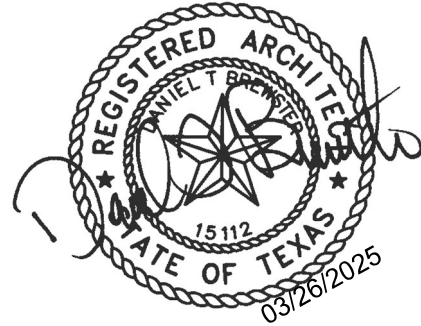




TEXAS ARCADIS INC.  
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# ADDENDUM NO. 04

Date of Issuance: March 26, 2025

Project: **2022 BOND – New Williams Elementary School Replacement**  
Pasadena Independent School District

Issued by: Arcadis Inc.  
P. O. Box 891209  
Houston, TX 77289  
281-286-6605

Arcadis Project No.: 202301  
PISD CSP No.: 25P-034LP

Prepared for: Prospective Proposers

## PART A: NOTICE TO PROPOSERS:

1. Receipt of this Addendum shall be acknowledged on the Proposal Form. Failure to do so may subject Proposers to disqualification. Each proposer shall make necessary adjustments and submit his proposal with full knowledge of all modifications, clarification, and supplemental data included therein.
2. This Addendum forms part of the Contract Documents and shall be incorporated integrally therewith. Where provisions of the following supplemental data differ from those of previously issued documents, this Addendum shall govern.
3. The following Contract Documents have been issued to date delineating the Work (Project).

Contract Documents	February 18, 2025
Addendum 01 (Arch)	March 10, 2025
Addendum 02 (Arch and MEP)	March 19, 2025
Addendum 03 (Arch)	March 24, 2025
4. This Addendum consists of: Eleven (11) 8-1/2x11 written pages; Zero (0) 8-1/2x11 Spec Section pages; and Three (3) full-size New or Re-issued Sheets / Drawings as described in PARTS D, E and F below; as prepared by Texas Arcadis Inc. Total pages: Fourteen (14)

## PART B: CHANGES TO PRIOR ADDENDUM

1. None

**PART C: CHANGES TO THE PROJECT MANUAL**

1. Four pages of written questions and answers.

**PART D: CHANGES TO THE DRAWINGS**

1. None

**PART E: RE-ISSUED SHEETS**

1. Sheet A7.07 – Interior Elevations
  - a. Revise Detail 08
  - b. Revise Detail 09
  - c. Revise Detail 10
  - d. Revise Detail 11
2. A7.08 – Interior Elevations
  - a. Revise Detail 15
3. A7.09 – Interior Elevations
  - a. Revise Detail 1
  - b. Revise Detail 2

**PART F: NEW ISSUED SHEETS**

1. None

**END OF ADDENDUM NO. 04**

	<u>Question</u>	<u>Answer</u>
1	Spec sections 004523, 007200, 014000 & 098436 are missing.	See Addendum 1
2	What is the construction schedule, start to finish? In the supplementary conditions 007300. 1.7.9 it states the end of construction, See AIA A201 paragraph 9.10 but the A201 was not provided in the specs. Please forward that document as well.	Notice to Proceed to occur after board approval as stated in Pre-Bid. 518 calendar day construction estimated.
3	The plans show playground equipment, safety surfacing, site furnishings, and shades but we cannot find details or a schedule for them other than the turf. Please advise.	Shades and turf by allowance.
4	Is water and power available on site? If not, when will they be available?	YES
5	Will there be any MUD/utility tap fees?	No
6	1.Schedule – Please confirm the construction schedule. During the Preproposal meeting 18 months for construction was mentioned; Specification section 00 22 13 item 5.3.1.2 states 518 calendar days. 18 months = 548 calendar days; whereas 518 calendar days = 17 months.	518 Calendar Days from notice to proceed
7	2.Preproposal meeting agenda item VI. B regarding builder’s risk states this is to be provided by Contractor. This requirement is not stated in the Project Manual, Section 00 73 00 Article 11. In the past, Pasadena ISD typically has provided the builders risk policy, not the contractor. Please clarify.	General Contractor to purchase Builders Risk
8	3.Please confirm the Qualifications are to be submitted directly to Laurie Pruett via her email. The Project Manual Section 00 11 19 (top of page 2) states these are submitted via e-bid. This conflicts.	Qualifications should be emailed to Laurie Pruett (lpruett@pasadenaisd.org). Once qualifications are received, an acknowledgment will be sent within 24 hours. If you do not receive confirmation of receipt, please contact Laurie Pruett.
9	4.A7.08 It appears the color designation for AWP 1 and AWP 2 and AWP-4 and AWP-5 has changed between Elevation 3 and 6. Please clarify these panels.	Follow detail 3 as template.
10	6.2/A8.03 – please provide upholstery fabric selection to price.	Color to be selected by owner.

<b>11</b>	7.Rooms C121, D116, D140, C215, D213, D241 WkRm requires Elevation marks and elevations. Please provide.	See addendum 2
<b>12</b>	8.Please provide an elevation for common lavatory area outside of the Boys and Girls restrooms, so as to determine toilet accessories, finishes, etc. required at these locations.	9/A7.06
<b>13</b>	12.Section 09 94 26 Plastic Laminate Clad Column Covers – what is the diameter of the column covers?	See addendum 2
<b>14</b>	15.Section 10 10 00 – Marquee Readerboard – Where does this apply as details indicate an electronic message center (8/C1.08)?	Refer 10 14 63 Specs for more information
<b>15</b>	Section 10 10 00 – Knox Boxes – please locate these on the drawings, so as to determine quantity.	Allow for four (4) for Fire Marshall coordination.
<b>16</b>	Section 10 10 00 – TV Brackets – spec’s call for TV bracket in Staff Lounge; drawings do not indicate a TV Bracket. Please clarify.	See addendum 2
<b>17</b>	Section 10 11 36 – are the Visual Display Conference Units required? Where are they located?	See addendum 2
<b>18</b>	Section 10 14 53 – lists a Solar Powered Flashing Beacon system. Is this required? If so, where are they to be located?	See addendum 2
<b>19</b>	3/A7.02 Pre-fin Alum Sunshades and 4/A6.05 Pre-fin Alum Louver System – These appear to be the same element but are labelled differently. Are these attached to the Storefront? Please provide specifications for this element and details for attachment.	Typical Avadek system.
<b>20</b>	If available, would it be possible to get the Pre-Proposal Conference sign in sheet?	See Addendum 1

21	<p>These forms are listed in supplementary instructions to bidders but they are not listed on lonwave. Do these forms need to be submitted? A fully executed Indemnity and Hold Harmless Agreement (Document 00 61 16 of the Project Manual)&gt; 4.6.11 A fully executed SB9 Contractor Certification (Document 00 62 08 of the Project Manual). 4.6.12 A fully executed Certification of Criminal History Record – Contractor (Document 00 62 09.01 of the Project Manual). 4.6.13 A fully executed Certification of Criminal History Record – Subcontractor (Document 00 62 09.02 of the Project Manual). 4.6.14 A fully executed Debarment Form (Document 00 62 00 of the Project Manual).</p>	Forms supplied in Project Manual.
22	Does Contractor pay for temporary utilities usage or the Owner?	YES
23	Who pays for permanent utility usage once it is connected? Contractor or Owner? (Connection will occur prior to substantial completion)	CONTRACTOR
24	Please provide information on the cast stone.	No cast stone in scope.
25	Specifications call for volleyball equipment, inserts, etc. Drawings do not indicate volleyball courts. Please clarify	See addendum 2
26	Specifications list an outdoor basketball goal. Is this required? Where?	Not in scope.
27	<p>The specifications in section 088000-9 specify a Solar Shelf Device, but the details on page A6.04 do not indicate or reference the 'Oldcastle Solar Shelf.' •Spec Section 088000-9 •2.8 Solar Control Devices •Detail 6 on A6.04</p>	No solar shelf in scope.
28	Addendum 1 changed the bid date to April 3rd, but the deadline in lonwave is April 1st. Please advise.	The correct date is April 3rd and it has been corrected in lonwave.
29	Please confirm that there will not be a zoom link for opening of bids but that we have to be in person at Carmen Orozco Center to hear bids read aloud?	IN PERSON ONLY

<b>30</b>	I didn't see a completion date for this project but in the supplementary instructions to bidders page 002213-3 item .2 it has 518 calendar days. Is this amount of days for construction or is this left over from a previous project? Needing a completion date to request our bid bonds. Construction start date is 5/5/25?	Notice to Proceed to occur after board approval as stated in Pre-Bid. 518 calendar day construction estimated.
<b>31</b>	Televisions and TV brackets are specified in Sections 10 10 00 and 11 52 23. Which shall be followed for product requirements.	See addendum 2
<b>32</b>	Section 11 52 23 lists rooms with specific size Televisions that is different than what is indicated on the plans. Please clarify the sizes and rooms these are to be placed.	Provide size per plan.
<b>33</b>	Please provide requirements for Pavement Markings and related work	See addendum 2
<b>34</b>	Hardware sets – Section 08 71 00 and Drawings A2.09, A2.09A both list hardware sets. Which should be used for bidding?	Hardware sets are the same.
<b>35</b>	Window Openings – plans or elevations do not label openings B102-A, B102B, B102C, B102D. B102E. Please clarify.	Refer to A9.03 and A2.10
<b>36</b>	Please confirm that Restroom Ceiling Tile is ACT-1 and not ACT-3	Refer to A11.00 and plans
<b>37</b>	Addendum 1 – 2/ A7.08 PL-1 is this a plastic laminate panel that PSI produces or otherwise? Please describe the construction of this panel.	See addendum 2
<b>38</b>	Addendum 1 – 3/A7.09 – Existing stage flooring – from what existing stage is this material being obtained from? Does the Contractor remove this flooring, or has it already been removed by others and will be provided to the Contractor for installation? Will any remedial work need to be done to the existing stage once the flooring is removed?	Contractor to coordinate removal and temporary flooring replacement at existing school stage.
<b>39</b>	Addendum 1 – what is ACV-1? It is shown on several interior elevations.	Replace ACV-1 with AWC-1.
<b>40</b>	Addendum 1 – 1/A7.09 – what material are the colored stripes? Are these painted stripes? Acoustical panels?	Striping shall be paint.

<b>41</b>	Addendum 1 – Area C1 Window Schedule – where are window marks C104-M and C104Q? They do not appear on the corresponding floor plan for this area (A2.03).	Associate with door frames D100-4 and D236-1
<b>42</b>	Where are window marks A-140B, A140-D, A140-E, A140-F, A140-H, A140-I, A143-N?	All interior Library windows. Similar to A141-A.
<b>43</b>	Window Opening C101-A is scheduled as a sliding window in a hollow metal frame. Please confirm that is correct.	Frame shall be aluminum
<b>44</b>	C104-H, C104-I, C104-J are not indicated on the drawings. Please provide location.	All interior Library windows. Similar to A141-A.
<b>45</b>	2/C1.05 please define (provide details, information) the semi-circular elements in this courtyard.	Elements are furniture not in scope.
<b>46</b>	2/C1.05 references 22/A8.02, but this elevation does not exist. Please clarify	Detail not associated with plan. Disregard.
<b>47</b>	2/C1.05 what are the rectangles in the paved area next to the building?	Area drains. Reference Civil drawings.
<b>48</b>	Sheet A2.10 – Window Schedules – Marks A139-A and A139-B - Addendum #1 updated these elevations to have elevation types 23 and 24 respectively. Addendum #1 however did not give us what elevation type 23 or 24 look like. Please show how elevation types 23 and 24 should look. Also, please give a basis of design for the frameless system used on elevation type 23.	See addendum 2
<b>49</b>	4, 5/C1.05 – Please provide dimensions for the compass.	See addendum 2
<b>50</b>	2/C1.05 – Please define the surfacing in the courtyard shown in this detail. Is it part of this scope?	See addendum 2
<b>51</b>	Response on question "Please provide information on the cast stone" indicates there is "No cast stone in scope." Please reference details 4,5/C1.06 - the columns have cast stone caps. Please clarify.	2 yr warranty. 10 yr Mfr qualifications. Ref. Siteworks as design standard. Color to be selected by architect.
<b>52</b>	RE: Question regarding upholstery fabric selection. For the cushions to be bid, an upholstery fabric needs to be selected (color would be nice, but upholstery fabric type is necessary).	Use Silvertex Vinyl Whisper Vinyl through Burch as reference.
<b>53</b>	What graphics are expected to be priced in the base bid? The material & labor allowances show a supergraphics & graphics allowance but don't specify which ones. Please advise	Ref. place holder on 2/A7.09 and 15/A7.08 and Library Interior A707. Add graphic design labor for wall graphic installation coordination.

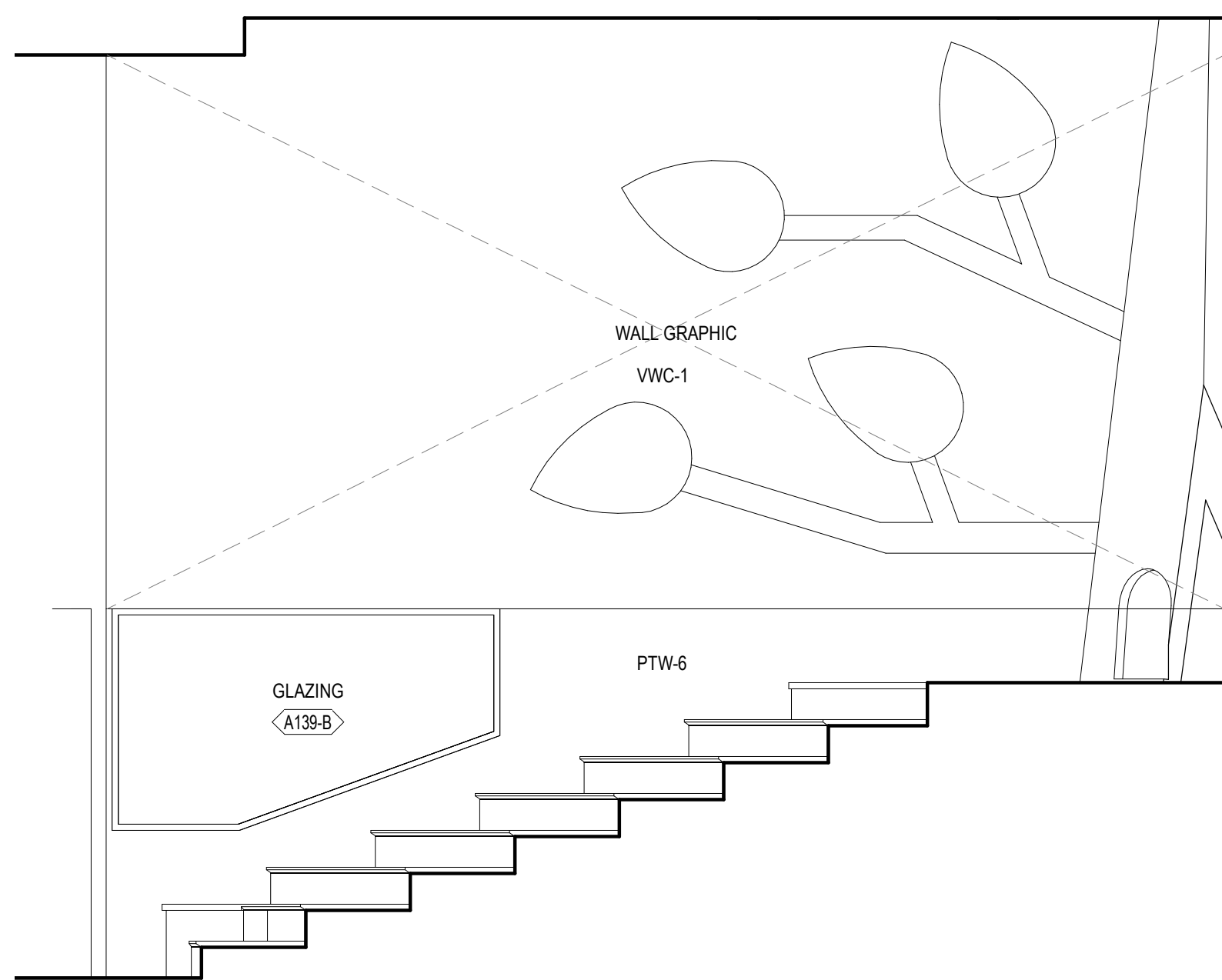
<b>54</b>	RE: 074113.2.2.C SSMR insulation – spec calls for R20 and A4.01 note requests R30. Please clarify.	R30
<b>55</b>	RE: 079500.1.1.B.05 refers to 077200 for Roof related Expansion Joints. 077200 does not have information on Roof EJ's. Please clarify.	Due to the size and shape configuration of this school we did not need expansion joints.
<b>56</b>	076213 and 074113 calls for 24 ga steel and 076300 calls for aluminum gutters and downspouts. Please confirm the desire for these are two different metals.	Price aluminum
<b>57</b>	Foundation Note 14 – S0.00 states "Footings shall be installed using slurry displacement or casing." Geotechnical report does not describe this type of installation (Drilled and Underreamed Footings). Please clarify this Note 14.	Ignore note on slurry.
<b>58</b>	Elevation 2 on A7.05 – will the tube framing in this elevation (entry shade structure) will require intumescent paint?	Yes
<b>59</b>	Elevation 2 on A7.05 – what is meant by "Architecturally finished". Division 5 of specifications do not define this phrase.	Grind all connections smooth.
<b>60</b>	Please indicate where the following framed openings are located - A140-B, A140-D, A140-E, A140-F, A140-H, A140-I, A143-N, C104-H, C104-I, C104-J.	All interior Library round windows. Similar to A141-A.
<b>61</b>	On this sheet (A2.10) all these elevation 15's (even the ones we can locate) show the width (face of the frame) to be 1 ¾ " all other hollow metal frames on the schedule call for a 2" width. Please advise which face is correct.	Use 2" for pricing. All associated with round windows at Library interior walls.
<b>62</b>	Addenda 2 sheet (A9.01) is still missing the dimensions for elevation 15. Please provide.	1'-6" radius
<b>63</b>	Elevation 23/A9.01 and Door Schedule A2.09 Door Mark A139-1 – please confirm the door height is 10'.	Door can be 7'-2" with glass above.
<b>64</b>	Please provide the Door Types for this project. The Door Schedule is noted on Sheet A.209 however there is no Door Types to bid accordingly.	Door description listed on A209 and refer. A901 for door elevation.



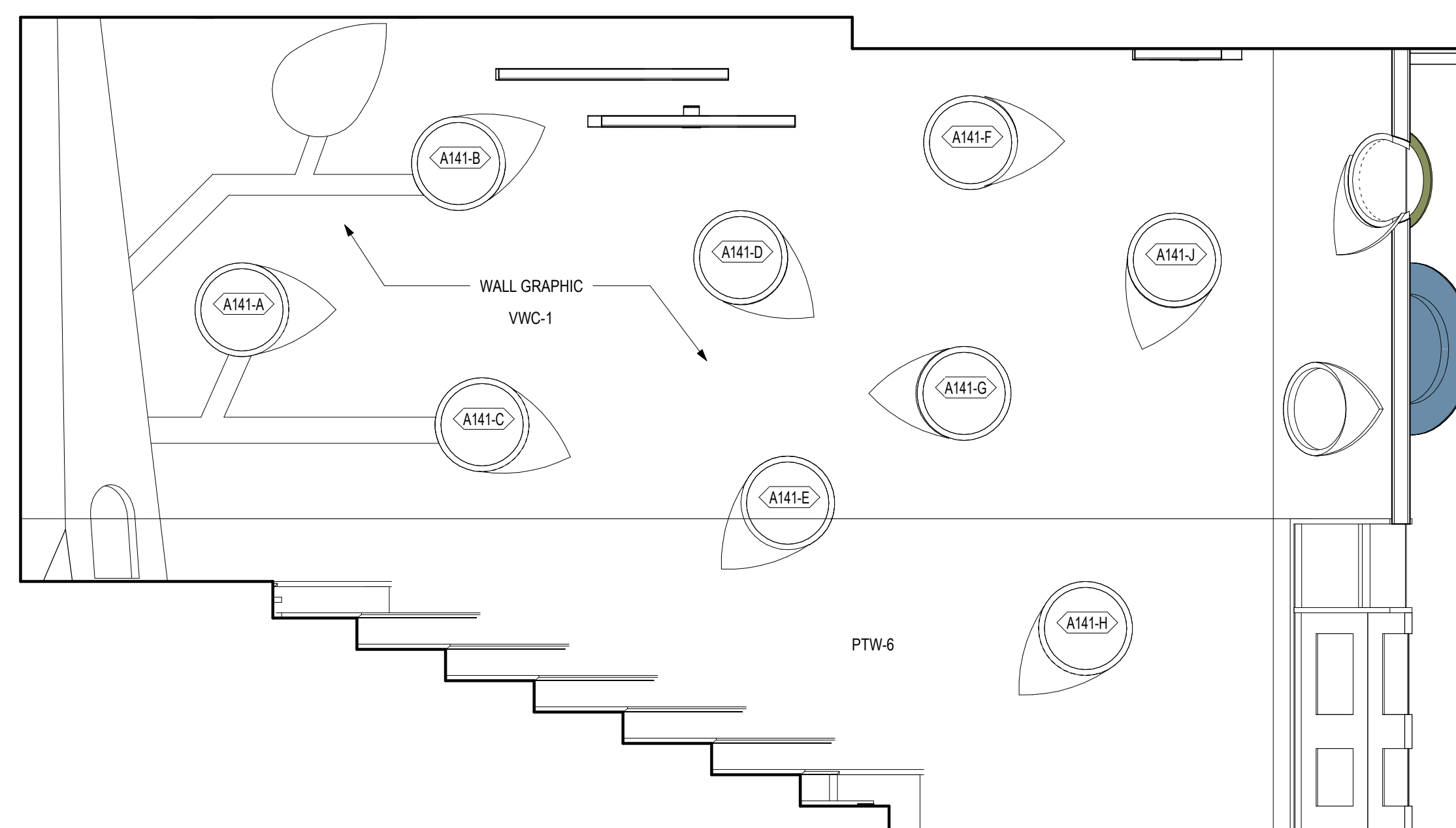
65	<p>Mod-U-Serve is listed as the sole source for the exhaust hoods and the serving counters, and we have made several requests from them for pricing with no response to our emails and phone calls. We are requesting that PISD provides the quote from the proprietary supplier of the hoods and counters or provides us with acceptable equal vendors for the hoods and counters. Without the Mod-U-Serve quote or approved equals we are not going to be able to bid on division 11400 work.</p>	Price alternate if needed.
66	<p>Finish Plans refer to CTW-2 on Lavatory Walls, Elevation to CTW-1,2,3;4;5. Please Clarify</p>	Associated with wall graphics.
67	<p>Many Classrooms refer to CPT-1 and LVT-1. Please Spec. the location/Pattern.</p>	Ref. A11.01 - A11.10
68	<p>Sheet A11.03 Area C1 is missing half the drawing. Will this be updated? I used the overall plan to fill in the gaps.</p>	Ref. A11.06 for similar layout
69	<p>2. There are elevation drawings for wall tile in RR D134, C118 &amp; C117. Should we assume these are typical throughout?</p>	Yes.
70	<p>3. Rooms A128, A130, A134 &amp; A132 indicate both CPT-1 and LVT-1 on the floors but no location for the product.</p>	Remove CPT and only use LVT
71	<p>Project specs and under 03 5216 they call out 350 psi with dry density of 26/pcf that isn't going to happen. They also don't name roof deck gauge or type, is it 1.5B or 3N and I need at minimum 22ga but would prefer 20ga.</p>	Use 20ga for pricing.
72	<p>Is there a playground / equipment for this project? Sheet C205 is a courtyard / playground grading plan but there are no specs for playground equipment to price.</p>	Not in scope.
73	<p>Please confirm all responses provided to the Questions submitted via Ionwave in the Questions tab will be formally issued in an addendum. (Otherwise these responses are not part of the bid/contract documents)</p>	Yes, all questions and answers will be attached to addendum.

74	<p>On T500 Technology Details calls for a dedicated non-GFCI 20A Nema L5-20R AFF. Mounted on rear. Is this calling out for a rack mounted PDU for owner to connect their equipment? If so what exact model/ part # is recommended? Or is this for Div-26 to install an electrical outlet/ plug directly onto network racks?</p>	<p>Div 26 to provide a power circuit at the network racks, for PDU/UPS to plug into</p>
75	<p>In Div-specs 27-11-00 mentions 12" Wide Vertical Managers in MDF/ IDF. On T500 Technology Details mentions 10" Wide Vertical Managers. Which is correct?</p>	<p>Allow for 12" VWM.</p>
76	<p>On T400 Technology Enlargements calls out for all 2-post racks. On T500 Technology Details calls for one 4-post rack for PA and the rest are 2-posts. Question is will there only be (1) 4-post Rack and the remaining ones 2-post racks?</p>	<p>Each MDF/IDF should have (1) 4-post equipment rack, dedicated to the PA system, as shown in Details 1-5, Sheet T500. All other racks in these rooms should be 2-post.</p>
77	<p>Will Attic Stock/ Spare parts be required for this project? If there is what percentage? How much cable, jacks, &amp; parts?</p>	<p>The majority of specification sections require the contractor to provide the owner with a list of recommended spare parts, but do not require specifics on providing the spares. Here is the section that does require contractor-furnished spares: 27 11 00, 2.94 – 24 spare screws for each rack.</p>
78	<p>On Div-27 Specs and T-Drawings state to use All Thread for J-Hook pathway supports. On T502 Technology Details it also mentions using ceiling grid wire for j-hook supports. Which is correct All Thread Rod Method? Or Ceiling Wire Hanger Method?</p>	<p>All Thread is the preferred method for supporting j-hooks. If grid wire is to be implemented, the EC-311 grid clips must be used, and the grid wire shall be secured on both ends.</p>
79	<p>In order to properly estimate the remote refrigeration package, we need to know the location of the condenser rack, item no.: 02. Please provide a location or the length of line runs that we need to include in our bid.</p>	<p>Proposed location is outside Custodial Rm B122 within courtyard enclosure.</p>
80	<p>3/A7.09 According to referenced detail – the contractor will need to enter an existing school to remove an existing stage floor. Will this need to be done after school hours?</p>	<p>Coordination required with PISD.</p>
81	<p>If removal of the existing stage floor is required after school hours, will Contractor need to pay school personnel to be present and have the school open? If yes, what is the hourly rate charge?</p>	<p>Coordination required with PISD.</p>

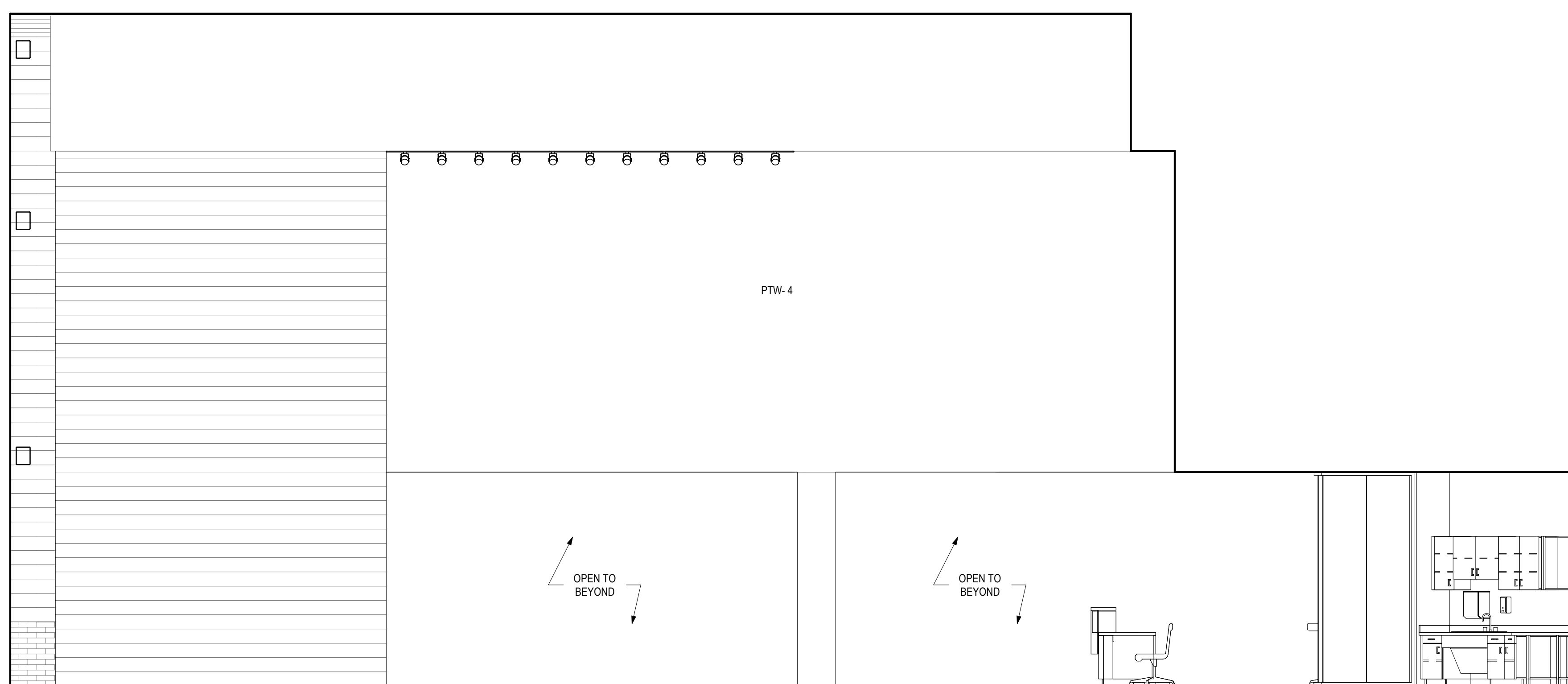
82	Is any remedial work required of the existing stage once the stage flooring is removed? Please describe.	Place temporary flooring after removing existing wood for repurposing. Temporary stage shall be suitable for use by school.
83	C205, Note 1 – indicates concrete seating at the semicircles in the courtyard. Please provide necessary details for the construction of this seating.	Similar to detail 2/C1.08
84	Addendum 1 – Finish Floor plans indicate three walls in Restrooms to receive tile (and not necessarily the wet wall). Elevations of Restrooms indicate all 4 walls receive tile. Please clarify.	Provide tile on all four walls.
85	Addendum 1 A11.02 Stairs B131A – please define floor, base, wall finishes.	SC-1, RB-1, PTW-1



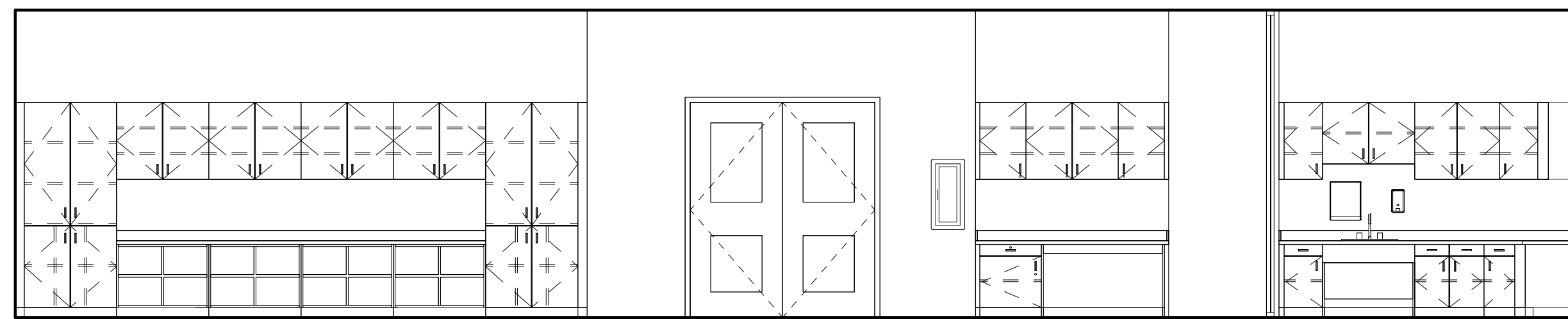
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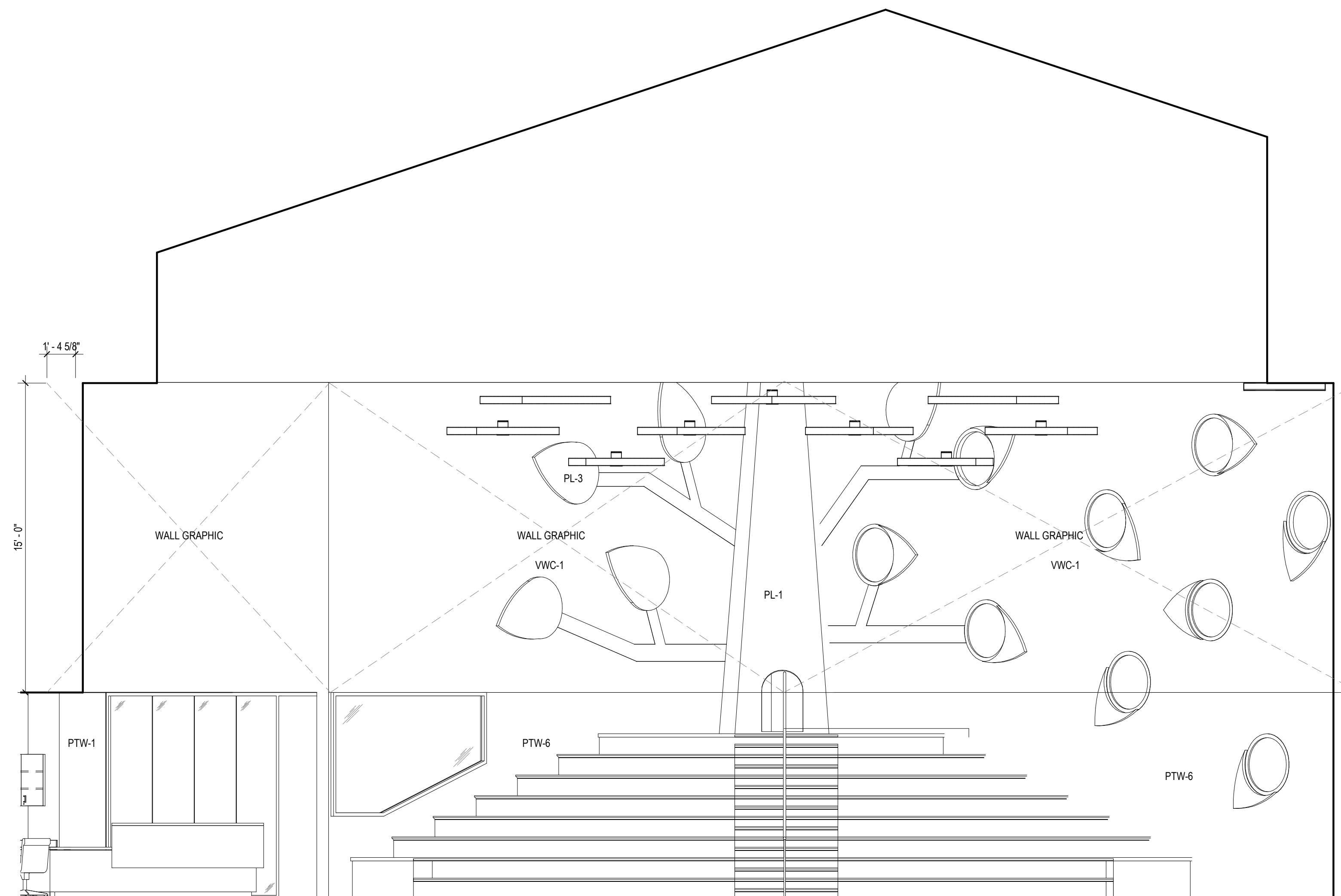
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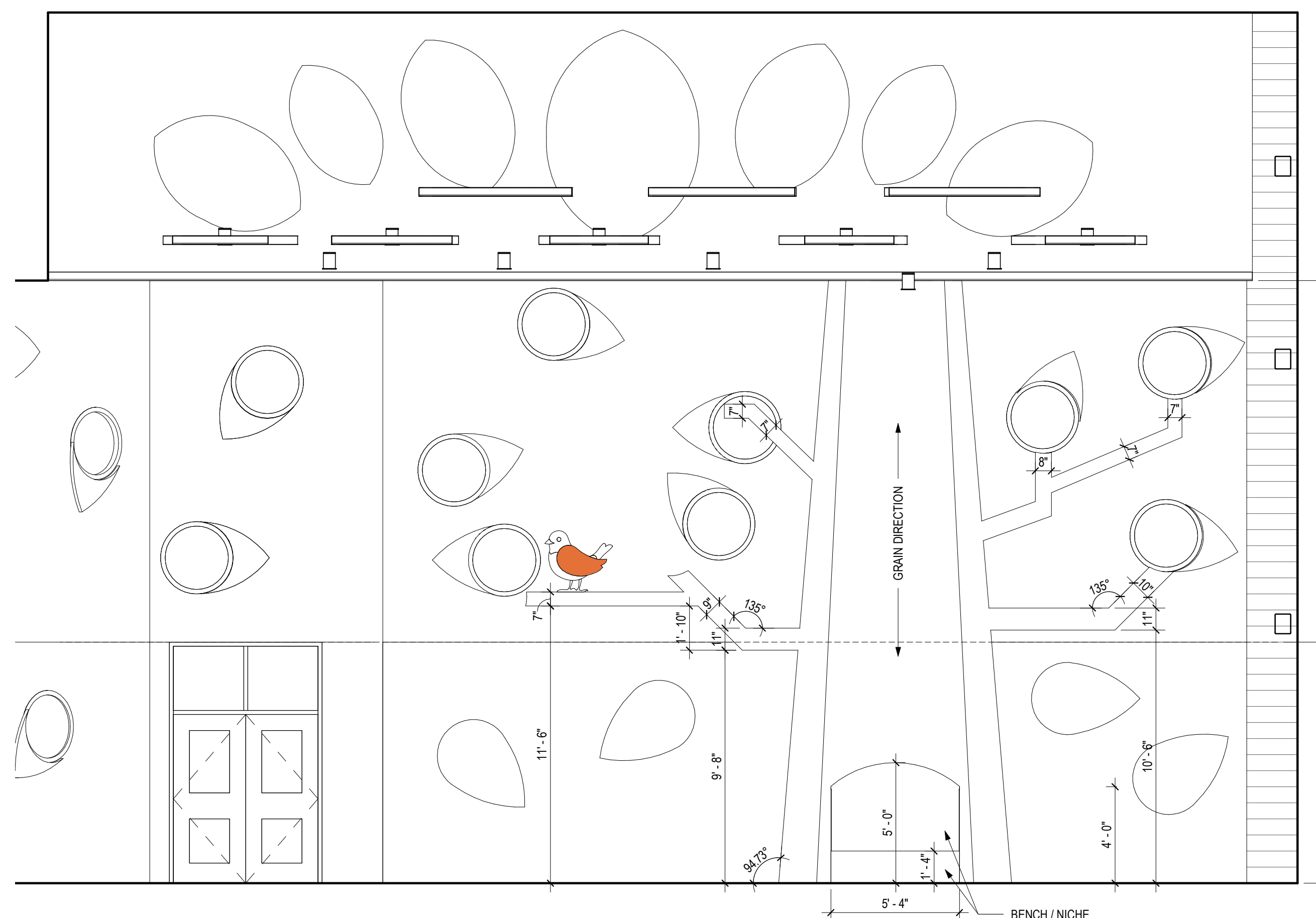
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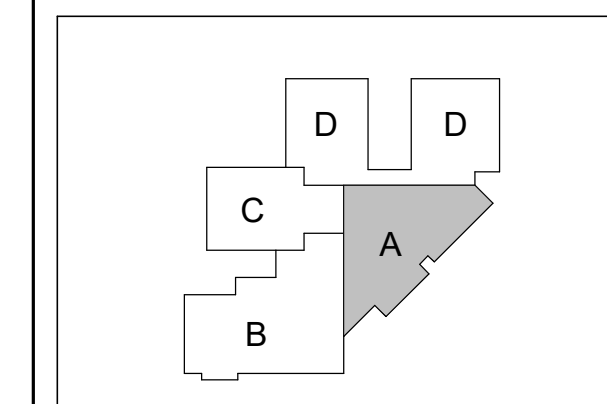


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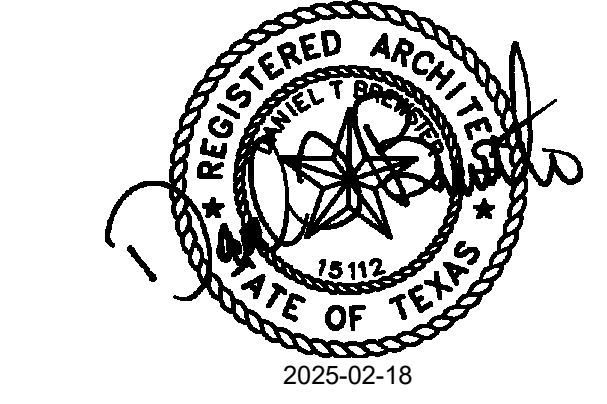
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 PASADENA INDEPENDENT SCHOOL DISTRICT  
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PROJECT #:	202301
DATE:	2025-02-18
DRAWN:	Author
CHECKED:	Checker
DATE:	ISSUE
2025-02-18	ISSUED FOR BID
2025-03-26	ADD 04

**A7.07**  
 INTERIOR ELEVATIONS



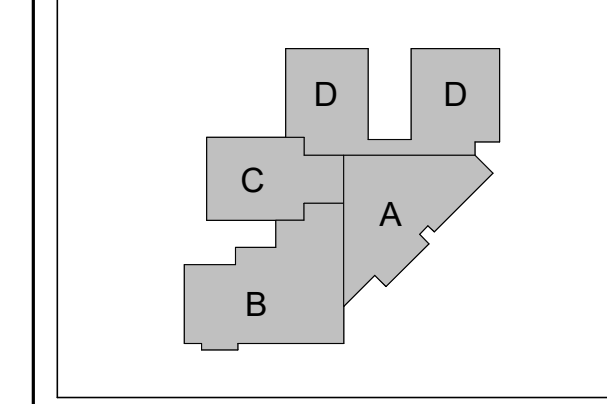
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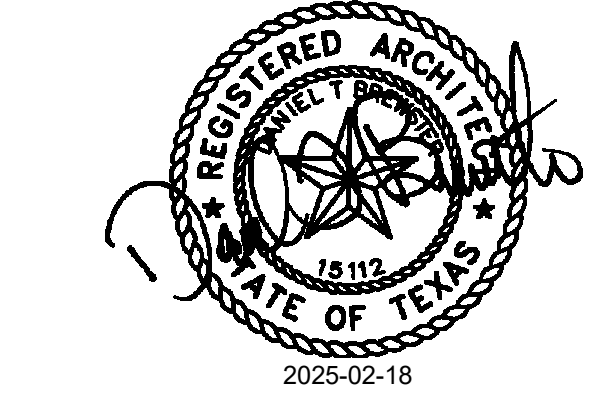
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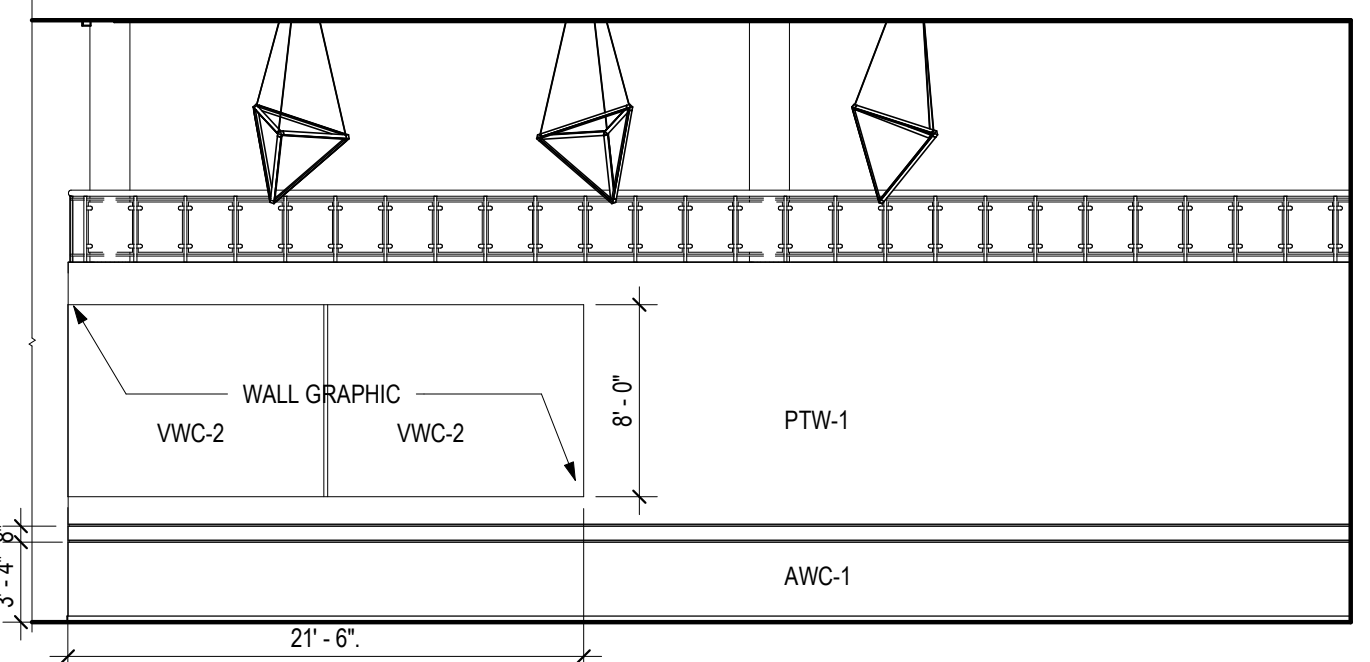


PROJECT #:	202301	
DATE:	2025-02-18	
DRAWN:	Author	
CHECKED:	Checker	
DATE:	ISSUE	
2025-02-18	ISSUED FOR BID	
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2025-03-10	ADD 01	A
2025-03-19	ADD 02	B
2025-03-26	ADD 04	C

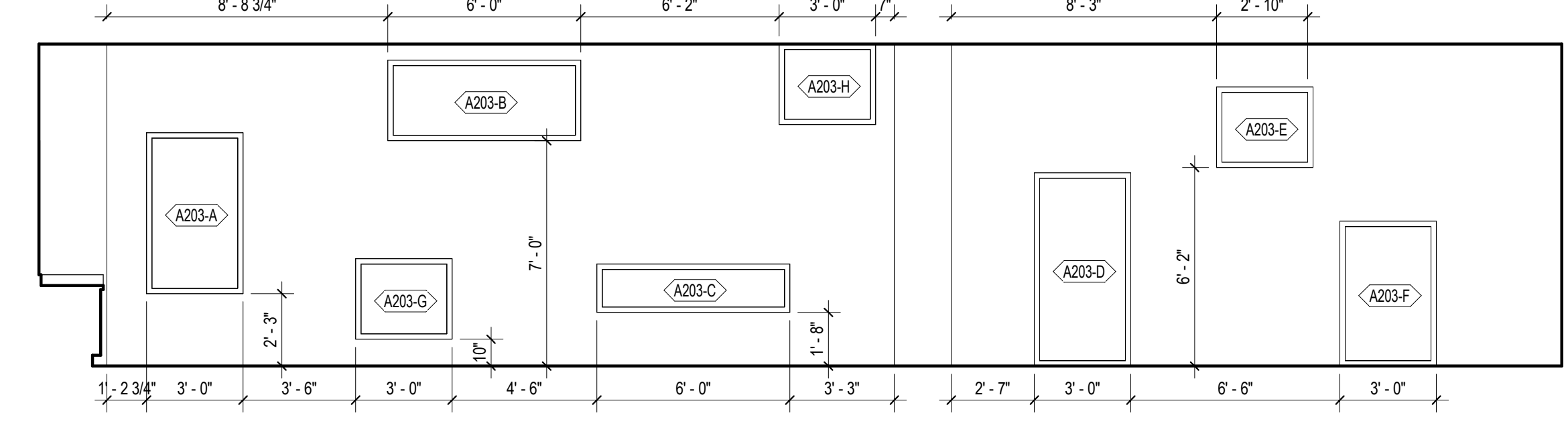
**A7.08**  
 INTERIOR ELEVATIONS



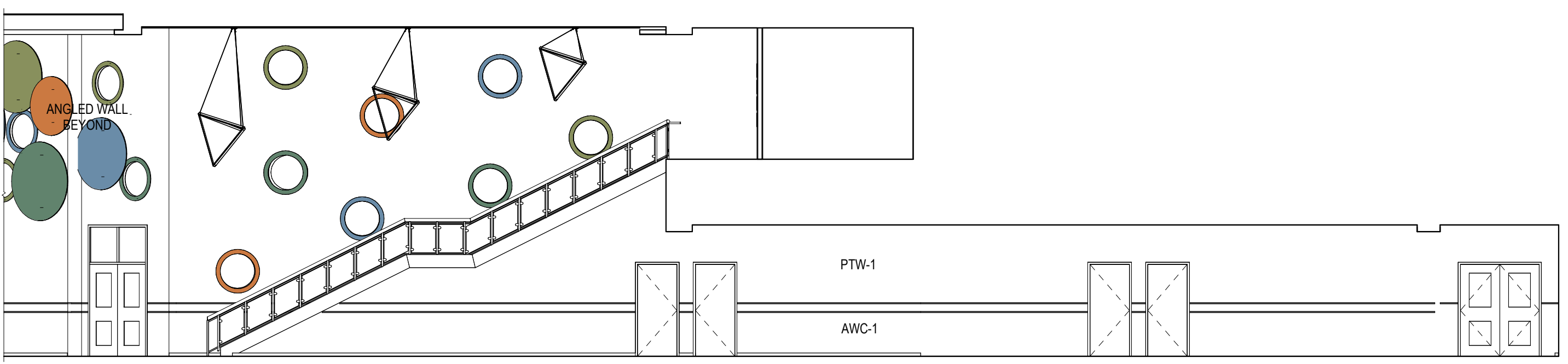
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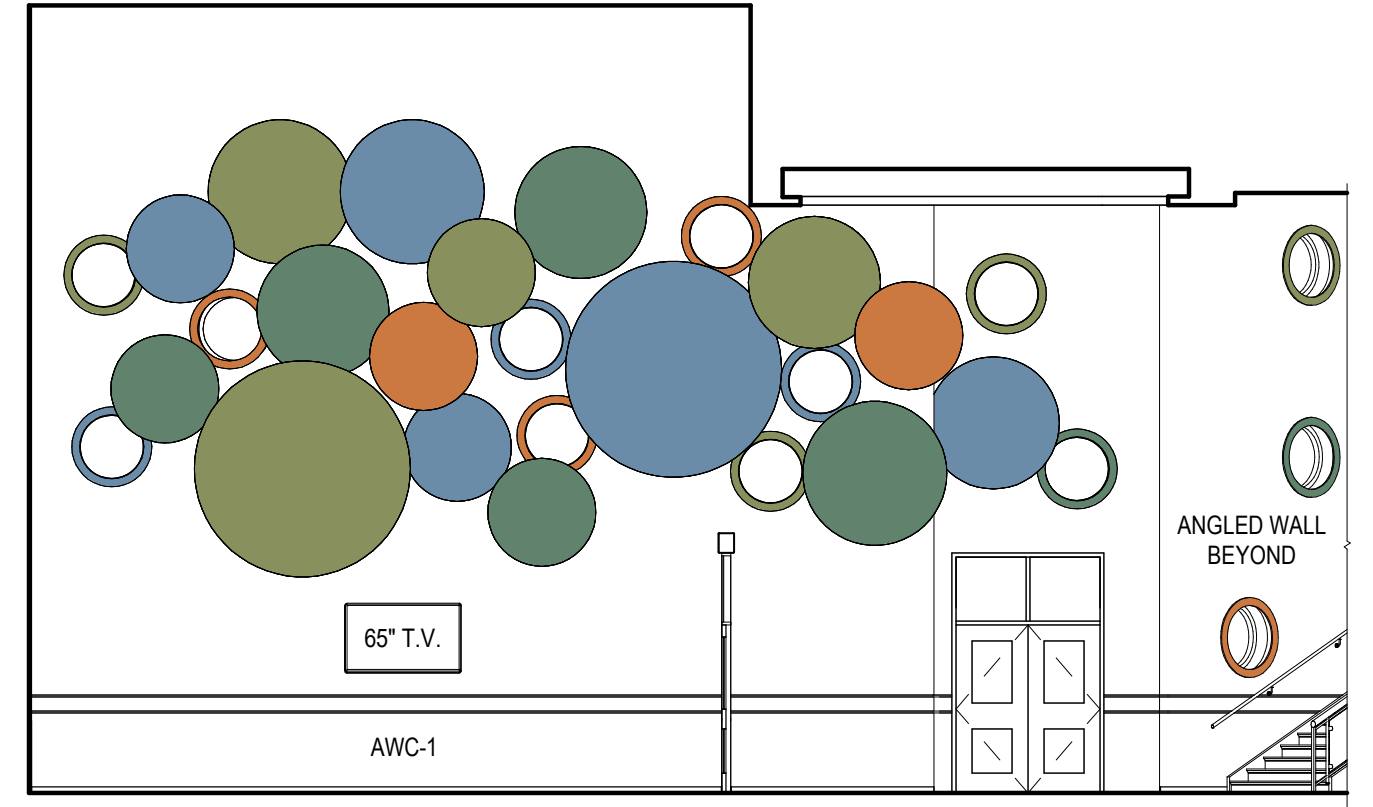
15 INT - CORR. A127 - W  
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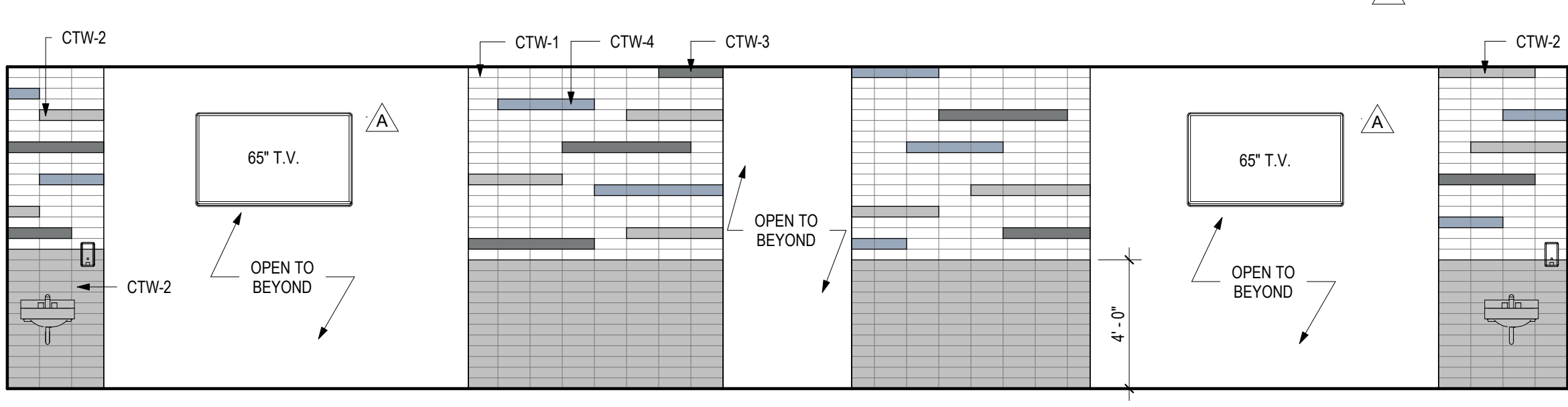
16 INT - LGI A203 - E  
 1/4" = 1'-0"



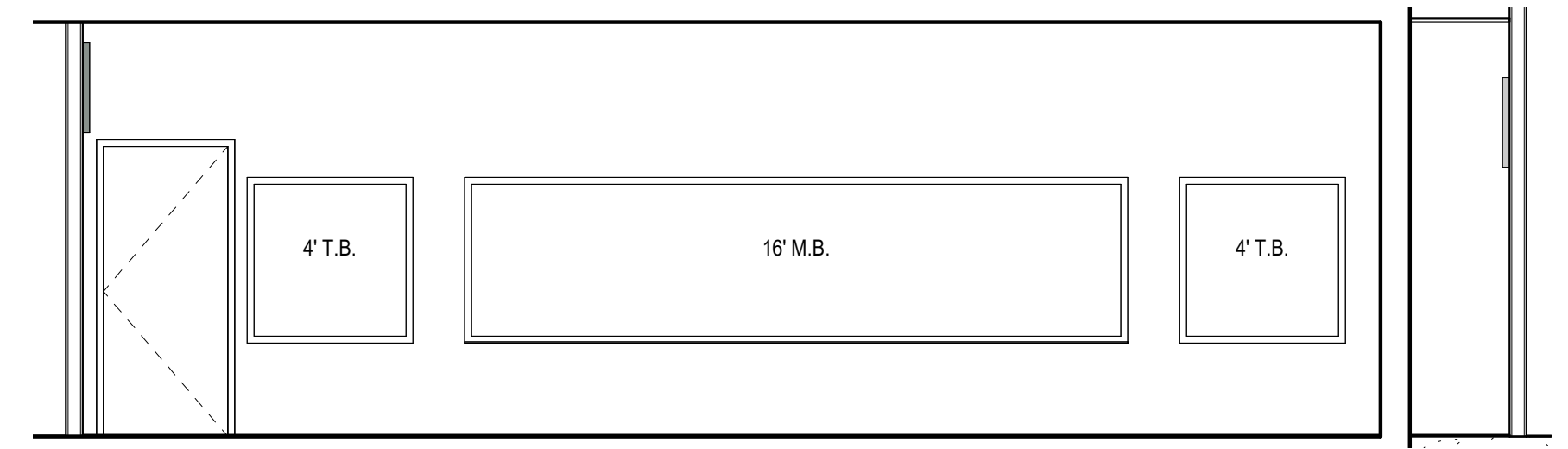
12 INT - CORR. A135 - S  
 1/8" = 1'-0"



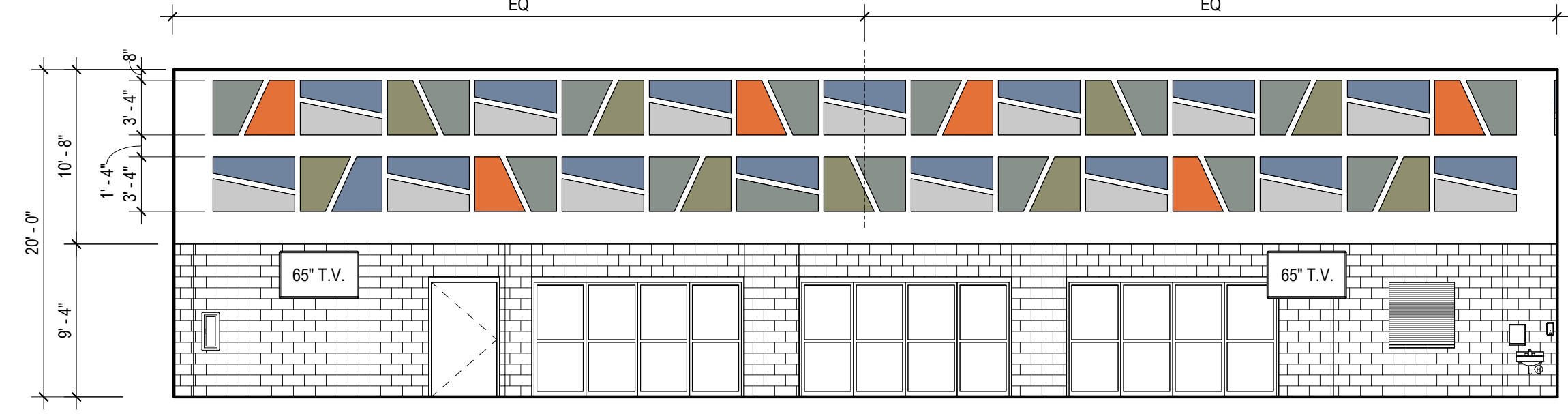
13 INT - SECURE VEST. A101 & LOBBY A100 - SW  
 1/8" = 1'-0"



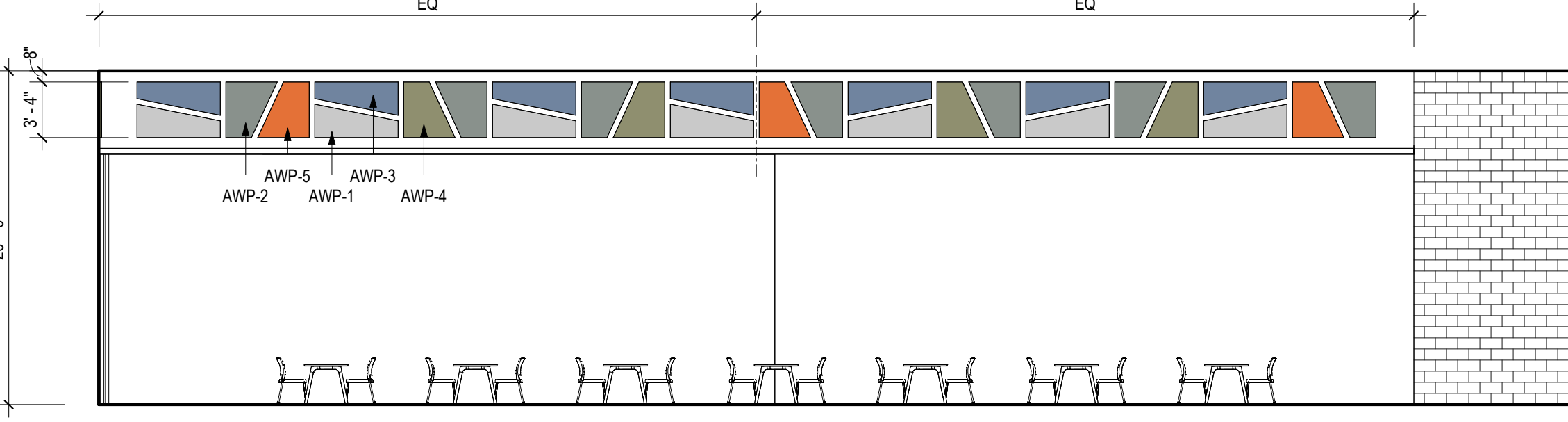
10 INT - SERVERY B119 - W  
 1/4" = 1'-0"



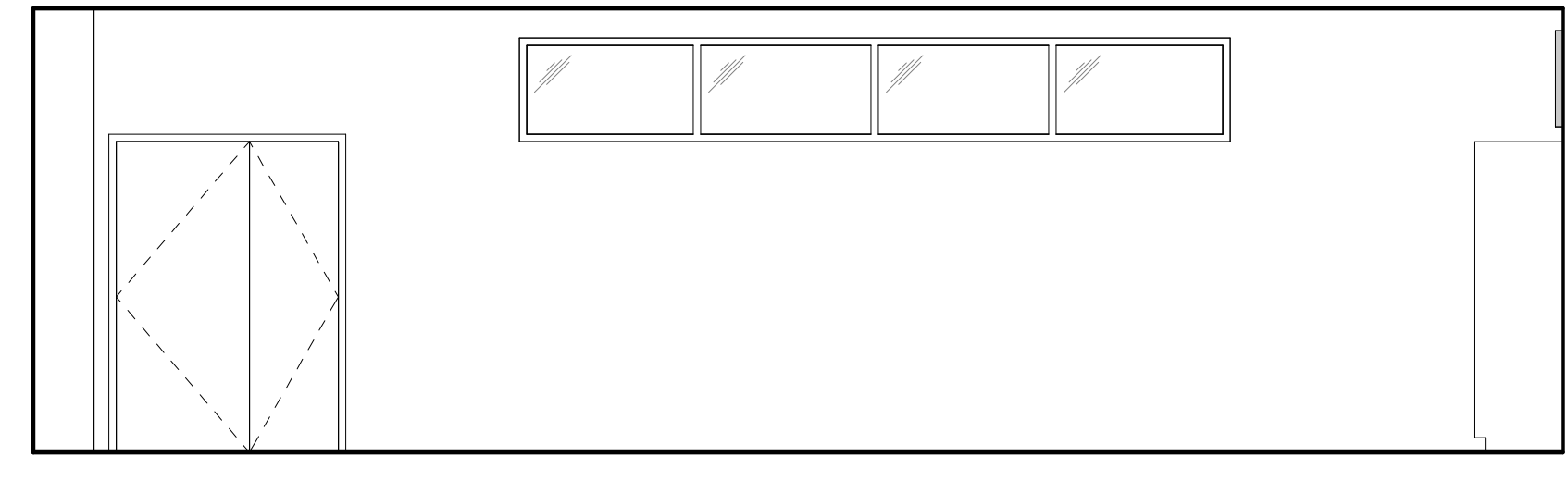
11 INT - MUSIC B109 - E  
 1/4" = 1'-0"



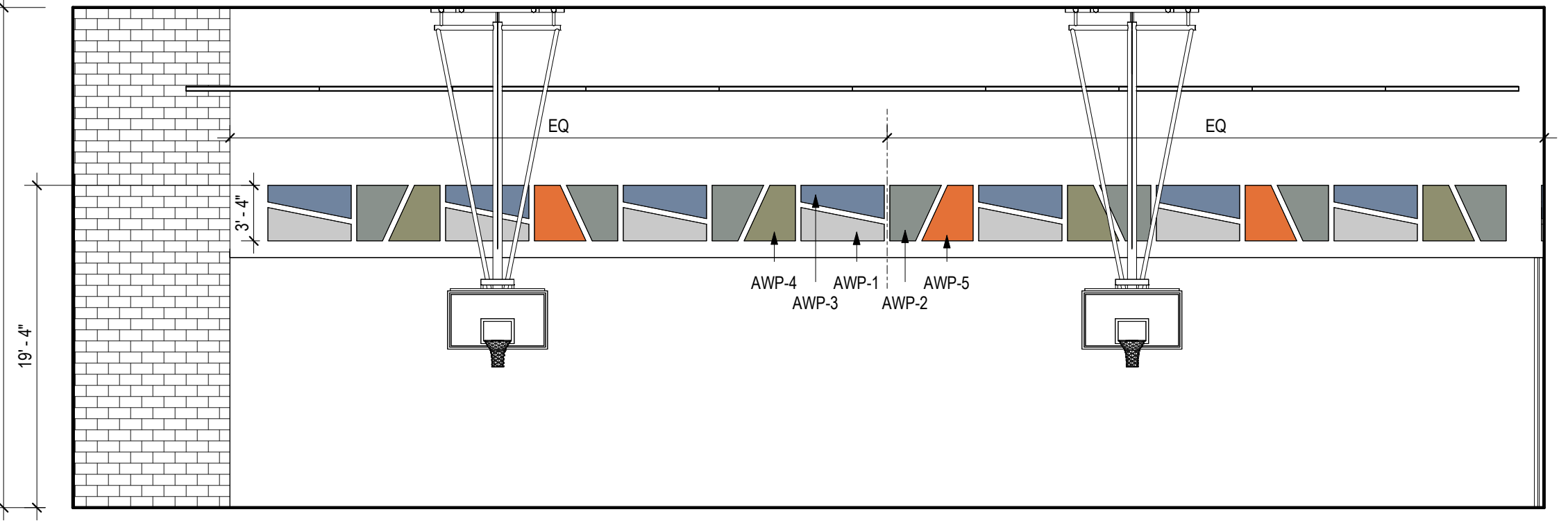
7 INT - CAFETERIA B101 - W  
 1/8" = 1'-0"



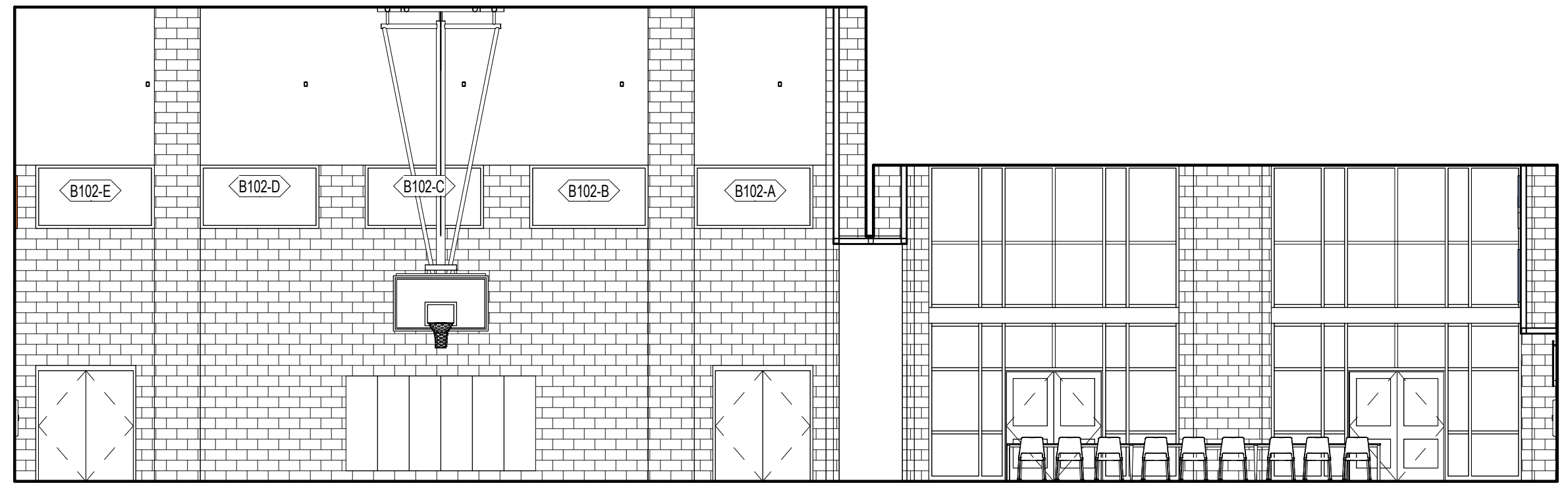
8 INT - CAFETERIA B101 - E  
 1/8" = 1'-0"



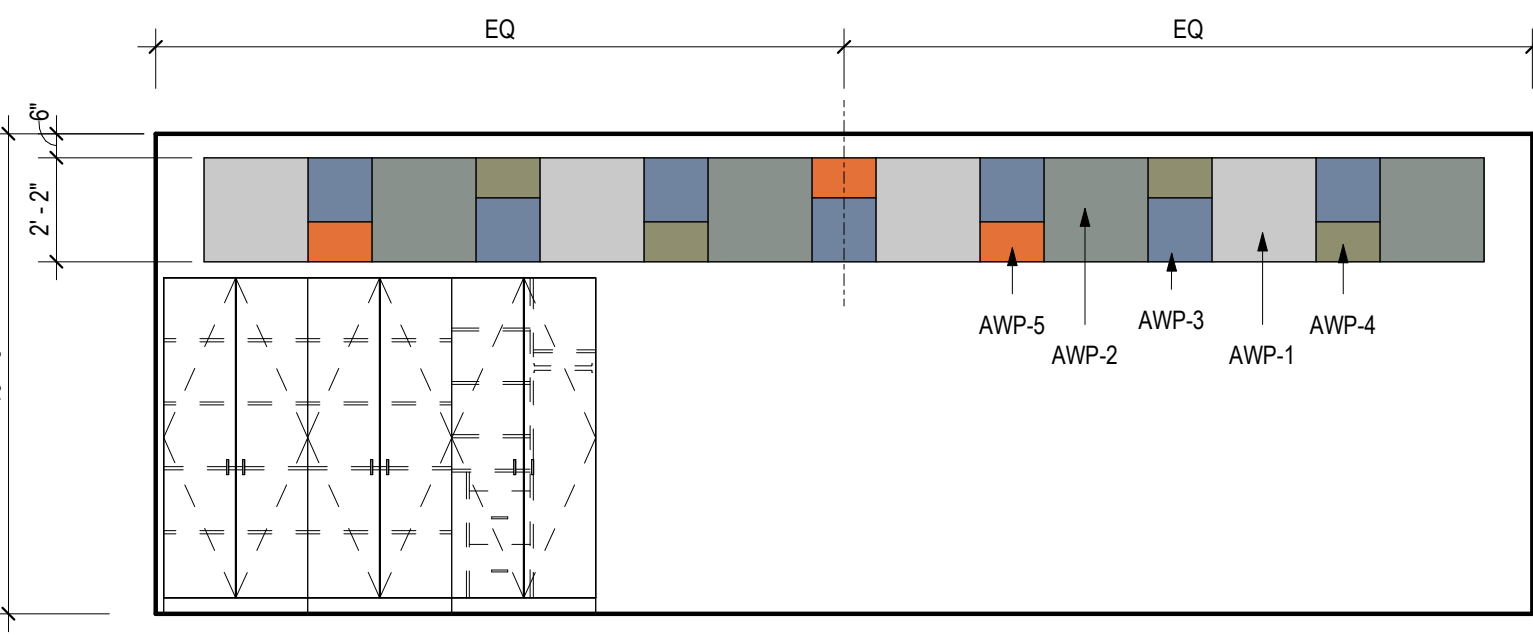
9 INT - MUSIC B109 - W  
 1/4" = 1'-0"



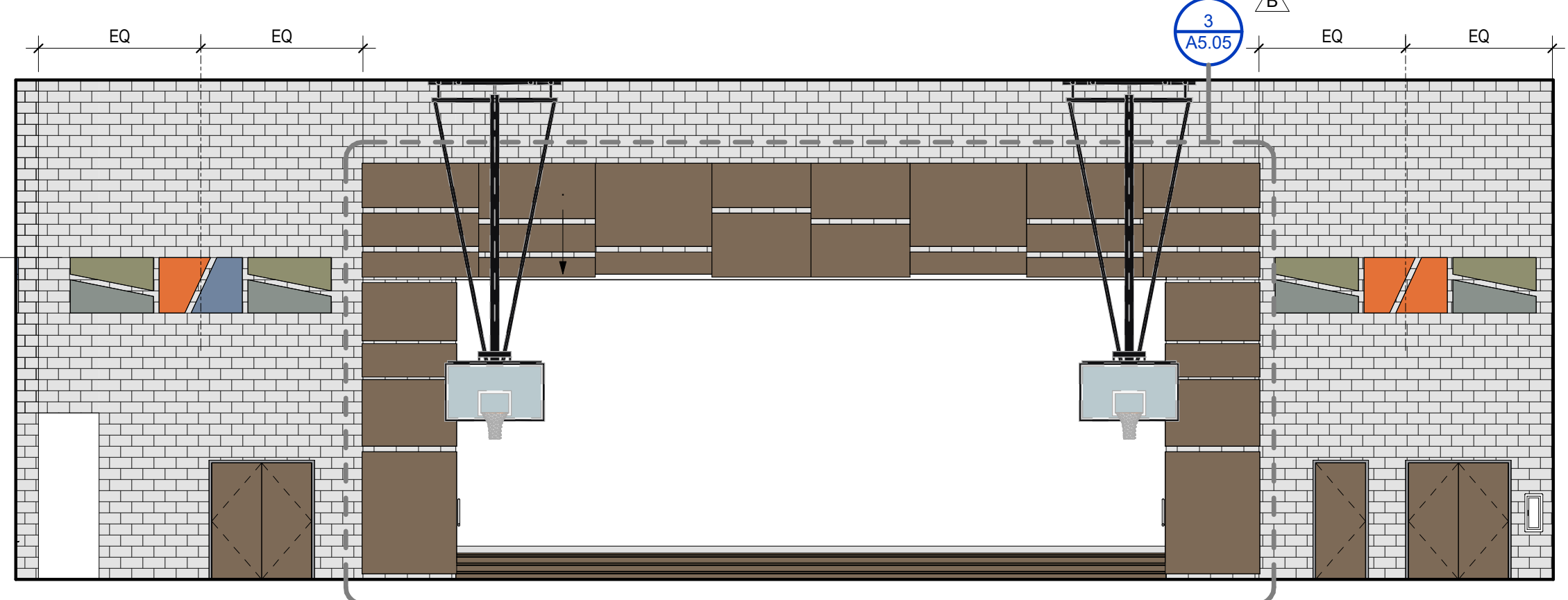
5 INT - GYM B102 - W  
 1/8" = 1'-0"



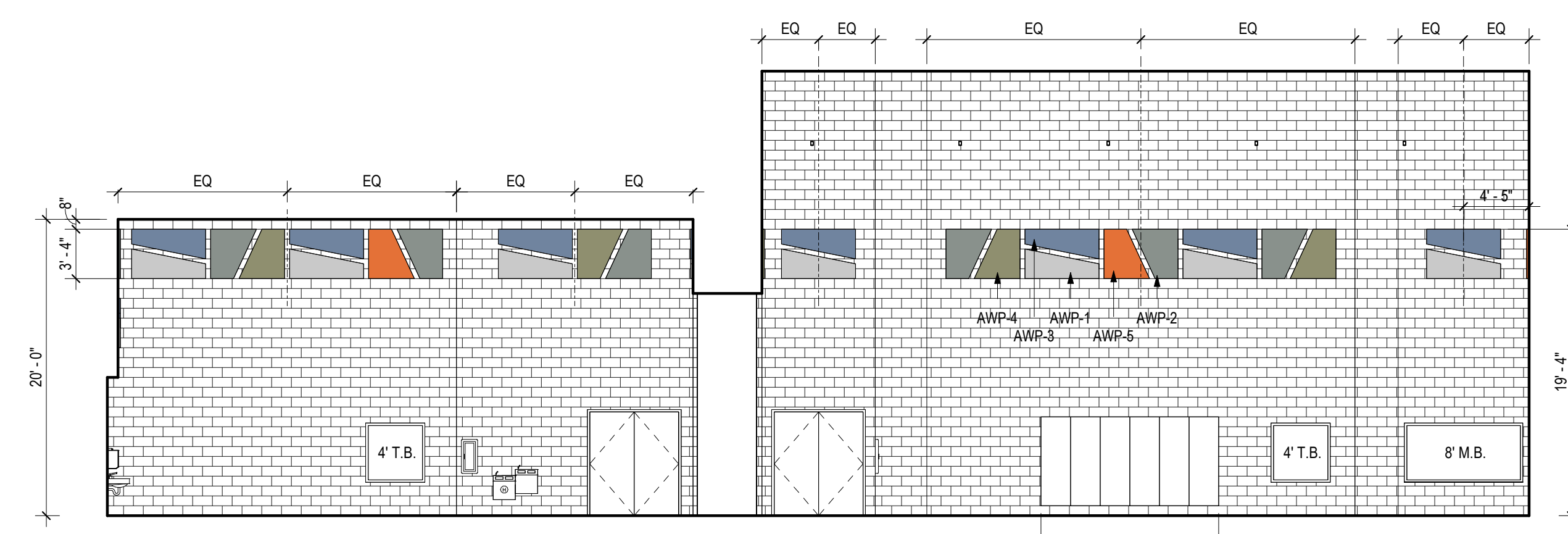
4 INT - CAFETERIA B101 / GYM B102 - S  
 1/8" = 1'-0"



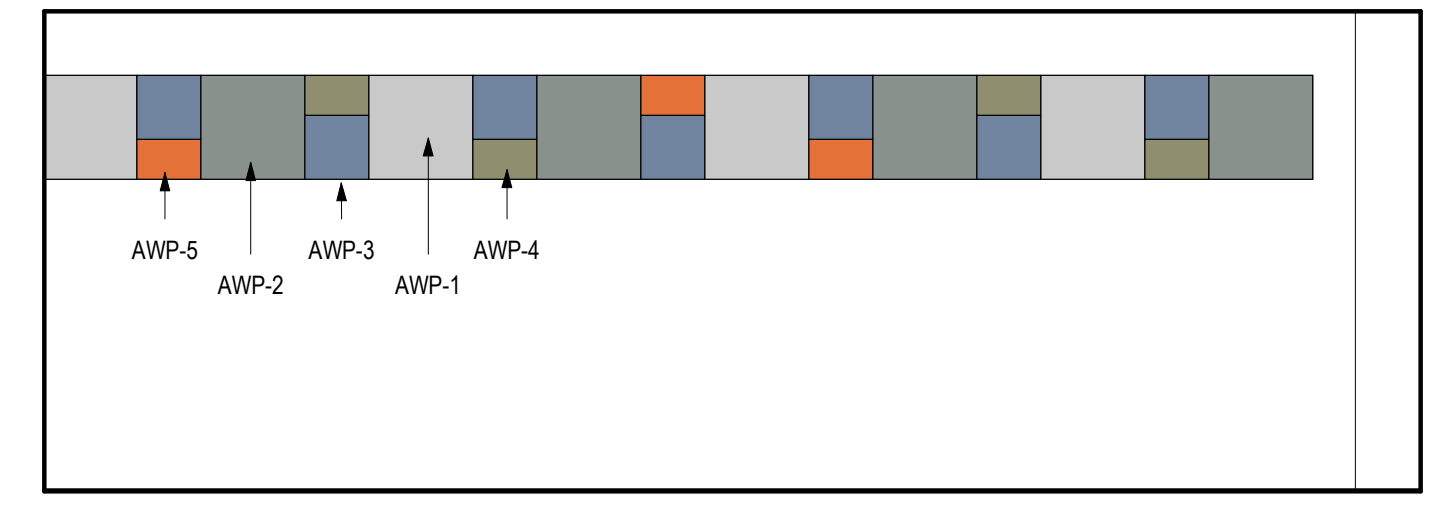
6 INT - MUSIC B109 - N  
 1/4" = 1'-0"



2 INT - GYM B102 - E  
 1/8" = 1'-0"



1 INT - CAFETERIA B101 / GYM B102 - N  
 1/8" = 1'-0"



3 INT - MUSIC B109 - S  
 1/4" = 1'-0"

**CONSULTANTS**

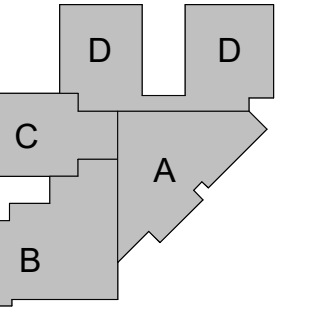
**STRUCTURAL**  
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 Fax: 713.780.3712

**MEP**  
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**FOODSERVICE**  
 FCA DESIGN, INC.  
 1120 Broadway, Suite 2362  
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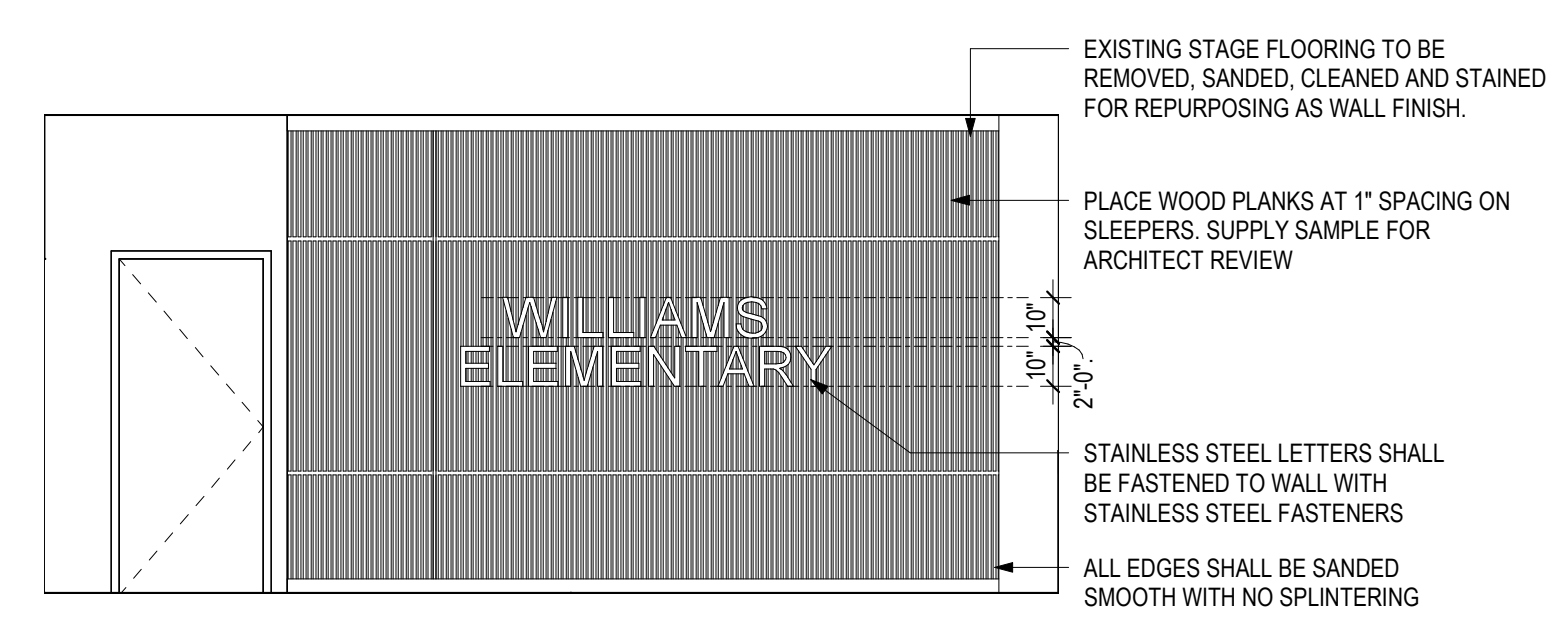
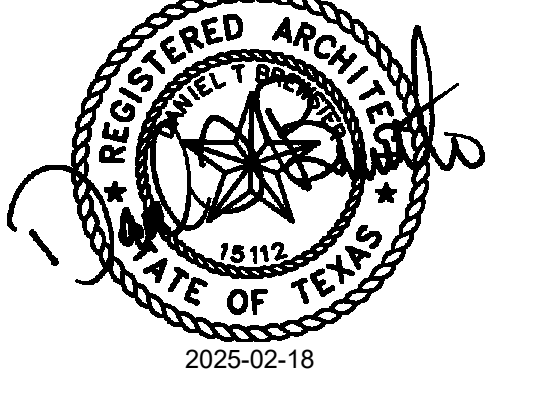
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 Katy, Texas 77493  
 Tel: 832.437.7377

**LANDSCAPE**  
 MARY L. GOLDSBY ASSOCIATES  
 112 NORTHWOOD STREET  
 HOUSTON, TEXAS 77009  
 Tel: 713.802.2799

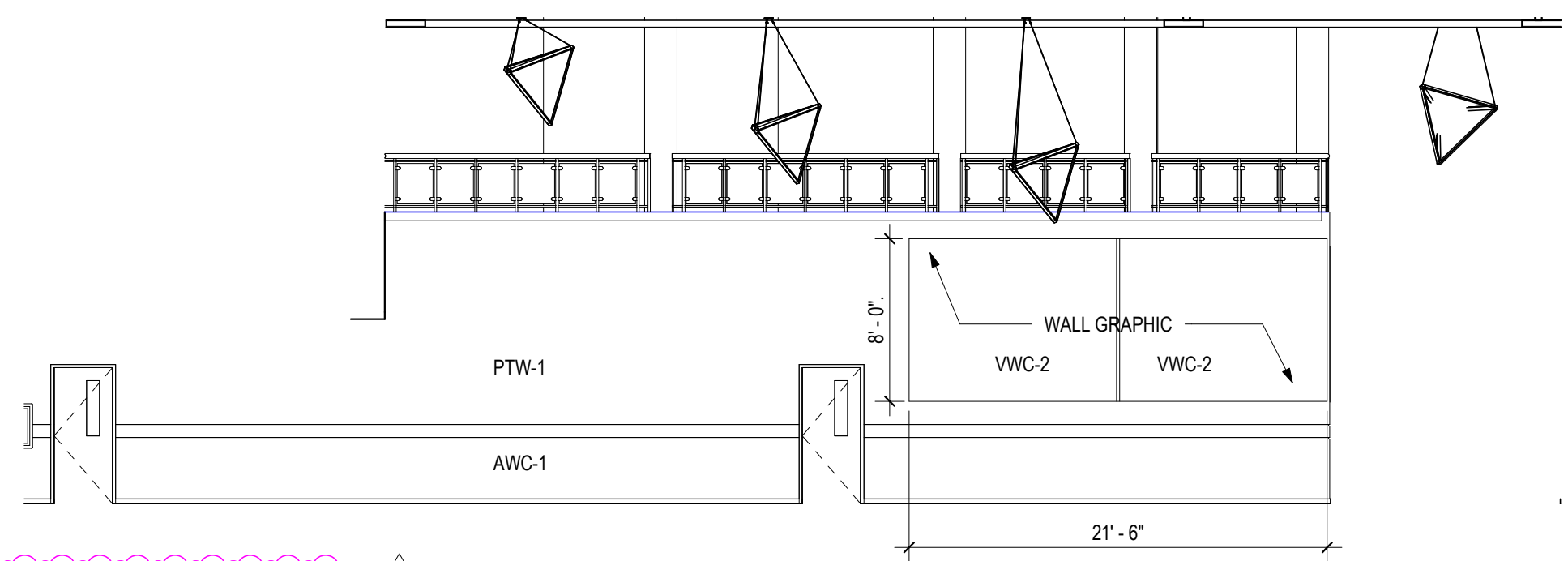


**WILLIAMS ELEMENTARY SCHOOL**  
 PASADENA INDEPENDENT SCHOOL DISTRICT  
 2262 Allen Genoa Rd, Houston, TX 77017

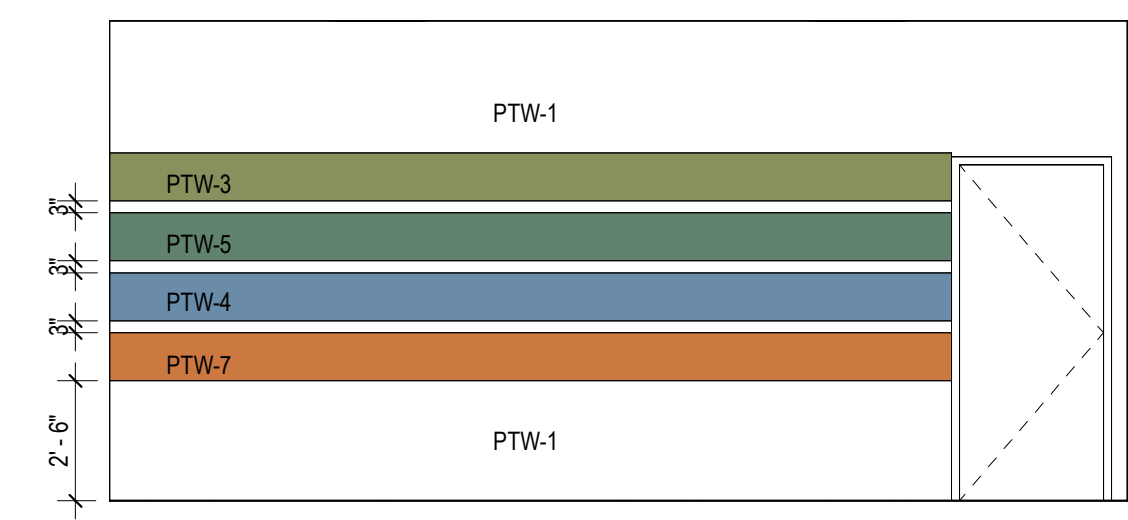
**ARCADIS**  
 TEXAS ARCADIS INC.  
 10205 WESTHEIMER SUITE 800  
 HOUSTON, TX 77042  
 tel 281.286.6605, fax 713.977.4620



**3** INT - RECEPTION A102 - NE  
 1/4" = 1'-0"



**2** INT - CORR. A135 - N 2  
 1/8" = 1'-0"



**1** INT - CORR. A200 - W  
 1/4" = 1'-0"

PROJECT #:	202301
DATE:	2025-02-18
DRAWN:	Author
CHECKED:	Checker
DATE	ISSUE
2025-02-18	ISSUED FOR BID
2025-03-10	ADD 01
2025-03-26	ADD 04

**A7.09**  
 INTERIOR ELEVATIONS

