ROOF. TRANSITION AS REQUIRED TO CONNECT TO FAN ON ROOF.
- PROVIDE INTERNALLY INSULATED RETURN AIR ELBOW.



ELEMENTARY SCHOOL #38 IN BROOKWATER

LAMAR CISD
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ROSENBERG, TX 77471

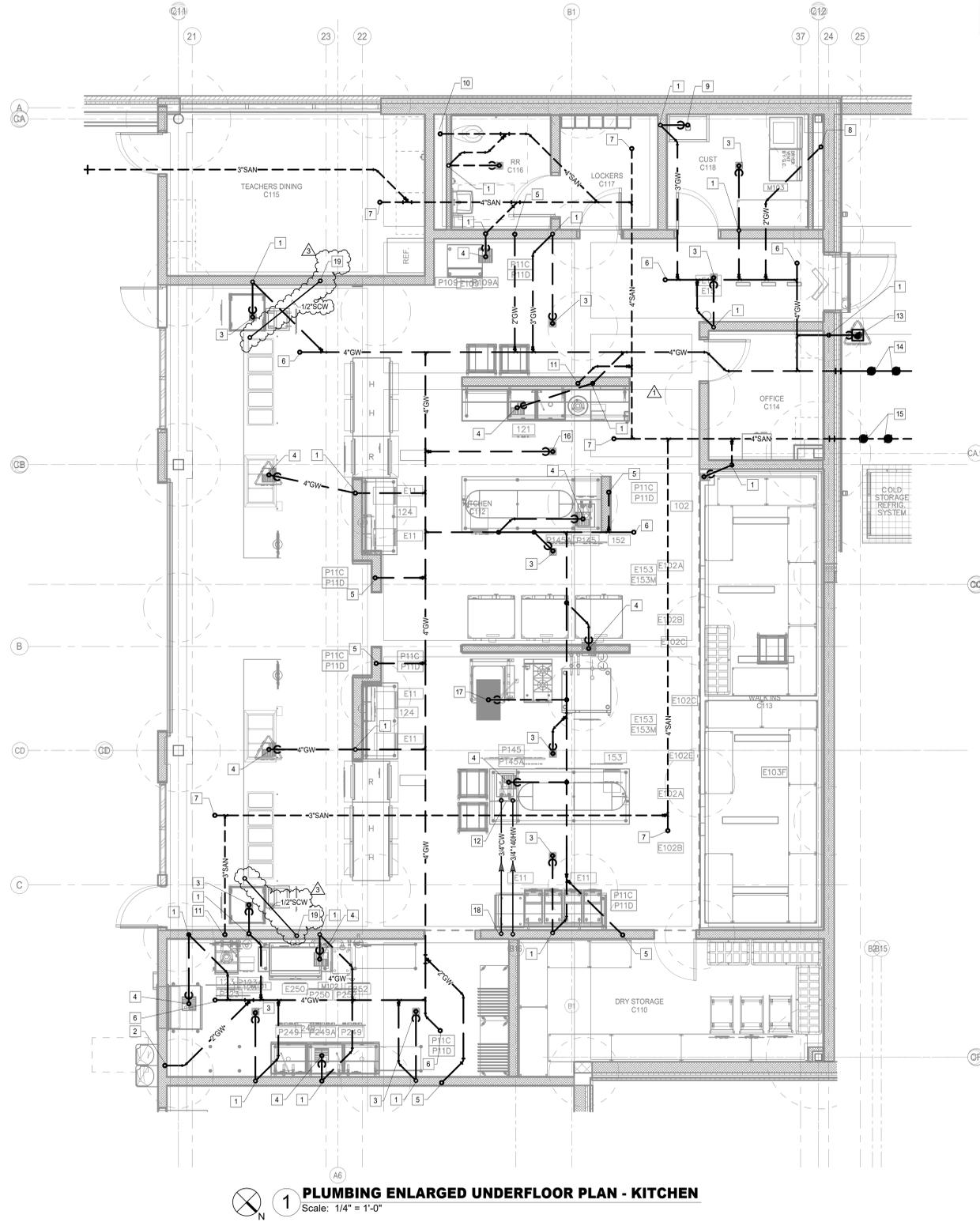


PROJECT NO.	34-008
DATE	2024/12/12
DRAWN BY: AA	CHECKED BY: SH
REVISIONS:	
1	12/20/2024 Addendum 1
3	01/14/2025 Addendum 3

100% CONSTRUCTION DOCUMENTS
M2.01F
MECHANICAL 01 FLOOR
PLAN - AREA F

1 MECHANICAL 01 FLOOR PLAN - AREA F
Scale: 1/8" = 1'-0"

Salas O'Brien
Houston
10930 W. Sam Houston Pkwy North, Suite 900
Houston, TX 77064
Salas O'Brien Registration: F-4111
Salas O'Brien Project Number: 2024-02562-00



1 PLUMBING ENLARGED UNDERFLOOR PLAN - KITCHEN
Scale: 1/4" = 1'-0"

FOOD SERVICE PLUMBING SCHEDULE						
REFER TO SHEET QP1 FOR PLUMBING COORDINATION NOTES						
FDP PNO	FDP PSIZE	FDP PCONN	FDP PSERVICE TO	FDP PLOC	FDP PFAFF	FDP PREMARKS
P5	3/4"	H & C WATER	JANITOR SINK	WALL	48"	VERIFY
P6	4"	FLOOR DRAIN	JANITOR SINK	FLOOR	48"	JANITOR SINK BY PLUMBER
P7	3/4"	H & C WATER	HOSE BIBB	WALL	18"	BTC
P7A	3/4"	H & C WATER	FREEZE PROOF HOSE BIBB	WALL	48"	BTC; PROVIDED BY DIV. 22
P10	VERIFY	FLOOR DRAIN	GENERAL AREA DRAIN	FLOOR	VERIFY	LOCATE PER ENGINEER'S DRAWING
P11C	1/2"	H & C WATER	FAUCET	WALL	18"	FURNISHED & INSTALLED BY DIV. 22
P11D	1 1/2"	DIRECT DRAIN	HAND SINK	WALL	15"	FURNISHED & INSTALLED BY DIV. 22
P12	1/2"SQ	FLOOR SINK	EQUIPMENT	FLOOR	0"	3/4 GRATE
P14	1/2"	COLD WATER	FILL FAUCET	FLOOR	0"	BTC; CAP FOR FUTURE
P15	4"	FLOOR DRAIN	FUNNEL FLOOR DRAIN	FLOOR	0"	---
P25A	3"	FLOOR DRAIN	CAN WASH	FLOOR	14"	LOCATE PER ENGINEER'S DRAWING
P109	3/4"	COLD WATER	WATER ICE	WALL	60"	BTC
P109A	1/2" SQ	FLOOR SINK	ICE MACHINE	FLOOR	0"	3/4 GRATE
P110	3/4"	H & C WATER	CLOTHES WASHER	WALL	48"	BTC; VALVE BOX
P110A	2"	DIRECT DRAIN	CLOTHES WASHER	WALL	48"	VALVE BOX
P121	3/4"	H & C WATER	FAUCET	WALL	13"	BTC
P121A	1/2" SQ	FLOOR SINK	SINK	FLOOR	0"	3/4 GRATE
P123	3/4"	H & C WATER	FAUCET/DISPOSER	WALL	13"	BTC
P123A	2"	DIRECT DRAIN	DISPOSER	WALL	10"	BTC
P145	3/4"	H & C WATER	FAUCET	FLOOR	10"	BTC
P145A	1/2" SQ	FLOOR SINK	SINK	FLOOR	0"	3/4 GRATE
P161	(2)3/4"	NATURAL GAS	CONVECTION OVEN	WALL	18"36"	BTC; 60 MBTUHR EACH
P163	4"	HUB DRAIN	TRENCH LINER	FLOOR	0"	BTC; CRITICAL LOCATION
P163A	3/4"	NATURAL GAS	TLT BRAISING PAN	WALL	18"	BTC; 104 MBTUHR
P163B	3/4"	H & C WATER	TLT BRAISING PAN	WALL	36"	BTC
P165	1"	NATURAL GAS	RANGE	WALL	18"	BTC; 90 MBTUHR
P165A	3/4"	H & C WATER	RANGE	WALL	18"	BTC
P172	(2)3/4"	COLD WATER	COMBI OVEN	WALL	24"48"	BTC; INTERCONNECT THRU FILTERS
P172A	(2)3/4"	COLD WATER	COMBI OVEN	WALL	24"48"	BTC
P172B	1/2" SQ	FLOOR SINK	EQUIPMENT	FLOOR	0"	3/4 GRATE
P172C	(2)3/4"	NATURAL GAS	COMBI OVEN	WALL	18"36"	BTC; 105 MBTUHR EACH
P249	3/4"	H & C WATER	FAUCET	WALL	13"	BTC
P249A	1/2" SQ	FLOOR SINK	SINK	FLOOR	0"	THREE QUARTER GRATE
P250	1/2" SQ	FLOOR SINK	BOOSTER/DISHMACHINE	FLOOR	0"	BTC
P252	3/4"	HOT WATER	BOOSTER HEATER	WALL	18"	EXT. THRU W. FILTER TO BOOSTER/DISH MACHINE - 140DEG MIN.

- PLUMBING KEYED NOTES**
- 2" VENT UP
 - 2" SANITARY FROM ELECTRONIC DRINKING FOUNTAIN ABOVE.
 - 3" GREASE WASTE FROM FLOOR DRAIN ABOVE.
 - 4" GREASE WASTE FROM FLOOR CLEANOUT ABOVE.
 - 2" GREASE WASTE FROM HAND SINK ABOVE.
 - 4" GREASE WASTE FROM FLOOR CLEANOUT ABOVE.
 - 4" SANITARY FROM CLEANOUT ABOVE.
 - 2" GREASE FROM WASHER ABOVE.
 - 3" GREASE WASTE FROM MOP SINK ABOVE.
 - 4" SANITARY FROM WATER CLOSET ABOVE.
 - 3" SANITARY FROM ABOVE.
 - 3/4" CW AND HW UP
 - 4" SANITARY FROM FLOOR DRAIN ABOVE.
 - 4" GREASE WASTE FROM TWO-WAY CLEANOUT ABOVE.
 - 3" SANITARY FROM FLOOR DRAIN ABOVE.
 - 4" SANITARY FROM TWO-WAY CLEANOUT ABOVE.
 - 3" SANITARY FROM ABOVE.
 - 4" GREASE WASTE FROM ABOVE.
 - 1/2" CW FROM ABOVE SLAB TO SERVE FILL FAUCET AND CAP FOR FUTURE. PROVIDE 2" PVC SLEEVE FOR UNDERFLOOR WATER PIPE.

pfluger

ELEMENTARY SCHOOL #38 IN BROOKWATER

Lamar CISD
3911 AVENUE I
ROSENBERG, TX 77471

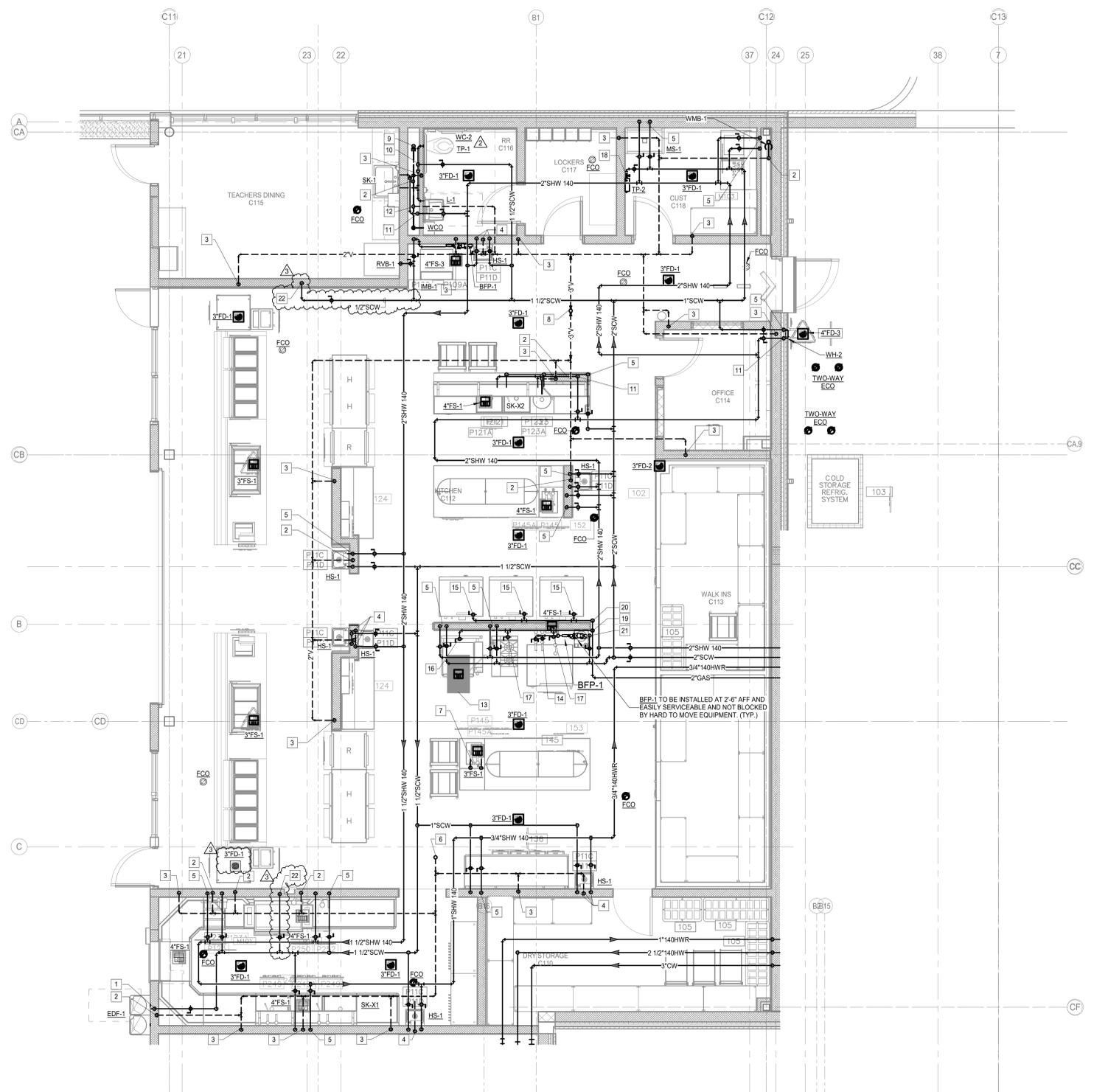
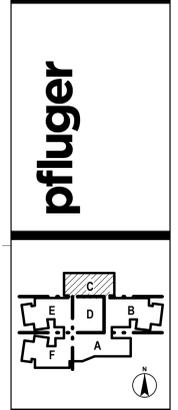
PROJECT NO. 24-028
DATE: 2024/12/12
DRAWN BY: PG
CHECKED BY: EH
REVISIONS:
1 12/20/2024 Addendum 1
3 01/14/2025 Addendum 3

100% CONSTRUCTION DOCUMENTS
P4.02
PLUMBING ENLARGED UNDERFLOOR PLAN - KITCHEN

Salas O'Brien
Houston
10930 W. Sam Houston Pkwy North, Suite 900
Houston, TX 77064
Salas O'Brien Registration: F-4111
Salas O'Brien Project Number: 2024-02562-00

FOOD SERVICE PLUMBING SCHEDULE						
REFER TO SHEET 01 FOR PLUMBING COORDINATION NOTES						
FDP PNO	FDP PSIZE	FDP PCONN	FDP PSERVICE TO	FDP PLOC	FDP PAFF	FDP PREMARKS
P5	3/4"	H & C WATER	JANITOR SINK	WALL	48"	LOCATED PER ENGINEER'S DRAWING
P6	4"	FLOOR DRAIN	JANITOR SINK	FLOOR	VERIFY	JANITOR SINK BY PLUMBER
P7	3/4"	H & C WATER	HOSE BIBB	WALL	18"	BTIC
P7A	3/4"	H & C WATER	FREEZE PROOF HOSE BIBB	WALL	48"	BTIC; PROVIDED BY DIV. 22
P10	VERIFY	FLOOR DRAIN	GENERAL AREA DRAIN	FLOOR	VERIFY	LOCATE PER ENGINEER'S DRAWING
P11C	1 1/2"	H & C WATER	FAUCET	WALL	18"	FURNISHED & INSTALLED BY DIV. 22
P11D	1 1/2"	DIRECT DRAIN	HAND SINK	WALL	15"	FURNISHED & INSTALLED BY DIV. 22
P12	12"SQ	FLOOR SINK	EQUIPMENT	FLOOR	0"	3/4 GRATE
P14	1/2"	COLD WATER	FILL FAUCET	FLOOR	0"	BTIC; CAP FOR FUTURE
P15	4"	FLOOR DRAIN	FUNNEL FLOOR DRAIN	FLOOR	0"	---
P15A	3"	FLOOR DRAIN	CAN WASH	FLOOR	11"	LOCATE PER ENGINEER'S DRAWING
P15B	3"	COLD WATER	WATER ICE	WALL	60"	BTIC
P15C	3"	FLOOR SINK	ICE MACHINE	FLOOR	0"	3/4 GRATE
P15D	3"	H & C WATER	CLOTHES WASHER	WALL	48"	BTIC; VALVE BOX
P15E	2"	INDIRECT DRAIN	CLOTHES WASHER	WALL	48"	VALVE BOX
P121	3/4"	H & C WATER	FAUCET	WALL	13"	BTIC
P121A	12" SQ	FLOOR SINK	SINK	FLOOR	0"	3/4 GRATE
P123	3/4"	H & C WATER	FAUCET / DISPOSER	WALL	13"	BTIC
P123A	2"	DIRECT DRAIN	DISPOSER	WALL	10"	BTIC
P145	3/4"	H & C WATER	FAUCET	FLOOR	10"	BTIC
P145A	12" SQ	FLOOR SINK	SINK	FLOOR	0"	3/4 GRATE
P161	2 3/4"	NATURAL GAS	CONNECTION OVEN	WALL	18"36"	BTIC; 60 MBTUHR EACH
P163	4"	HUB DRAIN	TRENCH DRAIN	FLOOR	0"	BTIC; CRITICAL LOCATION
P163A	3/4"	NATURAL GAS	TILT BRAISING PAN	WALL	18"	BTIC; 104 MBTUHR
P163B	3/4"	H & C WATER	TILT BRAISING PAN	WALL	36"	BTIC
P165	1"	NATURAL GAS	RANGE	WALL	18"	BTIC; 90 MBTUHR
P165A	3/4"	H & C WATER	RANGE	WALL	18"	BTIC
P172	2 3/4"	COLD WATER	COMB OVEN	WALL	24"48"	BTIC; INTERCONNECT THRU FILTERS
P172A	2 3/4"	COLD WATER	COMB OVEN	WALL	24"48"	BTIC
P172B	12" SQ	FLOOR SINK	EQUIPMENT	FLOOR	0"	3/4 GRATE
P172C	2 3/4"	NATURAL GAS	COMB OVEN	WALL	18"36"	BTIC; 105 MBTUHR EACH
P249	3/4"	H & C WATER	FAUCET	WALL	13"	BTIC
P249A	12" SQ	FLOOR SINK	SINK	FLOOR	0"	THREE QUARTER GRATE
P250	12" SQ	FLOOR SINK	BOOSTER / DISH MACHINE	FLOOR	0"	BTIC
P252	3/4"	HOT WATER	BOOSTER HEATER	WALL	18"	EXT. THRU W. FILTER TO BOOSTER / DISH MACHINE - 140DEG MIN.

- PLUMBING KEYED NOTES**
- 3/4" CW DOWN TO SERVE DRINKING FOUNTAIN.
 - 2" SANITARY DOWN, 2" VENT UP.
 - 2" VENT FROM BELOW.
 - 3/4" CW AND HW DOWN, 2" GREASE WASTE DOWN, 2" VENT UP.
 - 3/4" CW AND HW DOWN.
 - 2" VENT UP TO 4" VTR.
 - 3/4" CW AND HW FROM BELOW.
 - 3" VENT UP TO 4" VTR.
 - 4" SANITARY DOWN.
 - 1-1/2" CW DOWN.
 - 3/4" HW DOWN.
 - 2" VENT UP.
 - TRENCH LINEAR DRAIN PROVIDED BY FOOD SERVICE.
 - 3/4" FILTERED WATER FROM RO FILTER.
 - PRESSURE REGULATOR FROM 5 PSI TO 8 OZ. 120 CFH.
 - PRESSURE REGULATOR FROM 5 PSI TO 8 OZ. 90 CFH.
 - 3/4" CW DOWN TO SERVE PLUMBING FIXTURES.
 - 2" GAS DOWN.
 - PROVIDE SHUTOFF VALVE AND ANSUL VALVE AT 60" A.F.F.
 - 3/4" CW DOWN.
 - 1 1/2" CW DOWN TO BELOW SLAB TO SERVE FILL FAUCET.



1 PLUMBING ENLARGED FLOOR PLAN - KITCHEN
Scale: 1/4" = 1'-0"

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Salas O'Brien Registration: F-4111
Salas O'Brien Project Number: 2024-02562-00

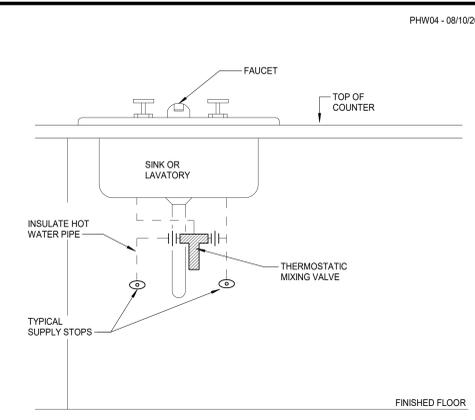
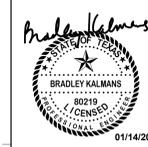
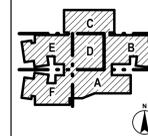
ELEMENTARY SCHOOL #38 IN BROOKEWATER

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3911 AVENUE I
ROSENBERG, TX 77471

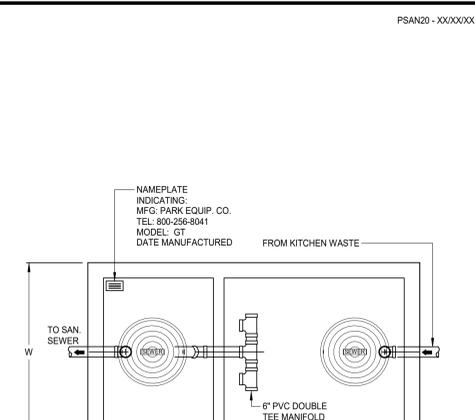


PROJECT NO.	24-028
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1	01/10/2025 Addendum 2
2	01/14/2025 Addendum 3

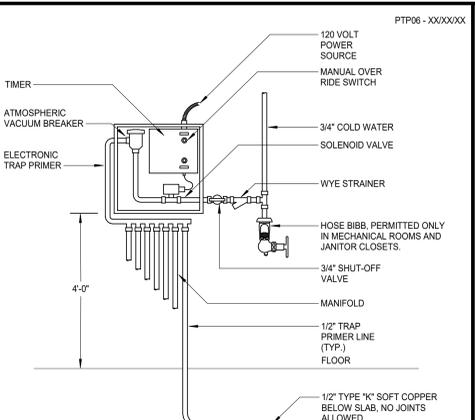
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P4.03
PLUMBING ENLARGED
FLOOR PLAN - KITCHEN



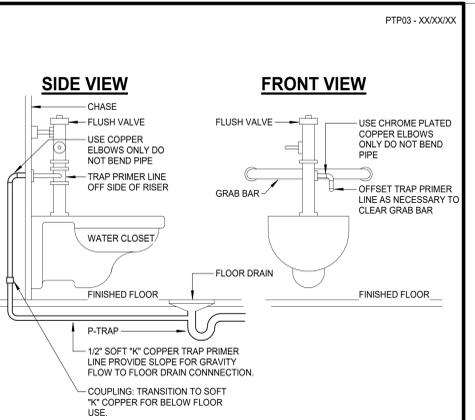
13 THERMOSTATIC MIXING VALVE AT SINK/LAVATORY DUAL TEMPERATURE
SCALE: NONE



9 ELECTRONIC TRAP PRIMER
SCALE: NONE



6 FLUSH VALVE TRAP PRIMER
SCALE: NONE



3 KITCHEN TRENCH WITH FUNNEL DRAIN
SCALE: NONE

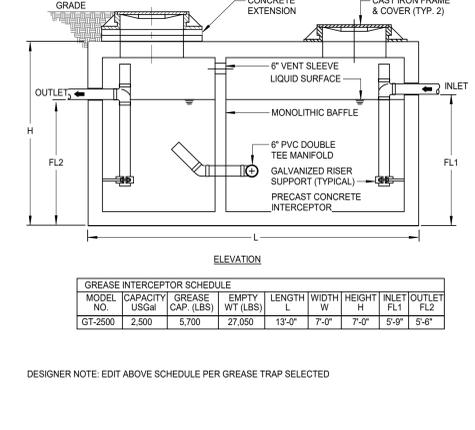
GREASE INTERCEPTOR SIZING (IPC)

FIXTURE TYPE:	TRAP ARM SIZE	FIXTURE UNITS	QUANTITY	CREDIT FACTOR	SUM
FLOOR DRAINS, ETC.	3"	5	11	1.00	55
LAVATORIES	2"	1	7	1.00	7
FLOOR SINKS, ETC.	4"	6	10	1.00	60
MOP SINK	3"	2	1	1.00	2
CLOTHES WASHER (RESIDENTIAL)	2"	2	1	1.00	2
TOTAL FIXTURE UNITS (DFU)					126
MULTIPLY 125 GPM BY TOTAL DFUS					15,750
4" PIPE @ 1/4" SLOPE FULL = 125 GPM					CALCULATION: 225 x 125 =
DIVIDE 115750 BY 216 DFU					72.9
MAX DFU CAPACITY OF 4" PIPE @ 1/4" SLOPE = 216					CALCULATION: 115750 / 216 =
MULTIPLY BY 30 MIN. RETENTION TIME (CAPACITY IN GALLONS)					2,187

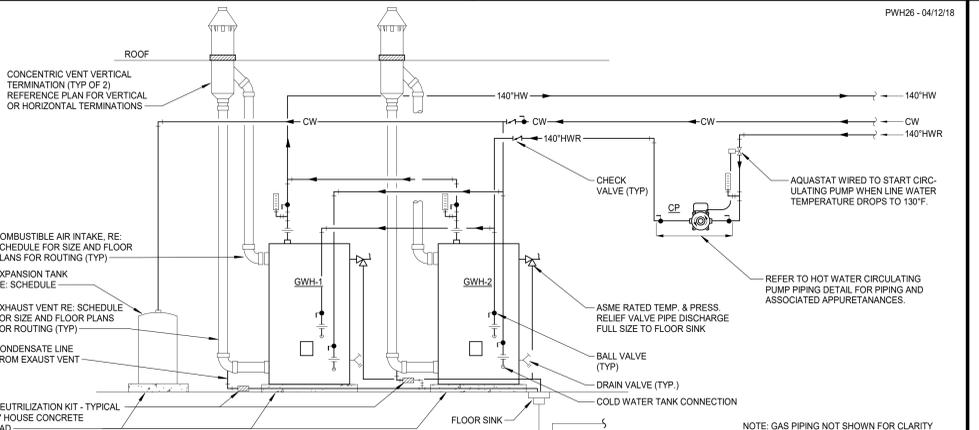
GREASE INTERCEPTOR SCHEDULE

MODEL NO.	CAPACITY USGal	GREASE CAP. (LBS)	EMPTY WT (LBS)	LENGTH L	WIDTH W	HEIGHT H	INLET FL1	OUTLET FL2
GT-2500	2,500	5,700	27,050	13'-0"	7'-0"	7'-0"	5'-9"	5'-6"

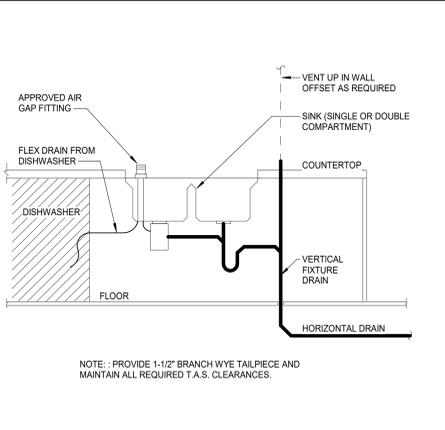
12 GREASE TRAP SIZING CALCULATION (GC-1)
SCALE: NONE



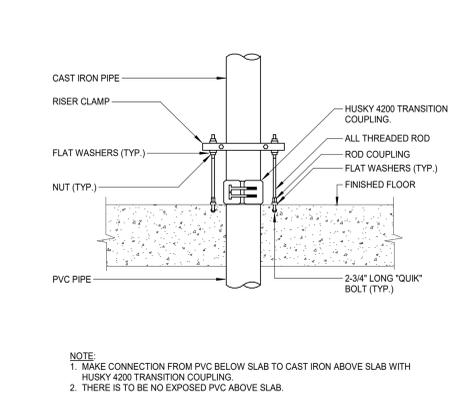
8 GREASE TRAP
SCALE: NONE



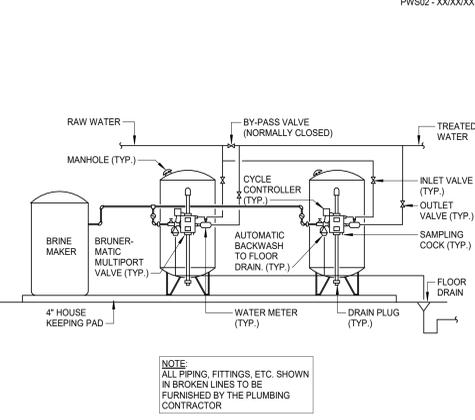
5 DOMESTIC DUPLEX GAS WATER HEATER PIPING
SCALE: NONE



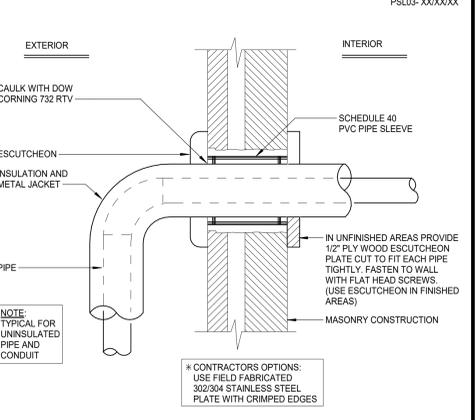
2 DISHWASHER CONNECTION DETAIL
SCALE: NONE



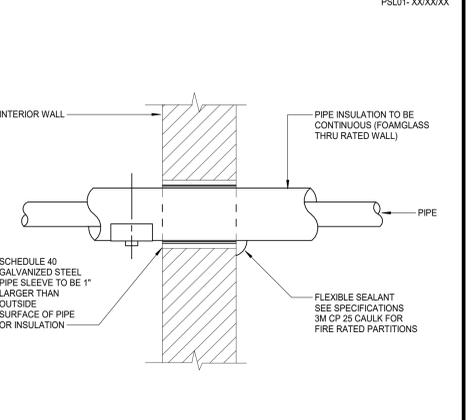
11 CAST IRON TO PVC TRANSITION
SCALE: NONE



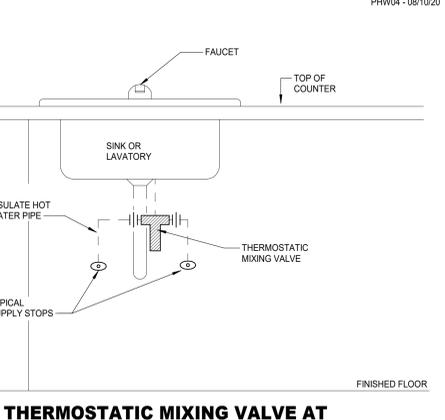
10 DUPLEX WATER SOFTENER DIAGRAM
SCALE: NONE



7 EXTERIOR WALL PENETRATION
SCALE: NONE



4 INTERIOR WALL PENETRATION
SCALE: NONE



1 THERMOSTATIC MIXING VALVE AT SINK/LAVATORY SINGLE TEMPERATURE
SCALE: NONE

TECHNOLOGY GENERAL NOTES:

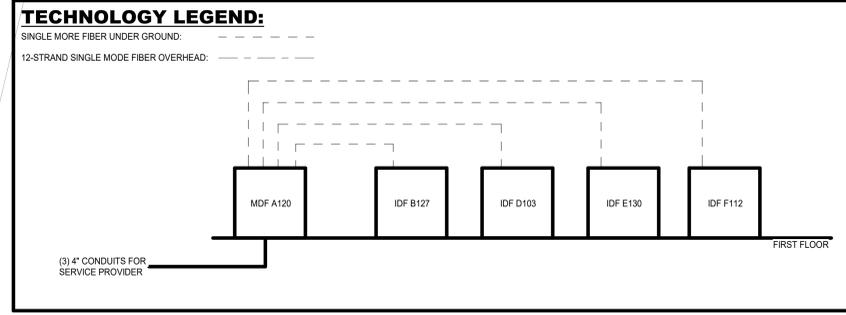
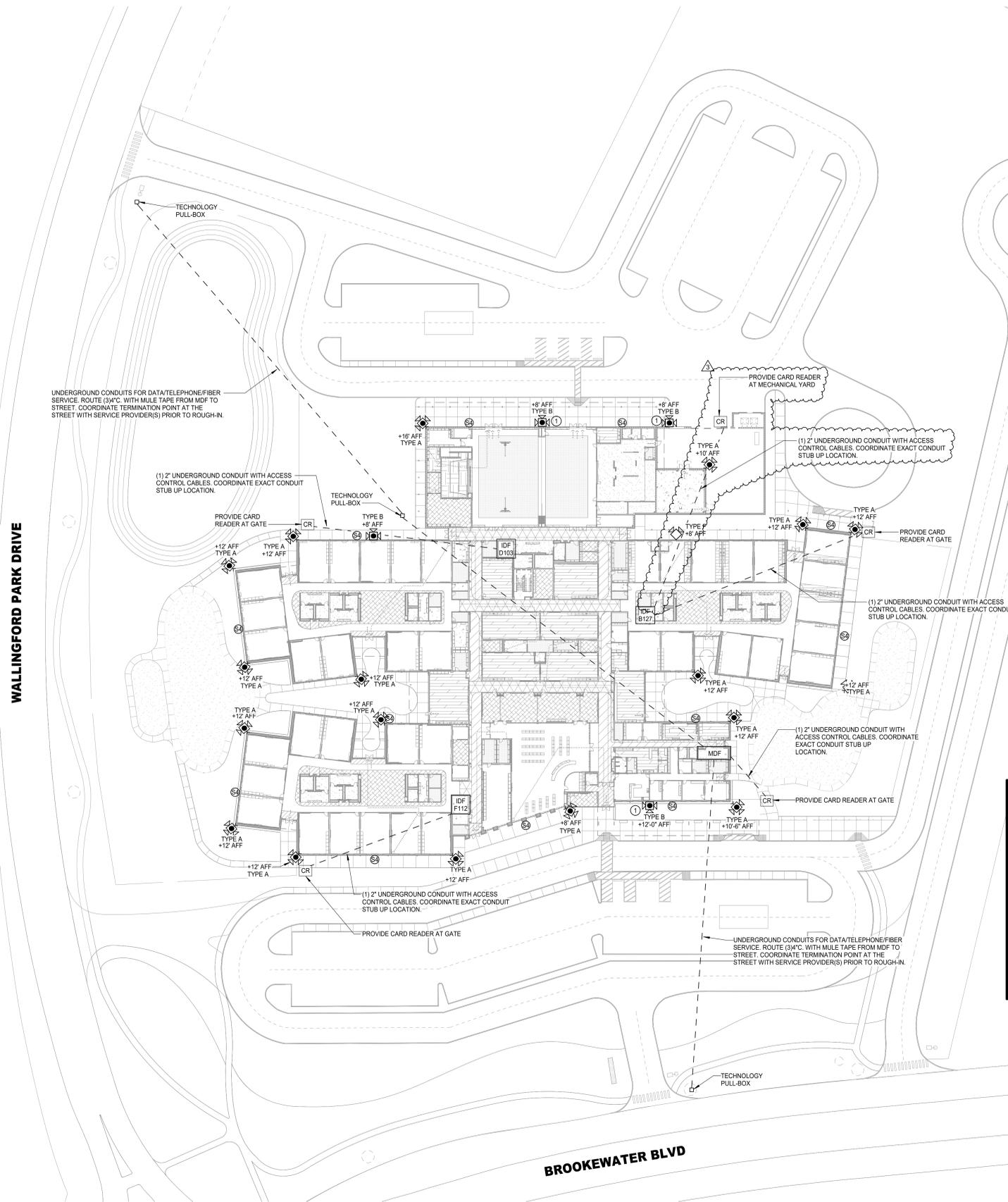
1. CONTRACTOR TO VERIFY FINAL VIEWING ANGLES WITH LCISD IT GROUP.
2. CONTRACTOR TO SEAL BOTH ENDS OF ALL USED AND UNUSED CONDUITS
3. CONDUITS SHALL NOT EXCEED MORE THAN 180 DEGREES IN TOTAL BEND RADIUS AND/OR 250 LINEAR FEET BETWEEN PULL POINTS.
4. CONTRACTOR TO PROVIDE AND INSTALL MAXCELL FABRIC INNERDUCT PACKETS IN ALL SITE CONDUITS, EXCLUDING CONDUITS RESERVED FOR THE SERVICE PROVIDER'S USE. REFERENCE MAXCELL'S CHART AND FURNISH THE MAXIMUM SIZE AND QUANTITY RECOMMENDED BY THE MANUFACTURER. CONTRACTOR TO UTILIZE PULLING SWIVELS FOR INSTALLATION OF ALL MAXCELL INNERDUCTS.
5. CONTRACTOR SHALL PROVIDE A 20-FOOT SERVICE LOOP AT EACH PULL POINT AND A 10' SERVICE LOOP AT EACH FINAL TERMINATION END OF ALL CABLES INSTALLED.
6. CONTRACTOR TO UTILIZE INSTALLATION SWIVELS FOR INSTALLATION OF ALL FABRIC INNERDUCT AND ALL CABLE INSTALLED INSIDE FABRIC INNERDUCT.
7. ALL EXTERIOR CONDUITS SHALL BE RATED FOR OUTDOOR, ABOVE GROUND INSTALLATION AND SHALL BE WATER TIGHT. REFERENCE DIVISION 26 SPECIFICATION FOR CONDUIT REQUIREMENTS
8. CONTRACTOR SHALL SEAL ALL BUILDING PENETRATIONS AS REQUIRED TO ENSURE ALL PENETRATIONS ARE WEATHERPROOF.
9. EXTERIOR CAMERAS TO TERMINATE INSIDE BUILDING, ABOVE CEILING, WITH CONDUIT AND BACK BOX ROUTING OUTSIDE FOR CAMERA. PROVIDE OUTDOOR RATE PATCH CABLES TO CONNECT CAMERA TO DATA OUTLET INSIDE.
10. PROVIDE SURGE PROTECTION FOR ALL EXTERIOR CAMERAS
11. REFERENCE ELECTRICAL SITE PLAN FOR SERVICE CONDUIT ROUTING, PORTABLE BUILDING CONDUIT ROUTING AND ADDITIONAL INFORMATION AND COORDINATION.
12. ALL ENTRANCE CONDUITS SHALL STUB ABOVE THE FINISHED FLOOR AND STUB EVENLY AT +4" AFF. PROVIDE PROTECTIVE BUSHINGS ON ALL CONDUITS AND SEAL ALL USED AND UNUSED UPON COMPLETION OF THE PROJECT.

TECHNOLOGY KEYED NOTES:

- ① INDICATES THE LOCATION OF A SOFFIT MOUNTED CAMERA. CONTRACTOR TO MOUNT CAMERA UNDER CANOPY TO VIEW WALKWAY AND PARKING LOT. PROVIDE ALL MOUNTING ACCESSORIES REQUIRED FOR INSTALLATION. COORDINATE FINAL LOCATION WITH OWNER AND ARCHITECT PRIOR TO INSTALLATION.

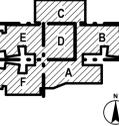
VIDEO SURVEILLANCE NOTES:

1. ALL CAMERAS ARE SHOWN FOR RACEWAY ROUGH-IN AND CATEGORY 6A CABLE INSTALLATION PURPOSES ONLY.
2. CAMERAS SHOWN ARE FOR REFERENCE ONLY. THE CONTRACTOR SHALL BEAR RESPONSIBILITY IN PROVIDING QUANTITIES AS SHOWN ON THE FLOOR PLANS. IF ONE NUMBER IS GREATER THAN ANOTHER, THE CONTRACTOR SHALL REQUEST CLARIFICATION OR PROVIDE THE GREATER QUANTITY IF CLARIFICATION IS NOT OBTAINED.



1 TECHNOLOGY SITE PLAN
 Scale: 1" = 40'-0"

Salas O'Brien
 Houston
 10930 W. Sam Houston Pkwy North, Suite 900
 Houston, TX 77064
 Salas O'Brien Registration: F-4111
 Salas O'Brien Project Number: 2024-02562-00



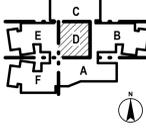
PROJECT NO.	34-008
DATE	2024/12/13
DRAWN BY: MA	CHECKED BY: DCS
REVISIONS:	
3	01/14/2025 Addendum 3

1/14/2025 1:59:33 PM Autodesk Docs://24-028 Lamar CISD - Elementary School #38 Brookewater/ES38 Brookewater_MEPT_R2024.rvt

TECHNOLOGY GENERAL NOTES:
1. CONTRACTOR TO ROUTE DATA ON THIS SHEET TO IDF ROOM D103.

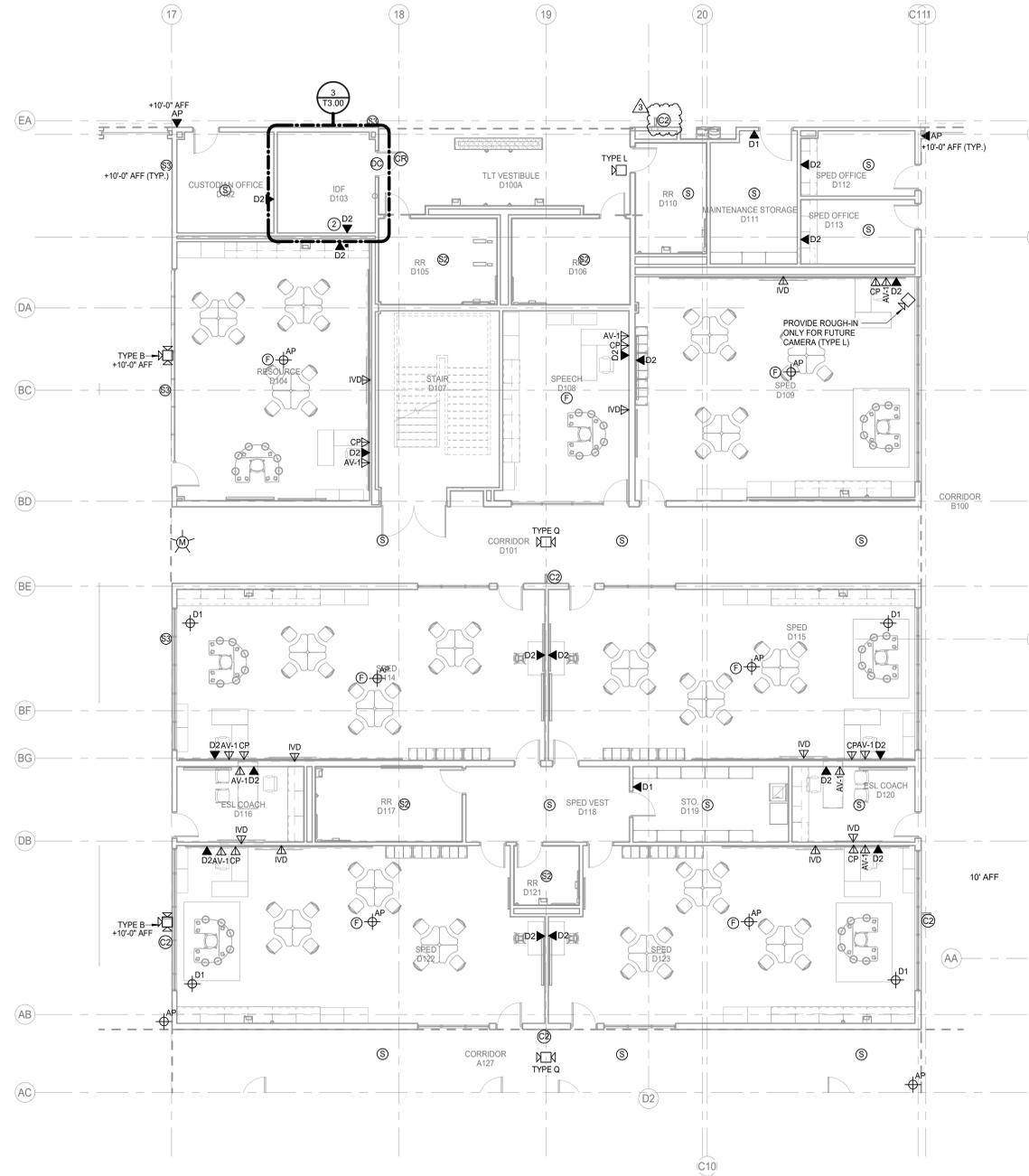
TECHNOLOGY KEYED NOTES:
① COORDINATE BAS DATA OUTLET LOCATION WITH ELECTRICAL CONTRACTOR.
② COORDINATE ACCESS CONTROL PANEL DATA OUTLET WITH SECURITY CONTRACTOR.

pfluger



ELEMENTARY SCHOOL #38 IN BROOKWATER

LAMAR CISD
3911 AVENUE I
ROSENBERG, TX 77471



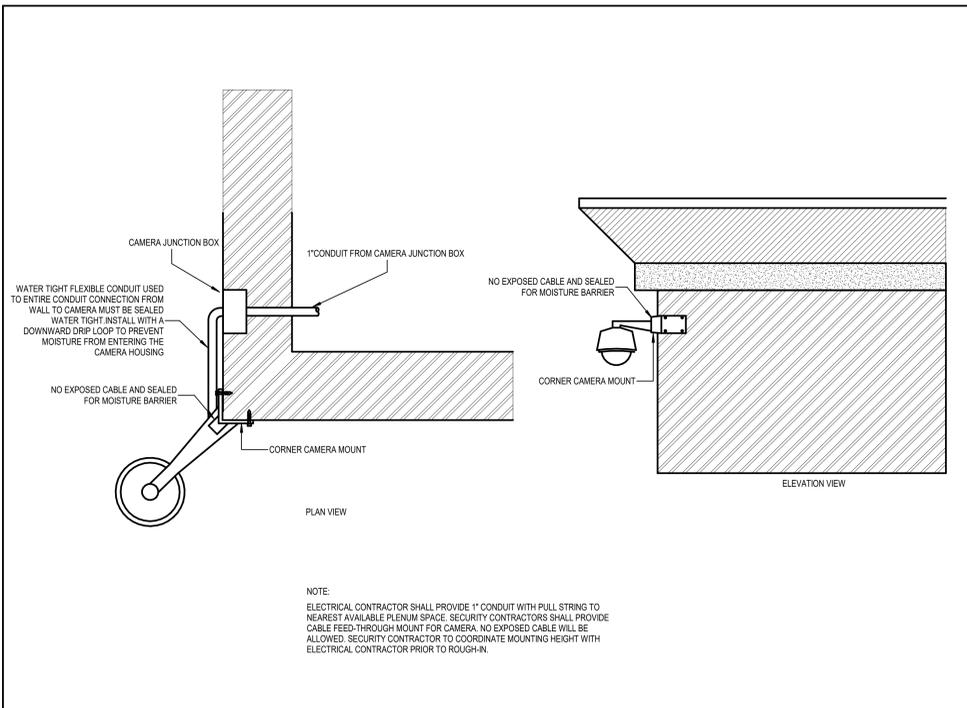
1 TECHNOLOGY 01 FLOOR PLAN - AREA D
Scale: 1/8" = 1'-0"

Salas O'Brien
Houston
10930 W. Sam Houston Pkwy North, Suite 900
Houston, TX 77064
Salas O'Brien Registration: F-4111
Salas O'Brien Project Number: 2024-02562-00

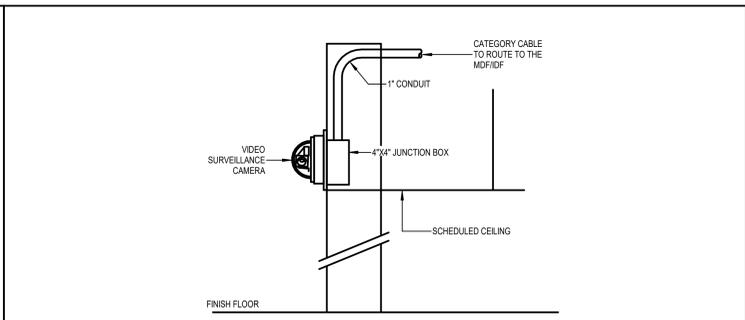
PROJECT NO.	24-028
DATE	2024/12/12
DRAWN BY:	MA
CHECKED BY:	DCS
REVISIONS:	
3	01/14/2025 Addendum 3

100% CONSTRUCTION DOCUMENTS
T2.01D
TECHNOLOGY 01
FLOOR PLAN - AREA D

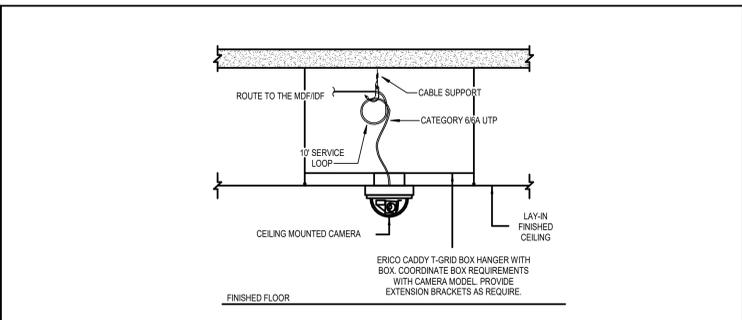
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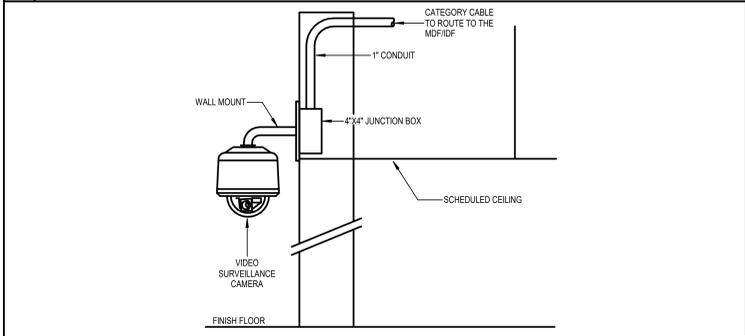
01 CORNER MOUNTING DETAIL NOT TO SCALE



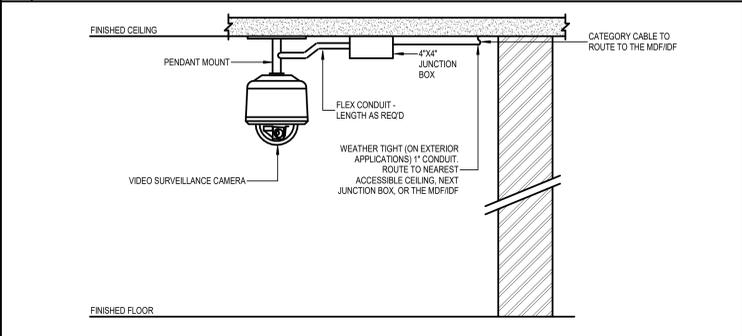
02 INTERIOR WALL MOUNT CAMERA-VERTICAL NOT TO SCALE



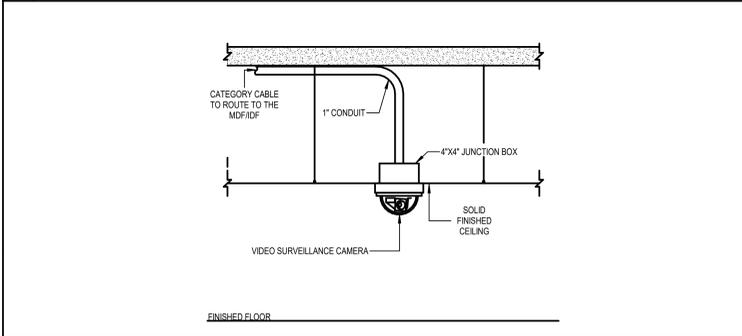
04 INTERIOR LAY-IN CEILING MOUNTED CAMERA NOT TO SCALE



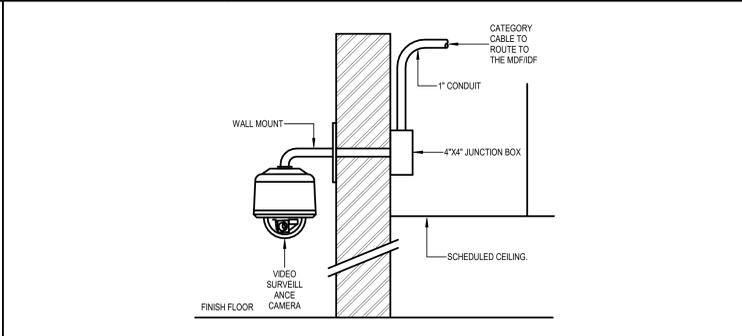
03 INTERIOR WALL MOUNTED DOME CAMERA NOT TO SCALE



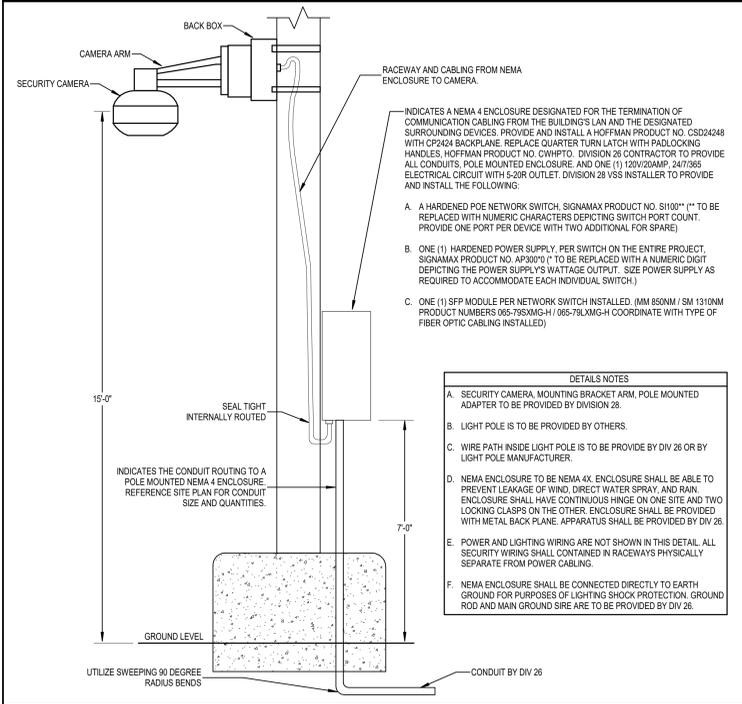
05 EXT./INT. PENDANT MOUNTED DOME CAMERA NOT TO SCALE



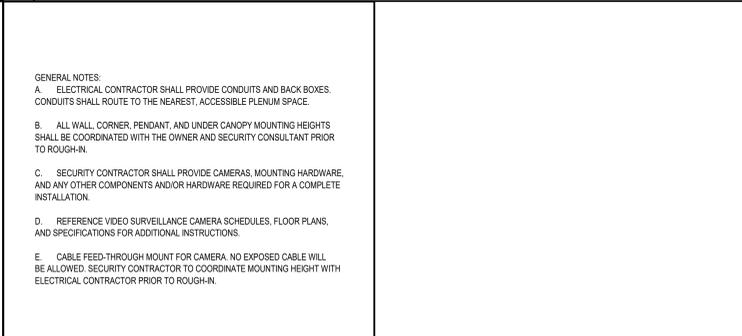
06 EXTERIOR/INTERIOR SOLID CEILING MOUNT CAMERA NOT TO SCALE



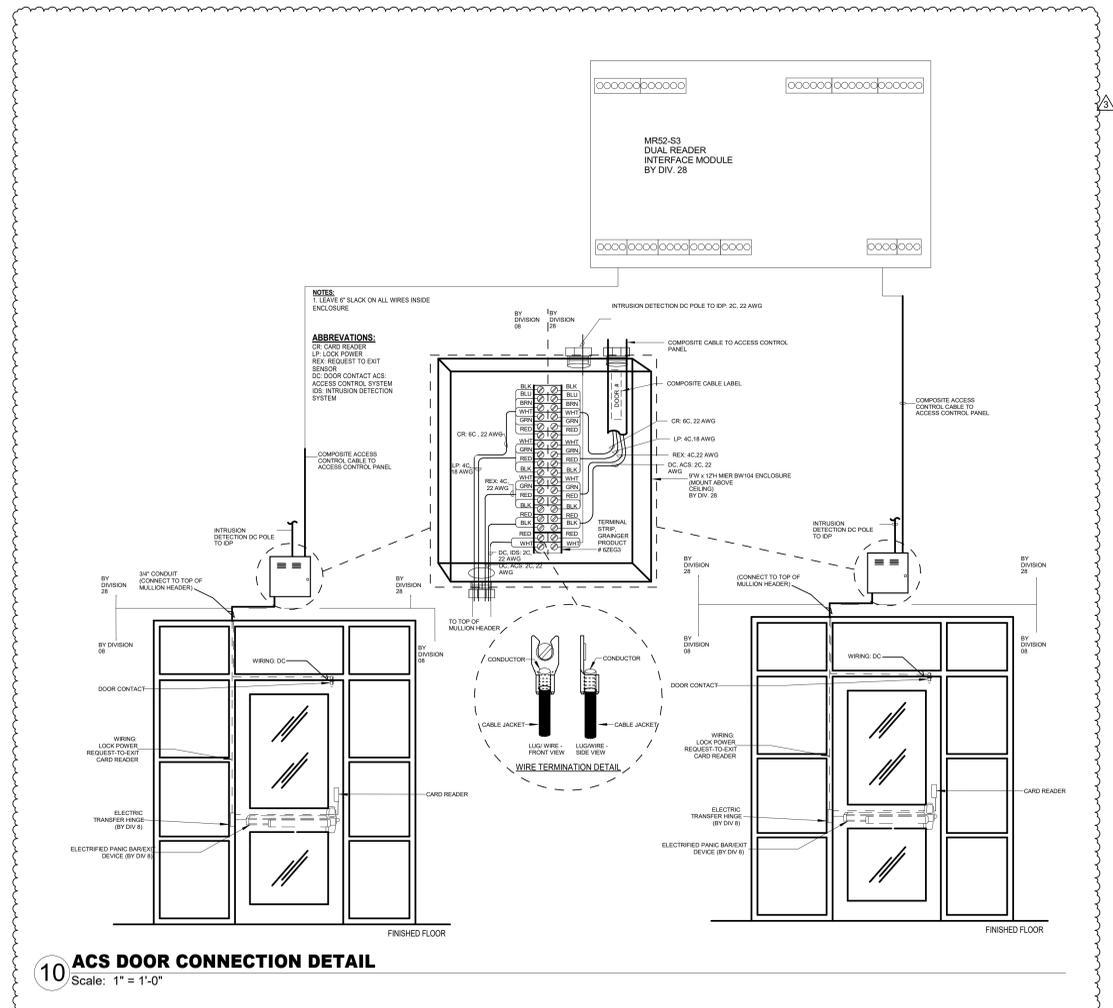
07 EXTERIOR WALL MOUNTED DOME CAMERA NOT TO SCALE



09 EXTERIOR POLE MOUNTED CAMERA NOT TO SCALE



08 NOTES NOT TO SCALE



10 ACS DOOR CONNECTION DETAIL Scale: 1" = 1'-0"

pfluger
 ELEMENTARY SCHOOL #38 IN BROOKEWATER
 LAMAR CISD
 3911 AVENUE I
 ROSENBERG, TX 77471
 01/14/2025
 PROJECT NO. 24-028
 DATE 2024/12/18
 DRAWN BY: MA CHECKED BY: DCS
 REVISIONS:
 3 01/14/2025 Addendum 3
 100% CONSTRUCTION DOCUMENTS
T4.03
 TECHNOLOGY DETAILS
 Salas O'Brien
 Houston
 10830 W. Sam Houston Pkwy North, Suite 900
 Houston, TX 77064
 Salas O'Brien Registration: F-4111
 Salas O'Brien Project Number: 2024-02562-00

REQUEST FOR INFORMATION (RFI) LOG

Project Number: 24-028
 Project Name: New Elementary School #38
 Owner: Lamar Consolidated ISD
 Date: 1/14/2025



RFI NO.	Date RECEIVED	CONTRACTOR / SUBCONTRACTOR	SHEET / SPEC. NO.	QUESTION	DISCIPLINE	RESPONSE	Date OUT for Review	Date Received	Date RETURNED
01	12/20/2024	Gamma Construction	05 12 00	The date to turn in the qualifications package is Sunday January 12. Is that going to be changed to the Friday or Monday after January 12?	Architectural	Please refer to Addendum #1			12/20/2024
02	12/20/2024	Gamma Construction	01 23 00	Section 012300 Alternates only list an alternate to change the date of substantial completion to 6/8 and the bid form list two different alternates. Please clarify.	Architectural	Please refer to Addendum #1			12/20/2024
03	12/20/2024	Gamma Construction	01 21 00	Section 012100 Allowances list for the owner's contingency (\$400,000) allowance is different than the bid form (\$350,000). Please clarify.	Architectural	Please refer to Addendum #1			12/20/2024
04	12/20/2024	Gamma Construction		Please provide the geo-tech report.	Architectural	The Geotechnical Report was included in the 100% Contract Documents specifications issued for the proposal.			12/20/2024
05	12/20/2024	Gamma Construction		Please provide a copy of the owner's contract AIA A101 and A201.	Architectural	Lamar CISD generally does not provide this information. Please refer to the standard 2017 version of A201. AIA 101 will be issued once the contract is awarded.			1/10/2025
06	12/23/2024	Satterfield & Pontikes Construction, Inc.		Does Lamar CISD want a wet signature on only the Price Delivery Information – CSP Form (bid form) or on all of the forms turned in on bid day?	Architectural	Please ensure that all forms submitted on bid day include a wet signature.			1/10/2025
07	12/24/2024	Satterfield & Pontikes Construction, Inc.	C4.00	Refer to Sheet C4.00. Please clarify if the clouded sidewalk below is to be part of the project as it past the property line.	Civil	Plans have been revised to exclude the clouded sidewalk from the project. Please refer to Addendum #2.			1/10/2025
08	12/24/2024	Satterfield & Pontikes Construction, Inc.		Can we have access to the BIM Model?	Architectural	The BIM model will be provided to the general contractor who is awarded the project after they have signed the BIM model release form.			1/10/2025
09	12/24/2024	Satterfield & Pontikes Construction, Inc.	A1.00	Refer to sheet A1.00. Please clarify if there is a pole mounted sign in the median at the plan SW Driveway. There looks to be one there but there is no callout. Below is a screenshot with the sign in question clouded.	Architectural	Please refer to Addendum #2 for clarifications regarding site signage.			1/10/2025
10	12/30/2024	Sterling Structures, Inc.		Qualification (A305) and references are due on 1/12/2025 which is a Sunday. Please advise if we can submit it on Monday January 13th.	Architectural	Please refer to Addendum #1 for additional information.			1/10/2025
11	12/30/2024	Sterling Structures, Inc.		Miscellaneous specifications include a barrier free lift, but I could not find a layout for the Barrier free lift. Please advise.	Architectural	For clarification on the lift path, please refer to Addendum #2. The lift is shown on sheet A10.01D.			1/10/2025
12	12/30/2024	Sterling Structures, Inc.		Please confirm if the building permit is in the City of Rosenberg Jurisdiction or Fort Bend County.	Architectural	Fort Bend County.			1/10/2025
13	12/30/2024	Satterfield & Pontikes Construction, Inc.		Please provide more clarification with regards to Allowance #2 - Network Equipment & Phone Allowance. Does this also include the entire IP PA System?	MEP/T	No, IP PA is part of the front row			1/10/2025
14	12/30/2024	Satterfield & Pontikes Construction, Inc.		Refer to Sheet C9.00. Please clarify if a Stabilized Construction Entrance and Concrete Truck Washout will be required as these items are currently not shown and they are usually required.	Civil	Stabilized construction entrance and concrete truck washout areas have been added along the future Brookewater Blvd and Wallingford Park Drive. Refer to Addendum #2.			1/10/2025
15	12/30/2024	Satterfield & Pontikes Construction, Inc.		The display case detailed on page A9.30 states to reference the specifications for the Basis of Design. There is not a specification in the Project Manual. Please provide the specifications or clarify the Basis of Design.	Architectural	The display cases will be custom-built on-site, eliminating the need for a Basis of Design. This note has been revised in Addendum #2.			1/10/2025
16	12/30/2024	Satterfield & Pontikes Construction, Inc.		Please clarify if there is to be surfacing on the track. The detail on Sheet C15.00 shows a 0.5" Thick Walkway Surfacing but then has us reference A1.03. Detail 12 on A1.03 only shows Concrete Sidewalk with with continuous painted lines. If there is to be track surfacing please provide more information and a specification	Civil	The track will be constructed of concrete according to Lamar CISD standards. Please refer to the updated Civil Detail in Addendum #2.			1/10/2025

REQUEST FOR INFORMATION (RFI) LOG

Project Number: 24-028
 Project Name: New Elementary School #38
 Owner: Lamar Consolidated ISD
 Date: 1/14/2025



RFI NO.	Date RECEIVED	CONTRACTOR / SUBCONTRACTOR	SHEET / SPEC. NO.	QUESTION	DISCIPLINE	RESPONSE	Date OUT for Review	Date Received	Date RETURNED
17	12/30/2024	Satterfield & Pontikes Construction, Inc.		Refer to sheet A1.05. Please clarify who is to provide and install the Electronic Message Board at the monument sign. Please provide a specification if it will be the responsibility of the contractor.	Architectural	The electronic message board is part of the contractor's scope. Specifications will be issued in Addendum #2.			1/10/2025
18	1/3/2025	Sterling Structures, Inc.		There are alternates listed for the road and utilities, but no details are provided. Will you issue revised civil drawings for the alternate scope? There are multiple trades that will be affected by the alternate and will help if drawings are issued for the alternates.	Civil	Asphalt pavement section is provided in sheet C14.01 PAVING DETAILS 1			1/10/2025
19	1/3/2025	Sterling Structures, Inc.		Can we turn in the alternates and unit prices @ 03:00 p.m.?	Architectural	No, alternates and the base bid should be submitted simultaneously, according to the bid instructions.			1/10/2025
20	1/7/2025	Satterfield & Pontikes Construction, Inc.		Refer to sheet A1.05. Please clarify if the Electronic message board is to either be single or double sided. The elevations (5 & 8/A1.05) look to show it as double sided while 1 & 7/A1.05 show it to be single sided.	Architectural	The electronic message board is double-sided. Please refer to Addendum #2 for more information.			1/10/2025
21	1/7/2025	Satterfield & Pontikes Construction, Inc.		Refer to sheet A2.01A. The Wall Section Callout Tag at Art A126 appears to be incorrect. Please clarify.	Architectural	Clarification needed to answer question			1/10/2025
22	1/7/2025	Satterfield & Pontikes Construction, Inc.	09 64 55	Ref. 9/A7.20. Please issue Specification for the Wood Flooring at the Stage.	Architectural	The specification was issued at 100% according to CDS Spec Section 09 64 55.			1/10/2025
23	1/7/2025	Satterfield & Pontikes Construction, Inc.		With regards to the reserved parking signs, please clarify which detail we are to go by. 1/A1.04 or what is shown on C15.00?	Architectural	Please refer to Detail 1/A1.04 in the architectural drawings and see Addendum #2 for additional information.			1/10/2025
24	1/7/2025	Drymalla	10 28 00	Are TA-3 Toilet Tissue Dispenses OFCI, or CFCI? 1.2 Summary has them as OFCI, but 2.2 Accessories Schedule has them as CFCI	Architectural	10 28 00 Modified, Please refer to Addendum #2 for further information.			1/10/2025
25	1/7/2025	Drymalla		Accessories Schedule, M. Waste Receptacles. Are these required on this project? Specs call for them at every OFCI Towel Dispenser that is not located over a base cabinet, however none are shown on plans, and they are not listed on the plan toilet acc schedule? Furthermore if they are required do we need to quote them at the Kitchen sinks where the towel dispenser is mounting above the sink?	Architectural	Waste Receptacles are N.I.C.			1/10/2025
26	1/7/2025	Sterling Structures, Inc.		There are specifications for bike racks but none shown on the plans. Please advise.	Architectural	Please see Addendum #2 for the specific location.			1/10/2025
27	1/7/2025	Sterling Structures, Inc.		Detail 5 on sheet A7.21 calls out for fire treated plywood and exterior plywood. Please advise which is to be used. See attached.	Architectural	Please refer to Addendum #2 for further information.			1/10/2025
28	1/7/2025	Gamma Construction		There is a Metal Storage Shelving spec and drawings show boxes that could be metal shelving in several rooms. These boxes are not marked and could be shelving or millwork. Can Pfluger clarify?	Architectural	Please refer to Addendum #2 for further information.			1/10/2025
29	1/7/2025	Gamma Construction		The shutter in the warewash is duplicated in 114000 in item 254. We would exclude this	Food Service	Correct.			1/10/2025
30	1/7/2025	Gamma Construction		The door elevations on A800 have the type K units as solid doors, but the specs call for open air grilles. Typically LCISD uses grilles in the hallway and solid doors at the kitchen. Want to confirm what they want here?	Architectural	Please see Addendum #2 for the updated information regarding door type K.			1/10/2025

REQUEST FOR INFORMATION (RFI) LOG

Project Number: 24-028
 Project Name: New Elementary School #38
 Owner: Lamar Consolidated ISD
 Date: 1/14/2025



RFI NO.	Date RECEIVED	CONTRACTOR / SUBCONTRACTOR	SHEET / SPEC. NO.	QUESTION	DISCIPLINE	RESPONSE	Date OUT for Review	Date Received	Date RETURNED
31	1/7/2025	Cadence McShane	08 71 00	Aluminum Door Hardware (Exit DT - Panic): RFI : Please confirm if the 8800 series is the desired Exit DT – Panic hardware and that it meets the impact design criteria indicated in the Project Manual. -Section 08.71.00 – 2.10 – B calls for SA 80 Series. -Hardware Set 1.0 (per 08.71.00) calls for the 8810 SA model. According to our Subcontractors, the 8800 series has not yet been tested by Kawneer. The SA 8400 series have been tested by Kawneer.	Architectural	LCISD is not a windstorm area, what has been specified is suitable.LCISD is not located in a windstorm-prone area, so the specified requirements are adequate.			1/10/2025
32	1/7/2025	Cadence McShane		Curtain Wall versus Storefront – Finish: RFI: Please confirm that the curtainwall finish shall be clear anodized and that the aluminum storefront finish shall be light bronze. Please also confirm that the light bronze finish of the aluminum storefront shall be painted. -Section 08.44.13 – 2.07 – C calls for the curtain wall to be clear anodized. -Section 08.41.13 – 1.16 – B calls for the storefront to be clear anodized – light brown. Please note that Kawneer no longer offers light brown in an anodized finish, it will need to be painted light brown.	Architectural	All curtain walls and storefronts should be color "Champagne" according to the Material Legend on sheet A9.00A.			1/10/2025
33	1/7/2025	Cadence McShane	07 42 13	Metal Panel Warranty: RFI: Please clarify the required warranty for the metal panel system. -Section 07.42.13 – 1.08 WARRANTITES: -Section 07.42.13 – 3.02 – E Guarantees and Warranties:	Architectural	Please see Addendum #2 for reference.			1/10/2025
34	1/7/2025	Cadence McShane		Metal Panel (MP-1) Material: RFI: Please clarify the material and thickness for the MP-1 panels. -Section 07.42.13 Part 2 does not specify material or thickness. Berridge offers 24g/22g steel or 0.032 aluminum options for the HS series.	Architectural	Please refer to Addendum #2. The metal panel will be 24-gauge steel.			1/10/2025
35	1/7/2025	Drymalla		I see that A1.02, for most of the canopies, the soffits are designed to span left to right instead of up and down. Typically, the soffit mounting beams are positioned perpendicular to the gutter beams, with the soffits attached to those beams running up and down. If the soffits are installed in the opposite direction, it would create a hash pattern for the mounting beams, leading to higher material costs. Can we confirm if the span directions are correct?	Architectural	Please refer to Addendum #2 for the updated soffit spans.			1/10/2025
36	1/8/2025	Satterfield & Pontikes Construction, Inc.		Please clarify the soffit finish for the canopy at Area A. 9/A1.02 calls for metal soffit (MPC) while the callout on Detail 8/A7.21 calls for suspended Aluminum Soffit (AWC).	Architectural	Please refer to Addendum #2 for the updated note on detail 9/A1.02.			1/10/2025
37	1/8/2025	Satterfield & Pontikes Construction, Inc.		Please clarify the metal soffit finish at the egress entrances. See below for one area in question. Will this be MPC?	Architectural	Please refer to the note in the upper right corner of sheet A1.02: "ALL CANOPY SOFFITS TO BE EXTRUSION COATING SYSTEM 399X493 FLUROPON CLASSIC II CHAMPAGNE BRONZE U.O.N."			1/10/2025
38	1/8/2025	Gamma Construction		Please reference plumbing page P301.C. I do not see the page referenced for the Kitchen floor plan DNP4.03 detail 1. Its not included with the proposal set or Addendum 1. We need this page for bid.	MEP/T	Refer to Addendum #2 for location			1/10/2025

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39	1/8/2025	Drymalla		C4.00 Paving plan – Do you know if any permits/reviews will be required by the developer or FBC for the sidewalks that go out of our property line? Its only a little at the cross walks along Brooke water Blvd.	Civil	The developer has confirmed that easements will not be required for sidewalks going outside of the site property line.			1/10/2025
40	1/8/2025	Drymalla		C5.01 and P1.01 show the grease trap and sample well in two different locations. Can you clarify which is correct?	Civil	Refer to Addendum 2. Grease trap and sample well locations have been updated to match the plumbing plans.			1/10/2025
41	1/8/2025	Drymalla		C9.00 SWPPP shows Filter Fabric Fence while 01 50 00 does not show filter fabric is required, can you clarify this for me?	Civil	Include filter fabric fence for SWPPP.			1/10/2025
42	1/8/2025	Drymalla		L1.02 shows the Irrigation controller location but this does not match the location provided on A1.00. electrical drawing E4.01 does not show the controller at all.	MEP/T	Refer to sheet E4.01 of bid documents for receptacle to power irrigation controller and conduit to nearest grass area. Electrical is show in same general area as landscape. Contractor to coordinate final location in field.			1/10/2025
43	1/8/2025	Drymalla	A1.00	A1.00 site plan only provides (1) post n panel sign, should we account for the second entrance as well?	Architectural	Please refer to Addendum #2 for clarifications regarding site signage.			1/10/25
44	1/8/2025	Drymalla	A1.00	A1.00 shows to provide a standpipe in Area A and Area F while the floor plans do not reference these. A2.01E shows a Standpipe in the corridor E101 outside of room E120.	Architectural	Please see Addendum #2 for clarification regarding the standpipe location notes.			1/10/25
45	1/8/2025	Drymalla	A1.03	A1.03 provides a detail of the walking track (#12) that shows concrete track but C15.00 shows to provide track surfacing, could you clarify what will be required? (36 has track surfacing)	Architectural	The track will be constructed of concrete according to Lamar CISD standards. Please refer to the updated Civil Detail in Addendum #2.			1/10/2025
46	1/8/2025	Drymalla	A1.03	A1.03 does not show that the CPE transformer will receive a vent/louver in the CMU wall. We had to add one for 36 per CPE, can we assume 38 will require this as well?	Architectural	The louver has been added. Please refer to Addendum #2 for more details.			1/10/2025
47	1/8/2025	Drymalla	A1.03	A1.03 shows the bollards but only (1) is technically called out to be removeable at the chillers, can you clarify if all bollards around the chiller will be removeable? CPE will require their bollards around the transformer to be removeable, we will assume this is the case.	Architectural	The notes have been updated. Please refer to Addendum #2 for further details.			1/10/25
48	1/8/2025	Drymalla	A1.03	A1.03 shows gate S010 to be 'sliding' but detail 1/A1.06 shows double swing, could you confirm this should be double swing?	Architectural	The gate S010 will be a double swing design. Please consult Addendum #2 for additional details.			1/10/25
49	1/8/2025	Drymalla	A2.01A	A2.01A – Reception A104 has a window behind the desk to see into Secretary A105 but it is not called out.	Architectural	Please see Addendum #2 for additional information.			1/10/25
50	1/8/2025	Drymalla	A2.01A	A2.01A – Can you confirm the display case outside of Art A126 will be 10' x 7' like the one outside of the Clinic RR? Or will it be 10' x 6' per elevation 1/A9.13?	Architectural	Please see Addendum #2 for additional information.			1/10/25
51	1/8/2025	Drymalla	A2.01C	A2.01C provides counter coiling door C108F but the elevation (4A9.12) shows CMU here. We will assume this door remains.	Architectural	Please see Addendum #2 for additional information.			1/10/25
52	1/8/2025	Drymalla	A2.01D	A2.01D – Sped rooms (D114, D115, D122) show what looks like casework and when you go to the elevation (28/A9.10) it says "Student Cubies" – Are these F.F.&E. items? Or should we include these as casework? Also, room D123 has the same layout as the others but does not show these cubies, will they be required here as well?	Architectural	The cubbies are categorized as FF&E (Furniture, Fixtures, and Equipment) and NIC (Not in Contract). Please refer to Addendum #2 for more details.			1/10/25
53	1/8/2025	Drymalla		A3.00 – Detail 7 – Can you confirm this is the only RR that will receive a baby changing station?	Architectural	Correct.			1/10/25
54	1/8/2025	Drymalla		A5.00 shows a Building expansion joint but the details shown do not provide enough information	Architectural	Refer To Detail 4/A7.20			1/10/25
55	1/8/2025	Drymalla		A5.00 – General Note 8 states to provide prefinished galvanized steel downspouts but 07 62 00 states Aluminum	Architectural	Please see Addendum #2 for additional information. Downspouts should be galvanized steel.			1/10/25

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56	1/8/2025	Drymalla	A6.01	A6.01 – Detail 2 shows 1/A7.05 but this shows a window going down the floor, please confirm we should show detail 3/A7.03 here, which states to have a p-lam window sill. Can I assume all M2 windows will receive a p-lam sill?	Architectural	Please see Addendum #2 for additional information.			1/10/25
57	1/8/2025	Drymalla	A6.01	A6.01 – Detail 9 shows 4/A7.05 but this references a canopy, please confirm we should match detail 4/A7.04 which provides a metal soffit over this door.	Architectural	Please see Addendum #2 for additional information.			1/10/25
58	1/8/2025	Drymalla	A7.20	A7.20 detail 9 for the stage steps does not match detail 15 on S3.04, could you confirm we are to match structural?	Architectural	Please see Addendum #2 for additional information.			1/10/25
59	1/8/2025	Drymalla	A9.00B	A9.00B Can I assume we should provide black paint above the cloud ceilings in the gym & café? (as we are doing at 36)	Architectural	Please provide black paint for all elements above the ceiling clouds in this area. Refer to Addendum #2 for additional information.			1/10/25
60	1/8/2025	Drymalla	A9.10	A9.10 detail 17 shows a vending machine in the teachers lounge, can I assume this is F.F.&E./OFOI?	Architectural	The vending machine is in contract. Please refer to Addendum #2 for more information.			1/10/25
61	1/8/2025	Drymalla	A10.01B	A10.01B – I see a spot at exit door C121 where the canopy does not exactly extend to the door, can I assume we will have metal panel soffit here? How tall is the canopy here? We added this on 36	Architectural	Please see Addendum #2 for additional information.			1/10/25
62	1/8/2025	Drymalla		T2.00 shows CR's at gates, will S007 gate entering into the Central Plant require CR & panic HW?	MEP/T	Provide Panic Hardware, Card Reader and Fire Access Box. Refer to Addendum #2.			1/10/25
63	1/8/2025	Drymalla		T2.01B – Just want to confirm we are not providing time clocks in any of the pods. I do not see any.	MEP/T	Correct.			1/10/25
64	1/8/2025	Drymalla		T2.01B Exit Door B101C does not show that we need to provide CR & DC, please confirm we do need these here. A8.00 does show to provide CR for this door, FYI.	MEP/T	Door B101C needs a card reader. Please refer to Addendum #2.			1/10/25
65	1/8/2025	Gamma Construction		A1.05 detail 07 has 9" h alum letters where the electronic messaging board goes for south and north walls. Is this a mistake?	Architectural	Please see Addendum #2 for additional information.			1/10/25
66	1/8/2025	Gamma Construction		A1.05 Are north detail 5 and south detail 8 wall lettering and messaging boards all on one side?	Architectural	Please see Addendum #2 for additional information.			1/10/25
67	1/8/2025	Gamma Construction		A1.05 detail 4 east the letters are on both sides, is there also a 2 sided messaging board you don't see?	Architectural	Please see Addendum #2 for additional information.			1/10/25
68	1/8/2025	Gamma Construction		A1.05 detail 1 west-is the messaging board really one sided?	Architectural	Please see Addendum #2 for additional information.			1/10/25
69	1/8/2025	Gamma Construction		A9.11 detail 14-vinyl on type II substrate-do I quote?	Architectural	Clarification needed to answer question			1/10/25
70	1/8/2025	Gamma Construction		A9.11 detail 13 and A9.14 detail 7-digital graphics on type II substrate-do I quote?	Architectural	Clarification needed to answer question			1/10/25
71	1/8/2025	Gamma Construction		A9.12 detail 3-graphics on 3 M film-you want the letters on vinyl?	Architectural	Clarification needed to answer question			1/10/25
72	1/8/2025	Gamma Construction		A9.15 detail 8-graphic on vinyl II-same as digital graphics?	Architectural	Clarification needed to answer question			1/10/25
73	1/8/2025	Gamma Construction		Allow for thirty-five (70) 16" high letters at front entry canopy. Allow for seventy (70) 12" high letters, and seventy (70) 18" high letters to be used at roadway/entry signs.- A1.05 wall letters? All those letters are 6.5" h. Please clarify.	Architectural	Clarification needed to answer question			1/10/25
74	1/9/2025	Drymalla		Will there be a detail, or spec issued for the artificial turf in the courtyard, showing the base requirements, and turf type. Based on civil not showing concrete I would assume it will have an aggregate base with a Nailer at the edge of pavement for attachment.	Civil	Refer to Addendum #3			1/14/25

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75	1/9/2025	Drymalla		Which detail should we follow for the track, the civil with surfacing, or architectural with no surfacing.		The track will be constructed of concrete according to Lamar CISD standards. Please refer to the updated Civil Detail in Addendum #2.			1/10/25
76	1/9/2025	Drymalla		There is no specification for Roof Drainage piping and Appurtenances, please have SOBE provide.	MEP/T	Please see Addendum #2 for additional information.			1/10/25
77	1/9/2025	Drymalla		IMB-1 is called out on the plumbing drawings, but is not on the plumbing schedule. Please advise.	MEP/T	Please see Addendum #2 for additional information.			1/10/25
78	1/9/2025	Drymalla		L-2 is called out on the plumbing drawings but not on the plumbing schedule. Please advise.	MEP/T	Please see Addendum #2 for additional information.			1/10/25
79	1/9/2025	Drymalla		When Robin visited the site, she observed a steel casing, likely from an irrigation well, located on the property, approximately located across from Veranda Point Drive, near the track. I researched the civil drawings and the survey, and nowhere is this addressed. How should this be handled during bidding, or can an allowance be established to plug and cap. I have pictures imbedded below for your review.	Civil	Please see Addendum #3 for additional information.			1/14/25
80	1/9/2025			I am submitting this question regarding the Lamar CISD Elementary School #38 project to your email address in accordance with the bid advertisement for this project: Can the construction documents be revised as noted o'n Page 7 of the attached letter regarding a plumbing code violation?	Architectural	No action required.			1/10/25
81	1/10/2025	Sterling Structures, Inc.		Is SAP1 and SAP3 ceiling tile to be similar to Armstrong Fine Fissured 1728 NRC .55 or Armstrong Fine Fissured 1713 NRC .70?	Architectural	Refer to spec section 09 51 00, 2.01 B			1/10/25
82	1/10/2025	Sterling Structures, Inc.		RCP has SAP2 in rooms B105, B128, D118, E115, E127, and F127. Finish Schedule has SAP1. Please clarify.	Architectural	Refer to Addendum #2			1/10/25
83	1/10/2025	Sterling Structures, Inc.		RCP does NOT indicate SAP2 in room C113 Walkin. Please clarify.	Architectural	Refer to Addendum #2			1/10/25
84	1/10/2025	Sterling Structures, Inc.		Should C100 Music, D107 Gym, and D108 Cafe receive a hi nrc ceiling tile of .90 similar to Armstrong Optima 3150?	Architectural	No, See Addendum #2 note regarding all fine fissured ceiling			1/10/25
85	1/10/2025	Sterling Structures, Inc.		Division 98413 indicates 2" and 4" wall panels. Where does each thickness occur at?	Architectural	Refer to Addendum #3, all panels to be 2" per note on finish legend on sheet A9.00A			1/14/25
86	1/10/2025	Sterling Structures, Inc.		Does room C107 Gym receive hi impact 1/8" wall panels?	Architectural	See Addendum #3			1/14/25
87	1/10/2025	Cadence McShane		Part 2 of 07.42.13 does not specify the material or thickness of the metal panels. Please clarify if the metal panels shall be steel or aluminum as offered by Berridge.	Architectural	See addendum 2			1/10/25
88	1/10/2025	Cadence McShane		The RFP Texas Statutory Performance and Payment Bond Forms include the note : RETURN THIS DOCUMENT IN THE BID/PROPOSAL PACKAGE". To execute a signed and sealed copy of the Texas Statutory Performance and Payment Bond Forms require an executed contract. In addition, Instructions to Offerors lists, "if awarded, the Offeror shall furnish and pay for a Performance Bond and a Payment Bond each in the full contract amount" and "Offeror shall deliver the required bonds to the Owner not later than the date of execution of the Contract." Please clarify this requirement for submittal.	Architectural	Refer to Addendum #3 narrative, Specification Section 00 11 00 REQUEST FOR COMPETITIVE SEALED PROPOSALS pages 24 and 25 TEXAS STATUTORY PERFORMANCE BOND and TEXAS STATUTORY PAYMENT BOND forms will only be executed when there is a contract in place.			1/14/25

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89	1/10/2025	Satterfield & Pontikes Construction, Inc.		Is SAP1 and SAP3 ceiling tile to be similar to Armstrong Fine Fissured 1728 NRC .55 or Armstrong Fine Fissured 1713 NRC .70?A9.00A does not indicate that, and specs indicate to see drawings.	Architectural	Refer to Addendum #2, note added calling for all fine fissured ceiling to be .70 NRC			1/14/25
90	1/10/2025	Satterfield & Pontikes Construction, Inc.		RCP has SAP2 in rooms B105, B128, D118, E115, E127, and F127. Finish Schedule has SAP1. Please clarify.	Architectural	Refer to Addendum #2			1/10/25
91	1/10/2025	Satterfield & Pontikes Construction, Inc.		Please clarify the ceiling type in the Walk-Ins C113. The RCP (Sheet A10.01) does not show a ceiling type but the Room Finish Schedule on Sheet A9.00B calls for SAP2.	Architectural	Refer to Addendum #2			1/10/25
92	1/10/2025	Satterfield & Pontikes Construction, Inc.		With regards to the Ceilings at Music (C100), Gym (D107), and Cafeteria (D108), because these are areas with higher noise, should these locations receive a higher NRC Ceiling Tile of .90 similar to Armstrong Optima 3150?	Architectural	No, See Addendum #2 note regarding all fine fissured ceiling			1/10/25
93	1/10/2025	Satterfield & Pontikes Construction, Inc.		Spec 09 84 13 indicates 2" and 4" wall panels. Please clarify where each of these thickness occur at.	Architectural	Refer to Addendum #3, all panels to be 2" per note on finish legend on sheet A9.00A			1/14/25
94	1/10/2025	Satterfield & Pontikes Construction, Inc.		With regards to the Acoustical Wall Panels at the Gym (C107), please clarify if this area is to receive hi impact 1/8" wall panels.	Architectural	See Addendum #3			1/14/25
95	1/10/2025	Sterling Structures, Inc.		Sheet C9.00 No stabilized construction entrance is shown.	Civil	Stabilized construction entrance and concrete truck washout areas have been added along the future Brookewater Blvd and Wallingford Park Drive. Refer to Addendum #2.			1/10/25
96	1/10/2025	Sterling Structures, Inc.		Sheet A1.05 monument sign details show a electronic message board but no specifications are issued.	Architectural	See Addendum #2, 10 14 64.			1/10/25
97	1/10/2025	Sterling Structures, Inc.		There are display case cabinets bulletin boards in corridor but no specifications are included.	Architectural	Display case will be custom, no spec			1/14/25
98	1/10/2025	Sterling Structures, Inc.		Dtail 17/A9.17 shows a motorized changing table. Please provide specifications if this is CFCI.	Architectural	See Addendum #2			1/10/25
99	1/10/2025	Sterling Structures, Inc.		Sheet A8.0 door schedules list four (4) type K overhead doors. The floor plans have one OH at corridor B100 but does not have a door # on it.	Architectural	See Addendum #1			12/20/24
100	1/10/2025	Drymalla		Ornamental iron fence specifications for this project? Spec 32 31 19 are calling for 1" picket and 2 rail fence panel, but the detail elevation 2/A1.06 is calling for a 3/4" picket and 3 rails. I know we are using the 3/4" & 3rail panels on LCISD #36 school. There is a substantial price difference between the two.	Architectural	See Addendum #3			1/14/25
101	1/10/2025	Drymalla		Enlarged Kitchen Drawings are not in the published plan set. Reference 1/DNP4.03	MEP/T	See Addendum #2			1/10/25
102	1/10/2025	Drymalla		Sheet P4.01 note #32 calls out on Enlarged Plans, but there is no text associated with the note.	MEP/T	See Addendum #2			1/10/25
103	1/10/2025	Sterling Structures, Inc.		If the responding fire station is far, are there plans for a new fire station that is closer? What details are available?	Architectural	From Developer: "No actual plans as of yet, but we do have an agreement with the city to sell them a fire station in our development at some point in the future. I think that means there will be one within our development, but that is not guaranteed until it is on the ground."			1/14/25
104	1/10/2025	Sterling Structures, Inc.		When will the Brookewater Blvd. construction be complete and the street open?	Architectural	From Developer: "December 2026."			1/14/25
105	1/10/2025	Sterling Structures, Inc.		It looks like the MUD District is building a water plant. When will this be complete and operational?	Architectural	From Developer: "January/February 2025. Just need power."			1/14/25
106	1/10/2025	Sterling Structures, Inc.		When will fire hydrants be installed and operational?	Architectural	From Developer: "Installed and operational now"			1/14/25

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107	1/10/2025	Sterling Structures, Inc.		Where will the hydrants be located by the project site?	Architectural	From Developer: "The hydrants are currently existing on the East and South sides of the job site"			1/14/25