UMPHREY LEE ELEMENTARY SCHOOL DALLAS INDEPENDENT SCHOOL DISTRICT 7808 RACINE DRIVE



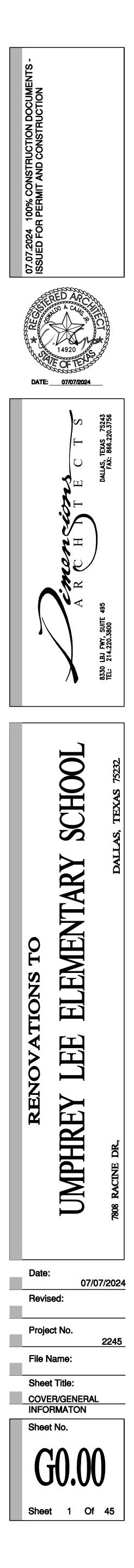


100% CONSTRUCTION DOCUMENTS ISSUED FOR PERMIT 2020 BOND PROGRAM ORG. # 175



DALLAS, TEXAS 75232





PRO.	ect team:			SYME	301 lege	ND		X OF DRAWINGS	PROJECT DA
OUNER:	DALLAS ISD - CONSTRUCTION SERVICE	6			\cap				
	9400 N CENTRAL EXPRESSWAY DALLAS, TX 15231				(A) (COLUMN CENTERLINE		COVER / GENERAL INFORMATION	PROJECT ADDRESS
	TEL: 972-925-7244 EMAIL:shajdavis@dallasisd.org							INDEX / GENERAL NOTES	1808 RACINE DR., DALLAG TX
	CONTACT: SHAJUANA DAVIS				ØI/AXXX	INTERIOR/EXTERIOR ELEVATIONS	CØ1.Ø1	COVER SHEET	SQUARE FOOTAGE
<u>PROGRAM</u> MANAGER:	McKISSACK & McKISSACK 2911 TURTLE CREEK BLVD., SUITE 300 DALLAS, TX 75219 TEL: 972-455-9282	<u>MEP</u> Engineer:	IDA ENGINEERING, LLC 16990 N. DALLAS PARKWAY,SUIT DALLAS, TEXAS 75248 TEL: (972)991-1927	E 106	● 100'-0' FINISH FLOOR	DATUM ELEVATION		DEMOLITION PLAN 1 PAVING PLAN 2 PAVING DETAILS	EXIST. GROSS FLOOR AREA FIN EXIST. GROSS FLOOR AREA SE TOTAL EXIST. GROSS FLOOR AN NEW PORCH COVERED AREA =
	CONTACT: ROBERT SPICER		CONTACT: JEFF JAFAZADE, P.E.		14 A2.02	WALL SECTION	CØTØI CIIØI CII5Ø	EROSION CONTROL PLAN	ZONING
ARCHITECT:	DIMENSIONS ARCHITECTS	<u>STRUCTURAL</u> ENGINEER:	CHARLES GOJER AND ASSOCIATES, INC.				STRUC	TURAL	R-1.5(A)-SUP 1540
	8330 LBJ. FWY, 6UITE *495 DALLAS, TX 15243		11615 FOREST CENTRAL DR. #303 DALLAS, TX 75243		ØI/AXXX	DETAIL SECTION	S1.1	STRUCTURAL ABBREVIATIONS AND GENERAL NOTES	
	TEL: 214-220-3800 FAX: 866-220-3756 CONTACT: OSWALDO CAJAS, AIA		TEL: 214-340-1199 FAX: 214-348-8053 CONTACT: DAN BADALUTA, P.E.		FI	PARTITION TYPE	6 1.2 62.1 63.1	REQUIRED SPECIAL INSPECTIONS FOUNDATION AND ROOF FRAMING PLAN SECTIONS AND DETAILS	MAIN OCCUPANCY: EDUCATION ACCESSORY OCCUPANCIES: A
	BOYAY ENGINEERS, INC.		RIDDLE & GOODNIGHT, INC.			NORTH ARROW	53.2 55.1	MARQUEE SIGN SECTIONS AND DETAILS FOUNDATION TYPICAL SECTIONS AND DETAILS	CODE DATA
ENGINEER:	11757 KATY FREEWAY, SUITE 700A HOUSTON, TX 17079	<u>Estimating:</u>	1155 MARY DR. WEATHERFORD, TEXAS 16085					ECTURAL	
	TEL: 713-777-8400 CONTACT: MARIO IPINA, P.E.				1		AØ2Ø	TAS STANDARDS	I. <u>GENERAL SITE AND PROJECT INFOR</u> A. THE EXISTING SCHOOL AND POR
				(14)	\ ` }		AØ.30 AØ.40	PHASING PLAN	B. THESE CONSTRUCTION DOCUMEN THE PUBLIC WAY INTO, AND THR
				A2.02)	DETAIL REFERENCE	A1 <i>.00</i> A1.10	OVERALL SITE PLAN- DEMO OVERALL SITE PLAN- NEW	II. GOVERNING CODES
PROJ	ECT GENERAL NOTES	*			RM. NAME	ROOM NAME & NUMBER	A1.11 A1.12	ENLARGED SITE PLAN AND DETAILS FACADE REPAIRS FOR COURTYARD	BUILDING: 2021 IBC (EX MECHANICAL: 2021 IMC WITH
	ENERAL NOTES PROVIDE INFORMATION CO						A1.13 A1.20	FACADE REPAIRS AT THE EXTERIOR PARAMETER EXITING PLAN-FIRST FLOOR	ELECTRICAL: 2021 NEC WITH PLUMBING: 2021 NEC WITH
INDIVIDUAL	OF THE ENTIRE PROJECT AND ARE NOT LIM DRAWING OR SHEET.				(102)	DOOR NUMBER	A121 A2.00	EXITING PLAN-SECOND FLOOR OVERALL FIRST FLOOR-DEMØ PLAN	FIRE CODE: 2021 IFC WITH LIFE SAFETY: MOST CURRE
VISIT THE	E NECESSARY ARRANGEMENTS WITH THE O SITE PRIOR TO SUBMITTING A PROPOSAL	. EXAMINE					A2.10	PARTIAL FIRST FLOOR-DEMO-AREA 'A' PARTIAL FIRST FLOOR-DEMO-AREA 'B'	ACCESSIBILITY: 2012 TEXAS A
TIONS, SU Evidence	TING SITE AND FACILITIES, FIELD VERIFY A IBMISSION OF A PROPOSAL SHALL BE TAK THAT THE CONTRACTOR HAS PHYSICALL	KEN AS It inspected			$\langle \! \times \! \rangle$	WINDOW TYPE	A2.12	PARTIAL FIRST FLOOR-DEMO-AREA 'C'	ENERGY 2021 IECC INT
THE SITE	AND MADE HIM OR HERSELF FAMILIAR WIT ANDS THE REQUIRED SCOPE OF WORK.	'H AND			××	KEYED NOTE NUMBER	A2.20 A2.21	OVERALL FIRST FLOOR PLAN- NEW PARTIAL FIRST FLOOR-NEW-AREA 'A'	III. <u>USE AND OCCUPANCY CLASSIFICA</u> A. SEC. 303.1- THIS PROJECT IS AN
THE INTEN	IELD CONDITIONS FOUND TO BE AT VARIA	LL IMMED-					A2.22 A2.23	PARTIAL FIRST FLOOR-NEW-AREA 'B' PARTIAL FIRST FLOOR-NEW-AREA 'C'	IV. TYPE OF CONSTRUCTION
	E BROUGHT TO THE ATTENTION OF THE AR IDERATION BEFORE PROCEEDING WITH TH		(OOR PLAN	PLAN, ELEVATION, SECTION	A2.24 A2.25	PARTIAL ANNOTATED FIRST FLOOR PLAN PARTIAL DIMENSIONS FIRST FLOOR PLAN	A. TAB. 601- CONSTRUCTION TYPE
TION AND CRETE, FA	NSIONS ARE NOMINAL AND REQUIRE FIELD COORDINATION. DIMENSIONS ARE TO FAC ACE OF GYPSUM BOARD OR FACE OF CMU	E OF CON-	(SCAL	LE: 1/8'=1'-Ø'	OR DETAIL TITLE W/ DRAWING SCALE NOTATION	A2.30 A2.31 A2.40	SECOND FLOOR PLAN- DEMO SECOND FLOOR PLAN- NEW FIRST FLOOR RCP- DEMO	FRAMING, BEARING WALLS, FLOO V. INTERIOR FINISHES
	THERWISE, DO NOT SCALE DRAWINGS. EXISTING UTILITIES PRIOR TO CONSTRUCTIO	ON AND					A2.41 A2.41 A2.42	FIRST FLOOR RCP- NEW PARTIAL FIRST FLOOR-RCP- NEW	A. TAB. 803.5- INTERIOR WALL AND FOR EXIT ENCLOSURES AND EXI
COORDIN	ATE ALL WORK WITH RESPECTIVE UTILITY OF THE DRAIL	OUNERS.		₽₽₽ Ø	4' 8' 6'	GRAPHIC SCALE	A2.43	SECOND FLOOR RCP- DEMO	EXITWAYS, AND CLASS C FOR RO VI. <u>MEANS OF EGRESS</u>
	DALL SIMILAR CONDITIONS .			-			A2.44 A2.50	SECOND FLOOR RCP-NEW ROOF PLAN	NO ADDITIONS OR CHANGES IN OCC
	HES & TEXTURES NOT SPECIFIED ON PLAN: D ARCHITECT PRIOR TO APPLICATION OR		ATERIALS.		<u>+ ×'-××"</u> +	DIMENSION IN FEET & INCHES		PARTIAL ROOF PLAN FIRST FLOOR FINISH PLAN - DEMO	IN PLÀCE AND NO CHANGES TO EXI VII. <u>DOOR REQUIREMENTS</u>
•• • • • •	PROJECT SPECIFICATIONS (FRONT ENDS SD SAFETY REQUIREMENTS, CARE OF ADJ				1		A2.62	SECOND FLOOR FINISH PLAN - DEMO FIRST FLOOR FINISH PLAN - NEW	A. SEC. 1008.12- EGRESS DOORS SI INTERIOR SIDE SWINGING DOORS
PROPERT	IES DURING CONSTRUCTION MUST COMPLY IG REGULATIONS CONCERNING SAFETY, IS	WITH ALL		Ø1/A1Ø1		MATCH LINE	A4.00	SECOND FLOOR FINISH PLAN-NEW EXTERIOR ELEVATIONS-DEMO	DOORS THE LATCH SHALL RELE MOTION WHEN SUBJECTED TO A :
	ESPONSIBILITY OF THE CONTRACTOR. ALL DISCREPANCIES TO THE ARCHITECT F	OR CLARIEL		Ø2/A1Ø	1			ENLARGED EXTERIOR ELEVATIONS- DEMO EXTERIOR ELEVATIONS- NEW	SUBJECTED TO A 15 LB. FORCE.
CATION E	EFORE PROCEEDING WITH THE WORK.						A5.10 A5.11	ENLARGED EXTERIOR ELEVATIONS- NEW BUILDING & WALL SECTIONS- NEW	B. SEC. 1008.1.8.3 - EGRESS DOORS OF A KEY OR SPECIAL KNOWLEI
	PORARY UTILITIES SHALL BE PAID BY THE DING PERMIT AND INSPECTIONS, IF REQUIR			SCHE	DULE OF A	BBREVIATIONS		DOOR AND FINISH SCHEDULE STOREFRONT TYPES	OPERATION OF DOORS WHERE A 1. PLACES OF DETENTION OR R
PROJECT	SHALL BE OBTAINED AND PAID BY THE TOR, EXCLUDING SPECIAL INSPECTIONS.	GENERAL		AFF.	ABOVE FINISHED FLO AND	OR		DETAILS ENLARGED FLOOR PLAN & INT. ELEVATIONS	2. WHERE EGRESS DOORS ARE PERMITTED TO BE USED, PROVI
	RACTOR WILL COORDINATE THE PHASING ARCHITECT AND THE OWNER PRIOR TO BE			ALUM. BLDG.	ALUMINUM BUILDING		А8.10 _ <u>МЕСН</u> А	ENLARGED FLOOR PLAN & INT. ELEVATIONS	DOORKNOB OR SURFACE-MOUNT VIII. <u>EXIT QUANTITIES AND LOCATIONS</u>
12. CONTRAC	TOR SHALL PATCH AND REPAIR AREAS WORK AND SHALL FINISH AREA TO MATCH			4 CFM CMU	CENTER LINE CUBIC FEET PER MINU CONCRETE MASONRY		DM-1	FIRST FLOOR PLAN - HVAC DEMO FIRST FLOOR PLAN - HVAC	A. VALUES ARE FROM SEC. 1004.1, 1 CONSTRUCTION DOCUMENTS. MINI
13. CONTRAC DEVICES	ON WALLS OR CEILINGS (BELOW OR ABO	OUTLETS/CONDU	IITG/ TERFERE	COL. CONC. CONT.	COLUMN CONCRETE CONTINUOUS		M-2 M-3	ROOF PLAN - HVAC SCHEDULES - DETAILS SCHEDULES - DETAILS	B. SEC. 1013.2 - EGRESS FROM A RO ROOMS OR AREAS, EXCEPT WHE SERVED, ARE NOT A HIGH-HAZA
14. CONTRAC	CONSTRUCTION WORK. TOR SHALL PATCH AND REPAIR ANY SU			CYL. Φ EA.	CYLINDER DIAMETER EACH		ELECT	RICAL	TO AN EXIT. EGRESS SHALL NOT PURPOSE. EXCEPTION: UP TO ON
AFTER RI System 1	EPLACING / INSTALLING ANY FIRE ALARM, DEVICES.	PA AND/OR SEC	JRITY	ELEV. E.S.C.	ELEVATION EXTERIOR SPECIAL C	CATING	-	SITE PLAN - ELECTRICAL	WHEN A 44' WIDE DEMARCATED THE WORKROOM. THIS IS ALLOWA
	OR SHALL SCHEDULE A MAXIMUM OF 3 OR RENOVATION WORK.	CLASSROOMS AS	SWING	E.S.C. F.O.C. F.O.M. FIN.	FACE OF CURB/CONC FACE OF MASONRY FINISHED		DE-2 DE-3	FIRST FLOOR PLANS - ELECTRICAL DEMO SECOND FLOOR PLAN - ELECTRICAL DEMO ROOF PLAN - ELECTRICAL DEMO	SALES AREA, AND USE OF NON-1 C. TAB. 1015.1- MAXIMUM EXIT ACCE EXCEED 200 FEET FOR UNSPRIN
DEMO	LITION GENERAL NOT	ES:		FLR. FT.	FINISHED FLOOR FEET FIRE-RETARDENT WOO		E-2 E-3	FIRST FLOOR PLAN - ELECTRICAL FIRST FLOOR PLAN - LIGHTING SECOND FLOOR PLAN - ELECTRICAL	NOT EXCEED 250 FEET WHEN THE IX. EXIT ACCESS COMPONENTS
I. DISCONN	ECT UTILITIES PRIOR TO ANY DEMOLITION	OR EXCAVATION		FR-9 F.V. GA.	FIRE-RETARDENT WOR FIELD VERIFY GAUGE			ROOF PLAN - ELECTRICAL SCHEDULES- DETAILS	A. SEC. 10/13.4.2 - EGRESS FROM A R ROOMS OR AREAS, EXCEPT WHE
PRIOR TO DÁLLAS) SHUTTING DOWN OR DISCONNECTING ANY ISD REQUIREMENTS ARE BEING FOLLOWED	UTILITIES CONFIF AND APPLIED.	ষ্প	GALV. G.I.	GALVANIZED GALVANIZED IRON OF	R STEEL	TECHNO	DLOGY	SERVED; ARE NOT A HIGH-HAZA
COORDIN	IATE WITH REGULATING AUTHORITIES AND A OMPANIES ONLY IF REQ'D.			GL.	GLUE LAMINATED STR MEMBER			FIRST FLOOR PLAN - TECHNOLOGY	TO AN EXIT. EGRESS SHALL NOT FOR SIMILAR PURPOSES. AN EXI
	IOLITION AND REMOVAL OF EXISTING CONS NT SHOULD BE COORDINATED WITH PHASI			GYP. BRD. HM.	GYPSUM BOARD HOLLOW METAL			SECOND FLOOR PLAN - TECHNOLOGY	PREVENT EGRESS. X. <u>ACCESSIBILITY</u>
	LATE DEMOLITION OF EXISTING CONSTRUCT			HR.	HOUR		PLUMBI		

- 3. COORDINATE DEMOLITION OF EXISTING CONSTRUCTION WITH MECHANICAL, PLUMBING, ELECTRICAL AND CIVIL DEMOLITION PLANS: IF THERE ARE ANY DISCREPANCIES CONTACT THE ARCHITECT IMMEDIATELY.
- 4. PROVIDE AND MAINTAIN TEMPORARY PROTECTION OF EXISTING STRUCTURE. PERFORM DEMOLITION REQUIRED WITH CARE AND SAFETY OF PERSONNEL, PUBLIC AND PROPERTY. PROVIDE ADEQUATE SHORING, BRACING AND SUPPORT OF EXISTING AND NEW CONSTRUCTION AT ALL TIMES.
- 5. CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF ALL PRECAUTIONS, SUCH AS EXPLORATIONS OR PROBES NECESSARY BEFORE DEMOLITION.
- 6. KEEP CONSTRUCTION SITE FREE OF ACCUMULATION OF DEBRIS AND RUBBISH. THERE WILL BE NO STOCK PILING OF MATERIALS. CONTRACTOR SHALL COORDINATE AND RECEIVE PRIOR APPROVAL FOR STAGING AREA FORM DALLAS ISD.
- 7. THE USE OF EXPLOSIVES WILL NOT BE PERMITTED AT ANY TIME.
- 8. THE SALE OF ITEMS ON THE SITE WILL NOT BE PERMITTED.
- 9. EXCAVATION SHOULD BE DONE ACCORDING TO STRUCTURAL AND CIVIL DRAWINGS, NOTES AND SPECIFICATIONS.
- 10. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY FOR CLARIFICATION, BEFORE CONTINUING WORK
- 11. INTENT OF DEMOLITION IS TO PREPARE EXISTING BUILDING FOR NEW IMPROVEMENTS, CONTRACTOR SHOULD EXECUTE ALL DEMOLITION WITH CARE, ANY AREAS DAMAGED AND NOT SCHEDULED TO BE DEMOLISHED WILL BE REPAIRED WITH NO ADDITIONAL COST TO THE OUNER
- 12. COORDINATE WITH SCHOOL STAFF FOR TEMPORARY REMOVAL AND REINSTALLATION OF ANY WALL MOUNTED OR CEILING MOUNTED EQUIPMENT/GRAPHICS/DISPLAY BOARDS, ETC. DURING DEMOLITION.
- 13. GC SHALL COORDINATE WITH DISD IT CONSULTANT FOR ANY DEMOLITION/REMOVAL OF EXISTING IT CABLES/WIRES/EQUIPMENT.

SPRINKLER SYSTEM NOTES:

MODIFY EXISTING SPRINKLER SYSTEM AS REQUIRED BY NEW CONSTRUCTION WORK. FULL COMPLIANCE WITH LOCAL FIRE CODE.

SYM	1BOL LEGE			X OF DRAWINGS	PROJECT
	(1		60.00	COVER / GENERÁL INFORMÁTION	PROJECT ADDRESS
		COLUMN CENTERLINE	GØ.Ø1	INDEX / GENERAL NOTES	1808 RACINE DR., DAL
	ØI/AXXX	INTERIOR/EXTERIOR	<u>CIVIL</u> CØLØI	COVER SHEET	SQUARE FOOTAGE
		ELEVATIONS	CØ3.Ø1 CØ4.Ø1	GENERAL NOTES DEMOLITION PLAN	EXIST. GROSS FLOOR A EXIST. GROSS FLOOR A
E 106	● 100'-0' FINISH FLOOR	DATUM ELEVATION	CØ6.Ø1 CØ6.50	PAVING PLAN	TOTAL EXIST. GROSS FLOOR
	14		CØ7.01 C11.01		New FORCH COVERED
	A2.02	WALL SECTION	C11.50	EROSION CONTROL DETAILS	ZONING
	ØI/AXXX	DETAIL SECTION	STRUCT		R-1.5(A)-SUP 1540
			51.1 61.2	STRUCTURAL ABBREVIATIONS AND GENERAL NOTES REQUIRED SPECIAL INSPECTIONS	BUILDING TYPE MAIN OCCUPANCY: ED
		PARTITION TYPE	6 2.1 6 3.1	FOUNDATION AND ROOF FRAMING PLAN SECTIONS AND DETAILS	ACCESSORY OCCUPAN
		NORTH ARROW	63.2 65.1	MARQUEE SIGN SECTIONS AND DETAILS FOUNDATION TYPICAL SECTIONS AND DETAILS	CONSTRUCTION TYPE:
					CODE DA
					I. GENERAL SITE AND PROJE
			AØ.3Ø	TAS STANDARDS TAS STANDARDS	A. THE EXISTING SCHOOL B. THESE CONSTRUCTION :
		DETAIL REFERENCE	A1.00	PHASING PLAN OVERALL SITE PLAN- DEMO	THE PUBLIC WAY INTO, II. <u>GOVERNING CODES</u>
			A1.10 A1.11	OVERALL SITE PLAN- NEW ENLARGED SITE PLAN AND DETAILS	BUILDING: 202
		ROOM NAME & NUMBER	A1.12 A1.13	FACADE REPAIRS FOR COURTYARD FACADE REPAIRS AT THE EXTERIOR PARAMETER	MECHANICAL: 202 ELECTRICAL: 202
	(102)	DOOR NUMBER	A121	EXITING PLAN-FIRST FLOOR EXITING PLAN-SECOND FLOOR	PLUMBING: 202 FIRE CODE: 202
	\bigcirc		A2.00 A2.10	OVERALL FIRST FLOOR-DEMØ PLAN PARTIAL FIRST FLOOR-DEMO-AREA 'A'	LIFE SAFETY: MOS ACCESSIBILITY: 2013
	$\langle \times \rangle$	WINDOW TYPE	A2.12	PARTIAL FIRST FLOOR-DEMO-AREA 'B' PARTIAL FIRST FLOOR-DEMO-AREA 'C'	ENERGY 202
	××	KEYED NOTE NUMBER	A2.20 A2.21	OVERALL FIRST FLOOR PLAN- NEW PARTIAL FIRST FLOOR-NEW-AREA 'A'	III. USE AND OCCUPANCY CL
			A2.22 A2.23	PARTIAL FIRST FLOOR-NEW-AREA 'B' PARTIAL FIRST FLOOR-NEW-AREA 'C'	A. SEC. 303.1- THIS PROJE IV. <u>TYPE OF CONSTRUCTION</u>
	LOOR PLAN	PLAN, ELEVATION, SECTION	A2.24 A2.25	PARTIAL ANNOTATED FIRST FLOOR PLAN PARTIAL DIMENSIONS FIRST FLOOR PLAN	A. TAB. 601- CONSTRUCTI
	CALE: 1/8'=1'-0'	OR DETAIL TITLE W/ DRAWING SCALE NOTATION	A2.30 A2.31	SECOND FLOOR PLAN- DEMO SECOND FLOOR PLAN- NEW	FRAMING, BEARING WAL V. <u>INTERIOR FINISHES</u>
\smile			A2.4Ø A2.41	FIRST FLOOR RCP- DEMO FIRST FLOOR RCP- NEW	A. TAB. 803.5- INTERIOR I FOR EXIT ENCLOSURES
		GRAPHIC SCALE	A2.42 A2.43	PARTIAL FIRST FLOOR-RCP- NEW SECOND FLOOR RCP- DEMO	EXITWAYS, AND CLASS
Ø	4' 8' 1 6'		A2.44 A2.50	SECOND FLOOR RCP- NEW ROOF PLAN	VI. <u>MEANS OF EGRESS</u> NO ADDITIONS OR CHANG
	<u> </u>	DIMENSION IN FEET & INCHES	A2.51 A2.60	PARTIAL ROOF PLAN FIRST FLOOR FINISH PLAN - DEMO	IN PLACE AND NO CHANG
			A2.61 A2.62	SECOND FLOOR FINISH PLAN - DEMO FIRST FLOOR FINISH PLAN - NEW	A. SEC. 1008.1.2- EGRESS INTERIOR SIDE SWINGIN
Ø1/A		MATCH LINE		SECOND FLOOR FINISH PLAN-NEW EXTERIOR ELEVATIONS-DEMO	DOORS THE LATCH SH MOTION WHEN SUBJECT
Ø2/A	AIØ1			ENLARGED EXTERIOR ELEVATIONS- DEMO EXTERIOR ELEVATIONS- NEW	SUBJECTED TO A 15 LE
6 C LI		BREVIATIONS	A5.11	ENLARGED EXTERIOR ELEVATIONS- NEW BUILDING & WALL SECTIONS- NEW	B. SEC. 1008.1.83- EGRES OF A KEY OR SPECIAL
		DREVIATIONS	A6.10	DOOR AND FINISH SCHEDULE STOREFRONT TYPES	OPERATION OF DOORS 1. PLACES OF DETENT
AFF. 4	ABOVE FINISHED FLOO AND	OR	A8.00	DETAILS ENLARGED FLOOR PLAN & INT. ELEVATIONS	2. WHERE EGREGS DO PERMITTED TO BE USE
ALUM. BLDG.	Aluminum Building			ENLARGED FLOOR PLAN & INT. ELEVATIONS	DOORKNOB OR SURFA VIII. <u>Exit quantities and L</u>
€ CFM	CENTER LINE CUBIC FEET PER MINU		•	IRST FLOOR PLAN - HVAC DEMO	A. VALUES ARE FROM SEC
CMU COL.	CONCRETE MAGONRY COLUMN	UNITS	M-2 F	ROOF PLAN - HVAC ROOF PLAN - HVAC	CONSTRUCTION DOCUM B. SEC. 1013.2- EGRESS FR
CONC. CONT.	CONCRETE CONTINUOUS			CHEDULES - DETAILS CHEDULES - DETAILS	ROOMS OR AREAS, EX SERVED, ARE NOT A H
CYL. Φ EA.	CYLINDER DIAMETER EACH			RICAL	TO AN EXIT. EGRESS SI PURPOSE. EXCEPTION:
ELEV. E.S.C.	ELEVATION EXTERIOR SPECIAL C	OATING	-	BITE PLAN - ELECTRICAL FIRST FLOOR PLANG - ELECTRICAL DEMO	WHEN A 44' WIDE DEMA THE WORKROOM, THIS I
F.O.C. F.OM.	FACE OF CURB/CONC		DE-2 8	ROT FLOOR FLAND - ELECTRICAL DEMO ROOF FLAN - ELECTRICAL DEMO	SALES AREA, AND USE C. TAB. 1015.1- MAXIMUM E
FIN. FLR.	FINISHED FLOOR		E-1 1	FIRST FLOOR PLAN - ELECTRICAL FIRST FLOOR PLAN - LIGHTING	EXCEED 200 FEET FOR NOT EXCEED 250 FEET
FT. FR-6	FEET FIRE-RETARDENT WOO	DD TREATMENT	E-3 (GECOND FLOOR PLAN - ELECTRICAL ROOF PLAN - ELECTRICAL	IX. EXIT ACCESS COMPONEN
F.V. GA. GALV.	FIELD VERIFY GAUGE GALVANIZED		E-5 (SCHEDULES- DETAILS	A. SEC. 1013.42 - EGRESS F ROOMS OR AREAS, EX
G.I. G.L.	GALVANIZED IRON OF GLUE LAMINATED STR		<u>TECHNO</u>		SERVED; ARE NOT A H TO AN EXIT. EGRESS SI
GYP. BR	MEMBER			FIRST FLOOR PLAN - TECHNOLOGY SECOND FLOOR PLAN - TECHNOLOGY	FOR SIMILAR PURPOSE PREVENT EGRESS.
HM. HR.	HOLLOW METAL HOUR		PLUMBIN	<u>k</u>	X. ACCESSIBILITY
HT. HYAC	HEIGHT HEATING VENTILATING	AND		FIRST FLOOR PLAN - PLUMBING DEMO SECOND FLOOR PLAN - PLUMBING DEMO	A. SEC. 11092- TOILET RO B. SEC. 11093- WHERE SIN
ID.	AIR CONDITIONING INSIDE DIMENSION		DP-3	ROOF PLAN - PLUMBING DEMO FIRST FLOOR PLAN - PLUMBING	ACCESSIBLE SPACES : ACCESSIBLE.
IN. LBS.	INCH Pounds Maximum		P-2	SECOND FLOOR PLAN - PLUMBING DETAILS- PLUMBING	C. SEC. 1109.5- AT LEAST
MAX. MFR. MIN	MÁXIMUM MÁNUFÁCTURER MINIMUM		. –		D. SEC. 1109.82 - SELF - SE ROUTE. SUCH SHELVING
MIN. MISC. M.O.	MINIMUM MISCELLANEOUS MASONRY OPENING		PRO	Ject Scope	PROVISIONS. E. SEC. 1109.11- WHERE SEA
MT'D. N.I.C.	MOUNTED NOT IN CONTRACT			NT ENTRY CANOPY WITH SECURED VESTIBULE,	SURFACES IS PROVIDE BUT NOT LESS THAN ON
NO. NTS	NUMBER NOT TO SCALE		REMODE	INTO CONVERTED NEW ADMINISTRATION AREA. L OF INTERIOR SPACES CONSISTING OF NEW	F. SEC. 1109.13- CONTROLS OCCUPANT, INCLUDING
0.C. 0.D.	ON CENTER OUTSIDE DIMENSION		SURFACE	G, PAINT , CEILINGS, LIGHTING AND TEACHING 3. SCHOOL WIDE WILL ALSO GET SECURITY	CONVENIENCE OUTLETS
OPP. O.S.B.	OPPOSITE ORIENTED STRAND BO	DARD	UPGRAD	ES TO INCLUDE CAMERAS, CARD READERS AND CARD READERS. REPLACE EXTERIOR LIGHTING	XI. <u>MINIMUM PLUMBING FACIL</u>

P.S.F

P.S.I

RE:

RO.

SIM.

SQ.

STL.

T & G

t.o.c.

TYP.

W.W.F.

T.D.

W/ W.P.

REQ'D

SPECS.

ORIENTED STRAND BOARD POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH

REFER TO, REFERENCE FROM REQUIRED ROUGH OPENING SIMILAR

SPECIFICATIONS SQUARE

STEEL

WITH

TONGUE & GROOVE TOP OF CURB/CONCRETE TOP OF DRAIN TYPICAL

WEATHERPROOF WELDED WIRE FABRIC

UPGRADES TO INCLUDE CAMERAS, CARD READERS AND ACCESS CARD READERS. REPLACE EXTERIOR LIGHTING , CLEANING ALL EXTERIOR WALL SURFACE. NEW FIRE ALARM, EXTERIOR LIGHTING. NEW GREASE WASTE PIPING AT CAFETERIA IS ALSO IN SCOPE. THE EXTERIOR GETS CLEANING OF WALLS AND A NEW LED READER MARQUEE SIGN.

3 SHALL COMPLY WITH ICC A117.1. MOP AND SERVICE SINKS ARE NOT REQUIRED TO BE T 50 PERCENT OF PROVIDED DRINKING FOUNTAINS SHALL BE ACCESSIBLE. BERVICE SHELVES AND DISPLAY UNITS SHALL BE LOCATED ON AN ACCESSIBLE NG AND SHELVING UNITS SHALL NOT BE REQUIRED TO COMPLY WITH REACH-RANGE

EATING OR STANDING SPACE AT FIXED OR BUILT-IN TABLES, COUNTERS OR WORK DED IN ACCESSIBLE SPACES, AT LEAST 5% OF THE SEATING AND STANDING SPACES, ONE, SHALL BE ACCESSIBLE.

LS, OPERATING MECHANISMS AND HARDWARE INTENDED FOR OPERATION BY THE G SWITCHES THAT CONTROL LIGHTING AND VENTILATION, AND ELECTRICAL TS, IN ACCESSIBLE SPACES, ALONG ACCESSIBLE ROUTES OR AS PARTS OD NTS SHALL BE ACCESSIBLE.

XI. MINIMUM PLUMBING FACILITIES A. SEC. 29/02.2- WHERE PLUMBING FIXTURES ARE REQUIRED, SEPERATE FACILITIES SHALL BE PROVIDED FOR

EACH SEX. B. TAB. 29/02.1- GROUP E OCCUPANCIES REQUIRE 1 WATER CLOSET PER EACH 5/0 PERSONS, 1 LAVATORY PER EACH 50 PERSONS, I DRINKING FOUNTAIN PER EACH 100 PERSONS, AND I SERVICE SINK.

C. SEC. 2902.6.3- A LEGIBLE SIGN DESIGNATING THE SEX SHALL BE PROVIDED INA READILY VISIBLE LOCATION NEAR THE ENTRANCE TO EACH TOILET FACILITY, SIGNS FOR ACCESSIBLE TOILET FACILITIES SHALL COMPLY WITH ICC A117.1

CONTRACTOR SHALL PROVIDE MOVING OF ALL FURNITURE/EQUIPMENT AS REQUIRED TO PERFORM THE WORK.

ASBESTOS ABATEMENT (IF ANY, REFER TO ASBESTOS REPORT)

DATA

ALLAS TX 75232.

AREA FIRST LEVEL = 54,303 SQ. FT. AREA SECOND LEVEL = 15,073 SQ. FT. FLOOR AREA = 69,376 SQ. FT. D AREA = 776 SQ. FT.

DUCATIONAL ANCIES: ASSEMBLY AND BUSINESS

II B SPRINKLED

DJECT INFORMATION AL AND PORTION OF THE SITE SURROUNDING IT IS BEING RENOVATED. N DOCUMENTS INDICATE FOR ACCESSIBILITY TO BE MAINTAINED BY THE SCHOOL FROM O, AND THROUGHOUT, THE BUILDING TO THE SPACE.

021 IBC (EXISTING BUILDING) WITH DALLAS AMENDMENTS 2021 IMC WITH DALLAS AMENDMENTS Ø21 NEC WITH DALLAS AMENDMENTS 2021 IPC WITH DALLAS AMENDMENTS

021 IFC WITH DALLAS AMENDMENTS

10ST CURRENT NEPA LIFE SAFETY

Ø12 TEXAS ACCESSIBILITY STANDARDS 021 IECC INTERNATIONAL ENERGY CONSERVATION CODE

CLASSIFICATION

NECT IS AN EDUCATIONAL SPACE CLASSIFIED AS ASSEMBLY USE GROUP E

TION TYPE II-B SPRINKLED REQUIRES NO FIRE RESISTANCE RATINGS FOR STRUCTURAL JALLS, FLOOR CONSTRUCTION, OR FOR ROOF CONSTRUCTION.

R WALL AND CEILING FINISHES FOR OCCUPANCY GROUP E, SPRINKLED, ARE CLASS B ES AND EXIT PASSAGEWAYS, CLASS C FOR EXIT ACCESS CORRIDORS AND OTHER 66 C FOR ROOMS AND ENCLOSED SPACES.

NGES IN OCCUPANCY ASSOCIATED WITH THIS PROJECT. ALL MEANS OF EGRESS TO REMAIN GES TO EXISTING EGRESS PLAN PROPOSED.

S DOORS SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL. OPENING FORCE FOR ING DOORS WITHOUT CLOSERS SHALL NOT EXCEED A 5 LB. FORCE, FOR OTHER HALL RELEASE WHEN SUBJECTED TO A 15 LB. FORCE, THE DOOR SHALL BE SET IN CTED TO A 30 LB. FORCE AND SHALL SWING TO A FULL OPEN POSITION WHEN LB. FORCE, ALL FORCES SHALL BE APPLIED TO LATCH SIDE.

ESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE AL KNOWLEDGE OR EFFORT. LOCKS AND LATCHES SHALL BE PERMITTED TO PREVENT RS WHERE ANY OF THE FOLLOWING EXISTS: INTION OR RESTRAINT

OORS ARE USED IN PAIRS, APPROVED AUTOMATIC FLUSH BOLTS SHALL BE SED, PROVIDED THAT THE DOOR LEAF HAVING THE AUTOMATIC FLUSH BOLTS HAS NO ACE-MOUNTED HARDWARE.

LOCATIONS

EC. 1004.1, TAB. 1018.1, TAB. 1018.2, AND ACTUAL PLAN LAYOUT CONTAINED IN THESE IMENTS, MINIMUM OF 2 EXITS REQUIRED FOR 1-500 OCCUPANTS, 3 PROVIDED. FROM A ROOM OR SPACE SHALL NOT PASS THROUGH ADJOINING OR INTERVENING XCEPT WHERE SUCH ADJOINING ROOMS OR AREAS ARE ACCESSORY TO THE AREA HIGH-HAZARD OCCUPANCY, AND PROVIDE A DISCERNIBLE PATH OF EGRESS TRAVEL SHALL NOT PASS THROUGH STORE ROOMS, OR SPACES USED FOR A SIMILAR IN: UP TO ONE HALF THE REQUIRED EXIT ACCESS MAY PASS THROUGH THE WORK ROOM MARCATED AISLE WITH PARTIAL HEIGHT FIXED WALLS SEPARATES THE AISLE FROM S IS ALLOWABLE DUE TO HAZARD CLASSIFICATION EQUAL TO OR LESSER THAN THE 3E OF NON-LOCKING WORKROOM DOOR HARDWARE.

EXIT ACCESS TRAVEL DISTANCE, MEASURED ALONG THE EXIT PATH, SHALL NOT OR UNSPRINKLERED BUILDINGS OF OCCUPANCY GROUP A. TRAVEL DISTANCES MAY ET WHEN THE BUILDING IS SPRINKLERED.

5 FROM A ROOM OR SPACE SHALL NOT PASS THROUGH ADJOINING OR INTERVENING XCEPT WHERE SUCH ADJOINING ROOMS OR AREAS ARE ACCESSORY TO THE AREAS HIGH-HAZARD OCCUPANCY AND PROVIDE A DISCERNIBLE PATH OF EGRESS TRAVEL SHALL NOT PASS THROUGH KITCHENS, STORAGE ROOMS, CLOSETS OR SPACES USED BES. AN EXIT ACCESS SHALL NOT PASS THROUGH A ROOM THAT CAN BE LOCKED TO

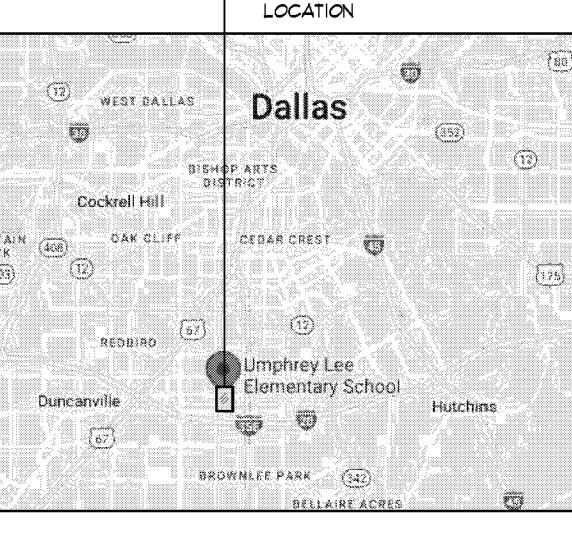
ROOMS ARE REQUIRED TO BE ACCESSIBLE.

INKS ARE PROVIDED, AT LEAST 5%, BUT NOT LESS THAT ONE, PROVIDED IN





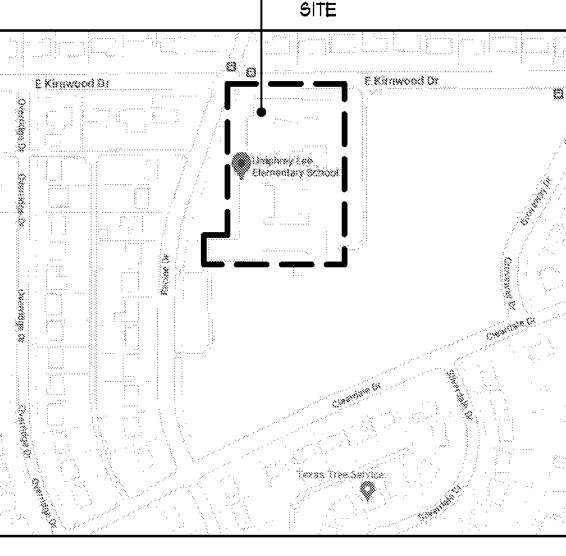
PROJECT



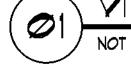


LOCATION MAP Ø2 NOT TO SCALE

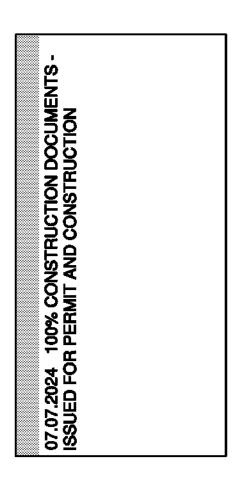
-PROJECT

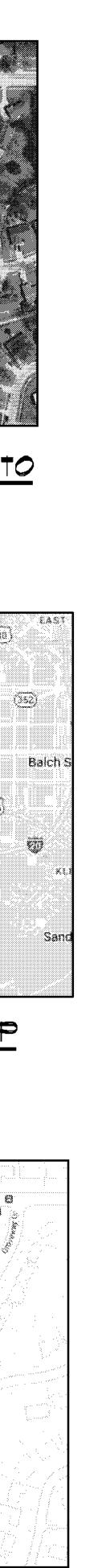


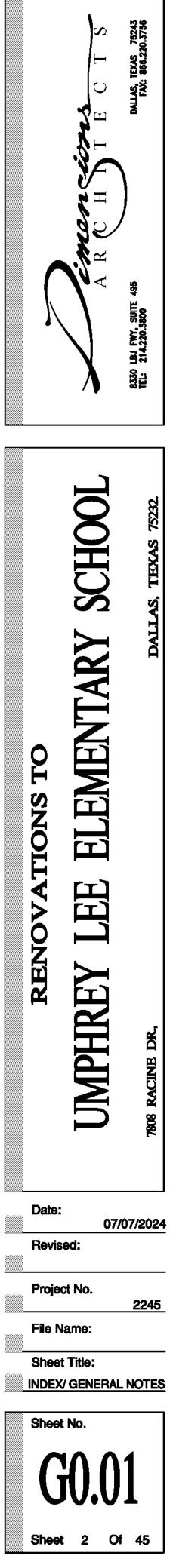




VICINITY MAP NOT TO SCALE







PLANS FOR CONSTRUCTION OF PAVEMENT AND GRADING IMPROVMENTS TO SERVE UMPHREY LEE ELEMENTARY SCHOOL 7808 RACINE DR. DALLAS, TX 75232



VICINITY MAP SCALE: N.T.S.

OWNER

DALLAS INDEPENDENT SCHOOL DISTRICT 9400 N. CENTRAL EXPRESSWAY DALLAS, TX 75231

ENGINEER

BOVAY ENGINEERS, INC. 8330 LBJ FREEWAY, SUITE 495 DALLAS, TEXAS 75243

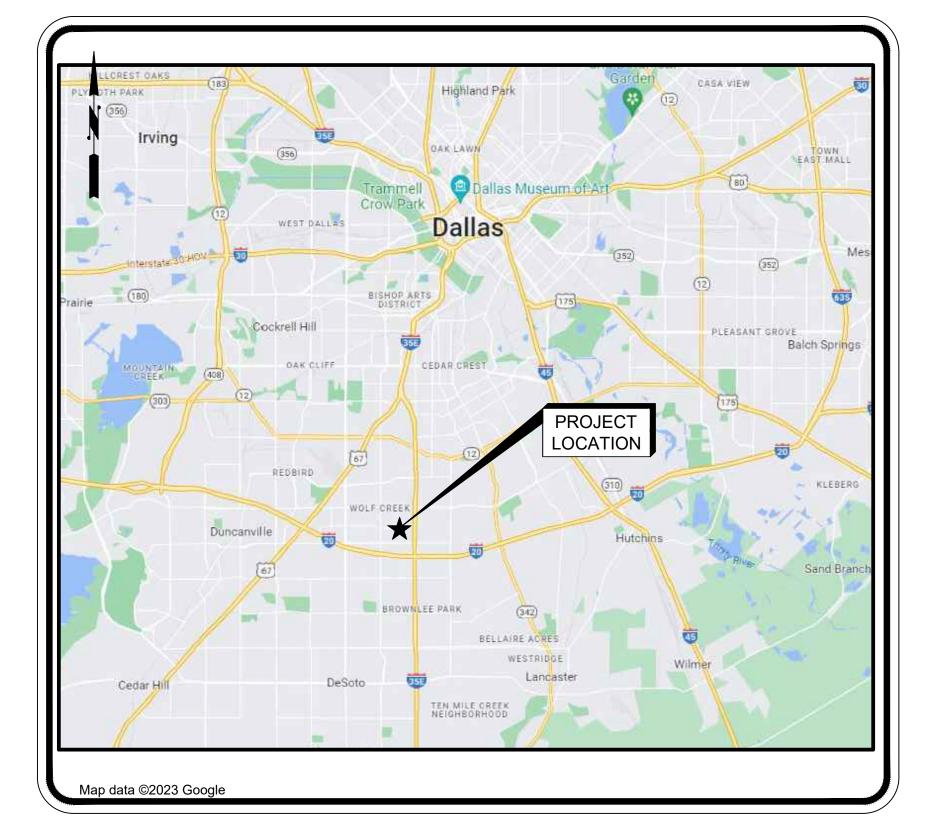
CONTACT: MARIO IPINA, PE PHONE: (713) 777-8400 EMAIL: MIPINA@BOVAYENGINEERS.COM

ARCHITECT

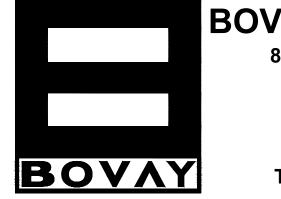
DIMENSIONS ARCHITECTS 8330 LBJ FWY SUITE 495 DALLAS, TX 75243

CONTACT: OSWALDO CAJAS PHONE: (214) 220-3800 EMAIL: OCAJAS@DIMARCH.COM

JUNE 2023



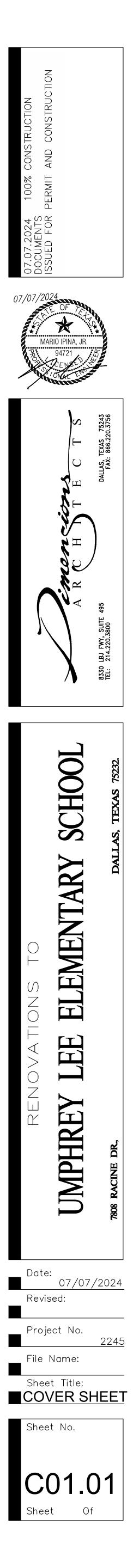
LOCATION MAP SCALE: N.T.S. ZIP CODE 75232



BOVAY ENGINEERS, INC. 8330 LBJ FREEWAY, Suite 495 Dallas, Texas 75243 ph. 713.777.8400 www.bovayengineers.com Texas Registration No. F-2130

PROJECT NUMBER: DIMEN2229-100

SHEET INDEX					
SHEET NO	SHEET TITLE				
C01.01	COVER SHEET				
C03.01	GENERAL NOTES				
C04.01	DEMOLITION PLAN				
C06.01	PAVING PLAN				
C06.50	PAVING DETAILS				
C07.01	GRADING PLAN				
C11.01	EROSION CONTROL PLAN				
C11.50	EROSION CONTROL DETAILS				



GENERAL NOTES

- 1. CONTRACTOR IS RESPONSIBLE FOR, AND MUST OBTAIN PRIOR TO CONSTRUCTION, ALL NECESSARY CONSTRUCTION PERMITS REQUIRED BY THE CITY OF DALLAS.
- 2. ALL MATERIALS AND WORKMANSHIP FOR CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR NORTH CENTRAL TEXAS, LATEST EDITION, THE CITY OF DALLAS REQUIREMENTS AND THE DALLAS INDEPENDENT SCHOOL DISTRICT TECHNICAL DESIGN GUIDELINES.
- 3. THE CONTRACTOR SHALL ABIDE BY ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS GOVERNING EXCAVATION. THE CONTRACTOR SHALL PROVIDE DETAILED PLANS AND SPECIFICATIONS FOR TRENCH SAFETY SYSTEMS THAT COMPLY WITH APPLICABLE LAWS GOVERNING EXCAVATION. THESE PLANS SHALL BE SEALED BY AN ENGINEER EXPERIENCED IN THE DESIGN OF TRENCH SAFETY SYSTEMS AND LICENSED BY THE STATE OF TEXAS. SUBMIT PLAN TO THE OWNER PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL ASPECTS OF WORK RELATED TO EXCAVATION.
- 4. EXISTING UTILITY LOCATIONS SHOWN ARE TAKEN FROM AVAILABLE RECORDS PROVIDED BY THE UTILITY OWNER AND FIELD LOCATIONS OF SURFACE APPURTENANCES. LOCATIONS SHOWN ARE GENERALLY SCHEMATIC IN NATURE AND MAY NOT ACCURATELY REFLECT THE SIZE AND LOCATION OF EACH PARTICULAR UTILITY. SOME UTILITY LINES MAY NOT BE SHOWN. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ACTUAL FIELD LOCATION AND PROTECTION OF EXISTING FACILITIES WHETHER SHOWN OR NOT. CONTRACTOR SHALL ALSO ASSUME RESPONSIBILITY FOR REPAIRS TO EXISTING FACILITIES, WHETHER SHOWN OR NOT, DAMAGED BY CONTRACTOR'S ACTIVITIES. DIFFERENCES IN HORIZONTAL OR VERTICAL LOCATION OF EXISTING UTILITIES SHALL NOT BE A BASIS FOR ADDITIONAL EXPENSE.
- 5. CONTRACTOR SHALL LOCATE AND ADJUST EXISTING UTILITY MANHOLE LIDS, CLEANOUTS, WATER VALVES AND OTHER SURFACE APPURTENANCES AS REQUIRED FOR NEW CONSTRUCTION. CONTRACTOR SHALL COORDINATE UTILITY ADJUSTMENTS WITH OTHER DISCIPLINES AND THE APPROPRIATE UTILITY AGENCIES AND PROVIDE FOR ALL FEES FOR PERMITS, CONNECTIONS, INSPECTIONS, ETC. THESE ADJUSTMENTS SHALL BE CONSIDERED INCIDENTAL TO THE CONSTRUCTION CONTRACT.
- 6. THE CONTRACTOR SHALL PROTECT EXISTING PROPERTY MONUMENTATION AND PRIMARY CONTROL. ANY SUCH POINTS WHICH THE CONTRACTOR BELIEVES WILL BE DESTROYED SHALL HAVE OFFSET POINTS ESTABLISHED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY MONUMENTATION DESTROYED BY THE CONTRACTOR SHALL BE REESTABLISHED AT HIS EXPENSE.
- 7. BARRICADING AND TRAFFIC CONTROL DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL CONFORM TO THE LATEST EDITION OF THE "TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", PART VI IN PARTICULAR. TRAFFIC FLOW AND ACCESS SHALL BE MAINTAINED DURING ALL PHASES OF THE CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING TRAFFIC SAFETY MEASURES FOR WORK ON PROJECT.
- 8. ONSITE PLANAMETRIC AND TOPOGRAPHIC MAPPING TAKEN FROM DATA PROVIDED BY GONZALEZ & SCHNEEBERG DATED FEBRUARY 2010.. BOUNDARY DATA TAKEN FROM SURVEY BY GONZALEZ & SCHNEEBERG DATED JULY 2010.
- 9. ANY DAMAGES THAT MAY OCCUR TO REAL PROPERTY OR EXISTING IMPROVEMENTS SHALL BE RESTORED BY THE CONTRACTOR TO AT LEAST THE SAME CONDITION THAT THE REAL PROPERTY OR EXISTING IMPROVEMENTS WERE IN PRIOR TO THE DAMAGES. THIS RESTORATION SHALL BE SUBJECT TO THE OWNER'S APPROVAL; MOREOVER, THIS RESTORATION SHALL NOT BE A BASIS FOR ADDITIONAL COMPENSATION TO THE CONTRACTOR. RESTORATION SHALL INCLUDE, BUT NOT BE LIMITED TO, REGRASSING, REVEGETATION, REPLACING FENCES, REPLACING TREES, ETC.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO:

 A. PREVENT ANY DAMAGE TO PRIVATE PROPERTY AND PROPERTY OWNER'S POLES, FENCES, SHRUBS, ETC.
 B. PROVIDE ACCESS TO ALL DRIVES DURING CONSTRUCTION.
 C. PROTECT ALL UNDERGROUND UTILITIES TO REMAIN IN SERVICE.
 D. NOTIFY ALL UTILITY COMPANIES AND VERIFY LOCATION OF ALL UTILITIES PRIOR TO START OF CONSTRUCTION.
- 11. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AT ALL TIME DURING CONSTRUCTION. PONDING OF WATER IN STREETS, DRIVES, TRUCK COURTS, TRENCHES, ETC. WILL NOT BE ALLOWED.
- 12. CONTRACTOR SHALL MAINTAIN EXISTING SANITARY SEWER AND WATER SERVICE AT ALL TIMES DURING CONSTRUCTION.
- 13. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH UTILITY COMPANIES AND ADJUSTMENT OF EXISTING SANITARY SEWER CLEANOUTS, WATER METERS AND ANY OTHER APPURTENANCES TO NEW GRADE AS REQUIRED.
- 14. PAVEMENT REMOVAL AND REPAIR SHALL CONFORM TO THE CITY OF DALLAS REQUIREMENTS. ALL SAWCUTS SHALL BE FULL DEPTH CUTS. CONTRACTOR SHALL MAKE EFFORTS TO PROTECT CONCRETE AND/OR ASPHALT EDGES. ANY LARGE SPALLED OR BROKEN EDGES SHALL BE REMOVED BY SAWCUTTING PAVEMENT PRIOR TO REPLACEMENT.
- 15. NO TRAFFIC LANE OR SIDEWALK ALONG ANY PUBLIC STREET OR ALLEY IS TO BE CLOSED WITHOUT FIRST OBTAINING THE APPROPRIATE PERMIT(S) FROM THE FOLLOWING TRAFFIC SAFETY COORDINATORS:
 - A. MR. GARY HUGHES (NW DALLAS) 469-559-4538 B. MS. BETH ADAMS (NE DALLAS) - 214-304-8522 C. MR. ROWDY HORN (SOUTH DALLAS) - 214-670-1390
- CLOSURE OF ANY TRAFFIC LANE MUST BE RESTRICTED TO THE HOURS OF 9:00 A.M. TO 3:30 P.M. WORKDAYS.

DEMOLITION NOTES

- 1. FOR ADDITIONAL EXTENTS OF DEMOLITION, REFER TO GRADING, STORM DRAINAGE, PAVING AND DIMENSION CONTROL, WATER AND SANITARY SEWER PLANS.
- 2. INFORMATION PROVIDED ON THIS PLAN DOES NOT DELINEATE ANY UNDERGROUND FOUNDATIONS OR OBJECTS THAT CURRENTLY MAY BE COVERED.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER REMOVAL AND DISPOSAL OF MATERIALS AS REQUIRED BY THE OWNER OR OWNER'S REPRESENTATIVE.

PAVING NOTES

- 1. CONTRACTOR'S WORK SHALL INCLUDE PAVEMENT REMOVAL AND DISPOSAL REQUIRED FOR NEW WALK, DRIVE, CURB, GUTTER AND OTHER PAVING FEATURES. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION, INSPECTION AND TESTING REQUIRED BY THE OWNER AND/OR THE CITY OF DALLAS.
- 2. ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF BUILDING AND ARE PERPENDICULAR TO PROPERTY LINE. THESE DIMENSIONS ARE PROVIDED TO TIE THE ARCHITECT'S SITE PLAN TO THE PROPERTY LINES.
- 3. ALL SIDEWALKS SHALL MAINTAIN 2% CROSS SLOPE MAXIMUM.

SIDEWALK, BARRIER FREE RAMPS AND CURB AND GUTTER NOTES

- 1. CLASS TEST STRENGTH FOR SIDEWALK IS 3,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS AFTER PLACEMENT.
- 2. CLASS TEST STRENGTH FOR PUBLIC CURB AND GUTTER IS 4,500 PSI COMPRESSIVE STRENGTH AT 28 DAYS AFTER PLACEMENT.
- STANDARD SUBGRADE COMPACTION FOR SIDEWALKS IS MINIMUM 95% OF STANDARD PROCTOR DENSITY WITHIN MINUS 2% TO PLUS 4% OF OPTIMUM MOISTURE CONTENT.
- 4. SIDEWALKS REQUIRE MINIMUM #3 BARS SPACED ON 24" CENTERS.
- 5. ALL CURBS WITHIN CITY RIGHT-OF-WAY MUST BE REINFORCED WITH #4 BARS.
- 6. CURB AND GUTTER MUST BE DESIGNED AND CONSTRUCTED TO PROVIDE POSITIVE DRAINAGE.
- SEPARATE CONCRETE CURB & GUTTER SHALL BE MARKED 3/8" DEEP WITH AN APPROVED TOOL (SAW CUT) IN 15 FOOT SECTIONS. INSTALL #4 "L-SHAPED" REBAR DOWELS (12" INTO EXISTING PAVEMENT), EVERY 18", EPOXIED IN.
- 8. 1" REDWOOD EXPANSION JOINTS ARE REQUIRED AT ALL ABRUPT CHANGES IN ALIGNMENT OR WIDTH, RADII POINTS, OR EVERY 80 FEET, BEGINNING AT THE CURB RETURN.
- 9. IF SIDEWALK IS LOCATED AT THE BACK-OF-CURB, REDWOOD JOINTS SHOULD MATCH WITH EXISTING REDWOOD JOINTS IN THE STREET.
- 10. AT ALL EXPANSION JOINTS, 24" LONG, #6 (3/4") SMOOTH DOWEL IS REQUIRED EVERY 24" ON CENTER.
- 11. 1" FOOTINGS ARE REQUIRED AT ALL EXPANSION JOINTS AND THE PAVEMENT DEPTH TRANSITIONS FROM 4" TO 5" THICK, OVER THE LENGTH OF PAVEMENT.
- 12. 8" FOOTING IS REQUIRED FOR SIDEWALKS LOCATED AT BACK-OF-CURB, WITH A 6" DOWEL.
- 13. SIDEWALK MUST BE MINIMUM 5' WIDE IF LOCATED AT BACK-OF-CURB.

TRAFFIC CONTROL PLAN NOTES

 A TRAFFIC CONTROL PLAN (TCP) MUST BE SUBMITTED TO THE DEPARTMENT OF TRANSPORTATION FOR REVIEW AND APPROVAL BY THE TRAFFIC SAFETY COORDINATORS PRIOR TO CONSTRUCTION. NO TRAFFIC LANE OR SIDEWALK ALONG ANY PUBLIC STREET OR ALLEY IS TO BE CLOSED WITHOUT FIRST OBTAINING THE APPROPRIATE PERMIT(S). CLOSURE OF ANY TRAFFIC LANE MUST BE RESTRICTED TO THE HOURS OF 9:00 A.M. TO 3:30 P.M. WORKDAYS. CONTRACTOR MUST CALL (214) 670--6904 TO OBTAIN A PERMIT.

GRADING NOTES

- 1. ALL SITE WORK DETAILS SHALL BE DONE IN ACCORDANCE WITH THE STANDARD DETAILS OF THE CITY OF DALLAS AND DALLAS INDEPENDENT SCHOOL DISTRICT AND CONFORM TO THE REQUIREMENTS OF THE PLANS AND CONTRACT DOCUMENTS.
- 2. THE CONTRACTOR SHALL ADMINISTER SPRINKLERS FOR DUST CONTROL, EARTHWORK OR BASE CONSTRUCTION AS REQUIRED OR AS DIRECTED BY THE ENGINEER IN ACCORDANCE WITH THE CITY OF DALLAS STANDARDS.
- 3. CONTRACTOR'S WORK SHALL INCLUDE PAVEMENT REMOVAL AND DISPOSAL REQUIRED FOR NEW WALK, DRIVE, CURB, GUTTER AND OTHER GRADING FEATURES. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION, INSPECTION AND TESTING REQUIRED BY THE OWNER AND/OR THE CITY OF DALLAS.
- 4. ALL SIDEWALKS SHALL MAINTAIN 2% CROSS SLOPE MAXIMUM.
- 4:1 IS THE MAXIMUM ALLOWABLE SLOPE WITHIN THE EARTHEN AREAS.
 ALL AREAS WITHIN THE PROJECT LIMITS SHALL BE CLEARED OF
- ALL STUMPS, ROOTS, DEBRIS, AND ANY ABOVE SURFACE GROWTH.
 7. PRIOR TO GRADING, GRASS VEGETATION SHALL BE MOWED AND
- RAKED. AFTER MOWING AND RAKING, EXISTING SOIL SHALL BE PLOWED AND DISCED TO A DEPTH OF SIX (6) INCHES PRIOR TO GRADING.
- 8. A QUANTITY OF TOPSOIL SUFFICIENT FOR PLACING SIX (6) INCHES OF TOPSOIL ON PROPOSED LANDSCAPE AREAS SHALL BE STRIPPED AND STOCKPILED.
- 9. PRIOR TO FILL PLACEMENT, EXISTING SUBGRADE SHALL BE SCARIFIED AND RECOMPACTED TO THE SAME REQUIRED DENSITY AND MOISTURE CONTENT AS PROPOSED FILL.
- 10. SELECT FILL IS DEFINED AS UNIFORMLY BLENDED SANDY CLAY TO CLAYEY SAND WITH A LIQUID LIMIT (LL) OF LESS THAN 35 PERCENT, AND WITH A PLASTICITY INDEX (PI) OF BETWEEN 6 AND 15. FILL MATERIAL SHALL BEPLACED IN LIFTS NOT EXCEEDING NINE (9) INCHES IN LOOSE THICKNESS.
- 11. FILL MATERIAL SHALL BE COMPACTED BETWEEN 92 AND 98 PERCENT OF MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR TEST, ASTM D 698. IN CONJUNCTION WITH THE COMPACTING OPERATION, FILL MATERIAL SHALL BE BROUGHT TO A MOISTURE CONTENT AT A MINIMUM OF (+4) PERCENTAGE POINTS ABOVE OPTIMUM.
- 12. THE CONTRACTOR SHALL HIRE A MATERIALS TESTING COMPANY TO PERFORM COMPACTION TESTS AT A RATE OF ONE (1) PER LIFT PER 500 CUBIC YARDS OF FILL.
- 13. A SITE EROSION CONTROL PLAN AND STORMWATER POLLUTION PREVENTION PLAN SHALL BE PREPARED AND PROVIDED TO THE CITY OF DALLAS BY OTHERS PRIOR TO START OF CONSTRUCTION. THESE PLANS SHALL CONFORM TO FEDERAL, STATE, AND LOCAL REQUIREMENTS.

DRAINAGE NOTES

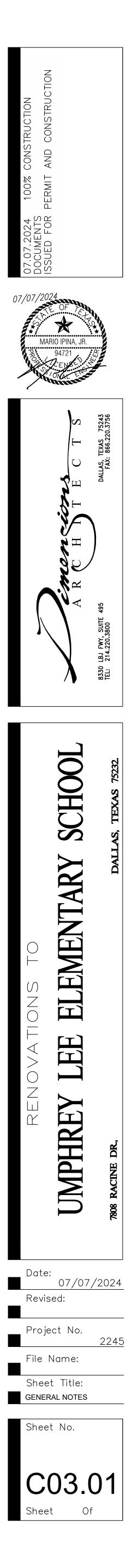
- 1. ALL MATERIALS AND WORKMANSHIP FOR STORM DRAIN CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR NORTH CENTRAL TEXAS, LATEST EDITION, AND THE CITY OF DALLAS REQUIREMENTS.
- 2. DURING THE CONSTRUCTION OF THESE IMPROVEMENTS, ANY INTERPRETATION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR NORTH CENTRAL TEXAS, AND ANY MATTER WHICH REQUIRES THE APPROVAL OF THE OWNER, MUST BE APPROVED BY THE APPROPRIATE GOVERNMENTAL OFFICIAL BEFORE ANY CONSTRUCTION INVOLVING THAT DECISION COMMENCES. ASSUMPTIONS ABOUT WHAT THESE DECISIONS MIGHT BE WHICH ARE MADE DURING THE BIDDING PHASE WILL HAVE NO BEARING ON THE DECISION.
- 3. EMBEDMENT MATERIAL FOR ALL PUBLIC STORM DRAIN LINES IS 1" CRUSHED LIMESTONE, FROM 6" BELOW THE PIPE TO HALF WAY UP THE PIPE OR TO THE SPRING LINE.
- 4. HAND FINISH CLASS TEST STRENGTH IS 4,500 PSI COMPRESSIVE STRENGTH AT 28 DAYS AFTER PLACEMENT.
- 5. MANHOLE COVERS ON INLET BOXES SHOULD BE LOCATED AT THE SAME END OF THE INLET BOX AS THE LATERAL DRAINING THE INLET.
- 6. A MANHOLE OR JUNCTION STRUCTURE MUST BE PROVIDED WHEN CONNECTING TO AN EXISTING STORM DRAIN LINE, EXCEPT WHEN THE DIAMETER OF THE MAIN LINE IS MORE THAN TWICE AS GREAT AS THE DIAMETER OF THE LARGEST ADJOINING LATERAL.
- 7. THE MINIMUM MANHOLE INSIDE DIMENSION IS 4 FEET.
- 8. CYLINDRICAL MANHOLES ARE NOT ALLOWED.
- 9. STEPS ARE REQUIRED IN ANY MANHOLE THAT IS AT LEAST 5' IN DEPTH. MANHOLE LID/RISER SHOULD BE LOCATED TOWARD THE SIDE OF THE STRUTURE (OFFSET) SUCH THAT THE STEPS DESCENDING INTO THE STRUCTURE ARE ALIGNED VERTICALLY. THE FIRST STEP MUST NOT EXCEED 15" FROM TOP OF PAVEMENT. BASS & HAYES PLASTIC COATED STEEL, NEOPRENE COATED STEEL STEPS OR EQUAL SHALL BE PLACED SECURELY INTO MANHOLE WALLS ON 15" CENTERS VERTICALLY AND STAGGERED ON 12" CENTERS HORIZONTALLY, PER 251D-1 STANDARD CONSTRUCTION DETAILS, SHEET 2008.
- 10. ALL MANHOLE STRUCTURES IN PAVEMENT SHALL BE BLOCKED-OUT IN 1" REDWOOD (DIAMOND SHAPE).
- 11. A MINIMUM OUTSIDE CLEARANCE OF 1' SHALL BE PROVIDED BETWEEN PIPES WHEN CONNECTING INTO A MANHOLE.
- 12. ALL STORM DRAIN LINES MUST BE VIDEOED BY THE CONTRACTOR AFTER THE PAVING WORK ABOVE THE PIPE IS COMPLETE AND CONFIRM THAT THERE IS ADEQUATE ACCESS.

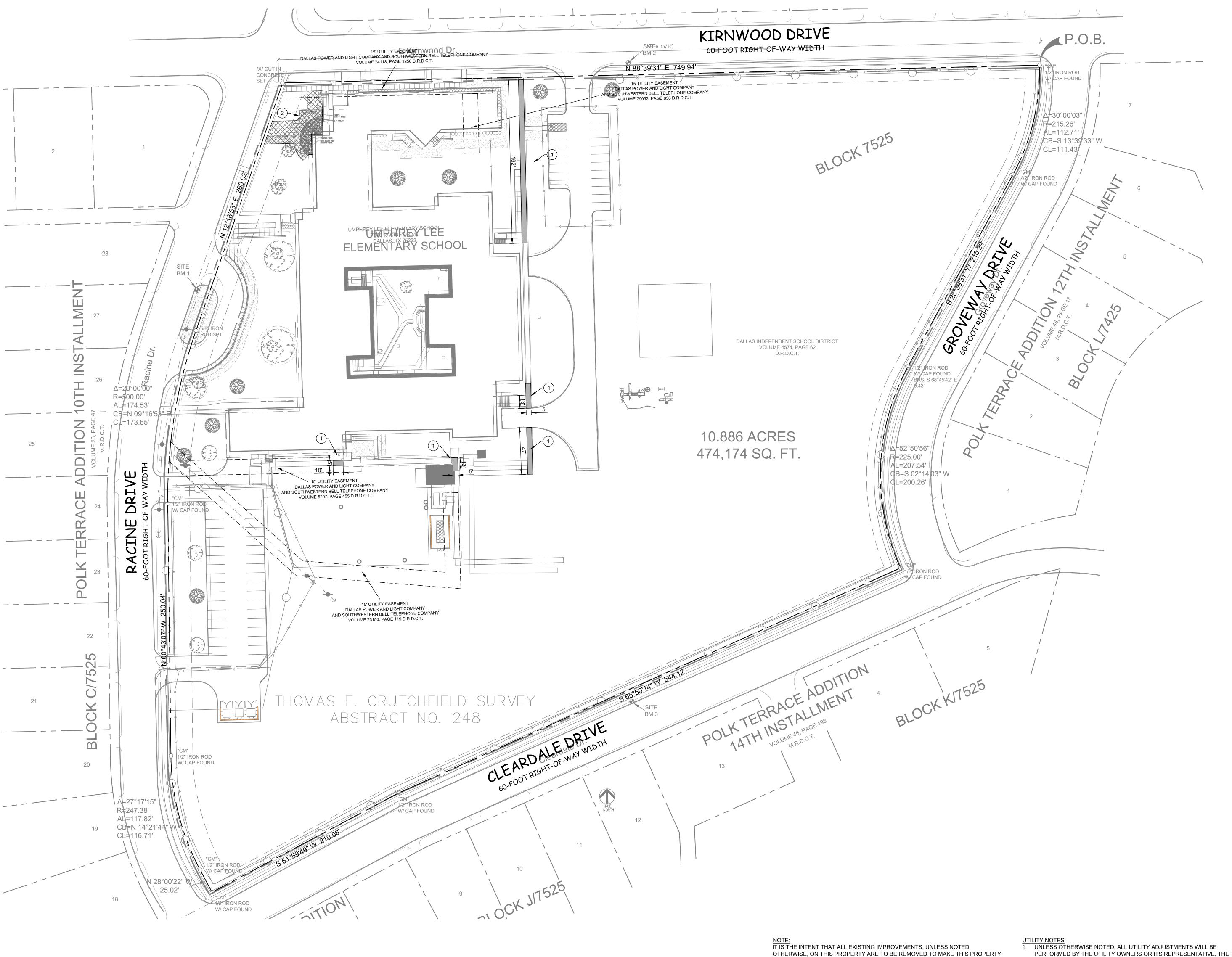
CITY OF DALLAS INFRASTRUCTURE NOTES

- 1. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR NORTH CENTRAL TEXAS, LATEST EDITION, AND THE CITY OF DALLAS DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION ADDENDUM AND PAVEMENT CUT AND REPAIR STANDARD MANUAL OF PUBLIC WORKS AND TRANSPORTATION DATED OCTOBER 2003.
- 2. DURING THE CONSTRUCTION OF THESE IMPROVEMENTS, ANY INTERPRETATION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR NORTH CENTRAL TEXAS, AND ANY MATTER WHICH REQUIRES THE APPROVAL OF THE OWNER, MUST BE APPROVED BY THE DIRECTOR OF PUBLIC WORKS AND TRANSPORTATION OR HIS DESIGNEE BEFORE ANY CONSTRUCTION INVOLVING THAT DECISION COMMENCES. ASSUMPTIONS ABOUT WHAT THESE DECISIONS MIGHT BE WHICH ARE MADE DURING THE BIDDING PHASE WILL HAVE NO BEARING ON THE DECISION.
- 3. FOR ADJUSTMENT OF DALLAS WATER UTILITIES APPURTENANCES OR TO VERIFY LOCATIONS OF EXISTING WATER AND WASTEWATER MAINS IN AREAS, CALL (214) 670-1770 AT LEAST (3) WORKING DAYS PRIOR TO CONSTRUCTION.
- STREETS, ALLEYS, SIDEWALKS, DRIVEWAYS, AND STORM DRAINAGE FACILITIES IN THE PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE CITY OF DALLAS, STANDARD CONSTRUCTION DETAILS, FILE 251D-1, LATEST EDITION.
- ALL CONCRETE FOR PUBLIC PAVEMENT SHALL BE 4,000 PSI FOR MACHINE FINISH AND 4,500 PSI IF IT IS NECESSARY FOR HAND FINISH.

EROSION CONTROL NOTES

- 1. THE CONTRACTOR IS RESPONSIBLE FOR PREPARING AND IMPLEMENTING A STORM WATER POLLUTION PREVENTION PLAN (SWP3) IN ACCORDANCE WITH TCEQ TEXAS POLLUTANT DISCHARGE ELIMINATION SYSTEM (TPDES) PERMIT NO. TXR150000 (PERMIT). THE DETAILS SHOWN ON THIS SHEET REPRESENT TYPICAL METHODS FOR CONTROLLING EROSION DURING CONSTRUCTION AND ARE INTENDED FOR THE CONTRACTOR'S GUIDANCE IN PREPARING HIS STORM WATER POLLUTION PREVENTION PLAN. THE CONTRACTOR'S PLAN SHALL COMPLY WITH THE PERMIT AND FEDERAL, STATE AND LOCAL REQUIREMENTS. THE CONTRACTOR'S PLAN SHALL INCLUDE, BUT NOT BE LIMITED TO, PREPARATION AND SUBMITTAL OF A NOTICE OF INTENT (NOI) TO THE TCEQ IF THE PROJECT IS 5 ACRES OR LARGER, AND PREPARATION OF ALL PLANS AND DOCUMENTATION AS REQUIRED BY THE PERMIT.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL MEASURES DURING CONSTRUCTION AND FOR OBTAINING ANY REQUIRED CONSTRUCTION RELATED DRAINAGE PERMITS, OR MAKING ANY CONSTRUCTION RELATED NOTIFICATIONS. AN INSPECTION REPORT THAT SUMMARIZES INSPECTION ACTIVITIES AND IMPLEMENTATION OF THE SWP3 SHALL BE PERFORMED AS REQUIRED BY THE PERMIT AND RETAINED BY THE CONTRACTOR AND MADE A PART OF THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL PROVIDE COPIES OF ALL SWP3 DOCUMENTS INCLUDING, BUT NOT LIMITED TO, INSPECTION RECORDS, ORIGINAL PLANS, AND MODIFIED PLANS TO THE OWNER AT CONTACT CLOSE-OUT. DURING CONSTRUCTION THE CONTRACTOR SHALL PROVIDE COPIES OF THE INSPECTION REPORTS TO THE OWNER ON A MONTHLY BASIS.
- 3. TEMPORARY STORM DRAINAGE AND/OR EROSION CONTROL MATERIALS SHALL BE SUITABLE FOR THIS APPLICATION AND SHALL BE INSTALLED WITH THE PROPER TECHNIQUES BY THE CONTRACTOR AS REQUIRED BY NCTCOG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. TEMPORARY STORM DRAINAGE AND/OR EROSION CONTROL MATERIAL SHALL BE REMOVED BY THE CONTRACTOR, IN ADDITION TO ANY EXCAVATIONS BACKFILLED BY THE CONTRACTOR, IN ACCORDANCE WITH NCTCOG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION WHEN TEMPORARY EROSION CONTROL DEVICES ARE NO LONGER NEEDED AS SPECIFIED IN THE PERMIT. MAINTENANCE OF THE PERMANENT EROSION CONTROL MEASURES AT THE SITE WILL BE ASSUMED BY THE OWNER AT CONTRACT CLOSE-OUT AND ACCEPTANCE OF THE WORK.
- 4. IT IS THE INTENT OF THE INFORMATION PROVIDED ON THESE DOCUMENTS TO BE USED AS THE GENERAL GUIDELINES FOR THE CONTRACTOR. THE SWP3 TO BE PREPARED BY THE CONTRACTOR SHALL MEET THE CURRENT REQUIREMENTS SET FORTH IN THE TCEQ'S TPDES GENERAL PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION SITES AS WELL AS ANY LOCAL REQUIREMENTS.
- 5. THE STORM WATER POLLUTION PREVENTION PLAN (SWP3) SHALL ADDRESS THREE GOALS: 1) DIVERSION OF UP SLOPE WATER AROUND DISTURBED AREAS OF THE SITE; 2) LIMIT THE EXPOSURE OF DISTURBED AREAS TO THE SHORTEST DURATION POSSIBLE; AND, 3) REMOVAL OF SEDIMENT FROM STORM WATER BEFORE IT LEAVES THE SITE.
- 6. THE CONTRACTOR SHALL MAINTAIN HIS SWP3 IN ACCORDANCE WITH THE PERMIT AND MAKE HIS SWP3 AVAILABLE, UPON REQUEST, TO THE TCEQ, OTHER GOVERNMENTAL AGENCIES, AND/OR THE OWNER.
- 7. THE CONTRACTOR MUST AMEND HIS SWP3 WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE OF THE SWP3, OR WHEN THE EXISTING SWP3 PROVES INEFFECTIVE. MODIFICATIONS SHALL NOT COMPROMISE THE INTENT OF THE REQUIREMENTS OF THE PERMIT. MODIFICATIONS INCLUDING DESIGN AND ALL ADDITIONAL MATERIALS AND WORK SHALL BE ACCOMPLISHED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- 8. THE CONTRACTOR SHALL INSPECT STABILIZATION AND EROSION CONTROL MEASURES AT A MINIMUM OF ONCE EVERY 14 DAYS, AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN 0.5-INCHES, OR ONCE EVERY 7 DAYS IN ACCORDANCE WITH THE PERMIT. THE CONTRACTOR SHALL REPAIR INADEQUACIES REVEALED BY THE INSPECTION BEFORE THE NEXT STORM EVENT AND HE SHALL MODIFY HIS SWP3 WITHIN 7 DAYS OF THE INSPECTION.
- 9. ALL CONTRACTORS AND SUBCONTRACTORS IDENTIFIED IN THE PLAN MUST CERTIFY AS TO AN UNDERSTANDING OF THE TPDES GENERAL PERMIT BEFORE CONDUCTING ANY ACTIVITY IDENTIFIED IN THE POLLUTION PREVENTION PLAN.
- 10. THE CONTRACTOR SHALL ADOPT APPROPRIATE CONSTRUCTION SITE MANAGEMENT PRACTICES TO PREVENT THE DISCHARGE OF OILS, GREASE, PAINTS, GASOLINE, AND OTHER POLLUTANTS TO STORM WATER. APPROPRIATE PRACTICES SHALL INCLUDE, BUT NOT BE LIMITED TO: DESIGNATING AREAS FOR EQUIPMENT MAINTENANCE AND REPAIR; COLLECTING WASTES PERIODICALLY; MAINTAINING CONVENIENTLY LOCATED WASTE RECEPTACLES; AND DESIGNATING AND CONTROLLING EQUIPMENT WASH DOWN.
- 11. BORROW AREAS, IF EXCAVATED, SHALL BE PROTECTED AND STABILIZED BY THE CONTRACTOR IN A MANNER ACCEPTABLE TO THE OWNER AND IN ACCORDANCE WITH PERMIT REQUIREMENTS.
- 12. ALL NON-PAVED AREAS SHALL BE SEEDED AND MULCHED WITH EROSION PROTECTION GRASS BY THE CONTRACTOR IMMEDIATELY UPON COMPLETION OF FINAL GRADING. THIS INCLUDES ALL DITCHES AND EMBANKMENTS. THE CONTRACTOR SHALL MAINTAIN FINAL GRADING, AND KEEP SEEDED AREAS WATERED UNTIL FULLY ESTABLISHED AND ACCEPTED BY OWNER.
- 13. THE CONTRACTOR SHALL CONSTRUCT A SILT FENCE AT ALL LOCATIONS SHOWN ON PLANS, AND ALL BORROW AND STOCK PILE AREAS. THE SILT FENCE SHALL BE CONSTRUCTED AS DETAILED ON THIS PLAN. THE CONTRACTOR SHALL REMOVE ACCUMULATED SILT WHEN IT REACHES A DEPTH OF 6-INCHES. THE CONTRACTOR SHALL DISPOSE OF THE REMOVED SILT IN A LOCATION APPROVED BY THE OWNER AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO EROSION AND SEDIMENTATION. THE CONTRACTOR SHALL REMOVE THE SILT FENCE WHEN THE SITE IS COMPLETELY STABILIZED AND APPROVED BY THE OWNER SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
- 14. THE CONTRACTOR SHALL DESIGNATE MATERIAL AND EQUIPMENT STORAGE AREAS MUTUALLY AGREED TO BY THE OWNER. THE STORAGE AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE, AND THE SURFACE STABILIZED BY THE CONTRACTOR WITH A MINIMUM OF 2-INCHES OF COMPACTED FLEX BASE ON 6-INCHES OF SCARIFIED AND RECOMPACTED SUBGRADE. A SILT FENCE SHALL BE INSTALLED BY THE CONTRACTOR AROUND THE STORAGE AREAS TO PREVENT ERODED MATERIALS FROM LEAVING THE SITE.
- 15. ALL INLETS (ONSITE AND OFFSITE) RECEIVING DRAINAGE WATER FROM DISTURBED AREAS SHALL BE PROTECTED BY THE CONTRACTOR AS PER DETAILS SHOWN, OR OTHER OWNER APPROVED METHODS, TO PREVENT ERODED MATERIAL FROM BEING TRANSPORTED INTO INLETS. THE INLET PROTECTION SHALL BE CONSTRUCTED AS SHOWN ON THESE PLANS.
- 16. ROCK RIP-RAP USED IN AND AROUND DRAINAGE STRUCTURES SHALL CONFORM TO THE (TXDOT OR NCTCOG) WITH REGARD TO MATERIALS AND CONSTRUCTION METHODS. UNLESS DENOTED OTHERWISE ON THE PLANS, ROCK RIP-RAP SHALL BE WELL GRADED DRY STONE, TYPE R, AND SHALL BE PLACED IN A LAYER WITH A DEPTH OF AT LEAST TWO (2) THE CONTRACTOR SHALL PLACE NON-WOVEN FILTER FABRIC UNDER THE ROCK RIP-RAP. THE NON-WOVEN FILTER FABRIC SHALL BE MIRAFI, INC. 1100N OR AN OWNER APPROVED EQUAL.
- 17. THE SPECIFIC PLANT MATERIALS PROPOSED TO PROTECT FILL AND EXCAVATED SLOPES SHALL BE AS INDICATED ON THE PLANS. PLANT MATERIALS MUST BE SUITABLE FOR USE UNDER LOCAL CLIMATE AND SOIL CONDITIONS. IN GENERAL, HYDRO SEEDING OR SODDING BERMUDA GRASS IS ACCEPTABLE DURING THE SUMMER MONTHS (MAY 1 TO AUGUST 30). WINTER RYE OR FESCUE GRASS MAY BE PLANTED DURING TIMES OTHER THAN SUMMER MONTHS AS A TEMPORARY MEASURE UNTIL SUCH TIME AS THE PERMANENT PLANTING CAN BE MADE.
- 18. PRIOR TO COMMENCING ANY CONSTRUCTION, A CONSTRUCTION ENTRANCE AND PERIMETER SILT FENCE SHALL BE INSTALLED AT THE LOCATION(S) SHOWN.
- 19. AS INLETS ARE COMPLETED, TEMPORARY SEDIMENT BARRIERS SHALL BE INSTALLED.
- 20. AT THE COMPLETION OF THE PAVING AND FINAL GRADING, THE DISTURBED AREA(S) SHALL BE REVEGETATED IN ACCORDANCE WITH THE PLANS.
- 21. SILT FENCE AND INLET SEDIMENT BARRIERS SHALL REMAIN IN PLACE UNTIL REVEGETATION HAS BEEN COMPLETED.
- 22. DISTURBED AREAS THAT ARE SEEDED OR SODDED SHALL BE CHECKED PERIODICALLY TO SEE THAT GRASS COVERAGE IS PROPERLY MAINTAINED. DISTURBED AREAS SHALL BE WATERED, FERTILIZED, AND RESEDED OR RESODDED, IF NECESSARY.





ANY TRAFFIC CONTROL PLAN (TCP) MUST BE SUBMITTED TO THE DEPARTMENT OF PUBLIC WORKS FOR REVIEW AND APPROVAL BY TRAFFIC SAFETY COORDINATORS PRIOR TO START OF CONSTRUCTION. NO TRAFFIC LANE OR SIDEWALK ALONG ANY PUBLIC STREET OR ALLEY IS TO BE CLOSED WITHOUT FIRST OBTAINING THE APPROPRIATE PERMIT(S). CLOSURE OF ANY TRAFFIC LANE MUST BE RESTRICTED TO THE HOURS OF 9:30 A.M. TO 3:30 P.M. WORKDAYS (HOURS MAY DIFFER IN SCHOOL ZONES). CONTRACTOR MUST CALL (214) 948-4290 TO REQUEST APPROVAL OF TCP AND TO OBTAIN A RIGHT-OF-WAY PERMIT.

SUITABLE FOR THE PROPOSED IMPROVEMENTS. DEMOLITION NOTES

- 1. THE CONTRACTOR WILL BE REQUIRED TO REMOVE ALL PAVEMENT MATERIALS AND SUCH ITEMS SHALL BECOME THE PROPERTY OF THE CONTRACTOR. ALL ITEMS SHALL BE PROPERLY DISPOSED OF AT AN OFF-SITE LOCATION.
- 2. IF AT ANY TIME PRIOR TO OR DURING THE DEMOLITION WORK, HAZARDOUS MATERIAL IS ENCOUNTERED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DEVELOPMENT MANAGER.
- 3. THE CONTRACTOR SHALL NOTIFY ADJACENT OWNERS OF WORK WHICH MAY AFFECT THEIR PROPERTY, SUCH AS POTENTIAL NOISE, UTILITY OUTAGES OR DISRUPTIONS. SUCH OPERATIONS SHALL BE CONDUCTED BY THE CONTRACTOR WITH MINIMUM INTERFERENCE TO ADJACENT OWNERS. ADJACENT EGRESS AND ACCESS SHALL BE PROPERLY MAINTAINED AT ALL TIMES. DO NOT CLOSE OR OBSTRUCT ANY ROADWAYS, PARKING OR SIDEWALKS WITHOUT PERMISSION FROM THE ADJACENT OWNERS AND/OR
- THE CITY OF DALLAS. 4. PRIOR TO THE COMMENCEMENT OF DEMOLITION/GRADING OPERATIONS, ALL OVERHEAD AND UNDERGROUND UTILITIES SHALL BE LOCATED. ALL REMOVAL AND/OR RELOCATION OF UTILITIES SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY COMPANIES.
- 5. ALL UTILITIES, UTILITY POLES, AND TRAFFIC SIGNALS WITHIN PUBLIC R.O.W. SHALL REMAIN.

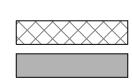
KEYED DEMOLITION NOTES

(1) REMOVE EX. CONCRETE SIDEWALK

(2) CLEAR & GRUB EXTENTS FOR NEW SIDEWALK ADDITION

DEMOLITION PLAN LEGEND

LIMITS OF CLEAR & GRUB LIMITS OF SIDEWALK REMOVAL

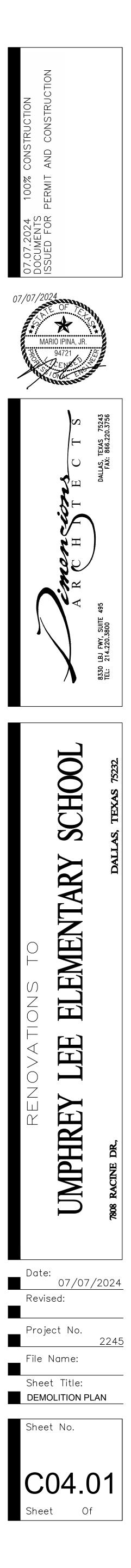


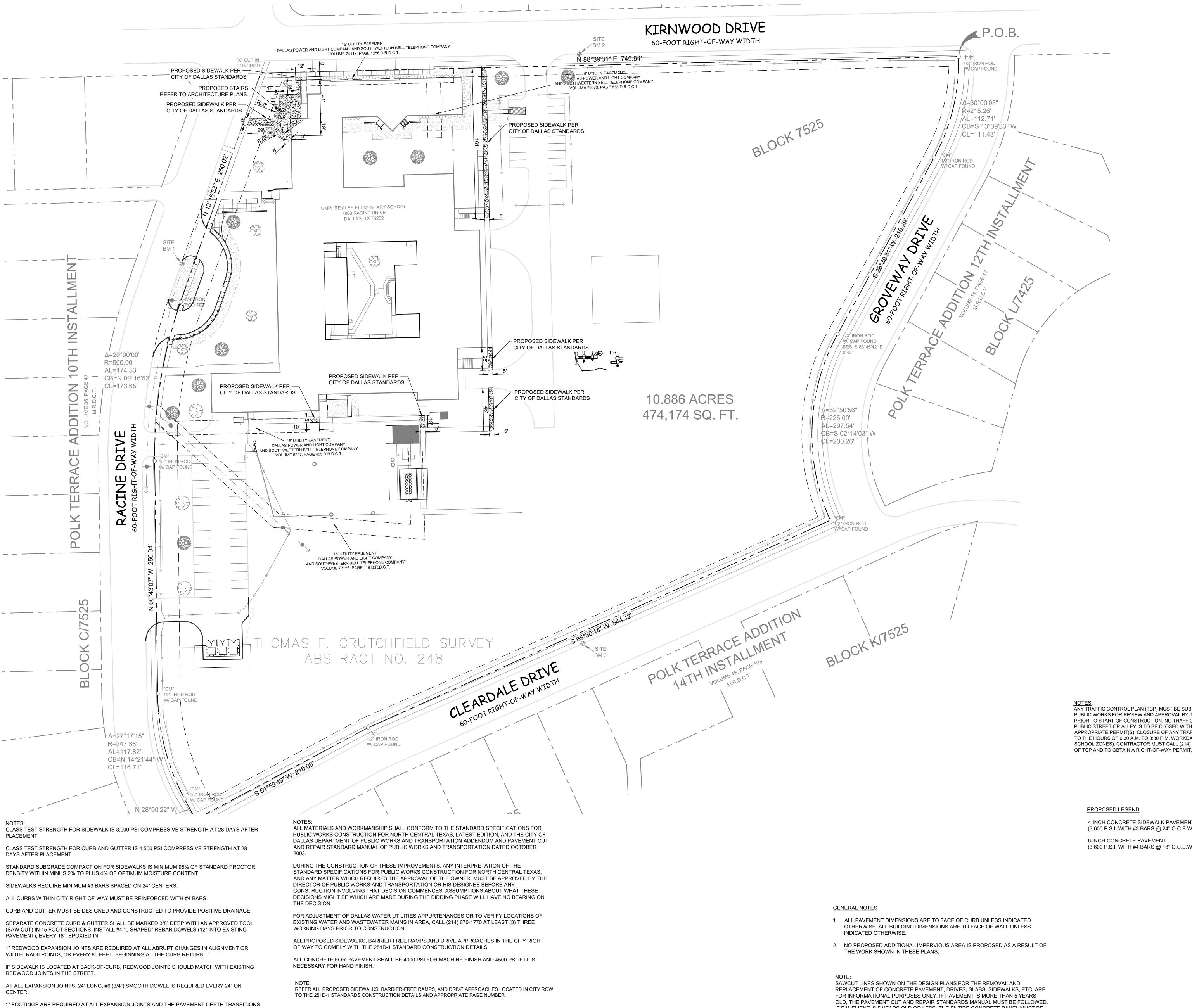
GRAPHIC SCALE - 1"=30'

CONTRACTOR AND UTILITY OWNERS WILL BE REQUIRED TO COOPERATE WITH EACH OTHER TO EXPEDITE THE WORK REQUIRED BY THIS CONTRACT. 2. THE CONTRACTOR WILL PROVIDE ALL NECESSARY PROTECTIVE MEASURES TO SAFEGUARD EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION OF THIS PROJECT. IN THE EVENT THAT SPECIAL EQUIPMENT IS REQUIRED TO WORK OVER OR AROUND THE UTILITIES, THE CONTRACTOR WILL BE REQUIRED TO FURNISH SUCH EQUIPMENT. THE COST OF PROTECTING UTILITIES FROM DAMAGE AND FURNISHING SPECIAL EQUIPMENT WILL BE INCLUDED IN THE BID PRICE FOR OTHER ITEMS OF CONSTRUCTION. 3. THE CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR CONTACTING ALL AFFECTED UTILITIES PRIOR TO SUBMITTING HIS BID TO DETERMINE THE EXTENT TO WHICH UTILITY DISCONNECTIONS AND/OR ADJUSTMENTS WILL HAVE UPON THE SCHEDULE OF THE WORK FOR THE PROJECT. SOME UTILITY FACILITIES MAY NEED TO BE ADJUSTED CONCURRENTLY WITH THE CONTRACTOR'S OPERATIONS, WHILE SOME WORK MAY BE REQUIRED AROUND' UTILITY FACILITIES THAT WILL REMAIN IN PLACE. IT IS

UNDERSTOOD AND AGREED THAT THE CONTRACTOR WILL RECEIVE NO ADDITIONAL COMPENSATION FOR DELAYS OR INCONVENIENCE CAUSED BY THE UTILITY ADJUSTMENT. 4. THE CONTRACTOR SHALL NOTIFY EACH INDIVIDUAL UTILITY OWNER OF HIS PLAN OF OPERATIONS IN THE AREA OF THE UTILITIES. PRIOR TO

COMMENCING WORK. THE CONTRACTOR SHALL CONTACT THE UTILITY OWNERS AND REQUEST THEM TO PROPERLY LOCATE THEIR RESPECTIVE UTILITY ON THE GROUND.





FROM 4" TO 5" THICK, OVER THE 24" LENGTH OF PAVEMENT. 8" FOOTING IS REQUIRED FOR SIDEWALKS LOCATED AT BACK-OF-CURB, WITH A 6" DOWEL.

SIDEWALK MUST BE MINIMUM 5' WIDE IF LOCATED AT BACK-OF-CURB.

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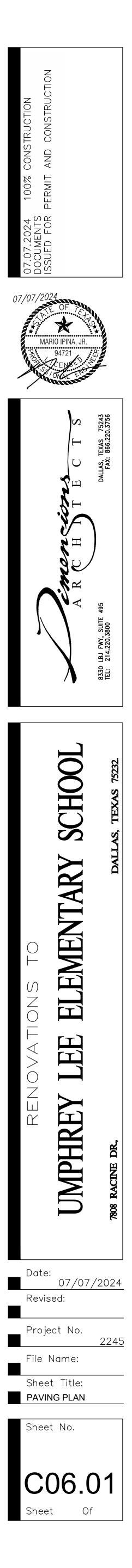
PROPOSED LEGEND

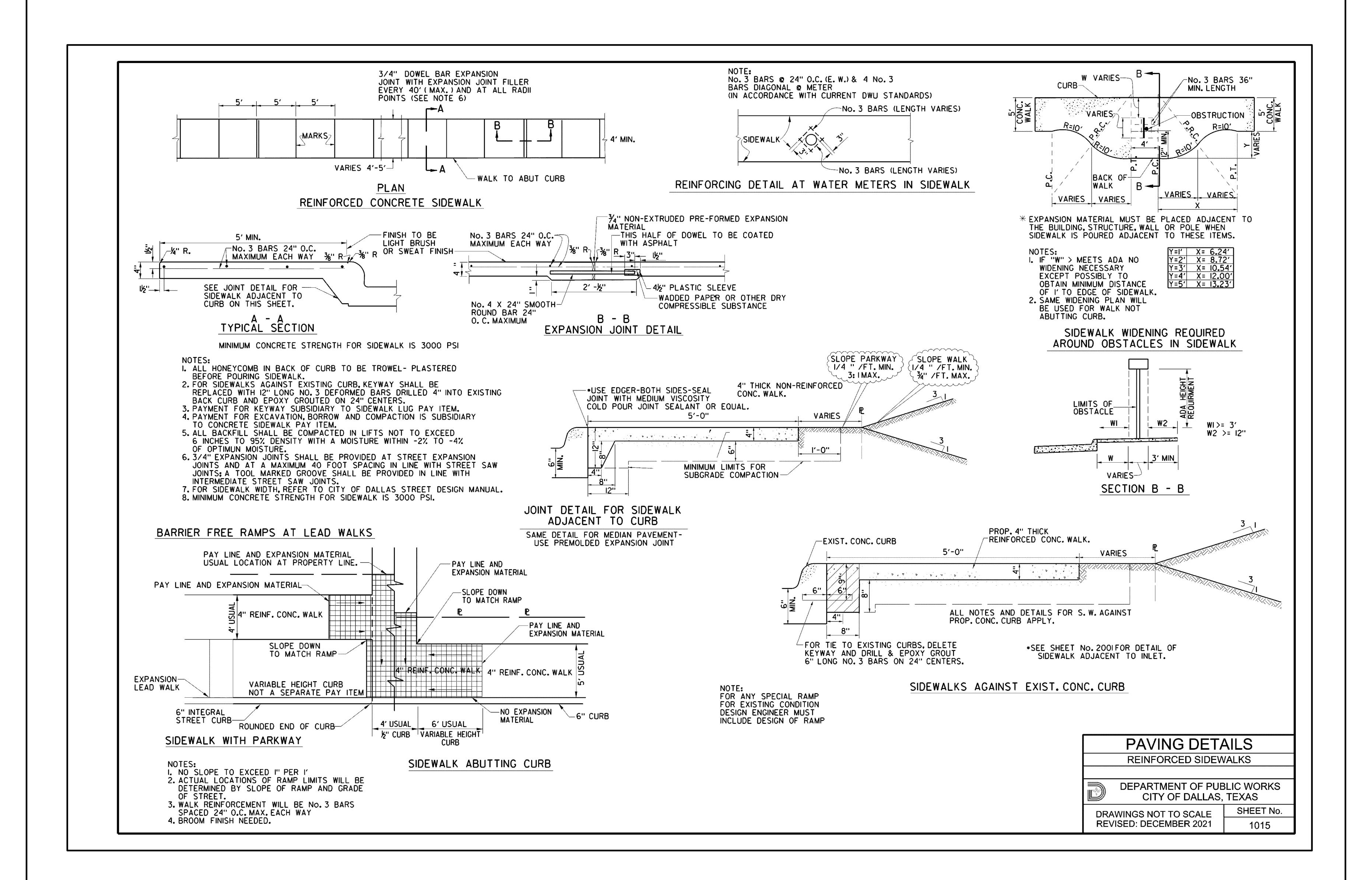
4-INCH CONCRETE SIDEWALK PAVEMENT (3,000 P.S.I. WITH #3 BARS @ 24" O.C.E.W.) 6-INCH CONCRETE PAVEMENT (3,600 P.S.I. WITH #4 BARS @ 18" O.C.E.W.)

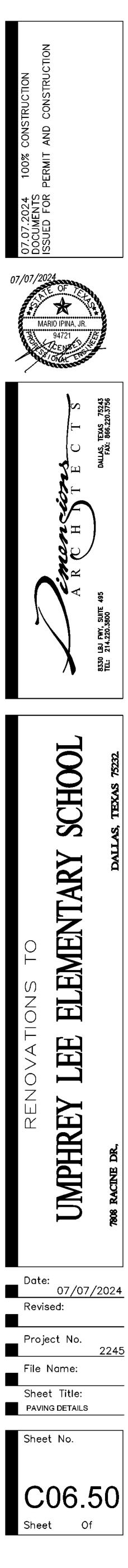
GRAPHIC SCALE - 1"=30

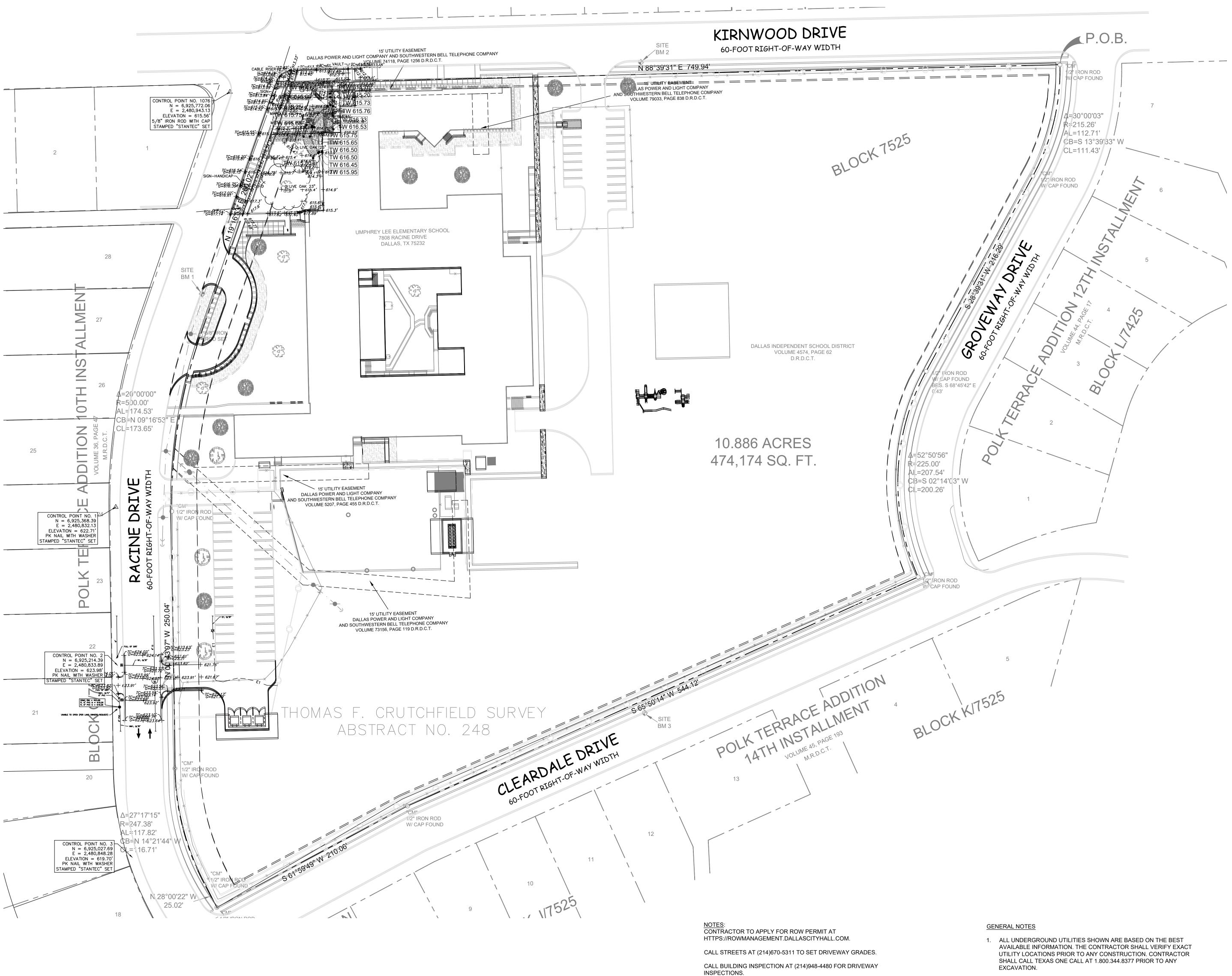
REPLACED.

IF PAVEMENT IS 5 YEARS OLD OR LESS, THE ENTIRE CONCRETE PANEL MUST BE



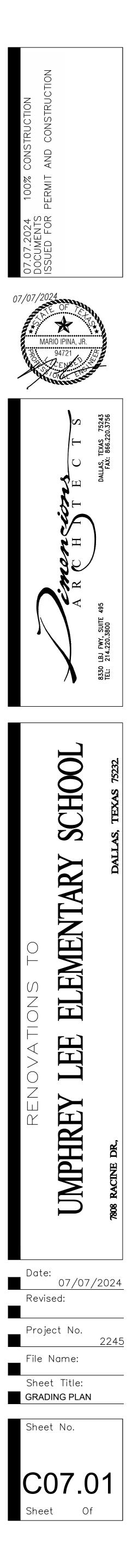


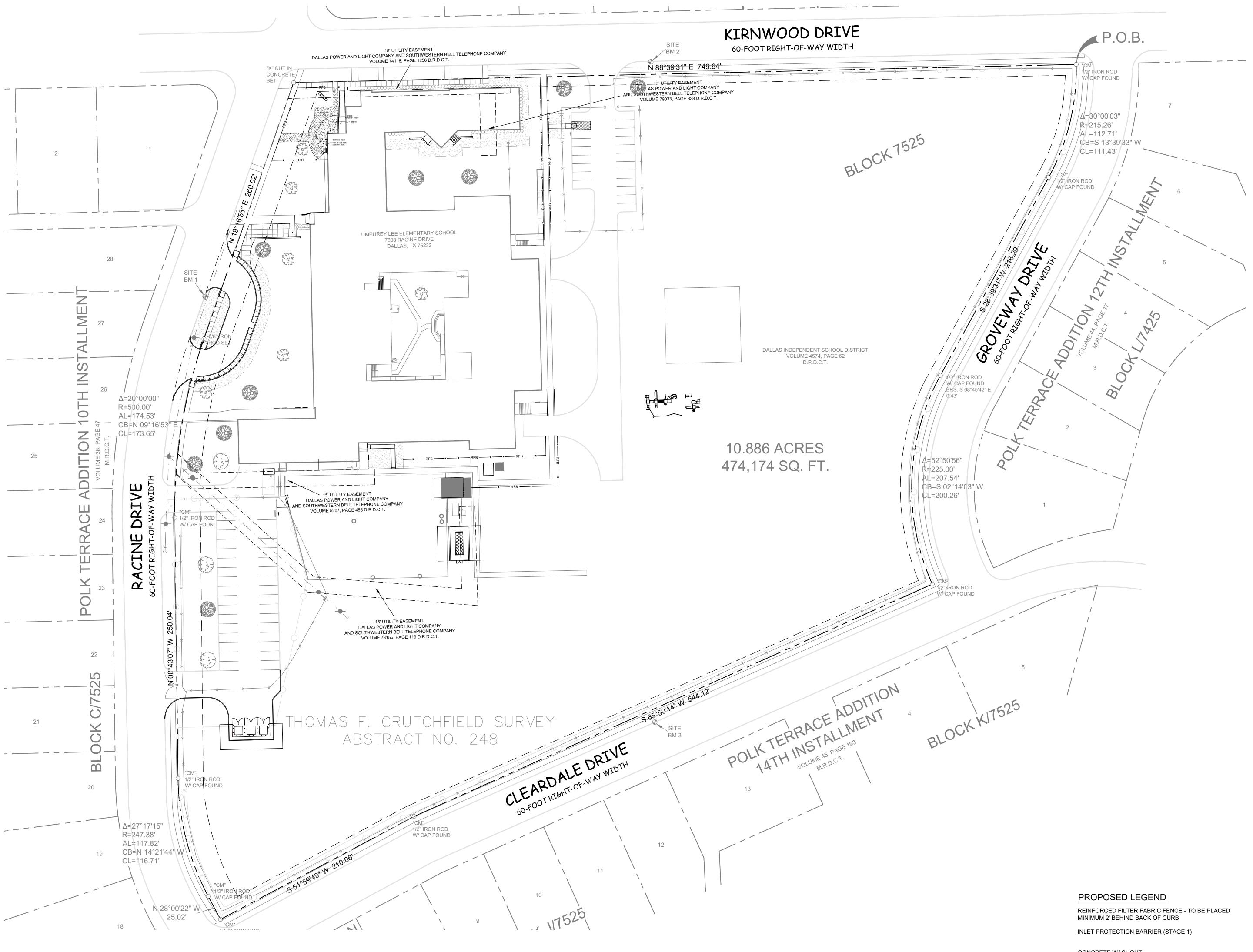




NOTES ANY TRAFFIC CONTROL PLAN (TCP) MUST BE SUBMITTED TO THE DEPARTMENT OF PUBLIC WORKS FOR REVIEW AND APPROVAL BY TRAFFIC SAFETY COORDINATORS PRIOR TO START OF CONSTRUCTION. NO TRAFFIC LANE OR SIDEWALK ALONG ANY PUBLIC STREET OR ALLEY IS TO BE CLOSED WITHOUT FIRST OBTAINING THE APPROPRIATE PERMIT(S). CLOSURE OF ANY TRAFFIC LANE MUST BE RESTRICTED TO THE HOURS OF 9:30 A.M. TO 3:30 P.M. WORKDAYS (HOURS MAY DIFFER IN SCHOOL ZONES). CONTRACTOR MUST CALL (214) 948-4290 TO REQUEST APPROVAL OF TCP AND TO OBTAIN A RIGHT-OF-WAY PERMIT.

- 2. IF ANY CONFLICT OR DISCREPANCY FROM THE PLANS IS FOUND, NOTIFY THE ENGINEER BEFORE CONTINUING WITH ANY FURTHER CONSTRUCTION.
- 3. VERIFY LOCATION OF GAS, ELECTRIC OR TELEPHONE CABLE PRIOR TO START OF ANY CONSTRUCTION.
- 4. NEW FINISH CONTOURS AND SPOT ELEVATIONS SHOWN ARE TO THE TOP OF PROPOSED PAVEMENT AND TOP OF FINISHED GRADE UNLESS OTHERWISE INDICATED. ADD 0.50 FEET FOR TOP OF CURB ELEVATIONS.
- 5. HAND EXCAVATE AS NECESSARY TO LOCATE EXISTING UTILITY CONFLICTS.
- 6. CONTRACTOR TO ENSURE PROPOSED PAVEMENT MAINTAINS POSITIVE DRAINAGE AWAY FROM BUILDINGS.





SWPPP CONSTRUCTION NOTES:

- 1. CONTRACTOR SHALL IMPLEMENT INLET PROTECTION DEVICES AND 5. CONTRACTOR TO INSPECT AND MAINTAIN THE AREAS LISTED REINFORCED FILTER FABRIC BARRIER ALONG ROAD AND SIDE DITCHES AT LOCATIONS SHOWN ON THE TYPICAL STORM WATER POLLUTION PREVENTION (SWPPP) PLANS TO KEEP SILT AND/OR EXCAVATED MATERIALS FROM ENTERING INTO THE STORM WATER INLETS AND DITCHES EVENTUALLY POLLUTING THE RECEIVING STORM.
- 2. DURING THE EXCAVATION PHASE OF THE PROJECT, CONTRACTOR SHALL SCHEDULE THE WORK IN SHORT SEGMENTS SO THAT EXCAVATED MATERIAL CAN BE QUICKLY HAULED AWAY FROM THE SITE AND TO PREVENT IT FROM STAYING UNCOLLECTED ON THE EXISTING PAVEMENT. ANY LOOSE EXCAVATED MATERIAL WHICH FALL ON PAVEMENTS OR DRIVEWAYS SHALL BE SWEPT BACK INTO THE EXCAVATED AREA.
- 3. CONTRACTOR SHALL CLEAN UP THE EXISTING STREET INTERSECTIONS AND DRIVEWAYS DAILY, AS NECESSARY, TO REMOVE ANY EXCESS MUD, SILT OR ROCK TRACKED FROM THE EXCAVATED AREA.
- 4. CONTRACTOR SHALL FOLLOW GOOD HOUSEKEEPING PRACTICES DURING THE CONSTRUCTION OF THE PROJECT, ALWAYS CLEANING UP DIRT AND LOOSE MATERIAL AS CONSTRUCTION PROGRESSES.

CONCRETE WASHOUT

BELOW AT LEAST ONCE EVERY FOURTEEN (14) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM EVENT OF 0.5 INCHES OR GREATER. DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED. A) AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION. B) STRUCTURAL CONTROL MEASURES.

C) LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE.

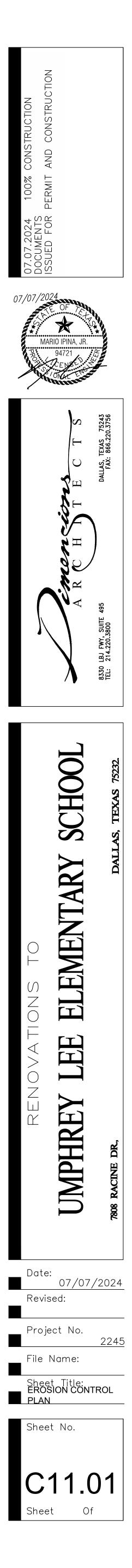
CONTRACTOR TO BE RESPONSIBLE TO MAINTAIN EXISTING DITCHES AND/OR CULVERTS FOR UNOBSTRUCTED DRAINAGE AT ALL TIMES. WHERE SODDING IS DISTURBED BY EXCAVATION ON BACKFILLING OPERATIONS, SUCH AREAS SHALL BE REPLACED BY SEEDING OR SODDING. SLOPES 4:1 OR STEEPER SHALL BE REPLACED BY BLOCK SODDING.

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IPB

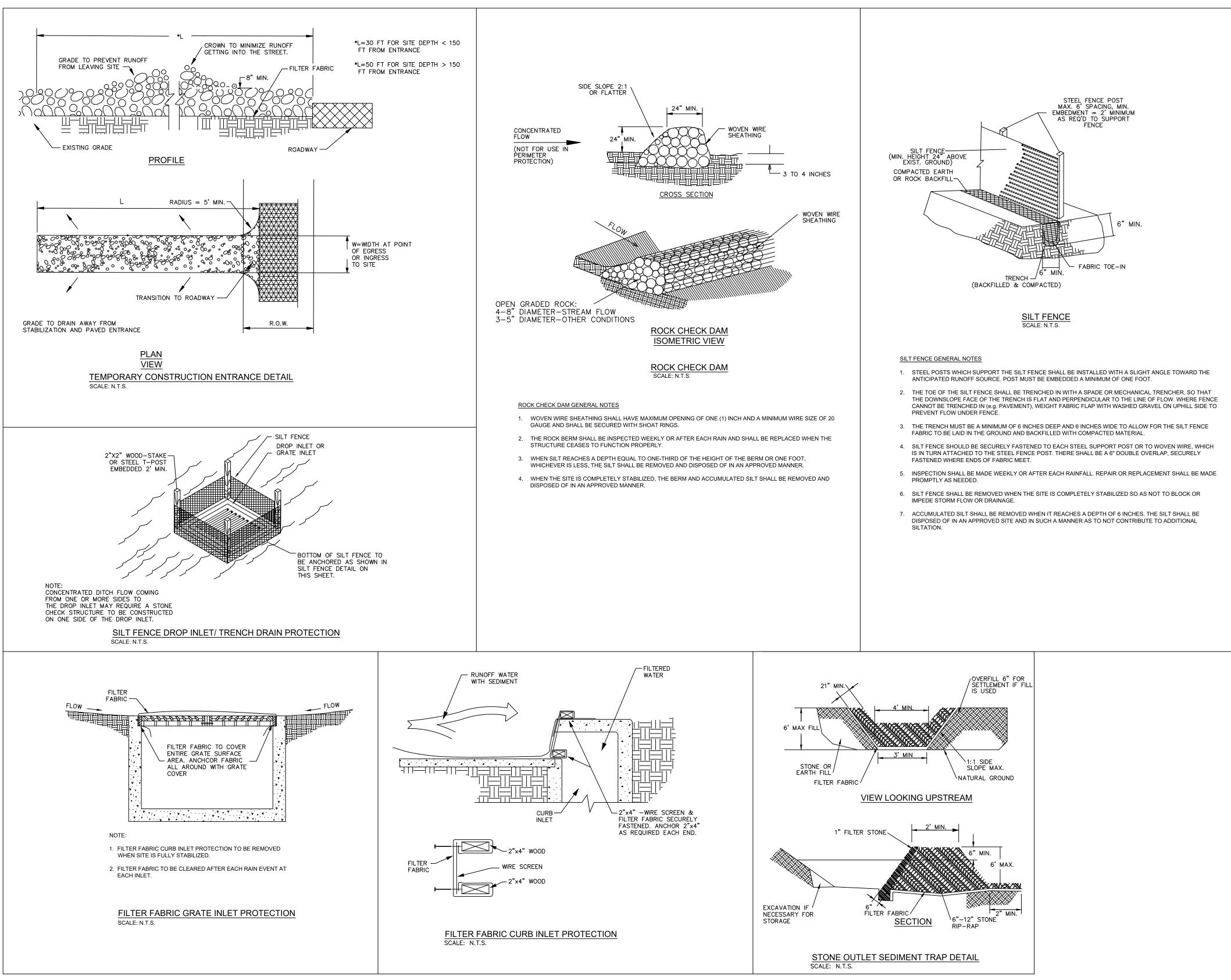
CTW

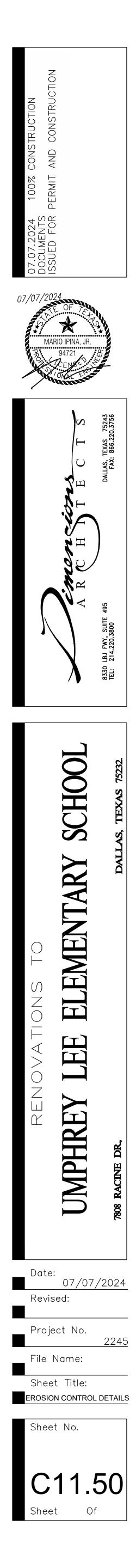
GRAPHIC SCALE - 1"=30'



EROSION CONTROL NOTES

- 1. THE CONTRACTOR IS RESPONSIBLE FOR PREPARING AND IMPLEMENTING A STORM WATER POLLUTION PREVENTION PLAN (SWP3) IN ACCORDANCE WITH TCEQ TEXAS POLLUTANT DISCHARGE ELIMINATION SYSTEM (TPDES) PERMIT NO. TXR150000 (PERMIT). THE DETAILS SHOWN ON THIS SHEET REPRESENT TYPICAL METHODS FOR CONTROLLING EROSION DURING CONSTRUCTION AND ARE INTENDED FOR THE CONTRACTORS GUIDANCE IN PREPARING HIS POLLUTION PREVENTION PLAN. THE CONTRACTORS PLAN SHALL COMPLY WITH THE PERMIT AND FEDERAL, STATE AND LOCAL REQUIREMENTS.
- 2. THE CONTRACTORS PLAN SHALL INCLUDE, BUT NOT BE LIMITED TO, PREPARATION AND SUBMITTAL OF A NOTICE OF INTENT (NOI) TO THE TCEQ, IF THE PROJECT IS 5 ACRES OR LARGER AND PREPARATION OF ALL PLANS AND DOCUMENTATION AS REQUIRED BY THE PERMIT.
- 3. IT IS THE INTENT OF THE INFORMATION PROVIDED ON THESE DOCUMENTS TO BE USED AS A GENERAL GUIDELINE FOR THE CONTRACTOR. THE SWP3 TO BE PREPARED BY THE CONTRACTOR SHALL MEET THE CURRENT REQUIREMENTS SET FORTH IN THE TCEQ'S TPDES GENERAL PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION SITES AS WELL AS ANY LOCAL REQUIREMENTS.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL DURING CONSTRUCTION AND FOR OBTAINING ANY REQUIRED CONSTRUCTION RELATED DRAINAGE PERMITS, OR MAKING ANY CONSTRUCTION RELATED NOTIFICATIONS. AN INSPECTION REPORT THAT SUMMARIZES INSPECTION ACTIVITIES AND IMPLEMENTATION OF THE SWP3 SHALL BE PERFORMED AS REQUIRED BY THE PERMIT AND RETAINED BY THE CONTRACTOR AND MADE A PART OF THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL PROVIDE COPIES OF ALL SWP3 DOCUMENTS INCLUDING, BUT NOT LIMITED TO, INSPECTION RECORDS, ORIGINAL PLANS, AND MODIFIED PLANS TO THE OWNER AT CONTRACT CLOSE-OUT. DURING CONSTRUCTION THE CONTRACTOR SHALL PROVIDE COPIES OF THE INSPECTION REPORTS TO THE OWNER ON A MONTHLY BASIS.
- 5. TEMPORARY STORM DRAINAGE AND/OR EROSION CONTROL MATERIAL SHALL BE SUITABLE FOR THIS APPLICATION AND SHALL BE INSTALLED WITH THE PROPER TECHNIQUES BY THE CONTRACTOR AS REQUIRED BY NCTCOG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. TEMPORARY STORM DRAINAGE AND/OR EROSION CONTROL MATERIAL SHALL BE REMOVED BY THE CONTRACTOR, IN ADDITION TO ANY EXCAVATIONS BACKFILLED BY THE CONTRACTOR, IN ACCORDANCE WITH NCTCOG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION WHEN TEMPORARY EROSION CONTROL DEVICES ARE NO LONGER NEEDED AS SPECIFIED IN THE PERMIT. MAINTENANCE OF THE PERMANENT EROSION CONTROL MEASURES AT THE SITE WILL BE ASSUMED BY THE OWNER AT CONTRACT CLOSE OUT AND ACCEPTANCE OF THE WORK.
- 6. THE CONTRACTOR SHALL MAINTAIN HIS SWP3 IN ACCORDANCE WITH THE TCEQ PERMIT AND MAKE HIS SWP3 AVAILABLE, UPON REQUEST, TO THE TCEQ, AND/OR CITY.
- 7. THE CONTRACTOR MUST AMEND HIS SWP3 WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE OF THE SWP3, OR WHEN THE EXISTING SWP3 PROVES INEFFECTIVE.
- 8. MODIFICATIONS SHALL NOT COMPROMISE THE INTENT OF THE REQUIREMENTS OF THE PERMIT. MODIFICATIONS INCLUDING DESIGN AND ALL ADDITIONAL MATERIALS AND WORK SHALL BE ACCOMPLISHED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- 9. THE CONTRACTOR SHALL INSPECT HIS STABILIZATION AND EROSION CONTROL MEASURES AT A MINIMUM OF ONCE EVERY 14 DAYS, AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN 0.5 INCHES, OR ONCE EVERY 7 DAYS. THE CONTRACTOR SHALL REPAIR INADEQUACIES REVEALED BY THE INSPECTION BEFORE THE NEXT STORM EVENT AND HE SHALL MODIFY HIS SWP3 WITHIN 7 DAYS OF THE INSPECTION.
- 10. THE CONTRACTOR SHALL ADOPT AND IMPLEMENT APPROPRIATE CONSTRUCTION SITE MANAGEMENT PRACTICES TO PREVENT THE DISCHARGE OF OILS, GREASE, PAINTS, GASOLINE, AND OTHER POLLUTANTS TO STORM APPROPRIATE PRACTICES SHALL INCLUDE, BUT NOT BE LIMITED DESIGNATING AREAS FOR EQUIPMENT MAINTENANCE AND REPAIR; COLLECTING WASTES PERIODICALLY; MAINTAINING CONVENIENTLY LOCATED WASTE RECEPTACLES, AND DESIGNATING AND CONTROLLING EQUIPMENT WASHDOWN.
- 11. BORROW AREAS, IF EXCAVATED, SHALL BE PROTECTED AND STABILIZED BY THE CONTRACTOR IN A MANNER ACCEPTABLE TO THE OWNER AND IN ACCORDANCE WITH PERMIT REQUIREMENTS.
- 12. ALL NON-PAVED AREAS SHALL BE SEEDED AND MULCHED WITH EROSION PROTECTION GRASS BY THE CONTRACTOR IMMEDIATELY UPON COMPLETION OF FINAL GRADING. THIS INCLUDES ALL DITCHES AND EMBANKMENTS. THE CONTRACTOR SHALL MAINTAIN FINAL GRADING, AND KEEP SEEDED AREAS WATERED UNTIL FULLY ESTABLISHED AND ACCEPTED BY OWNER.
- 13. THE CONTRACTOR SHALL CONSTRUCT A SILT FENCE AT LOCATIONS SUGGESTED ON PLANS AS APPROPRIATE OR AS MODIFIED IN HIS SWP3 TO FIT SITE CONDITIONS AT THE TIME OF PLACEMENT, AND ALL BORROW AND STOCK PILE AREAS. THE SILT FENCE SHALL BE CONSTRUCTED AS DETAILED ON THIS PLAN. THE CONTRACTOR SHALL REMOVE ACCUMULATED SILT WHEN IT REACHES A DEPTH OF 1/4 THE HEIGHT OF THE SILT FENCE. THE CONTRACTOR SHALL DISPOSE OF THE REMOVED SILT IN A LOCATION APPROVED BY THE OWNER AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO EROSION AND SEDIMENTATION. THE CONTRACTOR SHALL REMOVE THE SILT FENCE WHEN THE SITE IS COMPLETELY STABILIZED IN ACCORDANCE WITH THE PERMIT.
- 14. THE CONTRACTOR SHALL DESIGNATE MATERIAL AND EQUIPMENT STORAGE AREAS MUTUALLY AGREED TO BY THE OWNER. THE STORAGE AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE, AND THE SURFACESTABILIZED WITH A MINIMUM OF 2 INCHES OF COMPACTED FLEX BASE ON 6 INCHES OF SCARIFIED AND RECOMPACTED SUBGRADE BY THE CONTRACTOR. A SILT FENCE SHALL BE INSTALLED BY THE CONTRACTOR AROUND THE STORAGE AREAS TO PREVENT ERODED MATERIAL FROM LEAVING THE SITE.
- 15. ALL INLETS (ONSITE AND OFFSITE) RECEIVING DRAINAGE WATER FROM DISTURBED AREAS SHALL BE PROTECTED BY THE CONTRACTOR AS PER DETAILS SHOWN OR OTHER OWNER APPROVED METHODS TO PREVENT ERODED MATERIAL FROM BEING TRANSPORTED INTO INLETS. THE INLET PROTECTION SHALL BE CONSTRUCTED AS SHOWN ON THESE PLANS.
- 16. THE NOTES AND DETAILS CONTAINED HEREIN DO NOT RELIEVE THE CONTRACTOR AND OWNER OF MEETING AND IMPLEMENTING THE REQUIREMENTS OF THE PERMIT.





STRUCTURAL ABBREVIATIONS

STRUCTURAL ABBREVIATIONS

STRUCTURAL	ABBREVIATIONS	
	- ANCHOR BOLT - AIR CONDITIONER	M.C. M.O.
A/E –	- ARCHITECT/ENGINEER - ABOVE FINISHED FLOOR	MAS'Y MAT'L
ADDN'L -	- ADDITIONAL	MAX. MECH.
AHU –	- AIR HANDLING UNIT - ALTERNATE	MEZZ. MFR.
ALUM. –	- ALUMINIUM - APPROXIMATE	MIN. MISC.
ARCH. –	- ARCHITECT - ARCHITECTURAL	MK. MTL.
	BELOW FINISHED FLOOR	N/A
B.L. –	- BUILDING LINE - BASE PLATE	N.I.C. N.S.
BAL. –	BALANCE BUILDING	N.T.S. NO. OR #
BLK. –	BLOCK BLOCKING	NOM.
ВМ. –	- BEAM - BOTTOM	O.A. OC
BRDG. –	BRIDGING BEARING	O.D. O.F.
BRKT. –	BRACKET BASEMENT	O.G.L. O.H.
	BETWEEN	O.S.L. OPNG(S).
	CAST-IN-PLACE	OPP. OZ.
	- CONSTRUCTION JOINT - CENTER LINE	P/C.
CANT'L – CLG. –	- CONSTRUCTION JUTIN - CENTER LINE - CEILING - CLEAR - COLUMN - CONCRETE MASONRY UNIT - CONCRETE - CONNECTION(S) - CONSTRUCTION	Р-Т. Р.Е.
CLR. – COL. –	- CLEAR - COLUMN	P.S.F. P.S.I.
CMU – CONC. –	- CONCRETE MASONRY UNIT - CONCRETE	PAR. PC.
CONN(S). – CONSTR. –	- CONNECTION(S) - CONSTRUCTION	PERIM. PERP.
CONT. – CONTR. – CTR. –	CONTINUOUS	PL., I PREFAB.
		PTFE.
וחח	- DEAD LOAD - DOUBLE	QTY.
DBL. – DEG. OR n – DET. –	DEGREE(S) DETAIL	R R.D.
DIA. OR C –		RCP REBAR
DIM(S). – DN. – DWG(S). –	- DIMENSION(S) - DOWN	REF. REINF.
DWG(S). – DWL(S). –	- DOWEL(S)	REQ'D.
E.E	EACH END	S.F. S.O.G.
E.F. – E.J. –	EACH FACE EXPANSION JOINT	S.W. S.W.B.
E.S. – E.W. –	EXPANSION JOINT EACH SIDE EACH WAY	S.W.T. S.W.T.B.
E.W.B. –	EACH WAY BOTTOM EACH WAY TOP	SCHED. SECT.
E.W.I.B. – EA. –	EACH FACE EXPANSION JOINT EACH SIDE EACH WAY EACH WAY BOTTOM EACH WAY TOP EACH WAY TOP AND BOTTOM EACH ELEVATION ELECTRIC(AL) EMBED(DED)(MENT)	MSHT. SIM.
ELEC. –	ELEVATION ELECTRIC(AL)	SL. SLV.
EQ. –	EQUAL	SPEC(S).
EXIST. –	EQUIPMENT EXISTING	SQ. SS.
EXP. – EXT. –	EXPANSION EXTERIOR	STD. STL.
	FACE TO FACE	STIFF. STIR.
F.P. –	FULL PENETRAION FAR SIDE	STR. STRUCT'L.
FDN. –	FOUNDATION FINISHED FLOOR	SYM.
FL. –	FLOOR FLANGE	T & G T & B T & D
FT. –	FOOT (FEET) FOOTING	T.O.B. T.O.F. T.O.J.
	GENERAL CONTRACTOR	T.O.P. T.O.P.C.
GA. –	- GAGE OR GAUGE - GALVANIZED	T.O.S. T.O.S.C.
	- GENERAL - GRADE BEAM	T.O.W. TEMP.
	HIGH POINT	TEN. THK.
НК. –	- HEADED STUD(S) - HOOK	THK'N(D) TYP.
H.O.F. –	HORIZONTAL INSIDE FACE	EU.N.O.
	HEIGHT HEATING, VENTILATION	VERT.
	AND AIR CONDITIONING	V.I.F. V.O.F.
I.F. —	INSIDE DIAMETER INSIDE FACE	VOL.
INFO. –	INCHES INFORMATION INSULATION	W/ W/O
INT. –	INTERIOR	W.P. W.S.
	JOIST(S)	W.W.F. WGT.
	JOINT	X
	- KIPS (1000 LBS) - KIP PER LINEAR FOOT	XX YD.
	KIP PER SQUARE FOOT	טי.
LLH –	LIVE LOAD LONG LEG HORIZONTAL	
LLV – L.P. –	LONG LEG VERTICAL	
L.W.B. –	LONG WAY LONG WAY BOTTOM	
L.W.T.B. –	LONG WAY TOP LONG WAY TOP AND BOTTOM	Μ
LG. " –	POUND LONG	
	LONGITUDINAL LIGHTWEIGHT	

	DESIGN LOAD
- MOMENT CONNECTION	1. GRAVITY LOADS:
 MASONRY OPENING MASONRY 	A. DESIGN UNIF ARE CALCULA
- MATERIAL - MAXIMUM	B. DESIGN UNIF OF THE BUIL
 MECHANICAL MEZZANINE 	C. DESIGN CON
- MANUFACTURER - MINIMUM	D. UNIFORM LI
 MISCELLANEOUS MARK METAL 	FLOOR ROOF
- NOT APPLICABLE	E. UNIFORM SUF
- NOT IN CONTRACT - NEAR SIDE	ROOF
- NOT TO SCALE - NUMBER	F. CONCENTRATE
- NOMINAL - OVERALL	ROOF
- ON CENTER - OUTSIDE DIAMETER	G. CONCENTRATE CONCENTRATE
- OUTSIDE FACE - ON GAGE LINE	2. SNOW LOAD
- OPPOSITE HAND - OUTSTANDING LEG	A. GROUND SNOW
- OPENING(S) - OPPOSITE - OUNCE	A. IN ACCORD
- PRECAST CONCRETE	B. MAIN WIND
 POST-TENSION(ED)(ING) PROFESSIONAL ENGINEER 	CITY OF DAL BASIC WIN
 POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH 	EXPOSURE RISK CATE
- PARALLEL - PIECE	NOMINAL V WIND IMP(TOPOGRAPI
 PERIMETER PERPENDICULAR 	DIRECTION GUST FAC
 PLATE PREFABRICATED POLYTETRAFLUOROETHYLENE 	INTERNAL
- QUANTITY	C. ROOF DESIGN AT MAIN F
- RADIUS	
- ROOF DRAIN - REINFORCED CONCRETE PIPE	AT CANOP
 REINFORCING BAR(S) REFERENCE REINFORCE(INC)(FD)(MENT) 	D. EXTERIOR W
<pre>- REINFORCE(ING)(ED)(MENT) - REQUIRED</pre>	
— SQUARE FOOT (FEET) — SLAB ON GRADE	
- SHORT WAY - SHORT WAY BOTTOM	E. ESTIMATED F
 SHORT WAY TOP SHORT WAY TOP AND BOTTOM 	ROOF DEAD
- SCHEDULE(D) - SECTION	4. SEISMIC LOADS
- SHEET - SIMILAR - SLAB	A. IN ACCORDAN
- SLEEVE - SPACE	B. SEISMIC COE RISK CATE
SPECIFICATION(S)SQUARE	SEISMIC
- STAINLESS STEEL - STANDARD	MAPPED SF 0.2 SEC F 1.0 SEC F
- STEEL - STIFFENER(S)	SITE CLAS
- STIRRUP(S) - STRAIGHT - STRUCTURAL	DESIGN SF 0.2 SEC F
- SYMMETRICAL	1.0 SEC F
 TONGUE AND GROOVE TOP AND BOTTOM 	SEISMIC I BASIC SE
- TOP OF BEAM - TOP OF FOOTING	DESIGN B
- TOP OF JOIST - TOP OF PIER - TOP OF PIER CAP	SEISMIC F
- TOP OF STEEL - TOP OF STRUCTURAL CONCRETE	RESPONSE ANALYSIS
- TOP OF WALL - TEMPERATURE	
- TENSION - THICK	FOUNDATIO
- THICKEN(ED) - TYPICAL	1. THESE NOTE
- UNLESS NOTED OTHERWISE	ON THE STR
- VERTICAL - VERTICAL INSIDE FACE	2. FOUNDATION TESTING" R
 VERTICAL OUTSIDE FACE VOLUME 	3. DESIGN END PIERS WITH
- WITH	DESIGN SKI MORE THAN
– WITHOUT – WORK POINT – WATERSTOP	DESIGN UPL SHAFTS FOR
– WATERSTOP – WELDED WIRE FABRIC – WEIGHT	
- EXTRA	4. CAST CONCR STRATUM, A OVERNIGHT.
- DOUBLE EXTRA	5. SUBGRADE P
- YARD	A. REMOVE THE

- SUBGRADE PREPARATION UNDER BUILDING SLAB ON GROUND: Α. REMOVE THE UPPERMOST 6" OF SOIL AND STOCKPILE FOR USE ONLY AS TOP SOIL FOR FINAL GRADING.
- EXCAVATE AS REQUIRED FOR PLACEMENT OF CARTON FORMS UNDER THE Β. GRADE BEAMS AND BUILDING SLAB.
- PROVIDE 12" CARTON FORMS UNDER ALL GRADE BEAMS AND THE BUILDING SLAB. 7. ALL GRADE BEAMS SHALL BE FORMED ON BOTH SIDES. EARTH-FORMING IS
- NOT ALLOWED
- 8. NO UNDERGROUND WATER WAS ENCOUNTERED ABOVE THE DEPTH OF 28 FEET. IF WATER IS ENCOUNTERED DUE TO SEASONAL VARIATIONS, IT MAY BE NECESSARY TO USE TEMPORARY CASING WHILE DRILLING THE PIERS.
- 9. IF TEMPORARY CASINGS ARE NECESSARY, EXTRACTION OF THE CASINGS SHALL BE DONE IN A MANNER THAT MAINTAINS A POSITIVE HEAD OF PLASTIC CONCRETE SO AS TO MINIMIZE THE POTENTIAL FOR INFILTRATION OF WATER SEEPAGE OR SLOUGHING SOILS.

<u>GN LOADS</u>

<u>GN LUADS</u>	<u>CAST</u>
TITY LOADS:	1. A
DESIGN UNIFORM LIVE LOADS ARE AS LISTED BELOW. LIVE LOAD REDUCTIONS ARE CALCULATED IN ACCORDANCE WITH THE IBC 2021 BUILDING CODE.	
DESIGN UNIFORM SUPERIMPOSED DEAD LOADS ARE IN ADDITION TO THE WEIGHT OF THE BUILDING STRUCTURE.	
DESIGN CONCENTRATED LIVE LOADS ARE NOT COMBINED WITH UNIFORM LIVE LOADS.	
UNIFORM LIVE LOADS	2. R
FLOOR = 100 PSF ROOF = 20 PSF	3. R
UNIFORM SUPERIMPOSED DEAD LOADS	4. A
ROOF = 10 PSF CEILING & MECH'L. + 10 PSF ROOFING	C
CONCENTRATED LIVE LOADS	5. V 6. D
FLOOR = 2000 LB. ROOF = 200 LB.	7. L
CONCENTRATED FLOOR LOAD APPLIED OVER AREA OF $2'-6" \times 2'-6"$. CONCENTRATED ROOF LOAD APPLIED OVER AREA OF $1'-0" \times 1'-0"$.	, E
/ LOAD	
GROUND SNOW LOAD - CITY OF DALLAS = 5 PSF 0 LOADS	8. N(V
IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC 2021)	0
MAIN WIND FORCE RESISTING SYSTEM DESIGN PARAMETERS (ULTIMATE) CITY OF DALLAS	9. Pf W M
BASIC WIND SPEED 3 SEC GUST 120 MPH EXPOSURE CLASS	H. 10. Pl
RISK CATEGORY III NOMINAL WIND SPEED SERVICE 93 MPH WIND IMPORTANCE FACTOR, IW 1.15	
TOPOGRAPHIC FACTOR, K 1.0 DIRECTIONALITY FACTOR, Kd 1.0	11. SE
GUST FACTOR, G INTERNAL PRESSURE COEFFICIENT 0.18	
ROOF DESIGN UPLIFT PRESSURES: (ULTIMATE)	1.
AT MAIN ROOF: = 24 PSF TYPICAL	2
= 24 FST TIFTCAL = 30 PSF WITHIN 5'-0" OF EDGE OR STEP IN ROOF = 32 PSF IN CORNER ZONES AS DEFINED IN BUILDING CODE AT CANOPY:	2.
= 35 PSF TYPICAL	3.
EXTERIOR WALL DESIGN PRESSURES: (ULTIMATE)	
= 23 PSF(+), ALL ZONES = 26 PSF(-), INTERIOR ZONES = 28 PSF(-), CORNER ZONES	4.
ESTIMATED ROOF DEAD LOAD: (NOT INCLUDING STRUCTURE)	Α.
ROOF DEAD LOAD = 10 PSF	Β.
SMIC LOADS	С.
IN ACCORDANCE WITH INTERNATIONAL BUILDING CODE (IBC 2021)	
SEISMIC COEFFICIENTS AND CATEGORIES - CITY OF DALLAS	5.
RISK CATEGORY	
MAPPED SPECTRAL RESPONSE ACCELERATIONS: 0.2 SEC RESPONSE Ss 0.095 g 1.0 SEC RESPONSE S1 0.052 g	6.
SITE CLASS	7.
DESIGN SPECTRAL ACCELERATION PARAMETERS: 0.2 SEC RESPONSE SDS 0.101 g	
1.0 SEC RESPONSE SD3 0.083 g	А. В.
SEISMIC DESIGN CATEGORY A	C. D.
BASIC SEISMIC FORCE RESISTING SYSTEM: ORDINARY STEEL-CONCENTRICALLY BRACED FRAMES	E. F.
DESIGN BASE SHEAR $V = 0.025W$	
SEISMIC RESPONSE COEFFICIENT 0.02 RESPONSE MODIFICATION FACTOR $R = 3.25$	6
ANALYSIS PROCEDURE EQUIVALENT LATERAL FORCE	8.

<u>NDATION</u>

- THESE NOTES APPLY TO ALL FOUNDATIONS AND SLABS ON GRADE DETAILED ON THE STRUCTURAL DRAWINGS, UNLESS NOTED OTHERWISE.
- FOUNDATION DESIGN IS BASED ON THE SOILS REPORT PREPARED BY "ALPHA, TESTING" REPORT NO. G231067, DATED JULY 17, 2023.
- DESIGN END BEARING PRESSURE IS 20 KSF FOR DRILLED STRAIGHT-SHAFT PIERS WITH AT LEAST 3'-O" PENETRATION INTO TAN SHALY LIMESTONE. DESIGN SKIN FRICTION IS 3 KSF FOR THE PORTION OF THE SHAFT EMBEDDED MORE THAN 3 FEET INTO DARK GRAY SHALE.
- DESIGN UPLIFT PRESSURE IS 2.4 KSF ACTING ON THE SURFACE OF PIER SHAFTS FOR A DEPTH OF 12 FEET BELOW EXISTING GROUND SURFACE.
- CAST CONCRETE WITHIN 8 HOURS OF DRILLING PIER SHAFT INTO BEARING STRATUM, AND IN NO CASE SHALL THE PIER EXCAVATION REMAIN OPEN

CAST IN PLACE REINFORCED CONCRETE

ALL STRUCTURAL CONCRETE SHALL BE OF NORMAL WEIGHT AGGREGATE WITH SPECIFIED PROPERTIES AS FOLLOWS:

GRADE BEAMS PIERS SLABS OTHER CONCRETE	28 DAY STRENGTH - 4000 P.S.I. - 3000 P.S.I. - 4000 P.S.I. - 3000 P.S.I.	3"–5" 5"–7
REINFORCING STEEL SHALL	CONFORM TO ASTM A-615,	GRADE 60.
REINFORCING STEEL SPECIF STEEL IS NOT PERMITTED.	ICALLY NOTED TO BE SHOP	OR FIELD
ALL REINFORCING SHALL LA DTHERWISE. HOOK CONTINUO		

- WELDED WIRE FABRIC SHALL BE SUPPLIED IN FLAT SHEETS, NOT ROLLS
- DETAILING OF CONCRETE REINFORCING AND ACCESSORIES SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ACI PUBLICATION 315.
- UNLESS NOTED OTHERWISE, CONCRETE PROTECTION FOR REINFORCING SHALL BE AS FOLLOWS:
 - PIERS SLABS ON CARTON FORM FORMED BEAMS AND WALLS
- 3" TO VERTICAL STEEL 1¹/₁" TOP, 1¹/₂" BOTTOM 2" SIDES AND TOP
- NO HORIZONTAL JOINTS WILL BE PERMITTED IN CONCRETE, EXCEPT WHERE VERTICAL JOINTS SHALL OCCUR AT OR NEAR THE CENTER OF SPANS, OR AS APPROVED BY THE STRUCTURAL ENGINEER.
- PROVIDE 5% (+/- 1.5%) AIR ENTRAINMENT IN CONCRETE PERMANENTLY EXPOSED TO WEATHER. USE OF AIR ENTRAINMENT, & CORRESPONDING REDUCTION OF WATER/CEMENT, MUST BE NOTED ON MIX DESIGNS. DO NOT USE AIR ENTRAINMENT IN SLABS WHICH HAVE HARD TROWEL FINISH.
- PLACE 6" P.V.C. WATERSTOPS IN ALL EXTERIOR CONSTRUCTION JOINTS BELOW GRADE AND ELSEWHERE AS CALLED FOR.
- SEE SPECIFICATIONS FOR FORMWORK AND RESHORING GUIDELINES.

<u> DLLOW CONCRETE MASONRY</u>

- MASONRY WALL DESIGN IS BASED ON QUALITY ASSURANCE AS PRESCRIBED IN IBC 2021 SECTION 2105 BASED ON DESIGN FOR FULL STRESSES, AND AS PRESCRIBED IN ACI-530.1 SECTION 1.14.
- ALL HOLLOW CONCRETE BLOCK SHALL CONFORM WITH ASTM C90, TYPE N-I, AND SHALL HAVE A COMPRESSIVE STRENGTH, BASED ON THE NET AREA AND AN AVERAGE OF 3 UNITS, OF 1,900 PSI.
- MORTAR FOR REINFORCED HOLLOW CONCRETE MASONRY SHALL BE TYPE S WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 1800 PSI.
- GROUT FOR REINFORCED HOLLOW CONCRETE MASONRY SHALL HAVE THE FOLLOWING PROPERTIES:
- MINIMUM STRENGTH = 2500 PSI AT 28 DAYS
- MAXIMUM COARSE AGGREGATE SIZE = 3/8"
- SLUMP = 7" TO 11"
- PLACE GROUT IN LIFTS OF 4'-0" OR LESS. GROUT ALL CELLS CONTAINING REINFORCING STEEL OR EMBEDDED METALS. DO NOT USE MORTAR AS GROUT.
- PROVIDE HORIZONTAL JOINT REINFORCEMENT AT EVERY SECOND BLOCK COURSE UNLESS NOTED IN THE SPECIFICATION. PROVIDE HORIZONTAL BOND BEAMS IN LOAD-BEARING WALLS, LOCATED AT ROOF BEARING, TOP OF PARAPET AND AT 8'-0" O.C. MAXIMUM. REQUIRED INTERMEDIATE BOND BEAMS SHALL BE SPACED UNIFORMLY THROUGHOUT THE HEIGHT OF THE WALL
- U.N.O. REINFORCE BOND BEAMS WITH 2-#5 CONTINUOUS, AND EXTEND BOND BEAM REINFORCING CONTINUOUS THROUGH CONTROL JOINTS.
- U.N.O. ON PLANS PROVIDE VERTICAL REINFORCEMENT AS FOLLOWS
- 12" CONCRETE BLOCK = #6 AT 24" O.C.E.F. 1-#5 EACH END OF WALL
- 1-#5 EACH CORNER OR INTERSECTION IN WALL 1-#5 EACH SIDE OF OPENING IN WALL
- 1-#5 EACH OF THREE CELLS UNDER STEEL BEAM SUPPORT ON WALL 1-#5 EACH CELL IN COLUMN
- ALL VERTICAL REINFORCING STEEL SHALL BE CENTERED IN CELLS UNLESS NOTED OTHERWISE.
- PROVIDE VERTICAL DOWELS TO MATCH SIZE AND LOCATIONS OF VERTICAL BAR LAP WITH VERTICAL REINFORCING AS NOTED BELOW. WHERE NO EMBEDMENT IS SHOWN, EMBED DOWELS 30 BAR DIAMETERS INTO FOUNDATION CONCRETE
- 9. LAP SPLICES IN MASONRY REINFORCEMENT
- A. #3 BARS LAP 15" B. #4 BARS LAP 24"
- C. #5 BARS LAP 30" D. #6 BARS LAP 36¢

ALL HORIZONTAL REINFORCING BARS IN LINTEL BEAMS SHALL BE CONTINUOUS BARS WITH NO SPLICES. ALL OTHER MASONRY REINFORCEMENT SHALL LAP 40 BAR DIAMETERS AT SPLICES UNLESS NOTED OTHERWISE. VERTICAL REINFORCEMENT SHALL BE MADE CONTINUOUS AT THE BASE OF ALL PARAPETS. SPLICING REINFORCEMENT AT THIS LOCATION IS NOT ALLOWED.

HORIZONTAL REINFORCEMENT SHALL BE MADE CONTINUOUS AT THE FACE OF ALL CANTILEVERS. SPLICING REINFORCEMENT AT THIS LOCATION IS NOT ALLOWED.

STRUCTURAL STEEL

1.		RUCTURAL SHAPES AND PLATES SHALL CO TED OTHERWISE ON THE DRAWINGS:	NFORM TO	THE
	Α.	ALL WIDE FLANGE & WT SECTIONS	- ASTN	/ A99
	В.	ALL HSS MEMBERS	- ASTN	1 A50

- 46 KSI FOR RECT. SHAPES 42 KSI FOR ROUND SHAPES C. ALL PIPE MEMBERS - ASTM A53 (E OR S), GRADE B - ASTM F1554, GRADE 36
- D. ALL ANCHOR BOLTS
- E. ALL OTHER SHAPES AND PLATES - ASTM A36 2. ALL CONNECTION BOLTS FOR STRUCTURAL STEEL MEMBERS SHALL BE 3/4 IN. CONFORMING TO ASTM A-325. ALL SHEAR CONNECTIONS SHALL BE DESIGNED AS BEARING-TYPE BASED ON THREADS INCLUDED IN THE SHEAR PLANE. UNLESS NOTED OTHERWISE, ALL BOLTS SHALL BE TIGHTENED TO A "SNUG TIGHT" CONDITION, DEFINED AS "A FEW INPACTS OF AN IMPACT WRENCH OR THE FULL EFFORT OF A WORKER WITH AN ORDINARY SPUD WRENCH THAT BRINGS CONNECTED PLIES INTO FIRM CONTACT".
- 3. ALL WELDING SHALL BE DONE IN ACCORDANCE WITH A.W.S. CODE, BY CERTIFIED WELDERS. WELDING ELECTRODES SHALL BE E70 XX.
- 4. SEE SPECIFICATIONS FOR PRIMER SURFACE PREPERATION REQUIREMENTS. DO NOT APPLY PRIMER TO ANY STEEL PARTS THAT ARE TO BE ENCASED IN CONCRETE OR ARE TO BE FIREPROOFED USING BLOWN-UP FIREPROOFING MATERIALS.
- 5. PROVIDE STIFFENERS AT ALL LOCATIONS SHOWN ON DETAILS, WHETHER OR NOT THEY ARE REQUIRED BY CALCULATIONS.
- 6. ALL COLUMN BASE PLATES SHALL BE FULLY GROUTED, WITH NO VOIDS, IMMEDIATELY AFTER THE FRAME ERECTION IS COMPLETED AND PLUMBED, AND PRIOR TO POURING THE TOPPING SLABS FOR FLOORS OR APPLYING DECKING TO ROOF JOISTS.
- 7. SEE SPECIFICATIONS FOR EXPOSED STEEL REQUIREMENTS.

- MAX.AGGREGATE 3/4"
- LD WELDED REINFORCING
- NLESS NOTED
- 2" BOTTOM TO MAIN STEEL

 - FOLLOWING, UNLESS
- 992, GRADE 50 — ASTM A500, GRADE B,

- METAL ROOF DECK
- 1. THE METAL ROOF DECK IS REQUIRED TO ACT AS A STRUCTURAL DIAPHRAGM AND SHALL BE FASTENED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS TO DEVELOP A MINIMUM SHEAR LOAD OF 300 PLF (ASD).
- 2. THE METAL ROOF DECK SHALL BE FASTENED TO SUPPORTS AND PERIMETER USING 5/8" DIAMETER FULL FUSION PUDDLE WELDS AND AT SIDELAPS USING #12 "TEKS"SCREWS. ALL WELDS SHALL BE MADE WITH AWS E70 ELECTRODES AND THE METAL AROUND THE WELDS SHALL BE COMPLETELY INTACT AFTER WELDING.
- 3. MAXIMUM SPACING OF CONNECTIONS SHALL BE AS FOLLOWS:
- A. AT SUPPORTS: ALTERNATE FLUTES B. AT SIDELAPS: 18"
- C. PERIMETER: 12"
- 4. THE METAL ROOF DECK SHALL BE CONTINUOUS OVER THREE OR MORE SPANS.

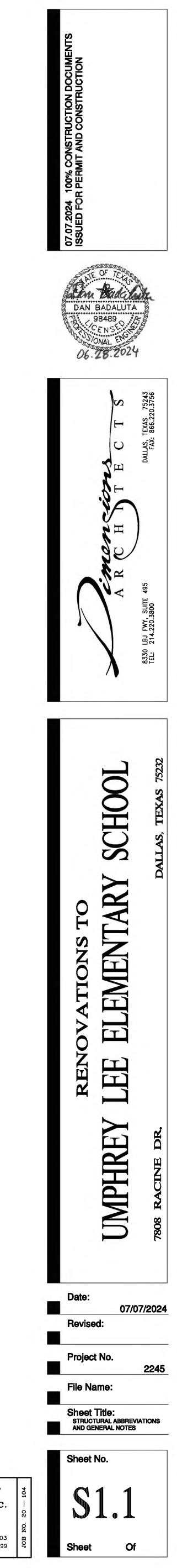
EXISTING CONDITIONS

- 1. ALL EXISTING STRUCTURAL ELEMENTS (SLABS, BEAMS, COLUMNS, ETC.) SHALL REMAIN INTACT.
- 2. INFORMATION PROVIDED ON THESE DRAWINGS RELATED TO EXISTING CONDITIONS IS BASED ON AVAILABLE DESIGN DOCUMENTS AND LIMITED FIELD OBSERVATION. THE CONTRACTOR SHALL IMMEDIATELY REPORT TO AND AWAIT DIRECTION FROM THE A/E IF ANY DISCREPANCY BETWEEN THE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS IS DISCOVERED.
- 3. CAUTION SHALL BE USED DURING THE EXISTING CLADDING REMOVING OPERATION. DO NOT DAMAGE OR ALTER EXISTING CLADDING WITHIN CLOSE PROXIMITY TO THE AREAS UNDER CONSTRUCTION. DO NOT DAMAGE EXISTING METAL STUDS AND MISCELLANEOUS STRUCTURAL STEEL DURING DRILLING OR CORING OPERATIONS DURING WELDING OPERATIONS PROTECT CLADDING, EXISTING METAL STUDS AND MISCELLANEOUS STRUCTURAL STEEL, EXTERIOR SHEATHING AND VAPOR RETARDER AT ALL TIMES. AFTER WORK IS COMPLETED, VERIFIED AND APPROVED BY THE TESTING LAB REPRESENTATIVE THE AREAS UNDER CONSTRUCTION SHALL BE RETURNED TO ITS ORIGINAL STATE OR BETTER.
- 4. CORE DRILLS REQUIRED BY MECHANICAL OR ELECTRICAL TRADES, BUT NOT SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE DOCUMENTED IN SKETCH FORM SHOWING EXACT DIMENSIONS AND LOCATIONS. THE SKETCH SHALL BE SUBMITTED TO THE A/E FOR COMMENT PRIOR TO PROCEEDING WITH THE DRILLING OPERATION
- 5. EXISTING CONCRETE SURFACE PREPARATION:
- INTENTIONALLY ROUGHEN EXISTING CONCRETE SURFACES WHERE NEW CONCRETE IS BEING PLACED AGAINST THE EXISTING CONCRETE AND CONNECTED BY DRILLING AND EPOXY GROUTING. THE ENTIRE COMMON SURFACE WHERE THE EXISTING CONCRETE ABUTS THE NEW SHALL BE COATED WITH AN EPOXY BONDING AGENT. FOLLOW ALL ADDITIONAL REQUIREMENTS OF SURFACE PREPARATION AS REQUIRED BY THE BONDING AGENT MANUFACTURER.

<u>GENERAL</u>

- 1. ALL MEMBERS AND MATERIALS COVERED UNDER THESE GENERAL NOTES AND THE CONSTRUCTION DOCUMENTS SHALL AS A MINIMUM BE INSPECTED IN ACCORDANCE WITH THE IBC 2015 CODE CHAPTER 17 : STRUCTURAL TESTS AND SPECIAL INSPECTIONS
- 2. SEE MECHANICAL DRAWINGS FOR EXACT LOCATION AND SIZES OF SMALL MECHANICAL OPENINGS, SLEEVES, ETC. NOT SHOWN ON THE STRUCTURAL DRAWINGS.
- REFER TO ARCHITECTURAL DRAWINGS FOR ALL FINISHES, DIMENSIONS OF SLAB DROPS, CHAMFERS, ETC.
- 4. THE USE OF REPRODUCTIONS OF THE DESIGN STRUCTURAL DRAWINGS FOR SHOP DRAWING PURPOSES IS NOT ACCEPTABLE.
- 5. THE CONTRACTOR SHALL VERIFY, PRIOR TO CONSTRUCTION, THAT THE NEW STRUCTURE WILL NOT CONFLICT WITH ANY EXISTING UTILITIES. IF CONFLICTS ARISE, THE CONTRACTOR SHALL NOTIFY THE STRUCTURAL ENGINEER, AND SHALL STOP THE WORK UNTIL AN APPROPRIATE SOLUTION TO THE CONFLICTS ARE FOUND, AND THE CONTRACTOR IS GIVEN WRITTEN AUTHORIZATION TO PROCEED WITH THE WORK.





Charles Gojer and Associates, Inc. 11615 Forest Central Dr. Suite 303

NOTES

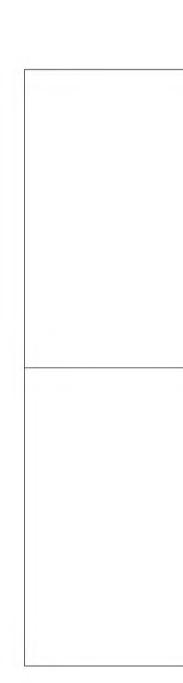
I. THE OWNER SHALL EMPLOY QUALIFIED SPECIAL INSPECTORS TO PERFORM INSPECTIONS IN ACCORDANCE WITH THE 2021 INTERNATIONAL BUILDING CODE. INSPECTORS SHALL PERFORM ALL DUTIES AND RESPONSIBILITIES AS REQUIRED BY THE BUILDING CODE. JOB SITE VISITS BY THE STRUCTURAL ENGINEER DO NOT CONSTITUTE AND ARE NOT A SUBSTITUTE FOR SPECIAL INSPECTIONS.

2. THE FOLLOWING SCHEDULE CONTAINS A LIST OF THE SPECIAL INSPECTION ACTIVITIES RELATED TO THE QUALITY ASSURANCE PLAN REQUIRED BY THE 2021 INTERNATIONAL BUILDING CODE (IBC CHAPTER 17) FOR THE FABRICATION, ERECTION AND CONSTRUCTION OF THE STRUCTURAL SYSTEMS AS DESCRIBED IN THE SPECIFICATION AND DRAWINGS FOR THE PROJECT. ALL INSPECTORS SHALL BE QUALIFIED BY TRAINING AND EXPERIENCE FOR THE REQUIRED INSPECTIONS AND TEST PROCEDURES. REFER TO IBC CHAPTER 17 "STRUCTURAL TESTS AND SPECIAL INSPECTIONS", AND SPECIFICATION SECTION 01 45 23 "TESTS AND INSPECTIONS", FOR SPECIFIC TEST PROCEDURES.

TESTING AND INSPECTION REPORTS SHALL BE PREPARED FOR EACH INSPECTION ITEM ON A DAILY BASIS WHENEVER INSPECTIONS ARE MADE ON THAT ITEM. REPORTS SHALL BE DISTRIBUTED TO THE OWNER, CONTRACTOR, ARCHITECT, STRUCTURAL ENGINEER, AND BUILDING OFFICIAL (IF REQUESTED), FOR THEIR REVIEW, COMMENT, AND ACTION, AS NEEDED. ARCHITECTURAL, MECHANICAL AND ELECTRICAL COMPONENTS REQUIRING SPECIAL INSPECTIONS PER SECTION 1705 OF THE 2021 IBC HAVE NOT BEEN LISTED HERE. REFER TO ARCH/MEP FOR SPECIAL INSPECTION REQUIREMENTS FOR THESE COMPONENTS.

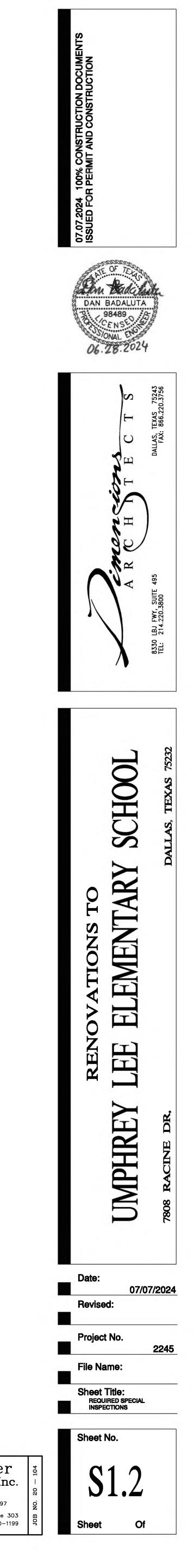
	=,									 _ · _			
STRUCTURAL STEE				CONCRETE AND RI		ING ST	EEL		MASONRY CONSTRUCTION (R	ef table	1.18.	<u>3 ACI 530</u>))
REQUIRED VERIFICATION AND INSPECTION OF STRUCTURA			IRC		ERAL	1						DEEEDENCED	
	CONTINUOUS	PERIODIC REFERENCED STANDARD	REFERENCE		CONTINUOUS	PERIODIC	REFERENCED STANDARD	IBC REFERENCE	VERIFICATION AND INSPECTION	CONTINUOUS	PERIODIC	REFERENCED STANDARD	IBC REFERENC
MATERIAL VERIFICATION OF HIGH-STRENGTH BOLTS, NUTS AND WASHERS			7	TAKE CONCRETE SPECIMENS FOR STRENGTH TESTS TO BE PERFORMED IN LAB. A MINIMUM OF FIVE (5) CYLINDERS SHALL BE MADE. TEST 1. TWO AT SEVEN DAYS, TWO AT 28 DAYS. THE FIFTH CYLINDER SHALL	× ×				1. PROPORTIONS OF SITE MIXED MORTAR & GROUT	-	x	ACI 530: 1.18	1705.4
A. IDENTIFICATION MARKINGS TO CONFORM TO ASTM STANDARDS SPECIFIED IN THE APPROVED CONSTRUCTION DOCUMENTS.	-	X APPLICABLE ASTM MATERIAL STANDARDS; AISC 360, SECTION A3.3		1. TWO AT SEVEN DAYS, TWO AT 28 DAYS. THE FIFTH CYLINDER SHALL BE TESTED AT 28 DAYS IF ONE OR BOTH OF THE 28-DAY CYLINDER RESULTS ARE BELOW STRENGTH, IN ACCORDANCE WITH ACI 214.	X				COMPLIANCE OF SIZE AND LOCATION OF STRUCTURAL				
B. MANUFACTURER'S CERTIFICATE OF COMPLIANCE REQUIRED.	-	X -	-	2. PERFORM CONCRETE STRENGTH TESTING IN LAB	x				2. ELEMENTS	X	-	ACI 530: 1.18	1705.4
C. VERIFY CORRECT STURCTURAL STEEL MATERIAL DELIVERED TO JOBSITE.		x		3. MAINTAIN A SPREADSHEET SHOWING THE DATE, SEQUENTIAL ORDER OF STRENGTH TEST RESULTS AND INDICATE THE RUNNING AVERAGE	x				COMPLIANCE OF TYPE SIZE, AND LOCATION OF ANCHORS			ACI 530: 1.18	1705.4
INSPECTION OF HIGH-STRENGTH BOLTING				4. OBSERVE FOR PROPER CONCRETE PLACEMENT	x				3. INCLUDING OTHER DETAILS OF ANCHORAGE OF MASONRY TO STRUCTURAL MEMBERS, FRAMES, OR OTHER CONSTRUCTION.	X	-	ACI 550: 1.16	1705.4
A. SNUG-TIGHT JOINTS. PRETENSIONED AND SLIP-CRITICAL JOINTS USING TURN-OF-NUT	-	X		REQUIRED VERIFICATION AND INSPECTION OF CONCRETE	CONSTRUCTI	ON (REF	TABLE 1705.4 OF IBC 20	021)	COMPLIANCE OF PREPARATION, CONSTRUCTION, AND				
B. WITH MATCHMARKING, TWIST-OFF BOLT OR DIRECT TENSION INDICATOR METHODS OF INSTALLATION.	-	X AISC 360, SECTION M2.5	1705.3.3	VERIFICATION AND INSPECTION	CONTINUOUS	PERIODIC	REFERENCED STANDARD	IBC REFERENCE	4. PROTECTION OF MASONRY DURING COLD WEATHER (TEMPERATURE BELOW 40 DEGREES F.) OR HOT WEATHER (TEMPERATURE ABOVE 90 DEGREE F.)	-	X	ACI 530: 1.18	1705.4
C. PRETENSIONED AND SLIP-CRITICAL JOINTS USING TURN-OF-NUT WITHOUT MATCHMARKING OR CALIBRATED WRENCH METHODS OF INSTALLATION.	x	-		1. PRESTRESSING TENDONS PRIOR TO THE CLOSING OF THE FORMS AND	-	x	ACI 318: 3.5, 7.1-7.7	1910.4	5. GRADE AND SIZE OF REINFORCEMENT AND ANCHOR BOLTS, PRE-STRESSING TENDONS AND ANCHORAGES	x	_	ACI 530: 1.18	1705.4
D. VERIFY CORRECT MATERIAL USED FOR HIGH-STRENGTH BOLTS, NUTS AND WASHERS		x		ARRIVAL OF CONCRETE ONSITE. 2 INSPECTION OF REINFORCING STEEL WELDING IN ACCORDANCE WITH	×	-							
MATERIAL VERIFICATION OF STRUCTURAL STEEL AND COLD-FORMED STEEL DECK:	 ::			 TABLE 1704.3, ITEM 5b. VERIFY CORRECT MATERIALS USED INCLUDING THE USE OF A706 IN 			AWS D1.4 ACI 318: 3.5.2		6. PLACEMENT OF MASONRY UNITS AND CONSTRUCTION OF MORTAR JOINTS	x	-	ACI 530: 1.18	1705.4
A. FOR STRUCTURAL STEEL, IDENTIFICATION MARKINGS TO CONFORM TO AISC 360.	-	X AISC 360 SECT. M5.5		WELDED SPLICES, IF ANY		X			7. PLACEMENT OF REINFORCEMENT, CONNECTORS, AND	×		ACI 530: 1.18	1705.4
FOR OTHER STEEL, IDENTIFICATION MARKINGS TO CONFORM TO B. ASTM STANDARDS SPECIFIED IN THE APPROVED CONSTRUCTION	-	x APPLICABLE ASTM STANDARDS		3. INSPECT BOLTS AND RODS TO BE INSTALLED IN CONCRETE PRIOR TO AND DURING PLACEMENT OF CONCRETE	X	-	ACI 318: 8.1.3, 21.2.8	1908.5, 1909.1	 PRE-STRESSING TENDONS AND ANCHORS 8. GROUT SPACE PRIOR TO GROUTING 	^		ACI 530: 1.18	
C. MANUFACTURER'S CERTIFIED TEST REPORTS.	-	X		4. INSPECTION OF ANCHORS INSTALLED IN HARDENED CONCRETE.		x	ACI 318: 3.8.6, 8.1.3, 21.2.8	1909.1		-	×	AGI 000. 1.10	
MATERIAL VERIFICATION OF WELD FILLER MATERIALS:				5. VERIFYING USE OF REQUIRED DESIGN MIX.	x	-	ACI 318: CH. 4, 5.2-5.4	1904.2.2, 1910.2, 1910.3	9. PLACEMENT OF GROUT AND PRE-STRESSING GROUT FOR BONDED TENDONS	x	-	ACI 530: 1.18	1705.4
A. IDENTIFICATION MARKINGS TO CONFORM TO AWS SPECIFICATION IN THE APPROVED CONSTRUCTION DOCUMENTS.	-	X AISC 360, SECTION A3.5 AND APPLICABLE AWS A5 DOCUMENTS		 AT TIME FRESH CONCRETE IS SAMPLED TO FABRICATE SPECIMENS FOR STRENGTH TESTS, PERFORM SLUMP AND AIR CONTENT TESTS AND DETERMINE THE TEMPERATURE OF THE CONCRETE. 	x	-	ASTM C 172 ASTM C 31 ACI 318: 5.6, 5.8	1910.10	10. OBSERVE PREPARATION OF GROUT SPECIMENS, MORTAR SPECIMENS, AND/OR PRISMS	×	_	ACI 530: 1.18	1705.4
B. MANUFACTURER'S CERTIFICATE OF COMPLIANCE REQUIRED.	-	X -		7. INSPECTION OF CONCRETE AND SHOTCRETE PLACEMENT FOR PROPER APPLICATION TECHNIQUES.	x	-	ACI 318: 5.9, 5.10	1910.6, 1910.7, 1910.8					
C. VERIFY CORRECT FILLER MATERIAL USED IN WELDS		x		INSPECTION FOR MAINTENANCE OF SPECIFIED CURING TEMPERATURE	-	x	ACI 318: 5.11-5.13	1910.9	SUBMITTALS FOR MATERIALS USED IN MASONRY 11. CONSTRUCTION INDICATING COMPLIANCE WITH THE CONTRACT DOCUMENTS	-	x	ACI 530: 1.18	1705.4
INSPECTION OF WELDING:				• AND TECHNIQUES.				-					
A. STRUCTURAL STEEL AND COLD-FORMED STEEL DECK:				9. ERECTION OF PRECAST CONCRETE MEMBERS.	-	x	ACI 318: CH. 16	-	VERIFICATION OF F'M AND F'AAC IN ACCORDANCE WITH 12. ARTICLE 1.4B PRIOR TO CONSTRUCTION FOR EVERY	x	_	ACI 530: 1.18	1705.4
 FULL PENETRATION WELDS PARTIAL JOINT PENETRATION GROOVE WELDS 	X			VERIFICATION OF IN-SITU CONCRETE STRENGTH, PRIOR TO STRESSING 10. OF TENDONS IN POST TENSIONED CONCRETE AND PRIOR TO REMOVAL OF SHORES AND FORMS FROM BEAMS AND STRUCTURAL SLABS.		x	ACI 318: 6.2	-	5000 SF OF CONSTRUCTION				
a) PERFORM LIQUID DYE PENETRATION TESTING ON 20% OF PARTIAL PENETRATION GROOVE WELDS		x	1.1	11. INSPECT FORMWORK FOR SHAPE, LOCATION AND DIMENSIONS OF THE CONCRETE MEMBER BEING FORMED.	-	x	ACI 318: 6.1.1		13. VERIFICATION OF PROPORTIONS OF MATERIALS IN PRE-MIXED OR PRE-BLENDED MORTAR & GROUT, AS DELIVERED TO THE		x	ACI 530: 1.18	1705.4
3) MULTIPASS FILLET WELDS.	x	- AWS D1.1	1705.3.1	REQUIRED VERIFICATION AND INSPECTION OF	SOILS (REF	TABLE 1	705.7 OF IBC 2021)				_		
a) PERFORM LIQUID DYE PENETRATION TESTING ON 20% OF MULTIPASS FILLET WELDS		X X		VERIFICATION AND INSPECTION	CONTINUOUS	PERIODIC	REFERENCED STANDARD	IBC REFERENCE					
4) SINGLE-PASS FILLET WELDS > 5/16"	x	-		1. VERIFY MATERIALS BELOW SHALLOW FOOTINGS ARE ADEQUATE TO ACHIEVE THE DESIGN BEARING CAPACITY.	-	x	-	1					
5) PLUG AND SLOT WELDS.	X	-		2 VERIFY EXCAVATIONS ARE EXTENDED TO PROPER DEPTH AND HAVE	-	x	_						
 6) SINGLE-PASS FILLET WELDS < = 5/16" 7) FLOOR AND ROOF DECK WELDS. 	-	X AWS D1.3		 REACHED PROPER MATERIAL. 3. PERFORM CLASSIFICATIONS AND TESTING OF CONTROLLED FILL MATERIALS. 		×		1705.7					
B. REINFORCING STEEL:		X Aws D1.5		VERIFY USE OF PROPER MATERIALS, DENSITIES AND LIFT THICKNESSES									
1) VERIFICATION OF WELDABILITY OF REINFORCING STEEL OTHER THAN ASTM A 706.	x	-		 ^{4.} DURING PLACEMENT OF COMPACTION OF CONTROLLED FILL. FRIOR TO PLACEMENT OF CONTROLLED FILL, OBSERVE SUBGRADE 	X	-	-						
2) SHEAR REINFORCEMENT.	x	AWS D1.4 ACI - 318; 3.5.2	1	5. AND VERIFY THAT SITE HAS BEEN PREPARED PROPERLY.	-	X	-						
3) OTHER REINFORCING STEEL	-	X		REQUIRED VERIFICATION AND INSPECTION OF									
C. VISUALLY INSPECT ALL WELDS		X AWS D1.1					ISTED PERIODICALLY DURING	g task listed					
 D. VERIFY JOINT WELD PROCEDURES IN ACCORDANCE WITH AWS E. VERIFY CONTRACTOR'S RECEIPT OF WELDER CERTIFICATES 		X AWS DI.I	-	1. INSPECT SURFACE PREPARATION OF MEMBERS	×	(-						
INSPECTION OF STEEL FRAME JOINT DETAILS FOR COMPLIANCE:				2. INSPECT APPLICATION CONDITIONS AND APPLIED THICKNESS	x	{							
A. DETAILS SUCH AS BRACING AND STIFFENING.	-	X		2 TEST DENSITY AND BONDING STRENGTH & THICKNESS AT 10% OF			Y						
B. MEMBER LOCATIONS.	-	- X	1705.3.2	3. ALL BEAMS, COLUMNS & BRACES			~						
C. APPLICATION OF JOINT DETAILS AT EACH LOCATION. WHERE FABRICATION OF STRUCTURAL LOAD-BEARING MEMBERS AND ASSEMBLIES	S IS BEING CONF	X DUCTED ON THE PREMISES OF A FABE											
SHOP, SPECIAL INSPECTION OF THE FABRICATED ITEMS SHALL CONFORM TO THE AS SUMMARIZED ABOVE, UNLESS THE FABRICATOR HAS BEEN APPROVED IN ACC	E SPECIAL INSPE	CTION REQUIREMENTS OF IBC SECTION		REQUIRED VERIFICATION AND INSF DEEP FOUNDATION ELEMENTS (REF									
OBSERVE AND TEST FIELD APPLIED HEADED STUDS		x					ISTED PERIODICALLY DURIN	g task listed					
VERIFY FABRICATOR CERTIFICATION		X		1. OBSERVE DRILLING OPERATIONS AND MAINTAIN COMPLETE AND ACCURATE RECORDS FOR EACH ELEMENT.	×	(
				2. VERIFY PLACEMENT LOCATIONS AND PLUMBNESS, CONFIRM ELEMENT DIAMETERS, BELL DIAMETERS (IF APPLICABLE), LENGTHS, EMBEDMENT INTO BEDROCK (IF APPLICABLE) AND ADEQUATE END-BEARINGS STRATA CAPACITY. RECORD CONCRETE OR GROUT VOLUMES.	Х	(
				UNATA CALACITI. NECOND CONCILE ON GNOUT VOLUMES.									

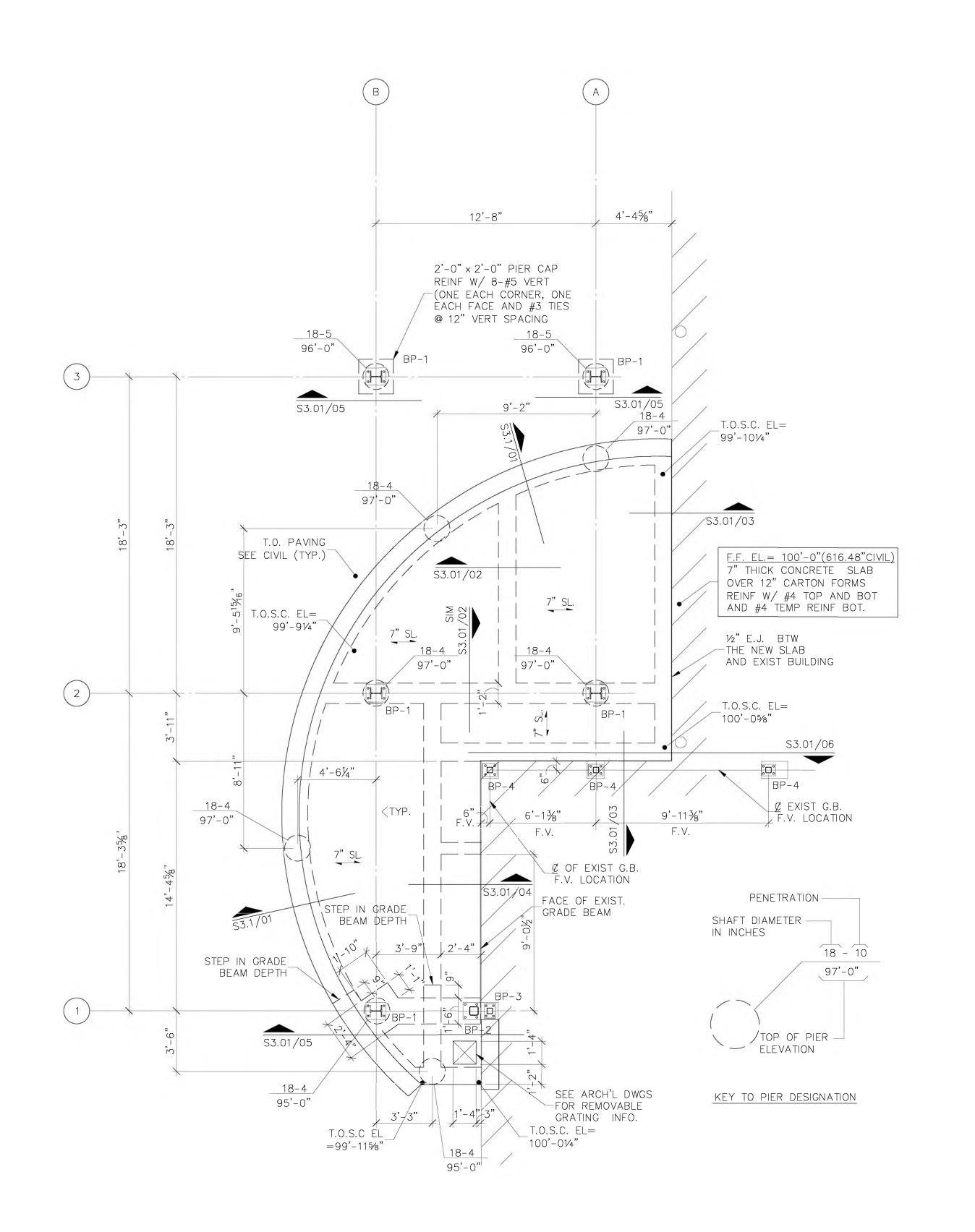
REQUIRED SPECIAL INSPECTIONS



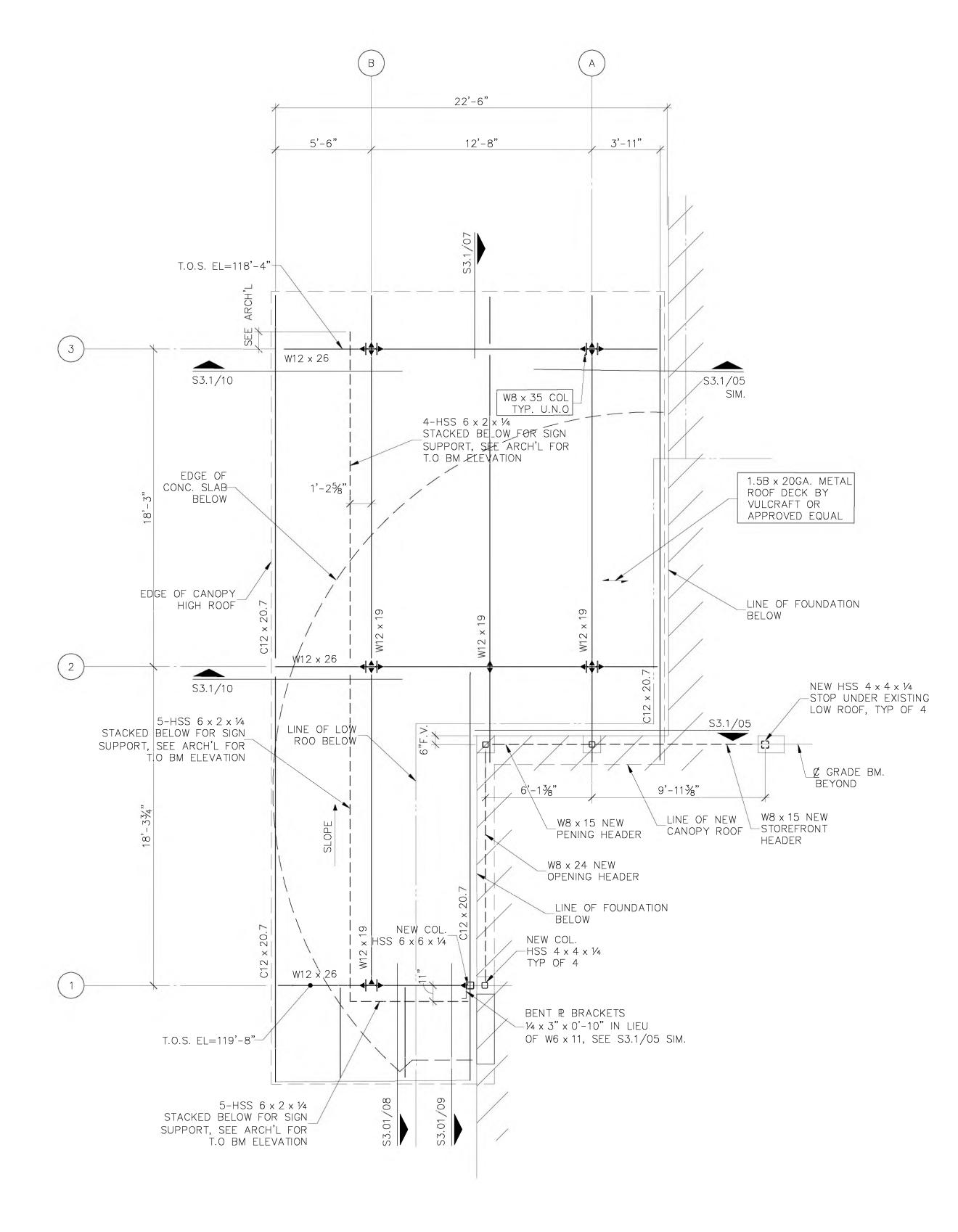


Charles Gojer and Associates, Inc. Consulting Engineers Texas Firm Registration No. F-697 11615 Forest Central Dr. Suite 303 Dallas, Texas 75243 (214) 340-1199



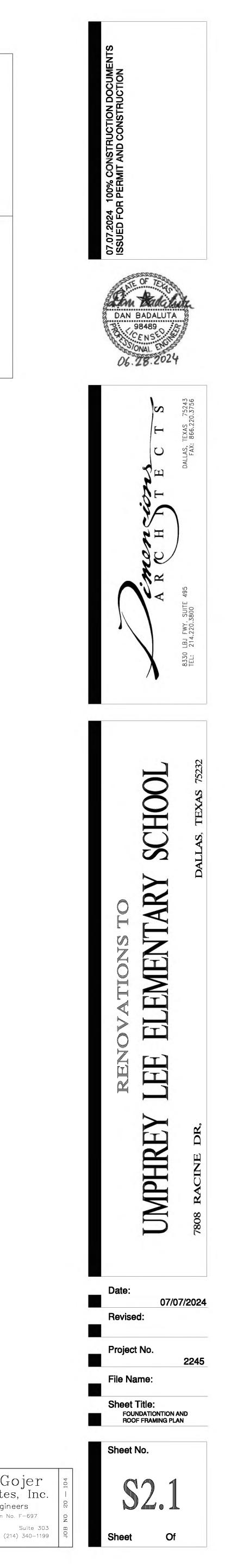


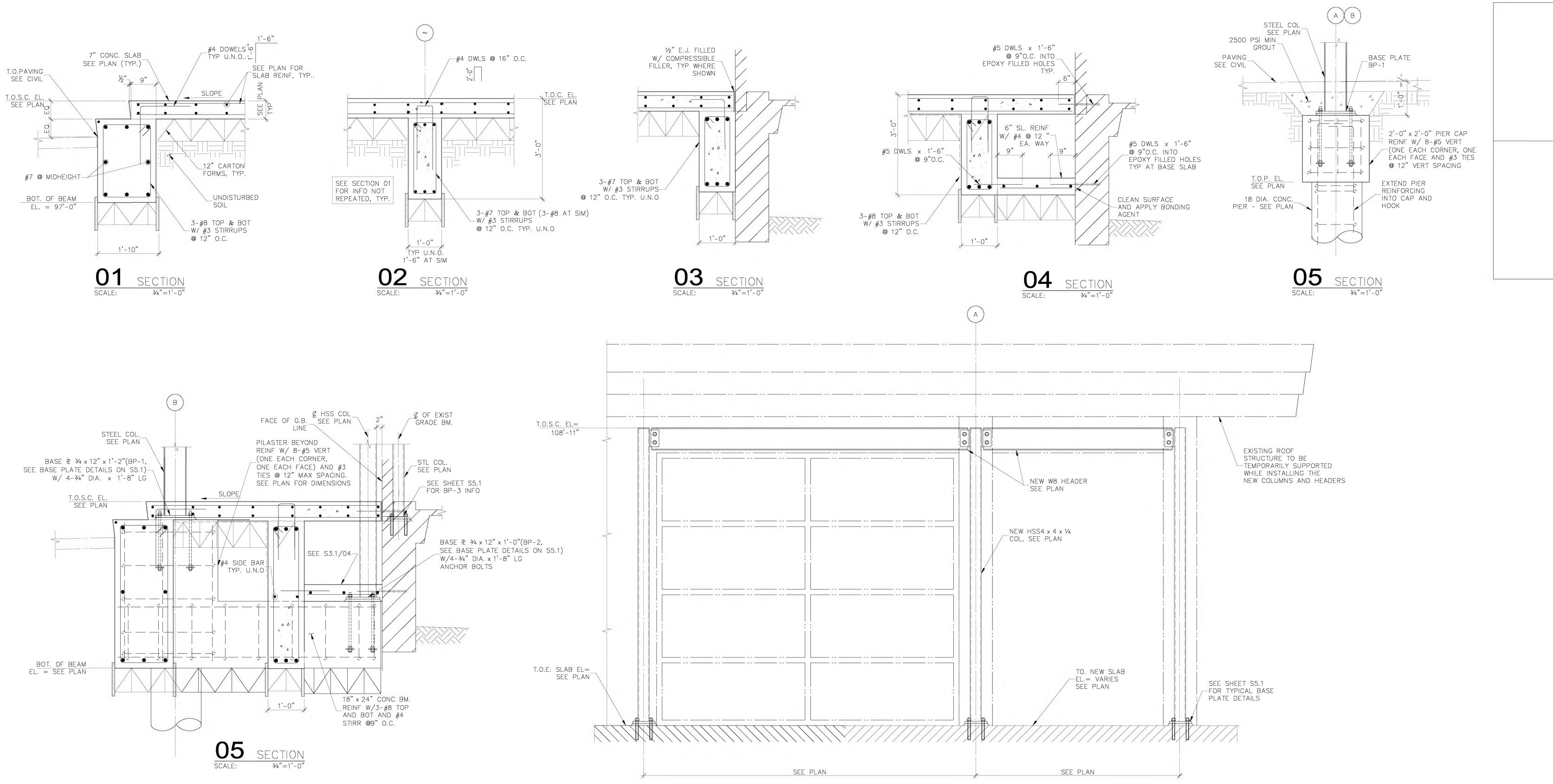
O1 SCALE: FOUNDATION PLAN 1/4"=1'-0"

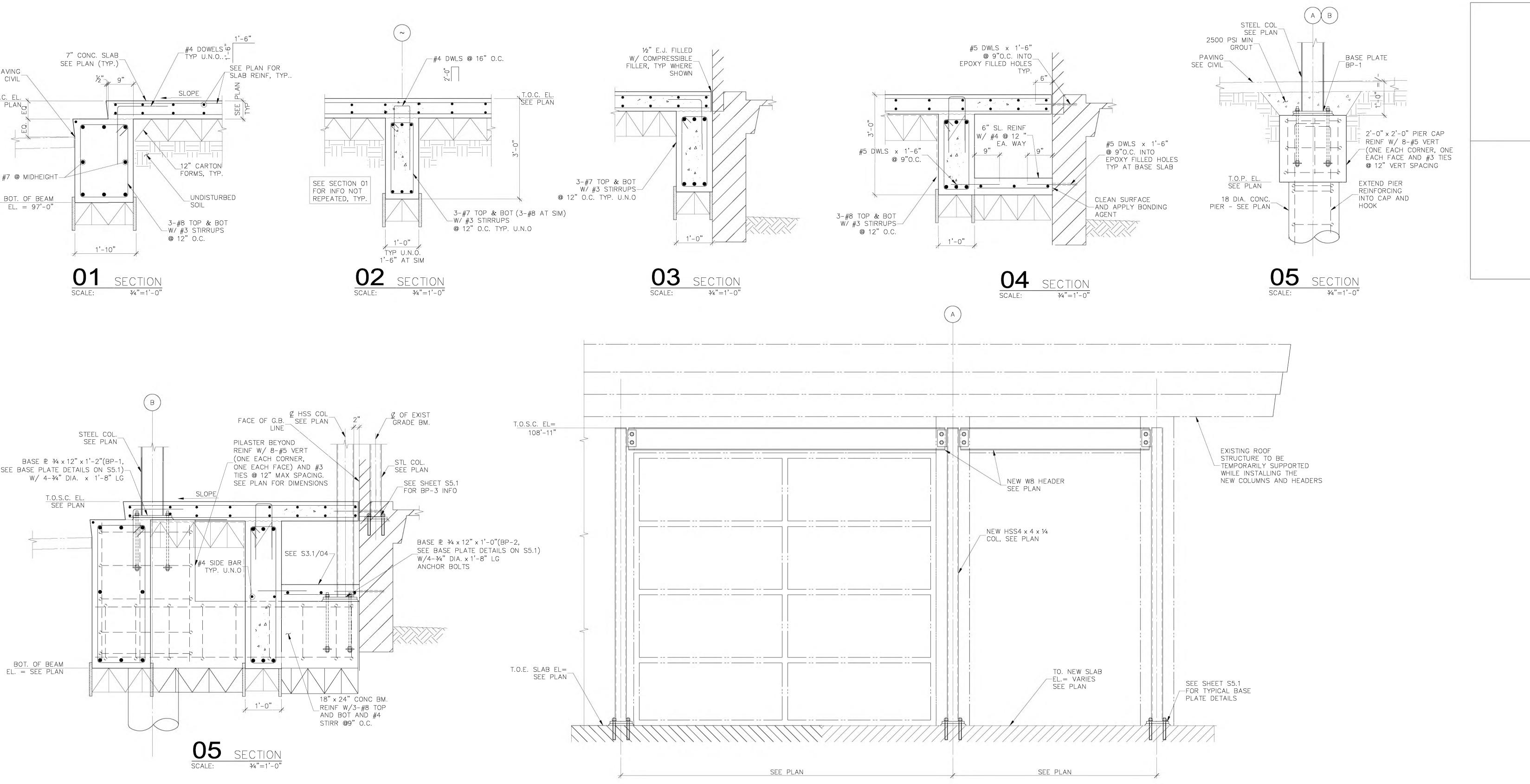


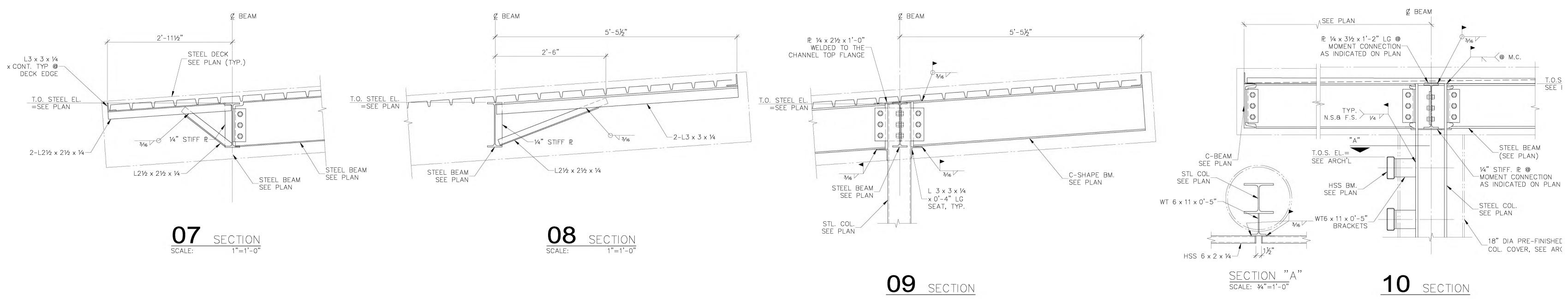
02 ROOF FRAMING PLAN SCALE: 1/4"=1'-0"





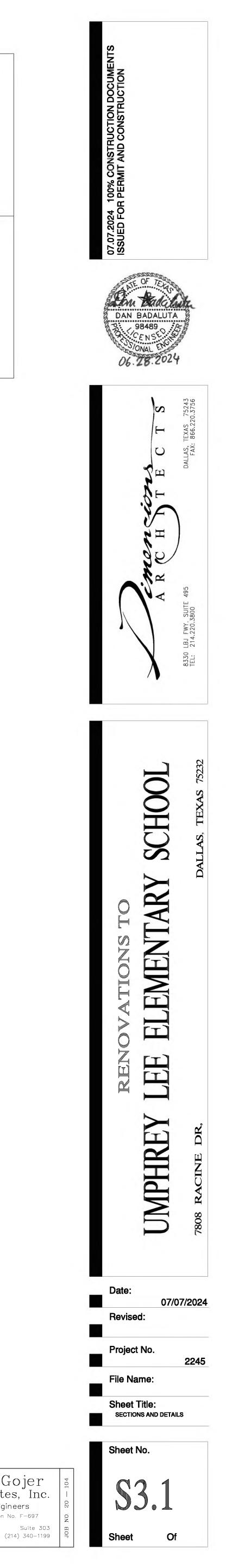


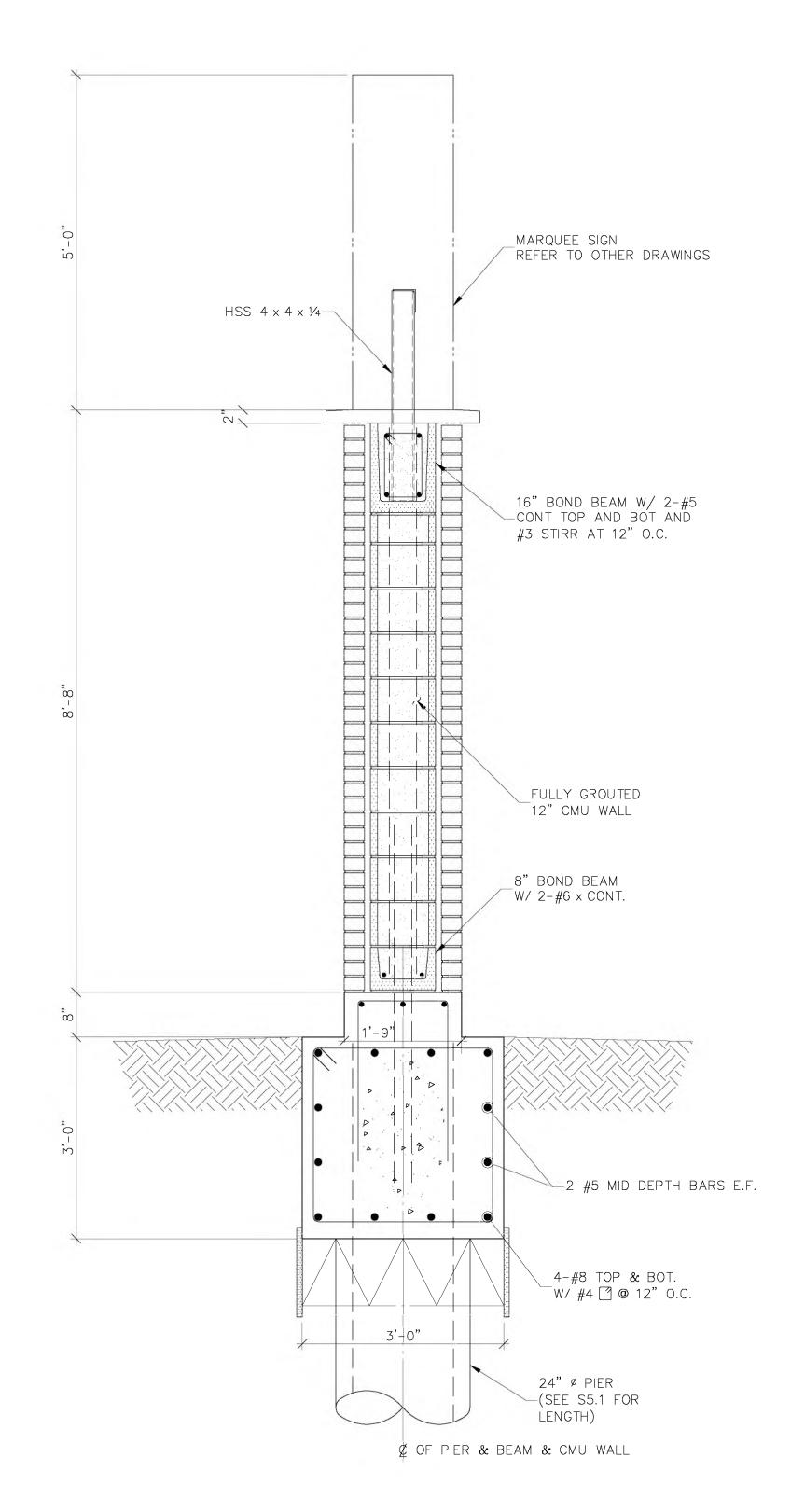




06 NEW STOREFRONT - ELEVATION SCALE: 3⁄4"=1'-0'





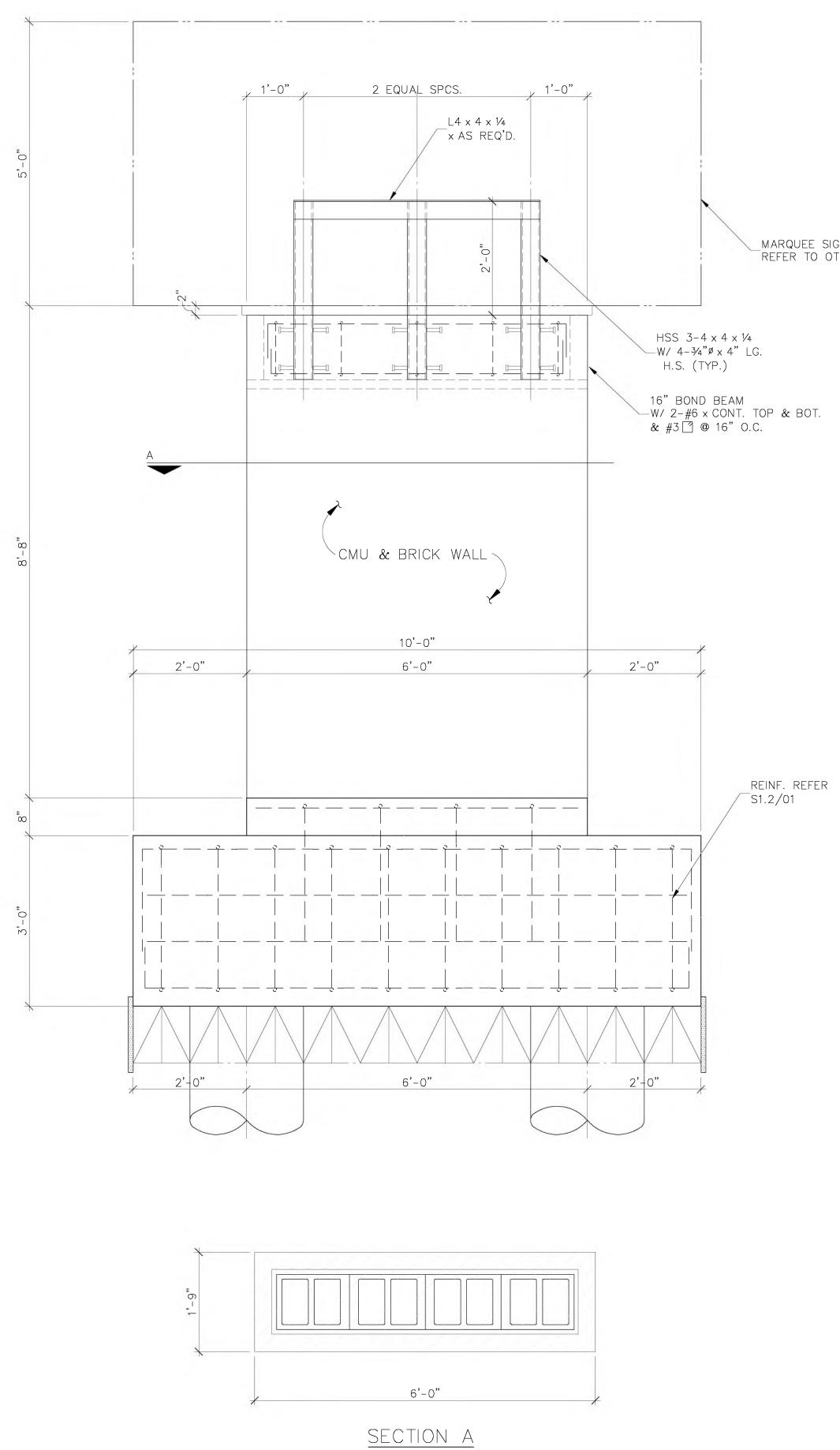


NOTES:

1. REFER TO CIVIL SITE PLAN DRAWING FOR THE NEW MARQUEE SIGN LOCATION.

2. REFER TO THE CIVIL AND ARCHITECTURAL DRAWINGS FOR ANY REQUIRED DEMOLITION AT THE SITE OF THE NEW MARQUEE SIGN AND FOR ANY CONFLICT WITH EXISTING UTILITIES, BOTH ABOVE AND BELOW GROUND.



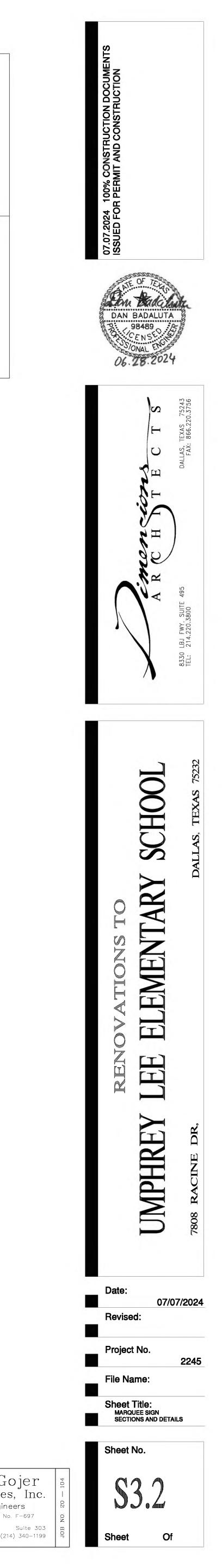


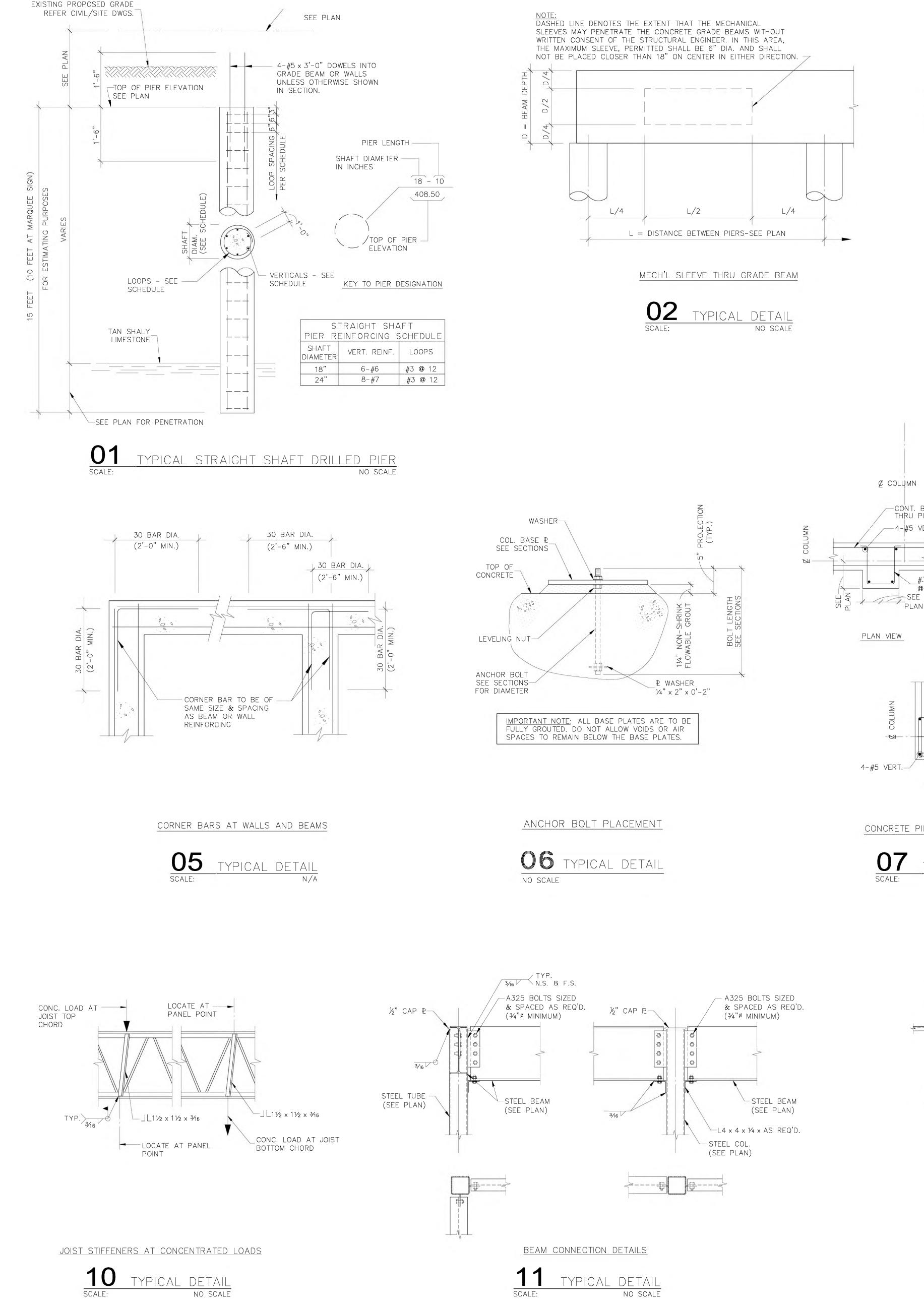


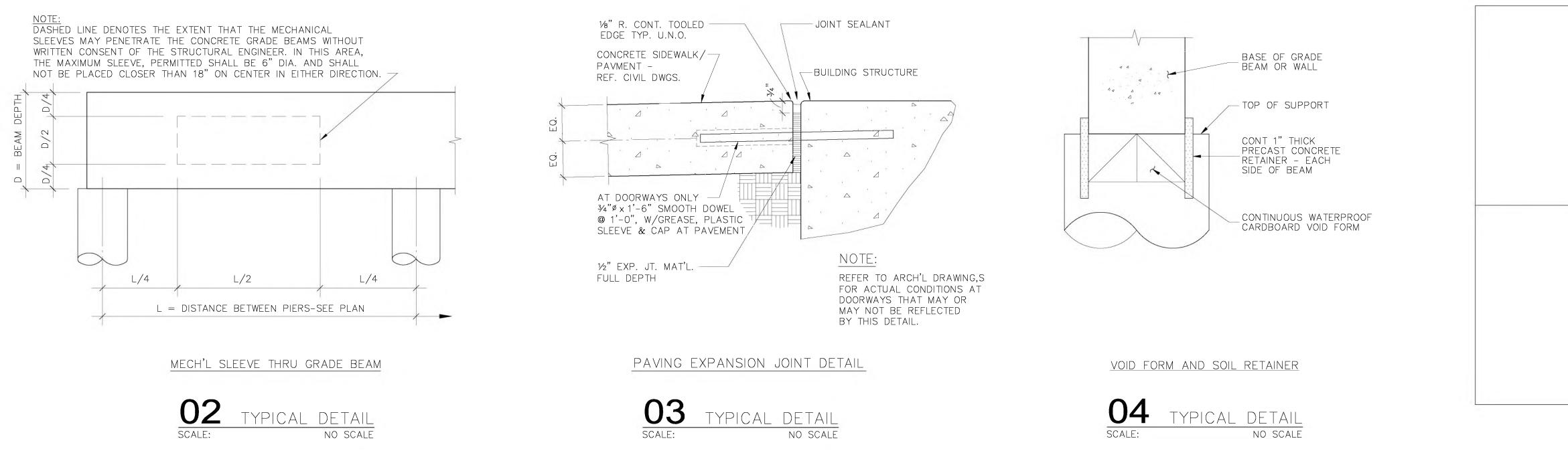
02 MARQUEE SIGN ELEVATION SCALE: 34"=1'-0"

MARQUEE SIGN REFER TO OTHER DRAWINGS



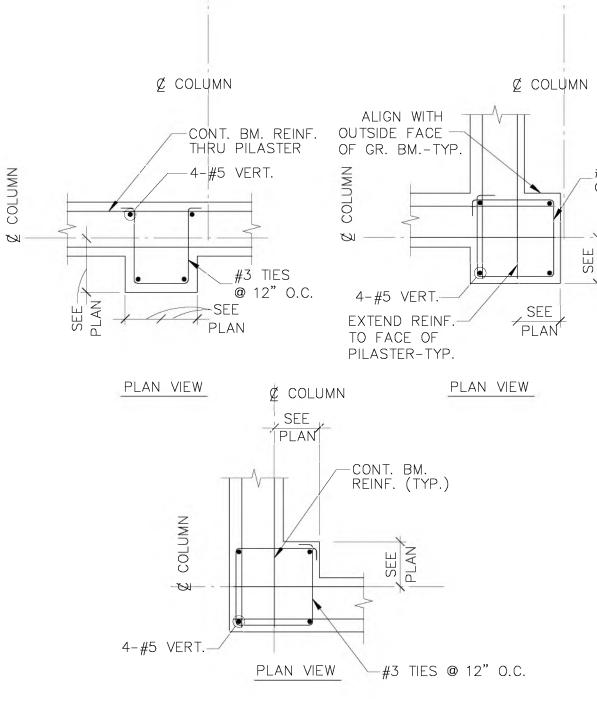






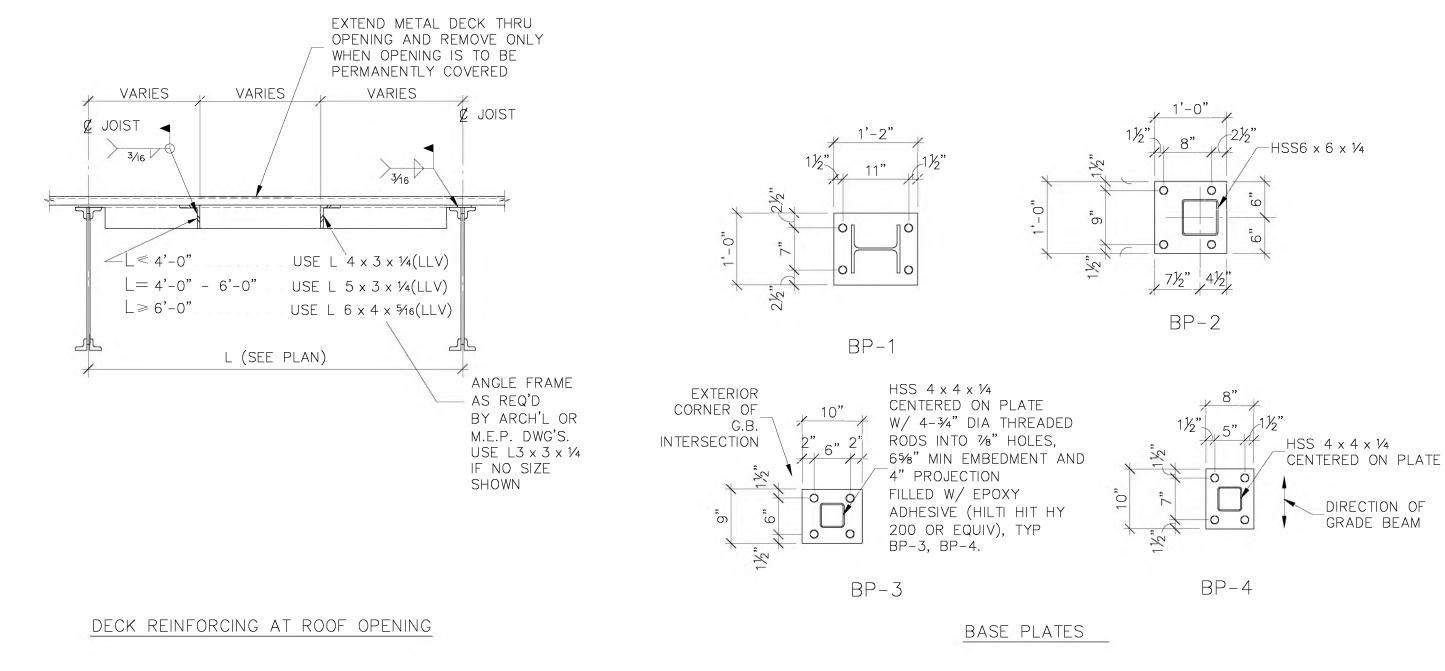






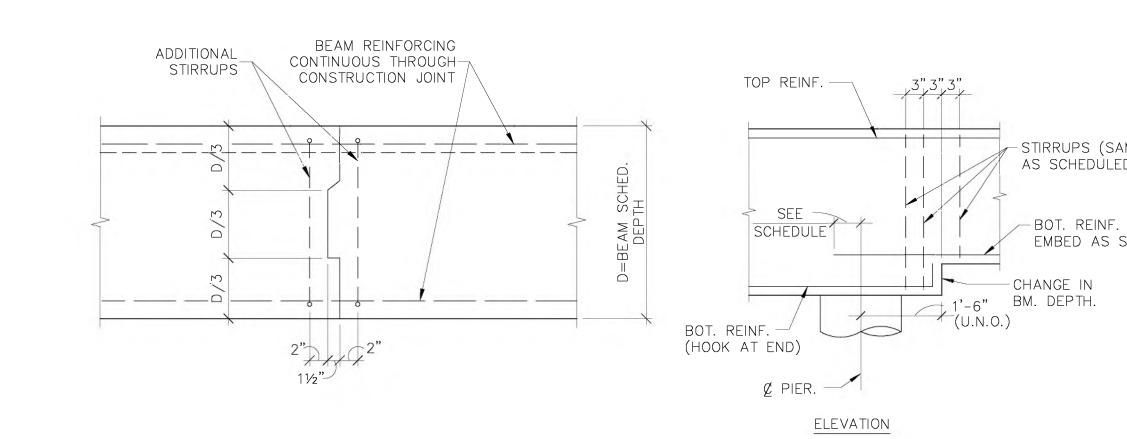
CONCRETE PILASTERS (TYP. U.N.O.)







#3 TIES **@** 12" O.C.



BEAM CONSTRUCTION JOINT

BEAM DEPTH TRANSITION

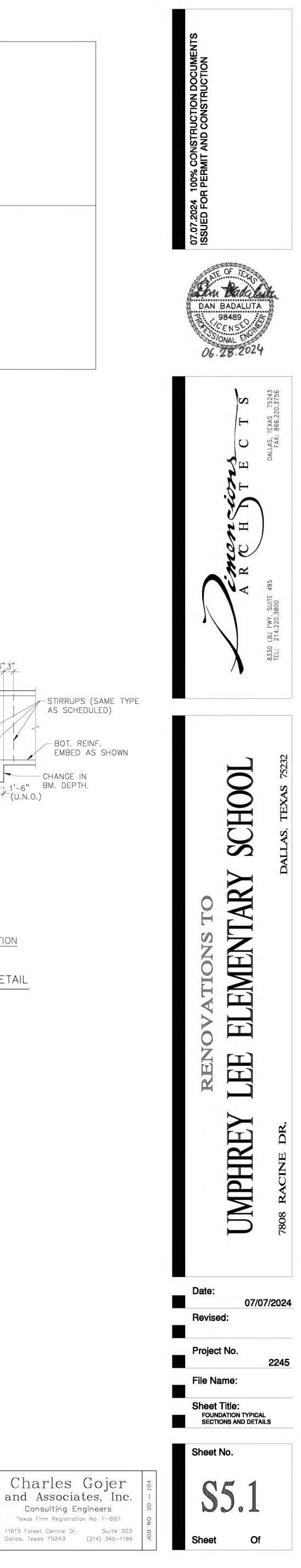


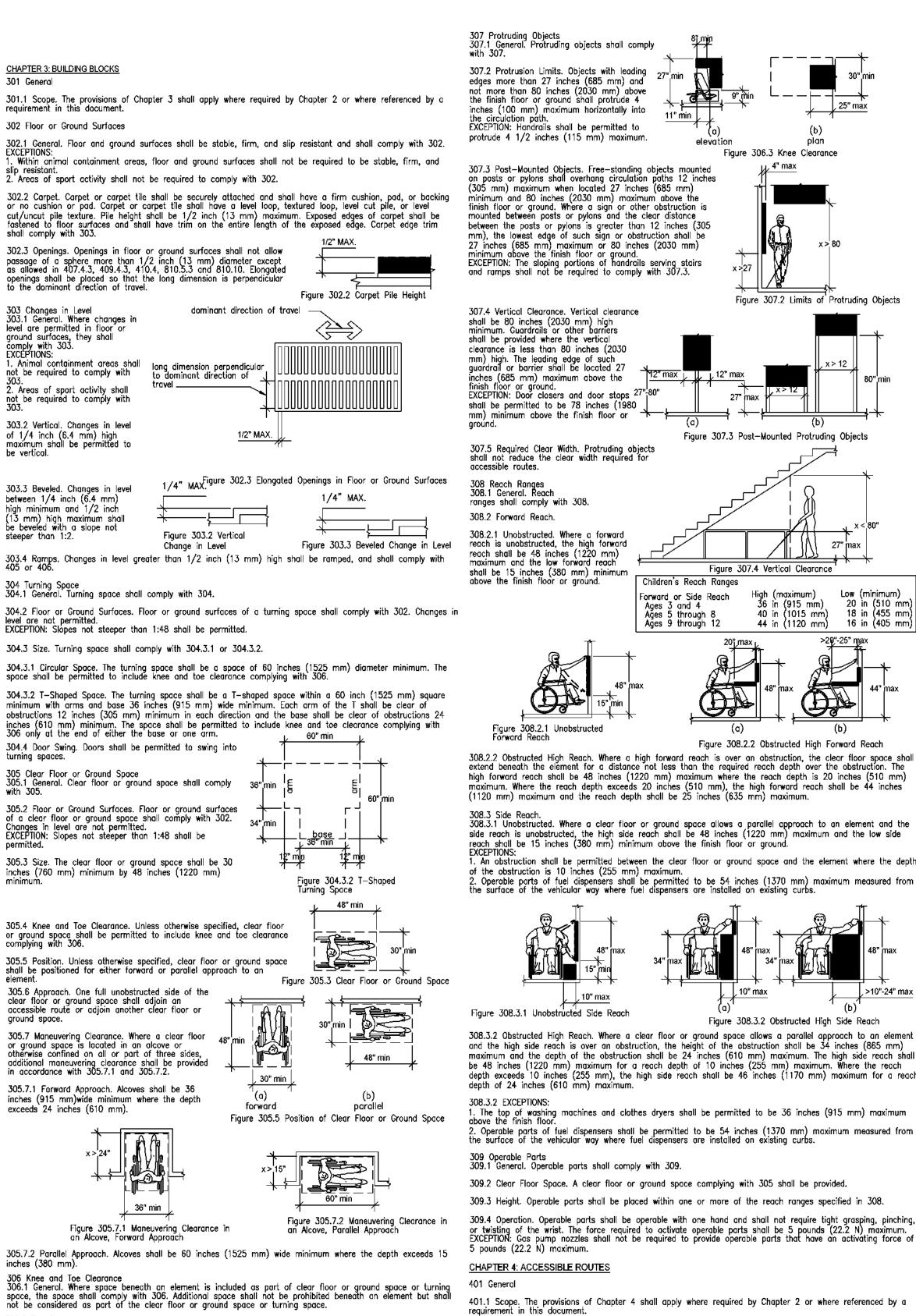
13 SCALE:

TYPICAL DETAIL NO SCALE









306.2 Toe Clearance. 306.2.1 General. Space under an element between the finish floor or ground and 9 inches (230 mm) above the 402 Accessible Routes finish floor or ground shall be considered toe clearance and shall comply with 306.2.

306.2.2 Maximum Depth. Toe clearance shall extend 25 inches (635 mm) maximum under an element. 306.2.3 Minimum Required Depth. Where toe clearance is required at an element as part of a clear floo the toe clearance shall extend 17 inches (430 mm) minimum under the element. 306.2.4 Additional Clearance. Space extending greater than 6 inches (150 mm) beyond the available knee clearance at 9 inches (230 mm) above the finish floor or ground shall not be considered toe clearance.

306.2.5 Width. Toe clearance shall be 30 inches (760 mm) wide minimum.

306.3 Knee Clearance. 306.3.1 General. Space under an element between 9 inches (230 mm) and 27 inches (685 mm) above the finish floor or ground shall be considered knee clearance and shall comply with 306.3. 306.3.2 Maximum Depth. Knee clearance shall

floor or ground.

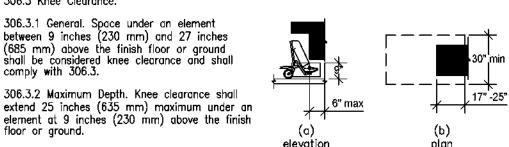


Figure 306.2 Toe Clearance

306.3.3 Minimum Required Depth. Where knee clearance is required under an element as part of clear floor space, the knee clearance shall be 11 inches (280 mm) deep minimum at 9 inches (230 mm) above the finish floor or ground, and 8 inches (205 mm) deep minimum at 27 inches (685 mm) above the finish floor or ground.

306.3.4 Clearance Reduction. Between 9 inches (230 mm) and 27 inches (685 mm) above the finish floor or ground, the knee clearance shall be permitted to reduce at a rate of 1 inch (25 mm) in depth for each 6 inches (150 mm) in height. 306.3.5 Width. Knee clearance shall be 30 inches (760 mm) wide minimum.

403.4 Changes in Level. Changes in level shall comply with 303. 403.5 Clearances. Walking surfaces shall provide clearances complying with 403.5. EXCEPTION: Within employee work areas, clearances on common use circulation paths shall be permitted to be decreased by work area equipment provided that the decrease is essential to the function of the work being performed 403.5.1 Clear Width. Except as provided in 403.5.2 and 403.5.3, the clear width of walking surfaces shall be 36 inches (915 mm) minimum.

24 inches (610 mm) maximum provided that reduced width segments are separated by segments that are 48 inches (1220 mm) long minimum and 36 inches (915 mm) wide minimum. 403.5.2 Clear Width at Turn. Where the accessible route makes a 180 dearee turn around an element which is less than 48 inches (1220 mm) wide, clear width shall be 42 inches (1065 mm) minimum approaching the turn, 48 inches (1220 mm minimum at the turn and 42 inches (1065 mm) minimum leaving the turn.

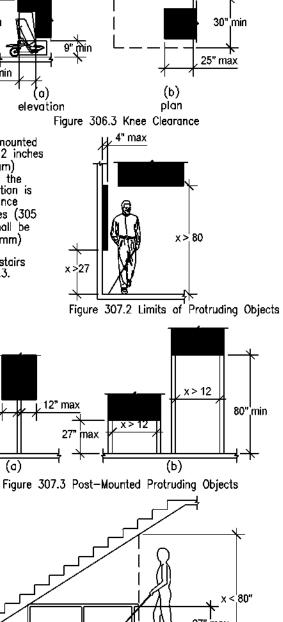
402.1 General. Accessible routes shall comply with 402.

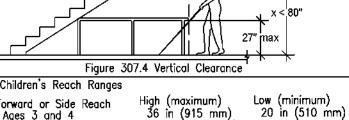
requirements of Chapter 4.

surfaces shall not be steeper than 1:48

403 Walking Surfaces

EXCEPTION: Where the clear width at the turn is 60 inches (1525 mm) minimum compliance with 403.5.2 shall not be required.





Ages 3 and 4 Ages 5 through 8

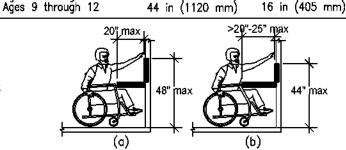
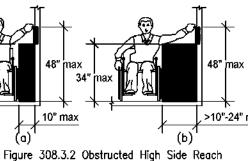


Figure 308.2.2 Obstructed High Forward Reach 308.2.2 Obstructed High Reach. Where a high forward reach is over an obstruction, the clear floor space shall extend beneath the element for a distance not less than the required reach depth over the obstruction. The high forward reach shall be 48 inches (1220 mm) maximum where the reach depth is 20 inches (510 mm) maximum. Where the reach depth exceeds 20 inches (510 mm), the high forward reach shall be 44 inches

308.3.1 Unobstructed. Where a clear floor or ground space allows a parallel approach to an element and the side reach is unobstructed, the high side reach shall be 48 inches (1220 mm) maximum and the low side

1. An obstruction shall be permitted between the clear floor or ground space and the element where the depth . Operable parts of fuel dispensers shall be permitted to be 54 inches (1370 mm) maximum measured from



308.3.2 Obstructed High Reach. Where a clear floor or ground space allows a parallel approach to an element and the high side reach is over an obstruction, the height of the obstruction shall be 34 inches (865 mm) maximum and the depth of the obstruction shall be 24 inches (610 mm) maximum. The high side reach shall be 48 inches (1220 mm) maximum for a reach depth of 10 inches (255 mm) maximum. Where the reach depth exceeds 10 inches (255 mm), the high side reach shall be 46 inches (1170 mm) maximum for a reach

1. The top of washing machines and clothes dryers shall be permitted to be 36 inches (915 mm) maximum 2. Operable parts of fuel dispensers shall be permitted to be 54 inches (1370 mm) maximum measured from

309.3 Height. Operable parts shall be placed within one or more of the reach ranges specified in 308.

or twisting of the wrist. The force required to activate operable parts shall be 5 pounds (22.2 N) maximum. EXCEPTION: Gas pump nozzles shall not be required to provide operable parts that have an activating force of

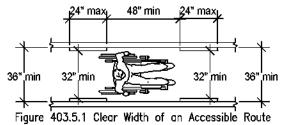
401.1 Scope. The provisions of Chapter 4 shall apply where required by Chapter 2 or where referenced by a

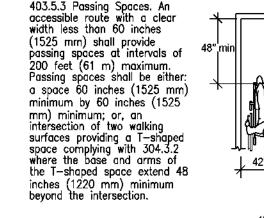
402.2 Components. Accessible routes shall consist of one or more of the following components: walking surfaces with a running slope not steeper than 1:20, doorways, ramps, curb ramps, excluding the flared sides, elevators, and platform lifts. All components of an accessible route shall comply with the applicable

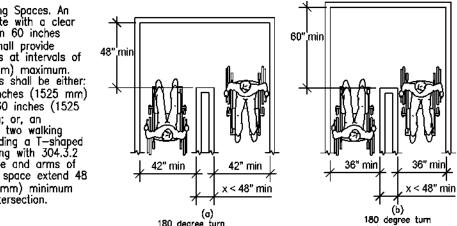
403.1 General. Walking surfaces that are a part of an accessible route shall comply with 403. 403.2 Floor or Ground Surface. Floor or ground surfaces shall comply with 302.

403.3 Slope. The running slope of walking surfaces shall not be steeper than 1:20. The cross slope of walking

EXCEPTION: The clear width shall be permitted to be reduced to 32 inches (815 mm) minimum for a length of









403.6 Handrails. Where handrails are provided along walking surfaces with running slopes not steeper than

they shall comply with 505. 404 Doors, Doorways, and Gates 404.1 General. Doors, doorways, and gates that are part of an accessible route shall comply with 404.

EXCEPTION: Doors, doorways, and gates designed to be operated only by security personnel shall not be required to comply with 404.2.7, 404.2.8, 404.2.9, 404.3.2 and 404.3.4 through 404.3.7. 404.2 Manual Doors, Doorways, and Manual Gates. Manual doors and doorways and manual gates intended for user passage shall comply with 404.2.

404.2.1 Revolving Doors, Gates, and Turnstiles. Revolving doors, revolving gates, and turnstiles shall not be part of an accessible route. 404.2.2 Double-Leaf Doors and Gates. At least one of the active leaves of doorways with two leaves shall comply with 404.2.3 and 404.2.4.

404.2.3 Clear Width. Door openings shall provide a clear width of 32 inches (815 mm) minimum. Clea openings of doorways with swinging doors' shall be measured between the face of the door and the stop, with the door open 90 degrees. Openings more than 24 inches (610 mm) deep shall provide a clear opening of 36 inches (915 mm) minimum. There shall be no projections into the required clear opening width lower than 34 inches (865 mm) above the finish floor or ground. Projections into the clear opening width between 34 inches (865 mm) and 80 inches (2030 mm) above the finish floor or ground shall not exceed 4 inches (100 mm). EXCEPTIONS: 1. In alterations, a projection of 5/8 inch (16 mm) maximum into the required clear width sha

be permitted for the latch side stop. . Door closers and door stops shall be permitted to be 78 inches (1980 or around. 404.2.4 Maneuvering Clearances. Minimum maneuvering clearances at doors and

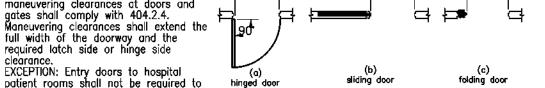
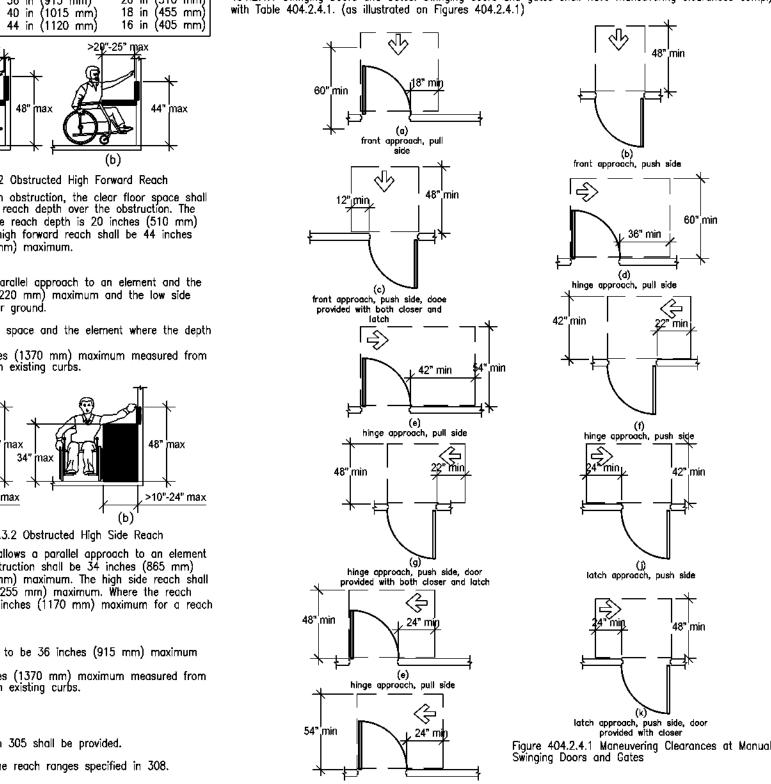
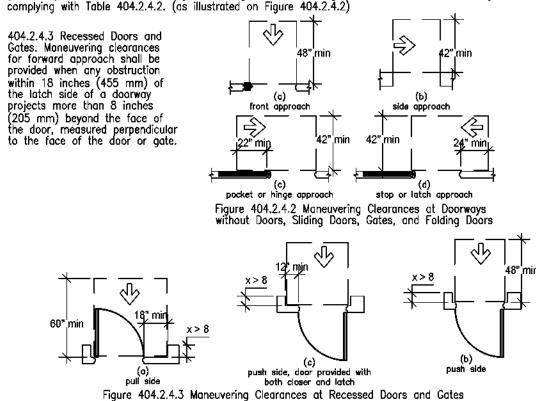


Figure 404.2.3 Clear Width of Doorways provide the clearance beyond the latch side of the door. 404.2.4.1 Swinging Doors and Gates. Swinging doors and gates shall have maneuvering clearances complying



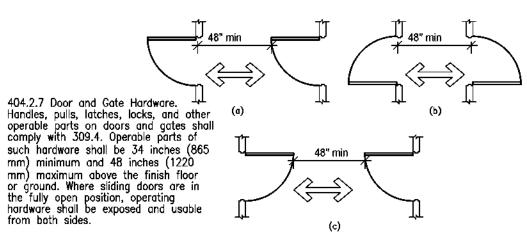
latch approach, pull side door provided with closer

404.2.4.2 Doorways without Doors or Gates, Sliding Doors, and Folding Doors. Doorways less than 36 inches (915 mm) wide without doors or gates, sliding doors, or folding doors shall have maneuvering clearances



404.2.4.4 Floor or Ground Surface. Floor or ground surface within required maneuvering clearances shall comply with 302. Changes in level are not permitted. EXCEPTIONS: Slopes not steeper than 1:48 shall be permitted. 2. Changes in level at thresholds complying with 404.2.5 shall be permitted.

404.2.5 Thresholds. Thresholds, if provided at doorways, shall be 1/2 inch (13 mm) high maximum. Raised thresholds and changes in level at doorways shall comply with 302 and 303. EXCEPTION: Existing or altered thresholds 3/4 inch (19 mm) high maximum that have a beveled edge on each side with a slope not steeper than 1:2 shall not be required to comply with 404.2.5. 404.2.6 Doors in Series and Gates in Series. The distance between two hinged or pivoted doors in series and



I. Existing locks shall be permitted in any location at existing glazed doors without stiles, existing overhead rolling doors or grilles, and similar existing doors or grilles that are designed with locks that are activated only at the top or bottom rail. 2. Access gates in barrier walls and fences protecting pools, spas, and hot tubs shall be permitted to have operable parts of the release of latch on self-latching devices at 54 inches (1370 mm) maximum above the finish floor or ground provided the self-latching devices are not also self-locking devices and operated by means of a key, electronic opener, or integral combination lock. 404.2.8 Closing Speed. Door and gate closing speed shall comply with 404.2.8. 404.2.8.1 Door Closers and Gate Closers. Door closers and gate closers shall be adjusted so that from an

404.2.8.2 Spring Hinges. Door and gate spring hinges shall be adjusted so that from the open position of 70 degrees, the door or gate shall move to the closed position in 1.5 seconds minimum. 404.2.9 Door and Gate Opening Force. Fire doors shall have a minimum opening force allowable by the appropriate administrative authority. The force for pushing or pulling open a door or gate other than fire doors shall be as follows: Interior hinged doors and gates: 5 pounds (22.2 N) maximum. 2. Sliding or folding doors: 5 pounds (22.2 N) maximum. These forces do not apply to the force required to retract latch bolts or disengage other devices that

door or gate in a closed position. 404.2.10 Door and Gate Surfaces. Swinging door and gate surfaces within 10 inches (255 mm) of the finish floor or ground measured vertically shall have a smooth surface on the push side extending the full width of the door or gate. Parts creating horizontal or vertical joints in these surfaces shall be within 1/16 inch (1.6 mm) of the same plane as the other. Cavities created by added kick plates shall be capped EXCEPTIONS: . Sliding doors shall not be required to comply with 404.2.10. 2. Tempered glass doors without stiles and having a bottom rail or shoe with the top leading edge tapered at 60 degrees minimum from the horizontal shall not be required to meet the 10 inch (255 mm) bottom smooth surface height requirement. 3. Doors and gates that do not extend to within 10 inches (255 mm) of the finish floor or ground shall not be required to comply with 404.2.10.

4. Existing doors and gates without smooth surfaces within 10 inches (255 mm) of the finish floor or ground shall not be required to provide smooth surfaces complying with 404.2.10 provided that if added kick plates are installed, cavities created by such kick plates are capped 404.2.11 Vision Lights. Doors, gates, and side lights adjacent to doors or gates, containing one or more glazing panels that permit viewing through the panels shall have the bottom of at least one glazed pane located 43 inches (1090 mm) maximum above the finish floor. EXCEPTION: Vision lights with the lowest part more than 66 inches (1675 mm) from the finish floor or ground shall not be required to comply with 404.2.11. 404.3 Automatic and Power-Assisted Doors and Gates. Automatic doors and automatic gates shall comply with 404.3. Full-powered automatic doors shall comply with ANSI/BHMA A156.10 (incorporated by reference, see "Referenced Standards" in Chapter 1). Low—energy and power—assisted doors shall comply with ANSI/BHMA A156.19 (1997 or 2002 edition) (incorporated by reference, see "Referenced Standards" in Chapter

CHAPTER 5: GENERAL SITE AND BUILDING ELEMENTS 404.3.1 Clear Width. Doorways shall provide a clear opening of 32 inches (815 mm) minimum in power—on an power—off mode. The minimum clear width for automatic door systems in a doorway shall be based on the 501 General clear opening provided by all leaves in the open position. 501.1 Scope. The provisions of Chapter 5 shall apply where required by Chapter 2 or where referenced by 404.3.2 Maneuvering Clearance. Clearances at power—assisted doors and gates shall comply with 404.2.4. Clearances at automatic doors and gates without standby power and serving an accessible means of egress shall comply with 404.2.4. a requirement in this document. 502 Parking Spaces EXCEPTION: Where automatic doors and gates remain open in the power-off condition, compliance with 404.2.4 shall not be required.

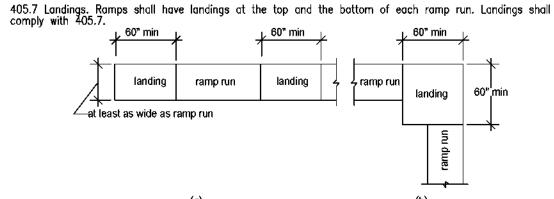
502.1 General. Car and van parking spaces shall comply with 502. Where parking spaces are marked with lines, width measurements of parking spaces and access aisles shall be made from the centerline of the 404.3.3 Thresholds. Thresholds and changes in level at doorways shall comply with 404.2.5. 404.3.4 Doors in Series and Gates in Series. Doors in series and gates in series shall comply with 404.2.6. EXCEPTION: Where parking spaces or access aisles are not adjacent to another parking space or access aisle, measurements shall be permitted to include the full width of the line defining the parking space or 404.3.5 Controls, Manually operated controls shall comply with 309. The clear floor space adjacent to the access aisle. control shall be located beyond the arc of the door swing. 404.3.6 Break Out Opening. Where doors and gates without standby power are a part of a means of egress, 502.2 Vehicle Spaces. Car parking spaces shall be 96 inches (2440 mm) wide minimum and van parking the clear break out opening at swinging or sliding doors and gates shall be 32 inches (815 mm) minimum when operated in emergency mode. EXCEPTION: Where manual swinging doors and gates comply with 404.2 and serve the same means of egress spaces shall be 132 inches (3350 mm) wide minimum, shall be marked to define the width, and shall have an adjacent access aisle complying with 502.3. compliance with 404.3.6 shall not be required. EXCEPTION: Van parking spaces shall be permitted to be 96 inches (2440 mm) wide minimum where the 404.3.7 Revolving Doors, Revolving Gates, and Turnstiles. Revolving doors, revolving gates, and turnstiles shall access aisle is 96 inches (2440 mm) wide minimum. not be part of an accessible route

405 Ramps 405.1 General. Ramps on accessible routes shall comply with 405. EXCEPTION: In assembly areas, aisle ramps adjacent to seating and not serving elements required to be on accessible route shall not be required to comply with 405. 405.2 Slope. Ramp runs shall have a running slope not steeper than 1:12. EXCEPTION: In existing sites, buildings, and facilities, ramps shall be permitted to have running slopes steeper than 1:12 complying with Table 405.2 where such slopes are necessary due to space limitations.

Table 405.2 Maximum Ramp Slope and Rise for Exis	ting S
Slope (A slope steeper than 1:8 is prohibited.)	Maxi
Steeper than 1:10 but not steeper than 1:8	3 in
Steeper than 1:12 but not steeper than 1:10	6 in

405.3 Cross Slope. Cross slope of ramp runs shall not be steeper than 1:48.

405.4 Floor or Ground Surfaces. Floor or ground surfaces of ramp runs shall comply with 302. Changes in level other than the running slope and cross slope are not permitted on ramp run 405.5 Clear Width. The clear width of a ramp run and, where handrails are provided, the clear width between handrails shall be 36 inches (915 mm) minimum. EXCEPTION: Within employee work areas, the required clear width of ramps that are a part of common use circulation paths shall be permitted to be decreased by work area equipment provided that the decrease is essential to the function of the work being performed. 405.6 Rise. The rise for any ramp run shall be 30 inches (760 mm) maximum.



straigh

Figure 405.7 Ramp Landings 503.1 General. Passenger loading zones shall comply with 503. 405.7.1 Slope. Landings shall comply with 302. Changes in level are not permitted. EXCEPTION: Slopes not steeper than 1:48 shall be permitted. 503.2 Vehicle Pull-Up Space. Passenger loading zones shall provide a vehicular pull-up space 96 inches 405.7.2 Width. The landing clear width shall be at least as wide as the widest ramp run leading to the landing (2440 mm) wide minimum and 20 feet (6100 mm) long minimum. 405.7.3 Length. The landing clear length shall be 60 inches (1525 mm) long minimum. 503.3 Access Aisle. Passenger loading zones shall provide access aisles complying with 503 adjacent to 405.7.4 Change in Direction. Ramps that change directi on between runs at landings shall have a clear landing 60 inches (1525 mm) minimum by 60 inches (1525 the vehicle pull-up space. Access aisles shall adjoin an accessible route and shall not overlap the mm) minimum. vehicular way

405.7.5 Doorways. Where doorways are located adjacent to a ramp landing, maneuvering clearances required by 503.3.1 Width. Access aisles serving vehicle pull-up spaces shall be 60 inches (1525 mm) wide minimum. 404.2.4 and 404.3.2 shall be permitted to overlap the required landing area. 405.8 Handrails. Ramp runs with a rise greater than 6 inches (150 mm) shall have handrails complying with 503.3.2 Length. Access aisles shall extend the full length of the vehicle pull-up spaces they serve. EXCEPTION: Within employee work areas, handrails shall not be required where ramps that are part of common use circulation paths are designed to permit the installation of handrails complying with 505. Ramps not 503.3.3 Marking. Access aisles shall be marked so as to discourage parking in them subject to the exception to 405.5 shall be designed to maintain a 36 inch (915 mm) minimum clear width when handrails are installed. 503.4 Floor and Ground

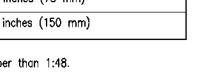
405.9 Edge Protection. Edge protection complying with 405.9.1 or 405.9.2 shall be provided on each side of ramp runs and at each side of ramp landings. EXCEPTIO1. Edge protection shall not be required on ramps that are not required to have handrails and have sides complying with 406.3. . Edge protection shall not be required on the sides of ramp landings serving an adjoining ramp run or

3. Edge protection shall not be required on the sides of ramp landings having a vertical drop—off of 1/2 inch (13 mm) maximum within 10 inches (255 mm) horizontally of the minimum landing area specified in 405.7. gates in series shall be 48 inches (1220 mm) minimum plus the width of doors or gates swinging into the 405.9.1 Extended Floor or Ground Surface. The floor or ground surface of the ramp run or landing shall extend 12 inches (305 mm) minimum beyond the inside face of a handrail complying with 505.

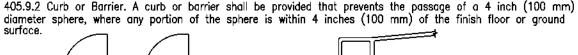
Figure 404.2.6 Doors in Series and Gates in Series

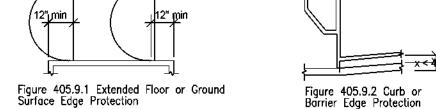
open position of 90 degrees, the time required to move the door to a position of 12 degrees from the latch is 5 seconds minimum.

Sites, Buildings, and Facilities iximum Rise inches (75 mm)



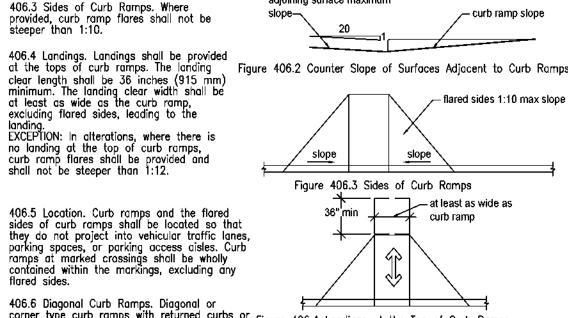
change direction





405.10 Wet Conditions. Landings subject to wet conditions shall be designed to prevent the accumulation of

406 Curb Ramps 406.1 General. Curb ramps on accessible routes shall comply with 406, 405.2 through 405.5, and 405.10. 406.2 Counter Slope. Counter slopes of adjoining gutters and road surfaces immediately adjacent to the curb ramp shall not be steeper than 1:20. The adjacent surfaces at transitions at curb ramps to walks, gutters, and streets shall be at the same level. adioining surface maximun



corner type curb ramps with returned curbs or Figure 406.4 Landings at the Top of Curb Ramps edges parallel to the direction of pedestrian flow. The bottom of diagonal curb ramps shall have a clear space 48 inches (1220 mm) minimum outside active traffic lanes of the roadway. Diagonal curb ramps provided at marked crossings shall provide the 48 inches (1220 mm) minimum clear space within the markings. Diagonal curb ramps with flared sides shall have a segment of curb 24 inches (610 mm) long minimum located on each side of the curb ramp and within the marked crossing. 406.7 Islands. Raised islands in crossings shall be cut through level with the street or have curb ramps

at both sides. Each curb ramp shall have a level area 48 inches (1220 mm) long minimum by 36 inches (915 mm) wide minimum at the top of the curb ramp in the part of the island intersected by the crossings. Each 48 inch (1220 mm) minimum by 36 inch (915 mm) minimum area shall be oriented so that the 48 inch (1220 mm) minimum length is in the direction of the running slope of the curb ramp it serves. The 48 inch (1220 mm) minimum by 36 inch (915 mm) minimum areas and the

accessible route shall be permitted to overlap. Figure 406.6 Diagonal or Corner Type Curb Ramps

502.3 Access Aisle. Access aisles serving parking spaces shall comply with 502.3. Access aisles shall adjoin an accessible route. Two parking spaces shall be permitted to share a common access aisle.

502.3.1 Width. Access aisles serving car and van parking spaces shall be 60 inches (1525 mm) wide minimum.

502.3.2 Length. Access aisles shall extend the full length of the parking spaces they serve. 502.3.3 Marking. Access aisles shall be marked so as to

discourage parking in them. 502.3.4 Location. Access aisles shall not overlap the vehicular way. Access aisles shall be permitted to be placed on either side of the parking space except for

angled van parking spaces which shall have access aisles located on the passenger side of the parking spaces. 502.4 Floor or Ground Surfaces. Parking spaces and access aisles serving them shall comply with 302. Access aisles shall be at the same level as the parking spaces they serve. Changes in level are not permitted.

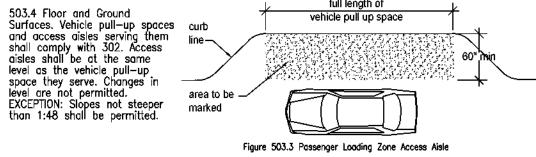
EXCEPTION: Slopes not steeper than 1:48 shall be permitted.

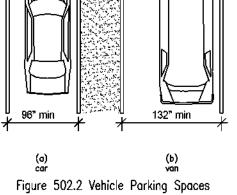
502.5 Vertical Clearance. Parking spaces for vans and access aisles and vehicular routes serving them shall

provide a vertical clearance of 98 inches (2490 mm) minimum. 502.6 Identification. Parking space identification signs shall include the International Symbol of Accessibility complying with 703.7.2.1. Signs identifying van parking spaces shall contain

the designation "van accessible." Signs shall be 60 inches (1525 mm) minimum above the finish floor or ground surface measured to the bottom of the sign.

502.7 Relationship to Accessible Routes. Parking spaces and access aisles shall be designed so that cars and vans, when parked, cannot obstruct the required clear width of adjacent accessible routes. 503 Passenger Loading Zones





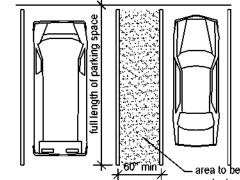
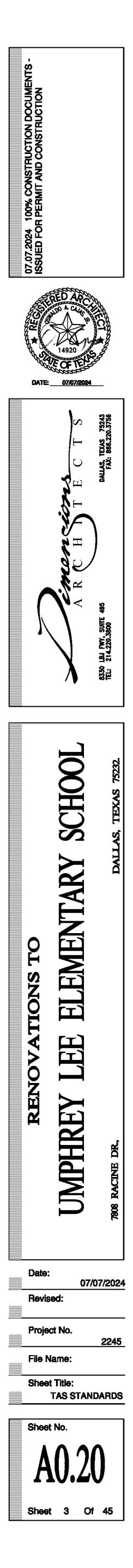
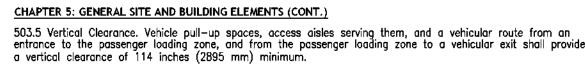


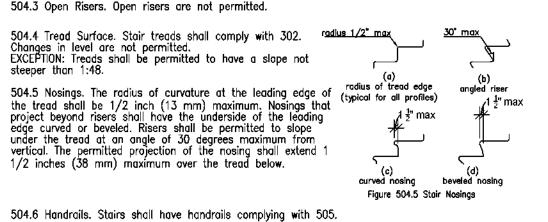
Figure 502.3 Parking Space Access Aisle





504 Stairways 504.1 General. Stairs shall comply with 504

504.2 Treads and Risers. All steps on a flight of stairs shall have uniform riser heights and uniform tread depths. Risers shall be 4 inches (100 mm) high minimum and 7 inches (180 mm) high maximum. Treads shall be 11 inches (280 mm) deep minimum.

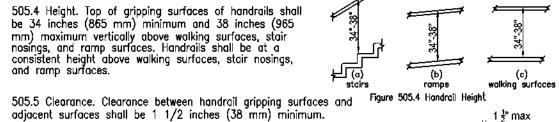


504.7 Wet Conditions. Stair treads and landings subject to wet conditions shall be designed to prevent the accumulation of water.

505.1 General. Handrails provided along walking surfaces complying with 403, required at ramps complying with 405, and required at stairs complying with 504 shall comply with 505.

505.2 Where Required. Handrails shall be provided on both sides of stairs and ramps. EXCEPTION: In assembly areas, handrails shall not be required on both sides of aisle ramps where a handrail is provided at either side or within the aisle width.

505.3 Continuity. Handrails shall be continuous within the full length of each stair flight or ramp run. Inside handrails on switchback or dogleg stairs and ramps shall be continuous between flights or runs. EXCEPTION: In assembly areas, handrails on ramps shall not be required to be continuous in aisles serving



505.6 Gripping Surface. Handrail gripping surfaces shall be continuous along their length and shall not be obstructed along their tops or sides. The bottoms of handrail gripping surfaces shall not be obstructed for more than 20 percent of their length. Where provided, horizontal projections shall occur Figure 505.5 Handrail Clearance 1/2 inches (38 mm) minimum below the bottom of the handrail gripping

1. Where handrails are provided along walking surfaces with slopes not steeper than 1:20, the bottoms of handrail gripping surfaces shall be permitted to be obstructed along their entire length where they are integral

Figure 505.6 Horizontal Projections Below to crash rails or bumper guards. mpping auric 2. The distance between horizontal projections and the bottom of the gripping surface shall be permitted to be reduced by 1/8 inch (3.2 mm) for each 1/2 inch (13 mm) of additional handrail perimeter dimension that exceeds 4 inches (100 mm).

505.7 Cross Section. Handrail gripping surfaces shall have a cross section complying with 505.7.1 or 505.7.2. 505.7.1 Circular Cross Section. Handrail gripping surfaces with a circular cross section shall have an outside diameter

of 1 1/4 inches (32 mm) minimum and 2 inches (51 mm) 505.7.2 Non-Circular Cross Sections. Handrail gripping surfaces with a non-circular cross section shall have a perimeter dimension of 4 inches (100 mm) minimum and 6

/4 inches (160 mm) maximum, and a cross-section dimension of 2 1/4 inches (57 mm) maximum. Figure 505.7.2 Handrail Non-Circular Cross Section

505.8 Surfaces. Handrail gripping surfaces and any surfaces adjacent to them shall be free of sharp or abrasive elements and shall have rounded edges.

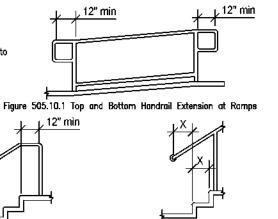
505.9 Fittings. Handrails shall not rotate within their fittings 505.10 Handrail Extensions. Handrail gripping surfaces shall extend beyond and in the same direction of stair flights and ramp runs in accordance with 505.10. EXCEPTIONS:

Extensions shall not be required for continuous handrails at the inside turn of switchback or dogleg stairs and ramp 2. In assembly areas, extensions shall not be required for ramp handrails in aisles serving seating where the handrails are discontinuous to In alterations, full extensions of handraits shall not be required where such extensions would be hazardous due to plan configuration. 505.10.1 Top and Bottom Extension at Ramps. Ramp handrails shall extend horizontally above the landing for 12 inches (305 mm) minimum beyond the top and bottom of ramp runs. Extensions shall return to a wall, guard, or the landing surface, or shall be continuous to the handrail of an adjacent ramp run. 505.10.2 Top Extension at Stairs. At the top of a stair flight, handrails

shall extend horizontally above the landing for 12 inches (305 mm) minimum beginning directly above the first riser nosing. Extensions shall return to a wall, guard, or the landing surface, or shall be continuous to the handrail of an adjacent stair flight.

505.10.3 Bottom Extension at Stairs. At the bottom of a stair flight, handrails shall extend at the slope of the stair light for a horizontal distance at least equal to one tread depth beyond the last riser nosing. Extension shall return to a vall, auard, or the landina surface, o shall be continuous to the handrail of an

adjacent stair flight



Note: x=tread depth

Figure 505.10.3 Bottom Handroil Extension at Stairs

2 1/4" max

Figure 505.10.2 Top Handrail Extension at Stairs CHAPTER 6: PLUMBING ELEMENTS & FACILITIES

601.1 Scope. The provisions of Chapter 6 shall apply where required by Chapter 2 or where referenced by a requirement in this document.

602 Drinking Fountains 602.1 General. Drinking fountains shall comply with 307 and 602.

602.2 Clear Floor Space. Units shall have a clear floor or ground space complying with 305 positioned for forward approach and centered on the unit. Knee and toe clearance complying with 306 shall be provided. EXCEPTION: A parallel approach complying with 305 shall be permitted at units for children's use where the spout is 30 inches (760 mm) maximum above the finish floor or ground and is 3 1/2 inches (90 mm) maximum from the front edge of the unit, including bumpers.

602.3 Operable Parts. Operable parts shall comply with 309. 602.4 Spout Height. Spout outlets shall be 36 inches (915 mm) maximum above the finish floor or ground. 602.5 Spout Location. The spout shall be located 15 inches (380 mm) minimum from the vertical support and 5 inches (125 mm) maximum from the front edge of the unit, including bumpers.

602.6 Water Flow. The spout shall provide a flow of water 4 inches (100 mm) high minimum and shall be located 5 inches (125 mm) maximum from the front of the unit. The angle of the water stream shall be measured horizontally relative to the front face of the unit. Where spouts are located less than 3 inches (75 mm) of the front of the unit, the angle of the water stream shall be 30 degrees maximum. Where spouts are located between 3 inches (75 mm) and 5 inches (125 mm) maximum from the front of the unit, the angle of the water stream shall be 15 degrees maximum

Figure 602.5 Drinking Fountain Spout Location 602.7 Drinking Fountains for Standing Persons. Spout outlets of drinking fountains for standing persons shall be 38 inches (965 mm) minimum and 43 inches (1090 mm) maximum above the finish floor or ground.

603 Toilet and Bathing Rooms 603.1 General. Toilet and bathing rooms shall comply with 603. 603.2 Clearances. Clearances shall comply with 603.2.

603.2.1 Turning Space. Turning space complying with 304 shall be provided within the room.

CHAPTER 6: PLUMBING ELEMENTS & FACILITIES (CONT.)

603.2.2 Overlap. Required clear floor spaces, clearance at fixtures, and turning space shall be permitted to

603.2.3 Door Swing. Doors shall not swing into the clear floor space or clearance required for any fixture. s shall be permitted to swing into the required turning space XCEPTIONS Doors to a toilet room or bathing room for a single occupant accessed only through a private office and not for common use or public use shall be permitted to swing into the clear floor space or clearance provided the swing of the door can be reversed to comply with 603.2.3. 2. Where the toilet room or bathing room is for individual use and a clear floor space complying with 305.3 is provided within the room beyond the arc of the door swing, doors shall be permitted to swing into the clear floor space or clearance required for any fixture. 603.3 Mirrors. Mirrors located above lavatories or countertops shall be installed with the bottom edge of the

reflecting surface 40 inches (1015 mm) maximum above the finish floor or ground. Mirrors not located above lavatories or countertops shall be installed with the bottom edge of the reflecting surface 35 inches (890 mm) maximum above the finish floor or ground.

603.4 Coat Hooks and Shelves. Coat hooks shall be located within one of the reach ranges specified in 308. Shelves shall be located 40 inches (1015 mm) minimum and 48 inches (1220 mm) maximum above the finish 604 Water Closets and Toilet Compartments

604.1 General. Water closets and toilet compartments shall comply with 604.2 through 604.8. EXCEPTION: Water closets and toilet compartments for children's use shall be permitted to comply with 604.9.

604.2 Location. The water closet shall be positioned with a wall or partition to the rear and to one side. The centerline of the water closet shall be 16 inches (405 mm) minimum to 18 inches (455 mm) maximum from the side wall or partition, except that the water closet shall be 17 inches (430 mm) minimum and 19 inches (485 mm) maximum from the side wall or partition in the ambulatory accessible toilet compartment specified in 604.8.2. Water closets shall be arranged for a left-hand or right-hand approach.

604.3 Clearance. Clearances around water closets and in toilet compartments shall comply with 604.3. 604.3.1 Size. Clearance around a water closet shall be 60 inches (1525 mm) minimum measured perpendicular from the side wall and 56 inches (1420 mm) minimum measured perpendicular from the rear

604.3.2 Overlap. The required clearance around the water closet shall be permitted to overlap the water closet, associated grab bars, dispensers, sanitary napkin disposal units, coat hooks, shelves, ccessible routes, clear floor space and clearances required at other fixtures, and the turning space. No other fixtures or obstructions shall be located within the required water closet clearance.

604.4 Seats. The seat height of a water closet above the finish floor shall be 17 inches (430 mm) minimum and 19 inches (485 mm) maximum measured to the top of the seat. Seats shall not be sprung to return to a lifted position. EXCEPTIONS:

1. A water closet in a toilet room for a single occupant accessed only through a private office and not for common use or public use shall not be required to comply with 604.4. 604.5 Grab Bars. Grab bars for water closets shall comply with 609. Grab bars shall be provided on the side wall closest to the water closet and on the rear wall. EXCEPTIONS:

1. Grab bars shall not be required to be installed in a toilet room for a single occupant accessed only through a private office and not for common use or public use provided that reinforcement has been installed in walls and located so as to permit the installation of grab bars complying with 604.5. 3. In detention or correction facilities, grab bars shall not be required to be installed in housing or holding cells that are specially designed without protrusions for purposes of suicide prevention.

, min 42" min

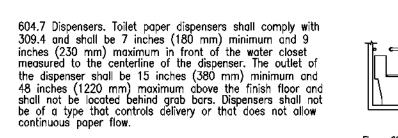
604.5.1 Side Wall. The side wall grab bar shall be 42 inches (1065 mm) long minimum, located 12 inches (305 mm) maximum from the rear wall and extending 54 inches (1370 mm) minimum from the rear wall.

604.5.2 Rear Wall. The rear wall grab bar shall be 36 inches (915 mm) long minimum and extend from the centerlinof the water closet 12 inches (305 mm) minimum on one side and 24 inches (610 mm) minimum on the other side. Èxceptions: . The rear grab bar shall be permitted

accessible compartments complying with 604.8.2.

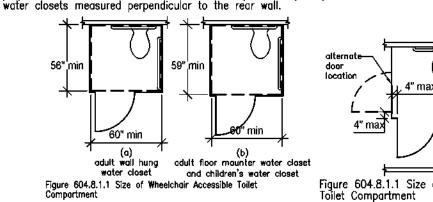
to be 24 inches (610 mm) long minimum, centered on the water closet, Figure 604.5.1 Side Wall Grab Bar at Water Closets where wall space does not permit a length of 36 inches (915 mm) minimum due to the location of a recessed fixture adjacent to the water closet. . Where an administrative authority requires flush controls for flush valves to be located in a position that

to the open side of the toilet area.



604.8 Toilet Compartments. Wheelchair accessible toilet compartments shall meet the requirements of 604.8.1 and 604.8.3. Compartments containing more than one plumbing fixture shall comply with 603. Ambulatory accessible compartments shall comply with 604.8.2 and 604.8.3. 604.8.1 Wheelchair Accessible Compartments. Wheelchair accessible compartments shall comply with 604.8.1.

604.8.1.1 Size. Wheelchair accessible compartments shall be 60 inches (1525 mm) wide minimum measured perpendicular to the side wall, and 56 inches (1420 mm) deep minimum for wall hung water closets and 59 inches (1500 mm) deep minimum for floor mounted water closets measured perpendicular to the rear wall. Wheelchair accessible compartments for children's use shall be 60 inches (1525 mm) wide minimum measured perpendicular to the side wall, and 59 inches (1500 mm) deep minimum for wall hung and floor mounted



604.8.1.2 Doors. Toilet compartment doors, including door hardware, shall comply with 404 except that if the approach is to the latch side of the compartment door, clearance between the door side of the compartment and any obstruction shall be 42 inches (1065 mm) minimum. Doors shall be located in the front partition or in the side wall or partition farthest from the water closet. Where located in the front partition, the door opening shall be 4 inches (100 mm) maximum from the side wall or partition farthest from the water closet Where located in the side wall or partition, the door opening shall be 4 inches (100 mm) maximum from the front partition. The door shall be self-closing. A door pull complying with 404.2.7 shall be placed on both sides of the door near the latch. Toilet compartment doors shall not swing into the minimum required - compartment - area

604.8.1.4 Toe Clearance. The front partition and at least one side partition shall provide a toe clearance of 9 inches (230 mm) minimum above the finish floor and 6 inches (150 mm) deep minimum beyond the compartment-side face of the partition, exclusive of partition support members. Compartments for children's use shall provide a toe clearance of 12 inches (305 mm) minimum above the finish floor. EXCEPTION: Toe clearance at the front partition is not required in a compartment greater than 62 inches (1575 clearance at the side partition is not required in a compartment greater than 66 inches (1675 mm) wide. Toe clearance at the front partition is not required in a compartment for children's use that is greater than 65 inches (1650 mm) deep.

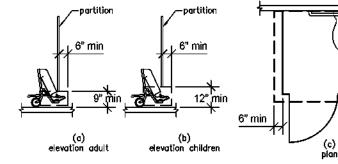
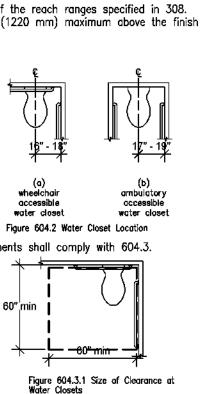


Figure 604.8.1.4 Wheelchair Accessible Toilet Compartment Toe Clearance 604.8.1.5 Grab Bars, Grab bars shall comply with 609. A side-wall grab bar complying with 604.5.1 shall be provided and shall be located on the wall closest to the water closet. In addition, a rear-wall grab bar complying with 604.5.2 shall be provided.

604.8.2 Ambulatory Accessible Compartments. Ambulatory accessible compartments shall comply with 604.8.2.

604.8.2.1 Size. Ambulatory accessible compartments shall have a depth of 60 inches (1525 mm) minimum and a width of 35 inches (890 mm) minimum and 37 inches (940 mm) maximum. 604.8.2.2 Doors. Toilet compartment doors, including door hardware, shall comply with 404, except that if the approach is to the latch side of the compartment door, clearance between the door side of the compartment and any obstruction shall be 42 inches (1065 mm) minimum. The door shall be self-closing. A door pull complying with 404.2.7 shall be placed on both sides of the door near the latch. Toilet compartment doors shall not swing into the minimum required compartment area.



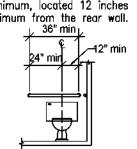


Figure 604.5.2 Rear Wall Grab Bar at Water Closets

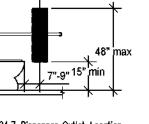


Figure 604.7 Dispenser Outlet Location

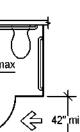


Figure 604.8.1.1 Size of Wheelchair Accessible

604.8.1.3 Approach. Compartments shall be arranged for left-hand or right-hand approach to the water closet.

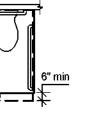


Figure 703

height of the character

604.8.2.3 Grab Bars. Grab bars shall comply with 609. A side-wall grab bar complying with 604.5.1 shall be provided on both sides of the compartment. 604.8.3 Coat Hooks and Shelves. Coat hooks shall be located within one ______ of the reach ranges specified in 308. Shelves shall be located 40 inches (1015 mm) minimum and 48 inches (1220 mm) maximum above the finish floor. 604.9 Water Closets and Toilet Compartments for Children's Use. Water closets and toilet compartments for children's use shall comply with 604.9 604.9.1 Location. The water closet shall be located with a wall or partition to the rear and to one side. The centerline of the water closet shall be 12 inches (305 mm) minimum and 18 inches (455 mm) maximum

from the side wall or partition, except that the water closet shall be 17 inches (430 mm) minimum and 19 inches (485 mm) maximum from the side wall or partition in the ambulatory accessible toilet compartment specified in 604.8.2. Compartments shall be arranged for left—hand or right—hand approach to the water 604.9.2 Clearance. Clearance around a water closet shall comply with 604.3.

604.9.3 Height. The height of water closets shall be 11 inches (280 mm) minimum and 17 inches (430 mm) maximum measured to the top of the seat. Seats shall not be sprung to return to a lifted position. 604.9.4 Grab Bars. Grab bars for water closets shall comply with 604.5.

604.9.5 Flush Controls. Flush controls shall be hand operated or automatic. Hand operated flush controls shall comply with 309.2 and 309.4 and shall be installed 36 inches (915 mm) maximum above the finish floor. Flush controls shall be located on the open side of the water closet except in ambulatory accessible compartments complying with 604.8.2.

604.9.6 Dispensers. Toilet paper dispensers shall comply with 309.4 and shall be 7 inches (180 mm) minimum and 9 inches (230 mm) maximum in front of the water closet measured to the centerline of the dispenser. The outlet of the dispenser shall be 14 inches (355 mm) minimum and 19 inches (485 mm) maximum above the finish floor. There shall be a clearance of 1, 1/2 inches (38 mm) minimum below the grab bar. Dispensers shall not be of a type that controls delivery or that does not allow continuous paper flow. 604.9.7 Toilet Compartments. Toilet compartments shall comply with 604.8.

13 1/2" min 13 1/2" min 605.1 General. Urinals shall comply with 605. 605.2 Height and Depth. Urinals shall be the stall—type or the wall—hung type with the rim 17 inches (430 mm) maximum above the finish floor or ground. Urinals shall be 13 1/2 inches (345 mm) deep minimum measured from the outer face of the urinal rim to the back || ╚═╉╶╁ of the fixture

wall hung type Figure 605.2 Height and Depth of Urinals 605.3 Clear Floor Space. A clear floor or ground space complying with 305 positioned for forward approach shall be provided. 605.4 Flush Controls. Flush controls shall be hand operated or automatic. Hand operated flush controls shall comply with 309.

5 Lavatories and Sinks 606.1 General. Lavatories and sinks shall comply with 606. 609 Grab Bars 609.1 General. Grab bars in toilet facilities and bathing facilities shall comply with 609.

conflicts with the location of the rear grab bar, then the rear grab bar shall be permitted to be split or shifted 609.2 Cross Section. Grab bars shall have a cross section complying with 609.2.1 or 609.2.2 609.2.1 Circular Cross Section. Grab bars with circular cross sections shall have an outside diameter of 1 1/4 inches (32 mm) minimum and 2

inches (51 mm) maximum. 609.2.2 Non-Circular Cross Section. Grab bars with non-circular cross sections shall have a cross-section dimension of 2 inches (51 mm) maximum and a perimeter dimension of 4 inches (100 mm) minimum and 4.8 inches (120 mm) 609.3 Spacing. The space between the wall and the

grab bar shall be 1 1/2 inches (38 mm). The space between the grab bar and projecting objects below and at the ends shall be 1.1/2 inches (38 mm) minimum The space between the grab bar and projecting objects. above shall be 12 inches (305 mm) minimum.

EXCEPTION: The space between the grab bars and shower controls, shower fittings, and other grab bars above shall be permitted to be $1 \frac{1}{2}$ inches (38 mm) minimum. 609.4 Position of Grab Bars. Grab bars shall be installed in a horizontal position, 33 inches (840 mm) minimum and 36 inches (915 mm) maximum above the finish floor measured to the top of the grippin surface, except that at water closets for children's use complying with 604.9, grab bars shall be installed in a

horizontal position 18 inches (455 mm) minimum and 27 inches (685 mm) maximum above the finish floor measured to the top of the gripping surface. The height of the lower grab bar on the back wall of a bathtub shall comply with 607.4.1.1 or 607.4.2.1. 609.5 Surface Hazards. Grab bars and any wall or other surfaces adjacent to grab bars shall be free of sharp or abrasive elements and shall have rounded edges. 609.6 Fittings. Grab bars shall not rotate within their fittings.

7 Installation. Grab bars shall be installed in any manner that provides a gripping surface at the specified locations and that does not obstruct the required clear floor space. 609.8 Structural Strength. Allowable stresses shall not be exceeded for materials used when a vertical or horizontal force of 250 pounds (1112 N) is applied at any point on the grab bar, fastener, mounting device, or supporting structure.

CHAPTER 7: COMMUNICATION ELEMENTS AND FEATURES

701.1 Scope. The provisions of Chapter 7 shall apply where required by Chapter 2 or where referenced by a requirement in this document. Fire Alarm Systems

.1 General. Fire alarm systems shall have permanently installed audible and visible alarms complying with NFPA 72 (1999 or 2002 edition) (incorporated by reference, see "Referenced Standards" in Chapter 1), except that the maximum allowable sound level of audible notification appliances complying with section 4-3.2.1 of NFPA 72 (1999 edition) shall have a sound level no more than 110 dB at the minimum hearing distance from the audible appliance. In addition, alarms in guest rooms required to provide communication features shall comply with sections 4-3 and 4-4 of NFPA 72 (1999 edition) or sections 7.4 and 7.5 of NFPA 72 (2002 EXCEPTION: Fire alarm systems in medical care facilities shall be permitted to be provided in accordance with

industry practice. 703 Signs 703.1 General. Signs shall comply with 703. Where both visual and tactile characters are required, either one sign with both visual and tactile characters, or two separate signs, one with visual, and one with tactile characters, shall be provided

703.2 Raised Characters. Raised characters shall comply with 703.2 and shall be duplicated in braille complying with 703.3. Raised characters shall be installed in accordance with 703.4. mm) deep with a wall-hung water closet or 65 inches (1650 mm) deep with a floor-mounted water closet. Toe 703.2.1 Depth. Raised characters shall be 1/32 inch (0.8 mm) minimum above their background.

> 703.2.2 Case. Characters shall be uppercase. 703.2.3 Style. Characters shall be sans serif. Characters shall not be italic, oblique, script, highly decorative, or of other unusual forms.

703.2.4 Character Proportions. Characters shall be selected from fonts where the width of the uppercase letter "0" is 55 percent minimum and 110 percent maximum of the height of the uppercase letter "1". 703.2,5 Character Height. Character height measured vertically from the baseline of the character shall be 5/8 inch (16 mm) minimum and 2 inches (51 mm) maximum based on the height of the uppercase letter "I". EXCEPTION: Where separate raised and visual characters with the same information are provided, raised character height shall be permitted to be 1/2 inch (13 mm) minimum.

	distance between	
	corresponding dots in adj acen t	
LUPKAR1	cells 🖌 🖌	/
	distance between ↓ ○ ● dots in the same ↓ ○ ● cell	● ○ ● ○ ○ ○ ○ ○ ○ ○ ○ ○ ○ ○ ○ ○ ○ ○ ○ ○
5/8"-2" min	↓ ● O	00 00 blank space between words
┑╹<i>У</i> <u></u>	distance between corresponding dots from one cell directly	OO • • • raised dot
.2.5 Height of Raised Characters	below 🔴 🗎	00 • • base diameter
	↓ 0	00 00 no raised dot
	Figure 703.3.1 Braille Meas	urement

703.2.7 Character Spacing. Character spacing shall be measured between the two closest points of adjacent raised characters within a message, excluding word spaces. Where characters have rectangular cross sections, spacing between individual raised characters shall be 1/8 inch (3.2 mm) minimum and 4 times the raised character stroke width maximum. Where characters have other cross sections, spacing between individual raised characters shall be 1/16 inch (1.6 mm) minimum and 4 times the raised character stroke width maximum at the base of the cross sections, and 1/8 inch (3.2 mm) minimum and 4 times the raised character stroke width maximum at the top of the cross sections. Characters shall be separated from raised borders and decorative elements 3/8 inch (9.5 mm) minimum.

703.2.6 Stroke Thickness. Stroke thickness of the uppercase letter "1" shall be 15 percent maximum of the

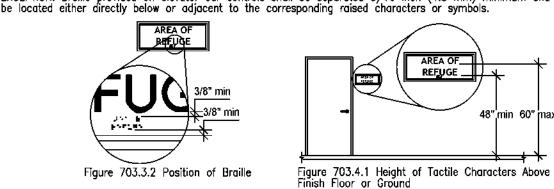
703.2.8 Line Spacing. Spacing between the baselines of separate lines of raised characters within a message shall be 135 percent minimum and 170 percent maximum of the raised character height. 705.1.3 Contrast. Detectable warning surfaces shall contrast visually with adjacent walking surfaces either light—on—dark, or dark—on—light. 703.3 Braille. Braille shall be contracted (Grade 2) and shall comply with 703.3 and 703.4.

703.3.1 Dimensions and Capitalization. Braille dots shall have a domed or rounded shape and shall comply with Table 703.3.1. The indication of an uppercase letter or letters shall only be used before the first word of sentences, proper nouns and names, individual letters of the alphabet, initials, and acronyms.

CHAPTER 7: COMMUNICATION ELEMENTS AND FEATURES (CONT.)

Table	703.3.1 Braille Dimensions
Measurement Range	Minimum in Inches to Maximum in Inches
Dot base diameter	0.059 (1.5 mm) to 0.063 (1.6 mm)
Distance between two dots in the same cell Distance between corresponding dots in adjacent cells	0.090 (2.3 mm) to 0.100 (2.5 mm) measured center to center 0.241 (6.1 mm) to 0.300 (7.6 mm)measured center to center
Dot height	0.025 (0.6 mm) to 0.037 (0.9 mm)
Distance between corresponding dotsfrom one cell directly below	0.395 (10 mm) to 0.400 (10.2 mm)measured center to center

703.3.2 Position. Braille shall be positioned below the corresponding text. If text is multi-lined, braille shall be placed below the entire text. Braille shall be separated 3/8 inch (9.5 mm) minimum from any other tactile characters and 3/8 inch (9.5 mm) minimum from raised borders and decorative elements. EXCEPTION: Braille provided on elevator car controls shall be separated 3/16 inch (4.8 mm) minimum and shall



703.4 Installation Height and Location. Signs with tactile characters shall comply with 703.4. 703.4.1 Height Above Finish Floor or Ground. Tactile characters on signs shall be located 48 inches (1220 mm minimum above the finish floor or ground surface, measured from the baseline of the lowest tactile character and 60 inches (1525 mm) maximum above the finish floor or ground surface, measured from the baseline o the highest tactile character. EXCEPTION: Tactile characters for elevator car controls shall not be required to comply with 703.4.1

703.4.2 Location. Where a tactile sign is provided at a door, the sign shall be located alongside the door at the latch side. Where a tactile sign is provided at double doors with one active leaf, the sign shall be located on the inactive leaf. Where a tactile sign is provided at double doors with two active leafs, the sign shall be located to the right of the right hand door. Where there is no wall space at the latch side of a single door or at the right side of double doors, signs shall be located on the negrest adjacent wall. Signs containing tactile characters shall be located so that a clear floor space of 18 inches 455 mm) minimum by 18 inches (455 mm) minimum, centered on the tactile characters, is provided beyond the arc of any door swing between the closed position and 45 degree open position. (CEPTION: Signs with tactile characters shall be permitted on the push side of doors with closers and without

hold-open devices 703.5 Visual Characters. Visual characters shall comply with 703.5. EXCEPTION: Where visual characters comply with 703.2 and are accompanied by braille complying with 703.3, they shall not be required to comply with 703.5.2 through 703.5.9. 703.5.1 Finish and Contrast. Characters and their background shall have a non-glare finish. Characters shall contrast with their background with either light characters on a dark background or dark characters on a light

background. 703.5.2 Case. Characters shall be uppercase or lowercase or a combination of both 703.5.3 Style. Characters shall be conventional in form. Characters shall not be italic, oblique, script, highly decorative, or of other unusual forms. 703.5.4 Character Proportions. Characters shall be selected from fonts where the width of the uppercase letter "0" is 55 percent minimum and 110 percent maximum of the height of the uppercase letter $\dot{}$ 703.5.5 Character Height. Minimum character height shall comply with Table 703.5.5. Viewing distance shall be

measured as the horizontal distance between the character and an obstruction preventing further approach towards the sign. Character height shall be based on the uppercase letter "| Table 703.5.5 Visual Character Height

Height to Finish Floor or Ground From Baseline of Character	Horizontal Viewing Distance	Minimum
40 inches (1015 mm) to less	less than 72 inches (1830 mm)	5/8
than or equal to 70 inches (1780 mm)	72 inches (1830 mm) and greater	5/8 inch (1) mm) per f distance ab
Greater than 70 inches (1780 mm) to less than or equal to 120 inches (3050 mm)	less than 180 inches (4570 mm)	2
	180 inches (4570 mm) and greater	2 inches (5 mm) per t distance abo
Greater than 120 inches (3050 mm)	less than 20 feet (6400 mm)	3
	21 feet (6400 mm) and greater	3 inches (7 mm) per f dista

703.5.6 Height From Finish Floor or Ground. Visual characters shall be 40 inches (1015 mm) minimum above finish floor or ground. EXCEPTION: Visual characters indicating elevator car controls shall not be required to comply with 703.5.6. 703.5.7 Stroke Thickness. Stroke thickness of the uppercase letter "1" shall be 10 percent minimum and 30 percent maximum of the height of the character.

703.5.8 Character Spacing. Character spacing shall be measured between the two closest points of adjacent characters, excluding word spaces. Spacing between individual characters shall be 10 percent minimum and 35 percent maximum of character height. 703.5.9 Line Spacing. Spacing between the baselines of separate lines of characters within a message shall be 135 percent minimum and 170 percent maximum of the character height.

703.6 Pictograms. Pictograms shall comply with 703.6. 703.6.1 Pictogram Field. Pictograms shall have a field height of 6 inches (150 mm) minimum. Characters and braille shall not be located in the pictogram field. 703.6.2 Finish and Contrast. Pictograms and their field shall have a

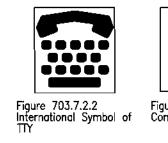
non-glare finish. Pictograms shall contrast with their field with either a light pictogram on a dark field or a dark pictogram on a light field. 703.6.3 Text Descriptors. Pictograms shall have text descriptors located directly below the pictogram field. Text descriptors shall comply with 703.2, 703.3 and 703.4.

703.7 Symbols of Accessibility. Symbols of accessibility shall comply with 703.7 703.7.1 Finish and Contrast. Symbols of accessibility and their background shall have a non-glare finish. Symbols of accessibility shall contrast with their background with either a light symbol on a dark background or a dark symbol on a light background.

703.7.2 Symbols.

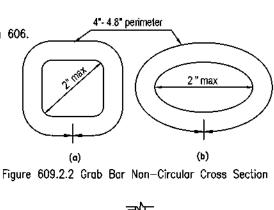
1 International Symbol of Accessibility. The International Symbol of Accessibility shall comply with Figure 703.7.2.2 International Symbol of TTY. The International Symbol of TTY shall comply with Figure 703.7.2.2. 703.7.2.3 Volume Control Telephones. Telephones with a volume control shall be identified by a pictogram of a telephone handset with radiating sound waves on a square field such as shown in Figure 703.7.2.3. 703.7.2.4 Assistive Listening Systems. Assistive listening systems shall be identified by the International Symbol of Access for Hearing Loss complying with Figure 703.7.2.4.

Figure 703.7.2.1 nternational Symbol of Accessibility





705 Detectable Warnings 705.1 General. Detectable warnings shall consist of a surface of truncated domes and shall comply with 705. 705.1.1 Dome Size. Truncated domes in a detectable warning surface shall have a base diameter of 0.9 inch (23 mm) minimum and 1.4 inches (36 mm) maximum, a top diameter of 50 percent of the base diameter minimum to 65 percent of the base diameter maximum, and a height of 0.2 inch (5.1 mm). 705.1.2 Dome Spacing. Truncated domes in a detectable warning surface shall have a center—to—center spacing of 1.6 inches (41 mm) minimum and 2.4 inches (61 mm) maximum, and a base-to-base spacing of 0.65 inch (17 mm) minimum, measured between the most adjacent domes on a square grid.



F — —

35" - 37"

ʿ 🗀 42"'min

Figure 604.8.2 Ambulatory Accessible Toilet Compartment

12" min 1 1/2" min projecting objects recessed objects Figure 609.3 Spacing of Grab Bars

CHAPTER 9: BUILT-IN ELEMENTS

901.1 Scope. The provisions of Chapter 9 shall apply where required by Chapter 2 or where referenced by a requirement in this document 902 Dining Surfaces and Work Surfaces 902.1 General. Dining surfaces and work surfaces shall comply with 902.2 and 902.3.

EXCEPTION: Dining surfaces and work surfaces for children's use shall be permitted to comply with 902.4. 902.2 Clear Floor or Ground Space. A clear floor space complying with 305 positioned for a forward approach shall be provided. Knee and toe clearance complying with 306 shall be provided.

902.3 Height. The tops of dining surfaces and work surfaces shall be 28 inches (710 mm) minimum and 34 inches (865 mm) maximum above the finish floor or ground. 902.4 Dining Surfaces and Work Surfaces for Children's Use. Accessible dining surfaces and work surfaces for children's use shall comply with 902.4. EXCEPTION: Dining surfaces and work surfaces that are used primarily by children 5 years and younger shall not be required to comply with 902.4 where a clear floor or ground space complying with 305 positioned for a parallel approach is provided.

902.4.1 Clear Floor or Ground Space. A clear floor space complying with 305 positioned for forward approach shall be provided. Knee and toe clearance complying with 306 shall be provided, except that knee clearance 24 inches (610 mm) minimum above the finish floor or ground shall be permitted.

902.4.2 Height. The tops of tables and counters shall be 26 inches (660 mm) minimum and 30 inches (760 mm) maximum above the finish floor or ground.

903.1 General. Benches shall comply with 903.

903.2 Clear Floor or Ground Space. Clear floor or ground space complying with 305 shall be provided and shall be positioned at the end of the bench seat and parallel to the short axis of the bench. 903.3 Size. Benches shall have seats that are 42 inches (1065 mm) long minimum and 20 inches (510 mm) deep minimum and 24 inches (610 mm) deep maximum.

903.4 Back Support. The bench shall provide for back support or shall be affixed to a wall. Back support shall be 42 inches (1065 mm) long minimum and shall extend from a point 2 inches (51 mm) maximum above the seat surface to a point 18 inches (455 mm) minimum above the seat surface. Back support shall be 2 1/2 inches (64 mm) maximum from the rear edge of the seat measured horizontally.	2" max 18" min (a) (b) (b)
	Figure 903.4 Bench Back Support

903,5 Height. The top of the bench seat surface shall be 17 inches (430 mm) minimum and 19 inches (485 mm) maximum above the finish floor or ground.

903.6 Structural Strength. Allowable stresses shall not be exceeded for materials used when a vertical or horizontal force of 250 pounds (1112 N) is applied at any point on the seat, fastener, mounting device, or supporting structure.

903.7 Wet Locations. Where installed in wet locations, the surface of the seat shall be slip resistant and shall not accumulate wate

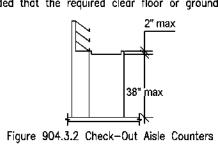
 Check-Out Aisles and Sales and Service Counters 904.1 General. Check-out aisles and sales and service counters shall comply with the applicable requirements of

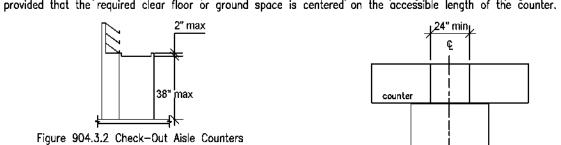
904.2 Approach. All portions of counters required to comply with 904 shall be located adjacent to a walking surface complying with 403. 904.3 Check-Out Aisles. Check-out aisles shall comply with 904.3.

904.3.1 Aisle. Aisles shall comply with 403

904.3.2 Counter. The counter surface height shall be 38 inches (965 mm) maximum above the finish floor or ground. The top of the counter edge protection shall be 2 inches (51 mm) maximum above the top of the counter surface on the aisle side of the check—out counter. 904.3.3 Check Writing Surfaces. Where provided, check writing surfaces shall comply with 902.3.

904.4 Sales and Service Counters. Sales counters and service counters shall comply with 904.4.1 or 904.4.2. The accessible portion of the counter top shall extend the same depth as the sales or service counter top. EXCEPTION: In alterations, when the provision of a counter complying with 904.4 would result in a reduction of the number of existing counters at work stations or a reduction of the number of existing mail boxes, the counter shall be permitted to have a portion which is 24 inches (610 mm) long minimum complying with 904.4.



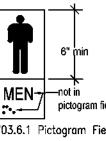


51 mm), plus 1/8 inch (3.2 904.4.1 Parallel Approach. A portion of the counter surface that Figure 904.4 (Exception) Alteration of is 36 inches (915 mm) long minimum and 36 inches (915 mm) Sales and Service Counters high maximum above the finish floor shall be provided. A clear floor or ground space complying with 305 shall be positioned for a parallel approach adjacent to the 36 inch (915 mm) minimum length of counter. EXCEPTION: Where the provided counter surface is less than 36 inches (915 mm) long, the entire counter surface 75 mm), plus 1/8 inch (3.2 shall be 36 inches (915 mm) high maximum above the finish floor. foot (305 mm) of viewing

> 904.4.2 Forward Approach. A portion of the counter surface that is 30 inches (760 mm) long minimum and 36 inches (915 mm) high maximum shall be provided. Knee and toe space complying with 306 shall be provided under the counter. A clear floor or ground space complying with 305 shall be positioned for a forward approach

> 904.5 Food Service Lines. Counters in food service lines shall comply with 904.5. 904.5.1 Self-Service Shelves and Dispensing Devices. Self-service shelves and dispensing devices for tableware, dishware, condiments, food and beverages shall comply with 308. 904.5.2 Tray Slides. The tops of tray slides shall be 28 inches (710 mm) minimum and 34 inches (865 mm) maximum above the finish floor or ground.

904.6 Security Glazing. Where counters or teller windows have security glazing to separate personnel from the public, a method to facilitate voice communication shall be provided. Telephone handset devices, if provided, shall comply with 704.3.

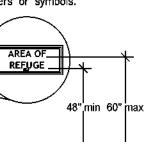


| :---/ pictogram field Figure 703.6.1 Pictogram Field



International Symbol o Access for Hearing Loss

sured center to center sured center to center



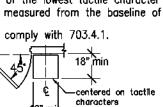


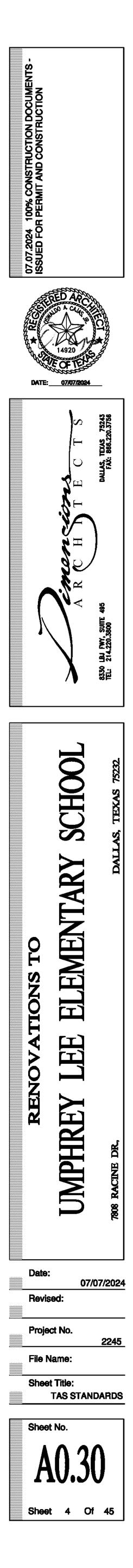
Figure 703.4.2 Location of Tactile

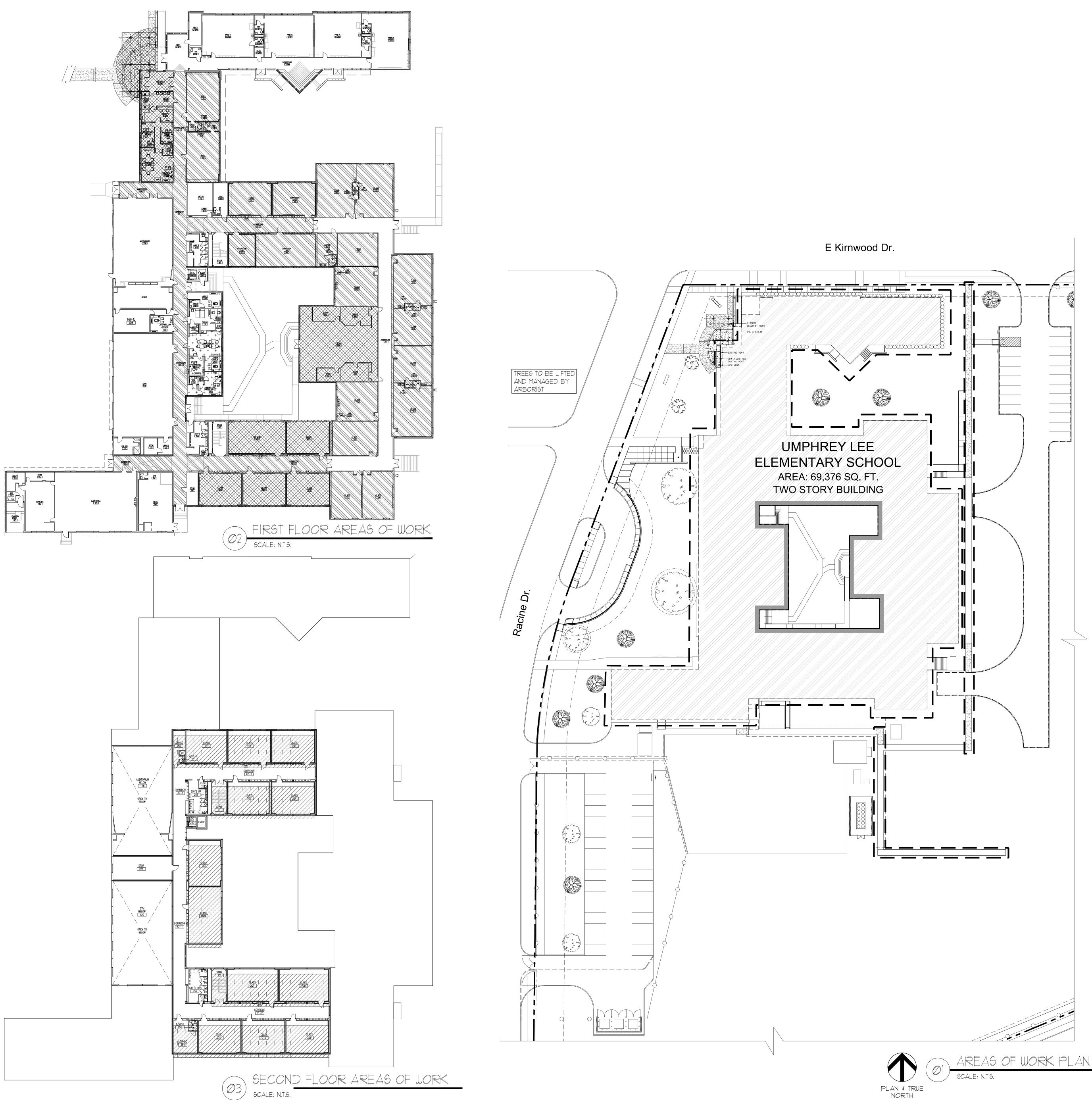
n Character Height /8 inch (16 mm) [16 mm), plus 1/8 inch (3. foot (305 mm) of viewing bove 72 inches (1830 mm)|

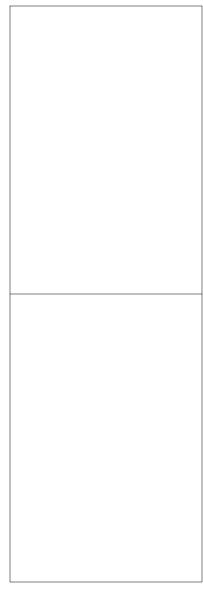
inch (75 mm)

inch (51 mm)

ance above 21 feet (6400 mm)



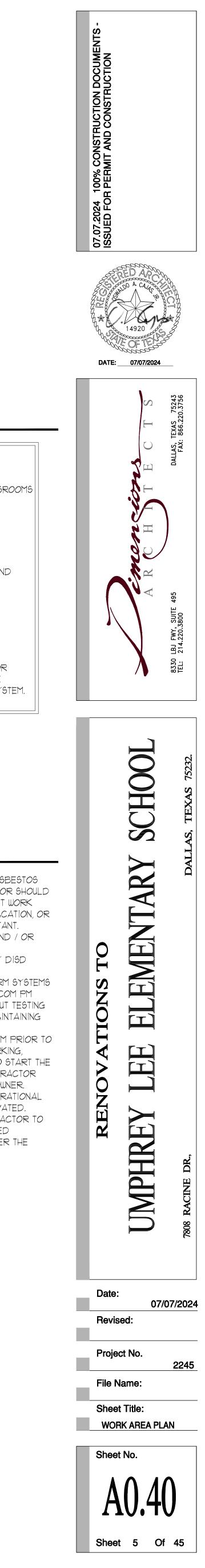


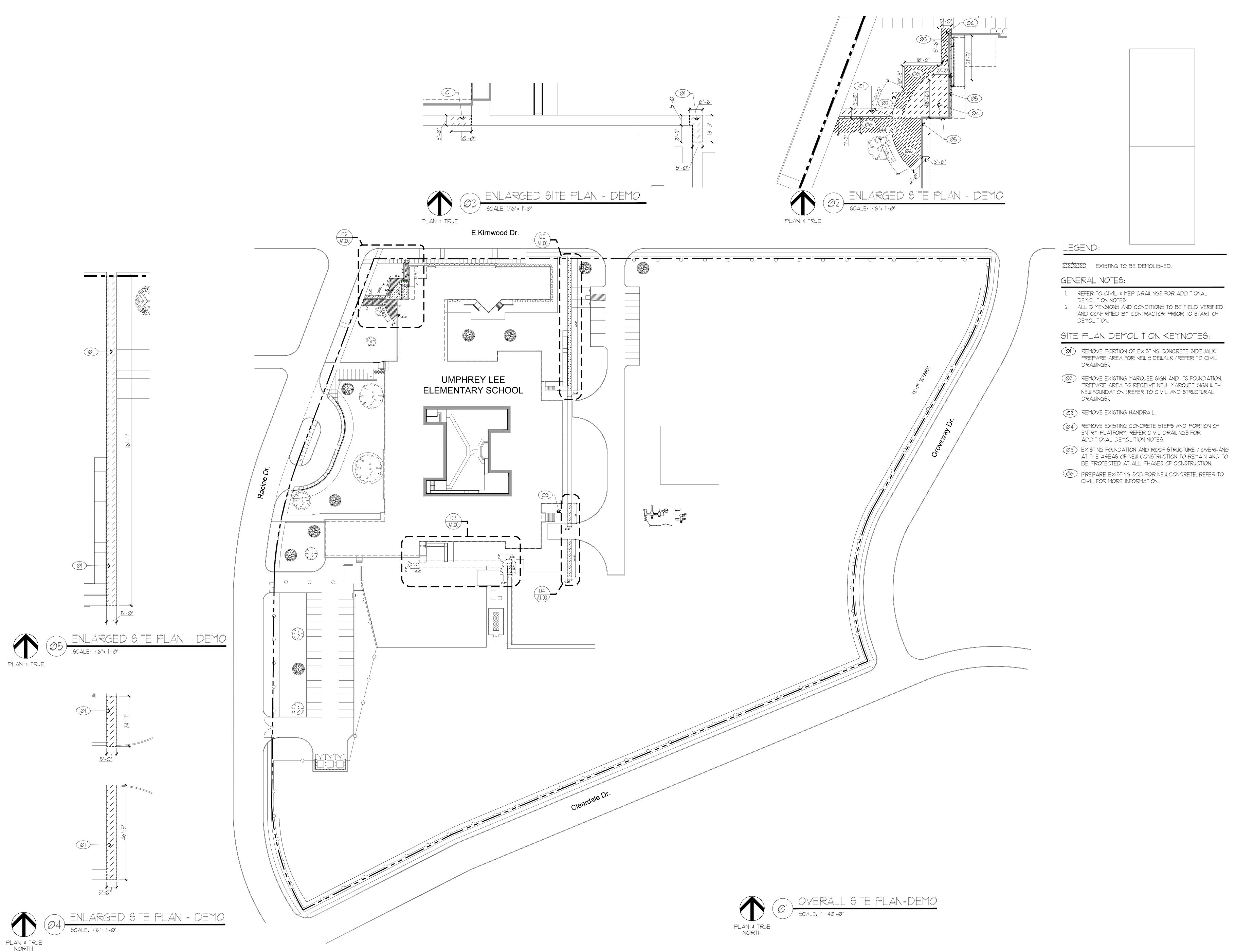


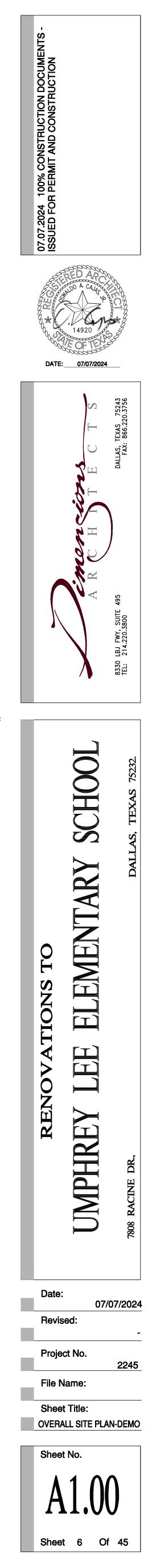
LEGEND/ WORK SCHEDULE: AREA 1: POSSIBLE CONCURRENT WITH REMODEL AND CONVERSION OF THE EXISTING CLASSROOMS INTO NEW ADMIN AREA, NEW ENTRY VESTIBULE AND CANOPY. REMODEL OF FIVE CLASSROOMS AND MEDIA CENTER. | | | | | AREA II: POSSIBLE CONCURRENT WITH PHASE IV NEW CEILING, FLOORING, LIGHTING, ADD TEACHING SURFACES, PAINT SURFACES SECOND FLOOR. AREA III: REMODEL OF EXISTING ADMIN. AREA, RESTROOM AND TEACHERS WORKROOM AREA IV: NEW CEILING, FLOORING, LIGHTING, ADD TEACHING SURFACES, PAINT SURFACES FIRST FLOOR. AREA V: CLEANING OF EXTERIOR FACADE, REPAIR EXTERIOR WALLS, PAINT EXTERIOR SURFACES, NEW CONCRETE POSSIBLE CONCURRENT WITH PHASE I SIDEWALKS, HVAC SCOPE AND NEW FIRE ALARM SYSTEM. NO†E: THE SHOWN WORK PLAN IS DESIGN TEAM RECOMMENDATION, GENERAL CONTRACTOR TO EVALUATE THIS AND REVISE AS NECESSARY.

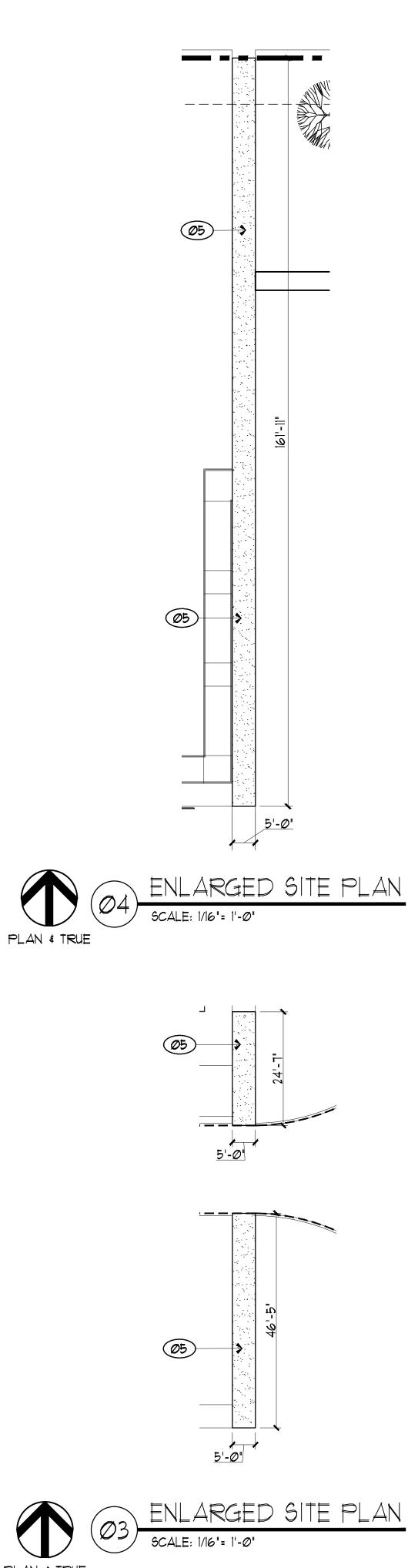
WORK PLAN NOTES:

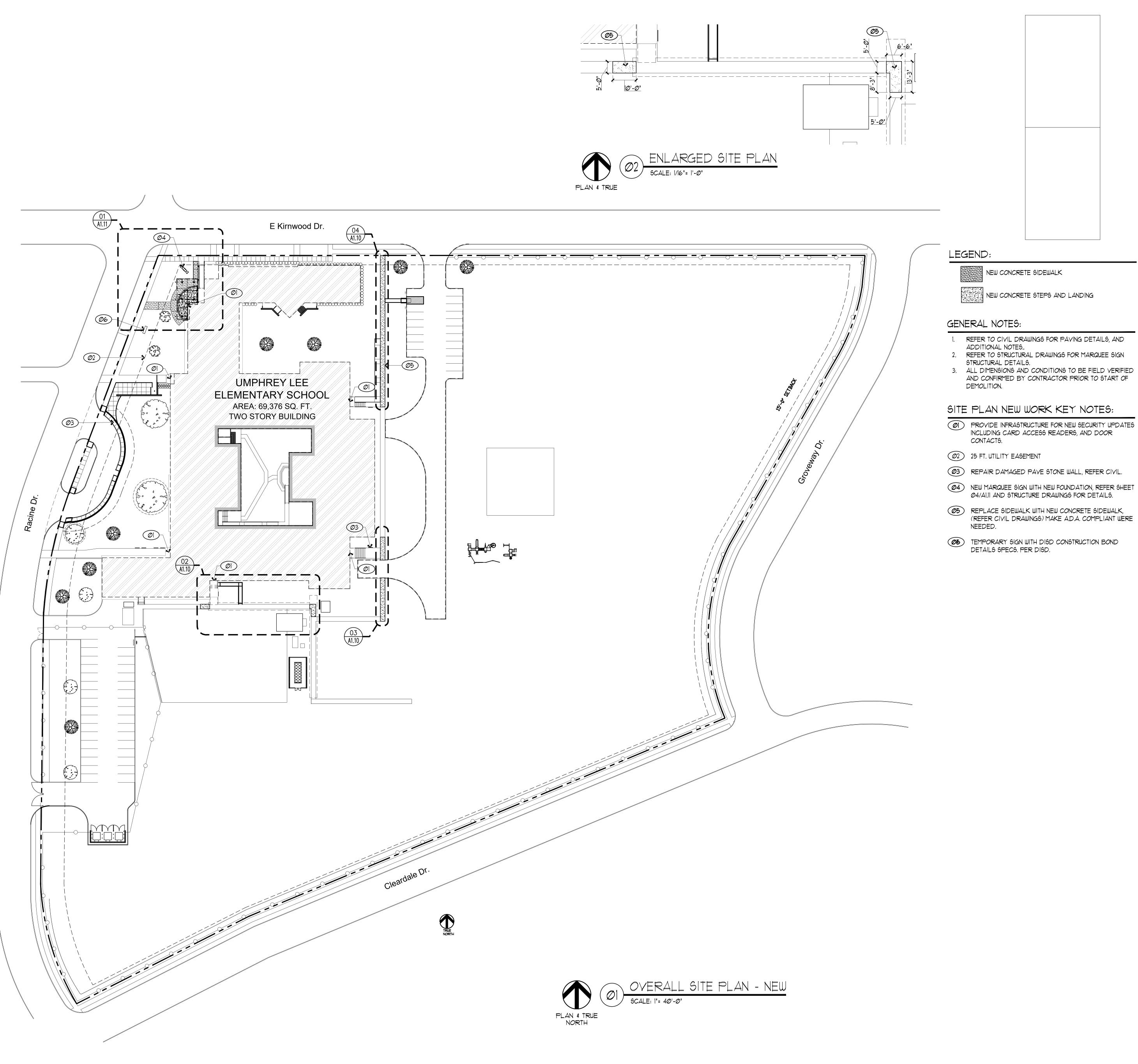
- ASBESTOS ABATEMENT (IF ANY) IS BY GENERAL CONTRACTOR, REFER TO ASBESTOS SURVEY REPORT IN DIVISION @ OF THE SPECIFICATIONS MANUAL. CONTRACTOR SHOULD CONSIDER & INCORPORATE TIMING FOR THIS IN THEIR SCHEDULE. ABATEMENT WORK MUST HAPPEN OVER THANKSGIVING, CHRISTMAS, SPRING BREAK, SUMMER VACATION, OR AFTER HOURS AT THE DISCRETION OF THE OWNER AND ABATEMENT CONSULTANT. THE CONTRACTOR TO PERFORM ALL WORK IN EVENING HOURS, WEEKENDS AND / OR
- HOLIDAYS. NO INDOOR WORK ALLOWED DURING SCHOOL HOURS. THE OUTDOOR WORK COULD BE ALLOWED DURING SCHOOL HOURS IF OK BY DISD SAFETY AND SCHOOL MANAGEMENT.
- CONTRACTOR MUST TEST EXISTING SECURITY, PUBLIC ADDRESS & FIRE ALARM SYSTEMS PRIOR TO START OF ANY WORK. IF ANY DEFICIENCY FOUND, BRING IT TO AECOM PM ATTENTION IN WRITING. IF CONTRACTOR CHOOSE TO START THE WORK WITHOUT TESTING THESE EXISTING SYSTEMS, THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTAINING THESE SYSTEMS AT NO COST TO THE OWNER.
- CONTRACTOR MUST TAKE SCREEN SHOT OF EXISTING HVAC CONTROL SYSTEM PRIOR TO START OF ANY WORK. IF ANY EQUIPMENT / CONTROL FOUND TO BE NOT WORKING, NOTIFY AECOM PROJECT MANAGER IN WRITING. IF CONTRACTOR CHOOSE TO START THE WORK WITHOUT CHECKING THE EXISTING HVAC CONTROL SYSTEMS, THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTAINING THE SYSTEM AT NO COST TO THE OWNER.
- THE EXISTING SYSTEMS (PA, FA, SECURITY, HVAC, CONTROL) MUST STAY OPERATIONAL 6. THROUGHOUT THE CONSTRUCTION PHASE UNTIL THE NEW SYSTEMS ARE ACTIVATED. AFTER SWITCHING OVER TO THE NEW SYSTEM (PA, FA, SECURITY), THE CONTRACTOR TO
- REMOVE THE OLD SYSTEM DEVICES IN ITS ENTIRETY INCLUDING ALL RELATED COMPONENTS. CONTRACTOR TO PATCH / PAINT ALL DAMAGED AREAS AFTER THE REMOVAL OF THE EXISTING DEVICES INCLUDING CONDUITS.



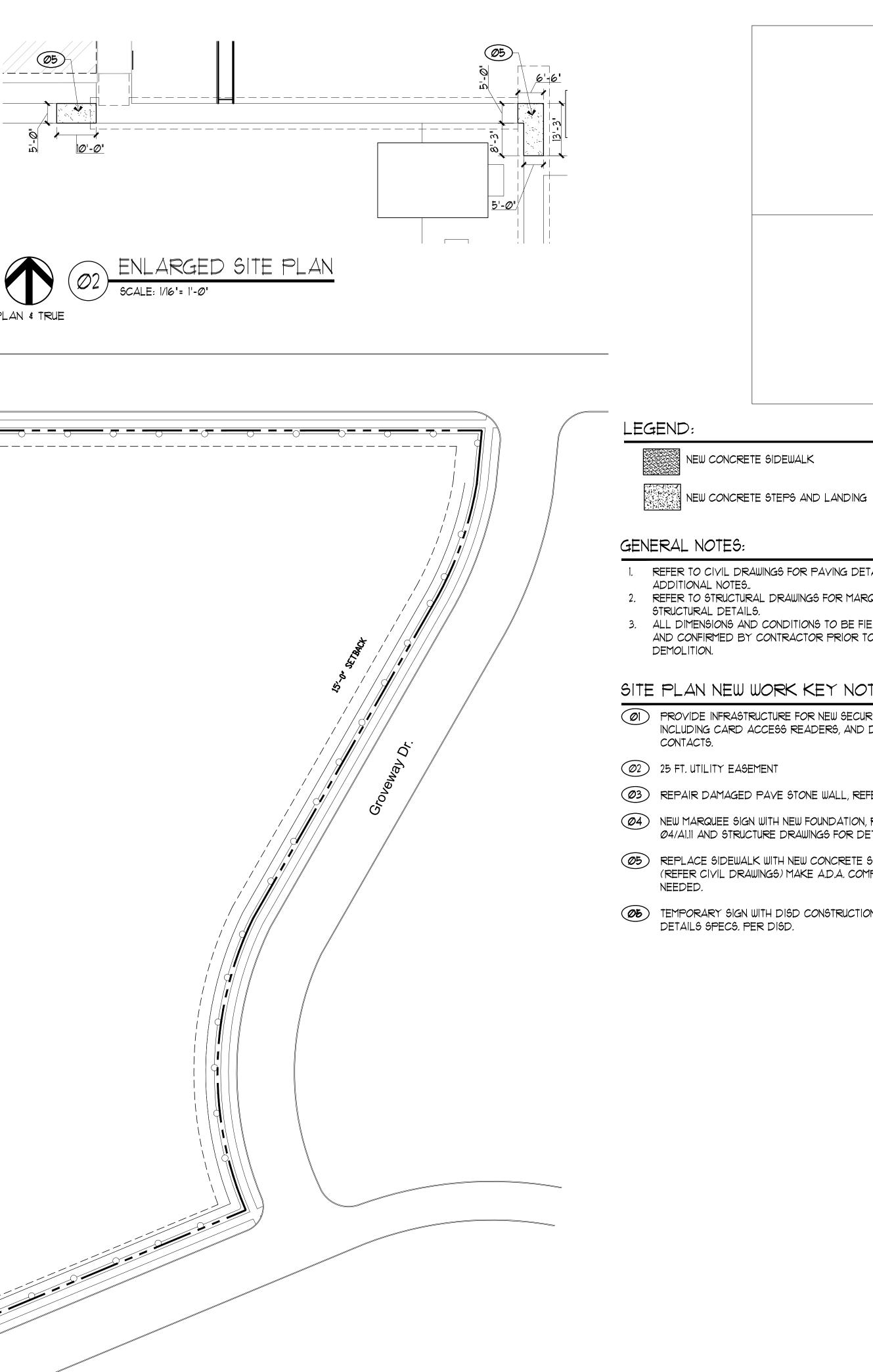


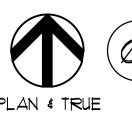


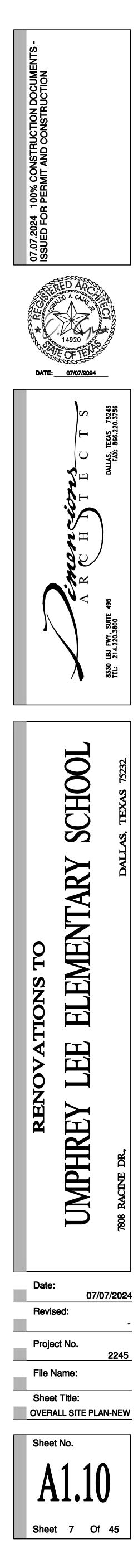


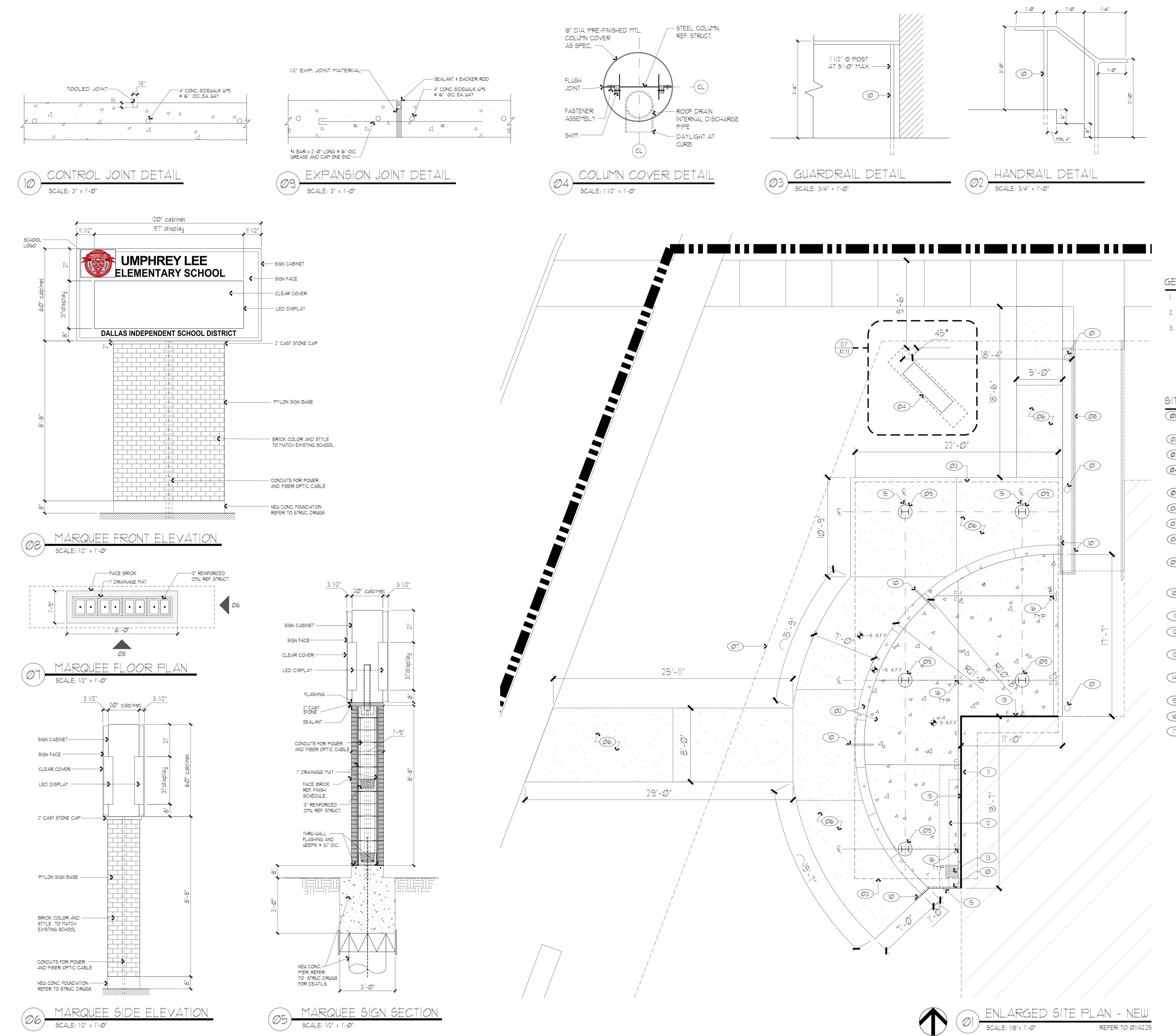


PLAN & TRUE NORTH









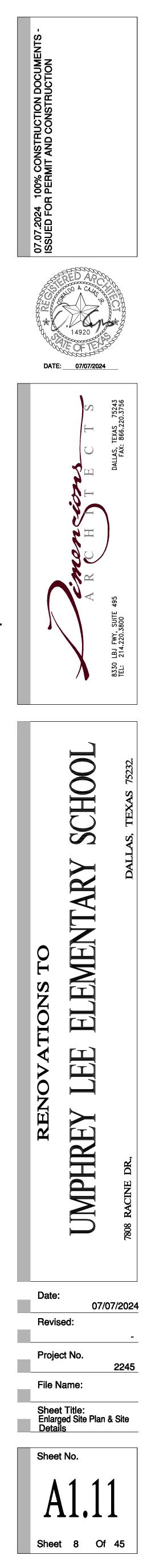
GENERAL NOTES:

- . REFER TO CIVIL DRAWINGS FOR PAVING DETAILS, AND ADDITIONAL NOTES.. 2. REFER TO STRUCTURAL DRAWINGS FOR MARQUEE SIGN
- STRUCTURAL DETAILS.
- 3. ALL DIMENSIONS AND CONDITIONS TO BE FIELD VERIFIED AND CONFIRMED BY CONTRACTOR PRIOR TO START OF DEMOLITION.
- EXISTING FOUNDATION AND ROOF STRUCTURE / OVERHANG AT THE AREAS OF NEW CONSTRUCTION TO REMAIN AND TO BE PROTECTED AT ALL PHASES OF CONSTRUCTION.

PLAN NEW WORK KEY NOT
EXISTING COLUMNS TO BE PAINTED TO MATC NEW COLUMN COVER.
NEW CONCRETE STEPS AND LANDING, REFER
NEW CANOPY, REFER STRUCTURE FOR DETAIL
NEW MARQUEE SIGN WITH NEW FOUNDATION, R STRUCTURE DRAWINGS AND @7/A1.11 FOR DETA
NOT IN USED
NEW CONCRETE SIDEWALK, REFER CIVIL DRA
25 FT. UTILITY EASEMENT.
EXISTING STEEL RAILING TO BE PAINTED TO RAILING COLOR.
NEW PRE-FINISHED COLUMN ROUND WRAP FO FLANGE STEEL COLUMN, TYPICAL. REFER TO Ø4/A1.11 AND STRUCTURAL. DRAWINGS.
NEW I 1/2 " STEEL PIPE RAILING, PAINT. TYP. 9 3/AI.11.
EXISTING VENT IN THE EXTERIOR WALL.
NEW CHASE IN THE CONCRETE FOR THE VENT EXISTING VENT ON EXTERIOR WALL.
NEW VENT LOCATION FOR THE NEW CHASE IN CONCRETE.
POINT OF DISCHARGE FOR INTERNAL ROOF D
POINT OF DISCHARGE FOR NEW CANOPY GUT
EXPANSION JOINTS, REF. Ø9/A1.11

(17) CONTROL JOINTS, REF. 10/A.11

PLAN ∉ TRUE NORTH



TES: TCH COLOR OF

ER STRUCTURE. AILS.

REFER TAILS.

RAWINGS.

O MATCH NEW

FOR WIDE O DETAIL

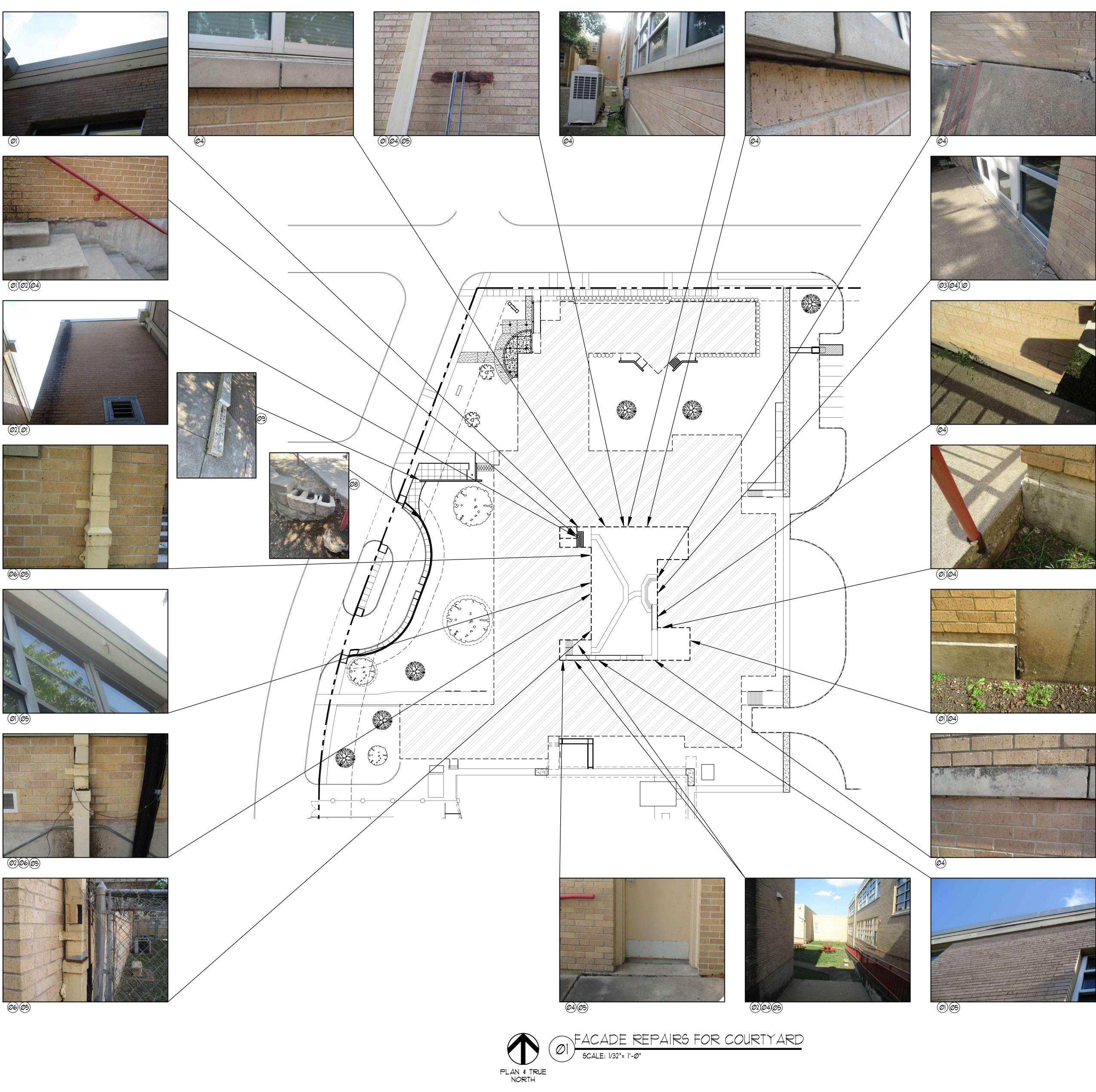
2. SEE Ø2/A1.11 ≰

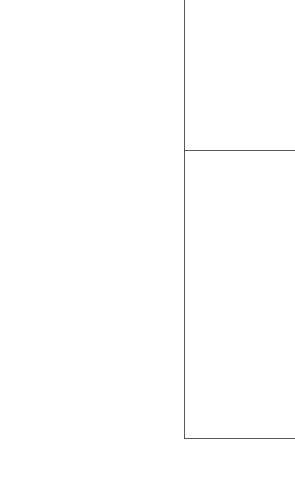
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NEW

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UTTER,



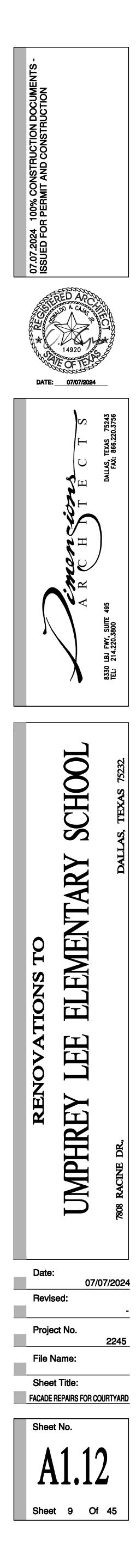


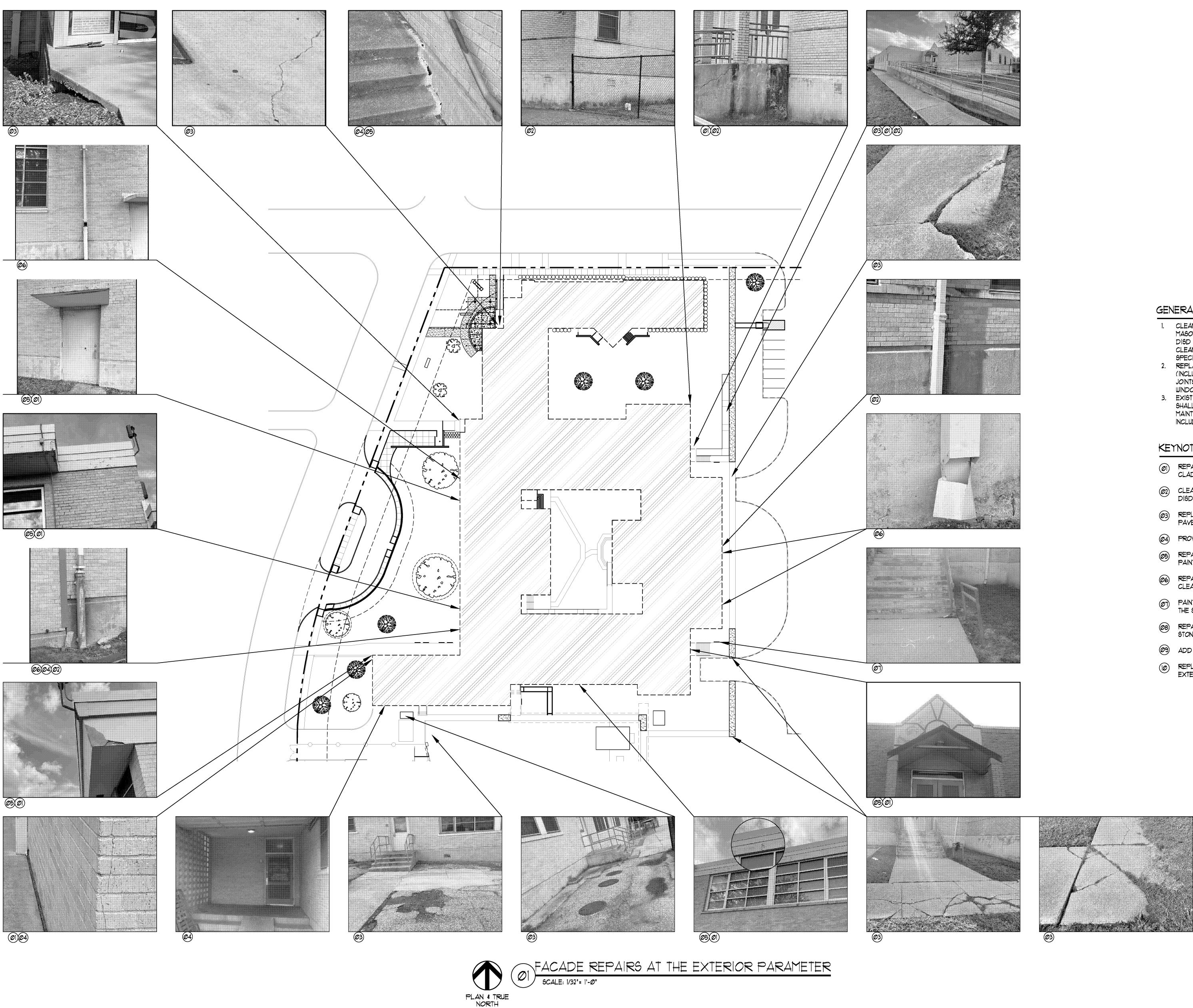
GENERAL NOTES:

- 1. CLEAN ALL STAINS AND MILDEW ON ALL EXTERIOR MAGONRY WALLS AND EXTERIOR STUCCO SURFACES WITH DISD APPROVED METHODS, EMPLOY THE APPROPRIATE CLEANING METHOD FOR EACH FINISH, REFER TO SPECIFICATIONS AND CONFIRM NON DAMAGING.
- REPLACE EXTERIOR WATERPROOFING/SEALANT JOINTS 2. REFEACE EXTERIOR WATER ROOFING/OLALART SOURTO (INCLUDE ALL EXTERIOR WALL CONTROL/EXPANSION JOINTS, MATERIAL TRANSITIONS, AROUND DOOR AND WINDOW FRAMES AND WALL PENETRATIONS).
 3. EXISTING DOWNSPOUTS WITH OPENINGS ABOVE GROUND
- SHALL RETAIN USE OF THE OPENING FOR DISD MAINTENANCE DEPARTMENT. PAINT ALL METAL SURFACES, INCLUDING BRACKETS.

KEYNOTES:

- (0) REPAIR BROKEN AND CRACKED EXTERIOR WALL CLADDING.
- ©2) CLEAN STAINS AND MILDEW ON EXTERIOR WALLS WITH DISD APPROVED METHODS., AND WASH AS REQUIRED.
- (03) REPLACE CRACKED CONCRETE SIDEWALK AND PAVEMENT.
- (04) PROVIDE EXTERIOR WATERPROOFING/ SEALANT JOINTS.
- ©5 REPAINT ALL EXISTING EXTERIOR PAINTED SURFACES, PAINT TO MATCH EXISTING
- © REPAIR AND PATCH THE EXISTING BROKEN DOWNSPOUT CLEAN STAINS, AND PAINT IT ACCORDINGLY.
- (07) PAINT ALL EXISTING HANDRAILS ON THE EXTERIOR OF THE SCHOOL.
- (08) REPAIR DAMAGED PAVE STONE WALL. ADD MISSING STONE BLOCKS.
- (29) ADD MISSING CONCRETE CAP STONE ON THE LOW WALL.
- REPLACE THE EXISTING DOOR STOPPER WITH THE NEW EXTERIOR FLOOR MOUNT DOOR STOPPER.



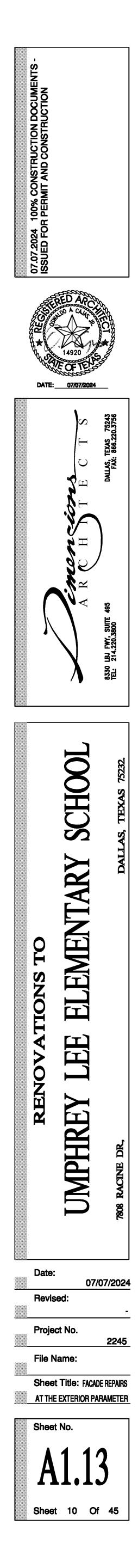


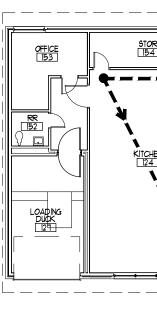
GENERAL NOTES:

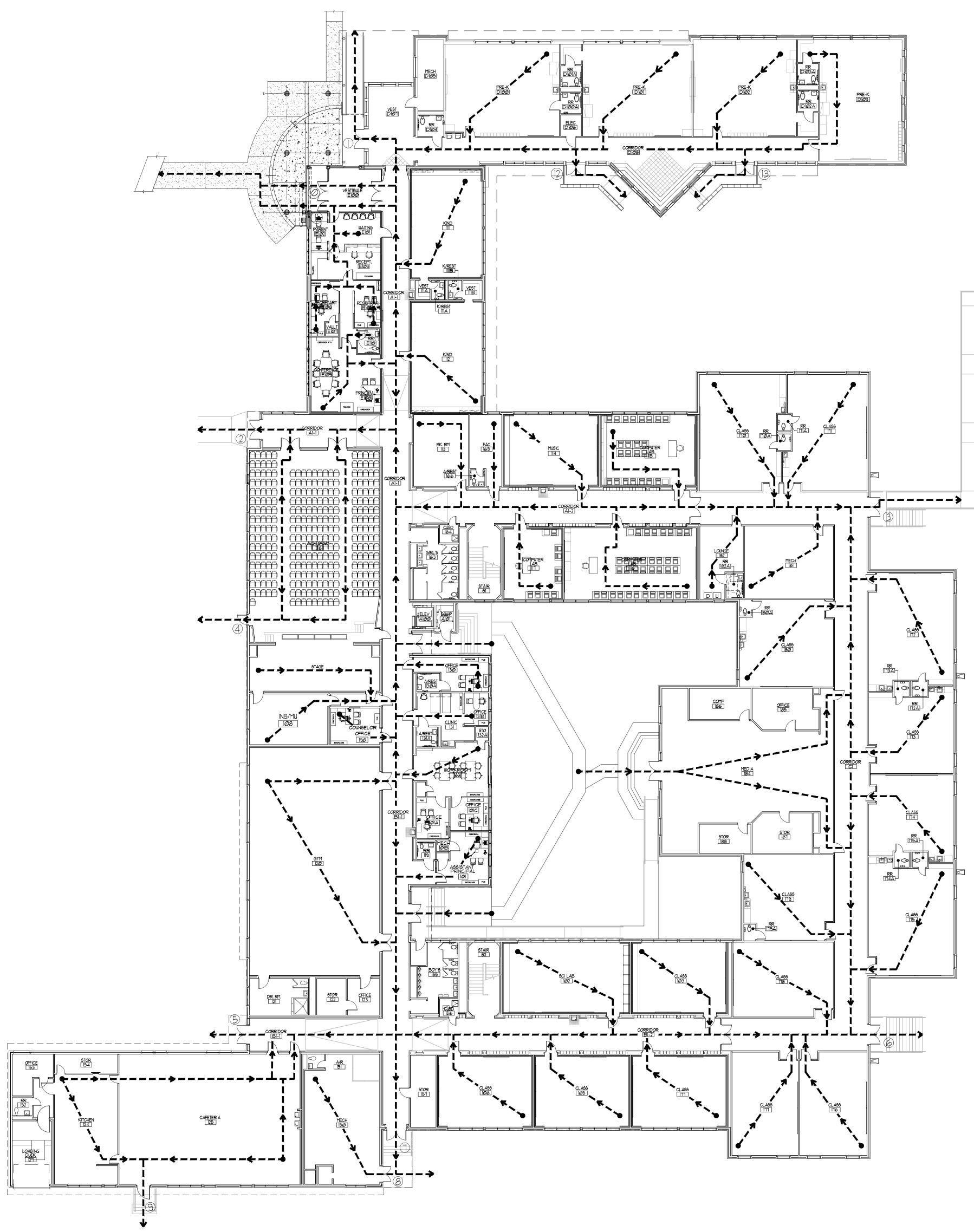
- CLEAN ALL STAINS AND MILDEW ON ALL EXTERIOR MAGONRY WALLS AND EXTERIOR STUCCO SURFACES WITH DISD APPROVED METHODS. EMPLOY THE APPROPRIATE CLEANING METHOD FOR EACH FINIGH. REFER TO
- SPECIFICATIONS AND CONFIRM NON DAMAGING. REPLACE EXTERIOR WATERPROOFING/SEALANT JOINTS (INCLUDE ALL EXTERIOR WALL CONTROL/EXPANSION
- JOINTS, MATERIAL TRANSITIONS, AROUND DOOR AND WINDOW FRAMES AND WALL PENETRATIONS). 3. EXISTING DOWNSPOUTS WITH OPENINGS ABOVE GROUND
- SHALL RETAIN USE OF THE OPENING FOR DISD MAINTENANCE DEPARTMENT. PAINT ALL METAL SURFACES, INCLUDING BRACKETS.

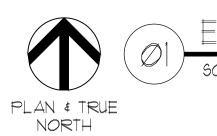
KEYNOTES:

- (0) REPAIR BROKEN AND CRACKED EXTERIOR WALL CLADDING.
- ©2 CLEAN STAINS AND MILDEW ON EXTERIOR WALLS WITH DISD APPROVED METHODS., AND WASH AS REQUIRED.
- (03) REPLACE CRACKED CONCRETE SIDEWALK AND PAVEMENT.
- (04) PROVIDE EXTERIOR WATERPROOFING/ SEALANT JOINTS.
- ©5 REPAINT ALL EXISTING EXTERIOR PAINTED SURFACES, PAINT TO MATCH EXISTING © REPAIR AND PATCH THE EXISTING BROKEN DOWNSPOUT CLEAN STAINS, AND PAINT IT ACCORDINGLY.
- (2) PAINT ALL EXISTING HANDRAILS ON THE EXTERIOR OF THE SCHOOL.
- REPAIR DAMAGED PAVE STONE WALL. ADD MISSING STONE BLOCKS.
- (2) ADD MISSING CONCRETE CAP STONE ON THE LOW WALL.
- REPLACE THE EXISTING DOOR STOPPER WITH THE NEW EXTERIOR FLOOR MOUNT DOOR STOPPER.





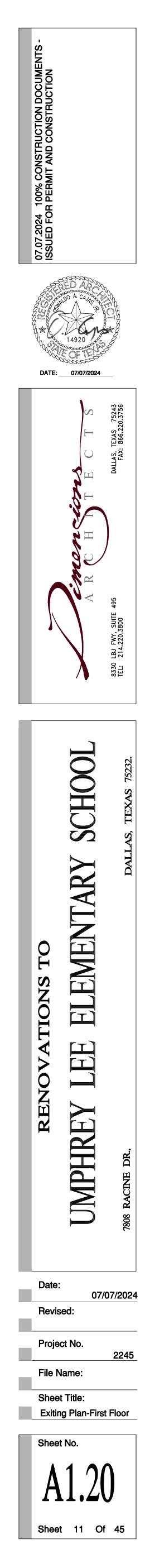




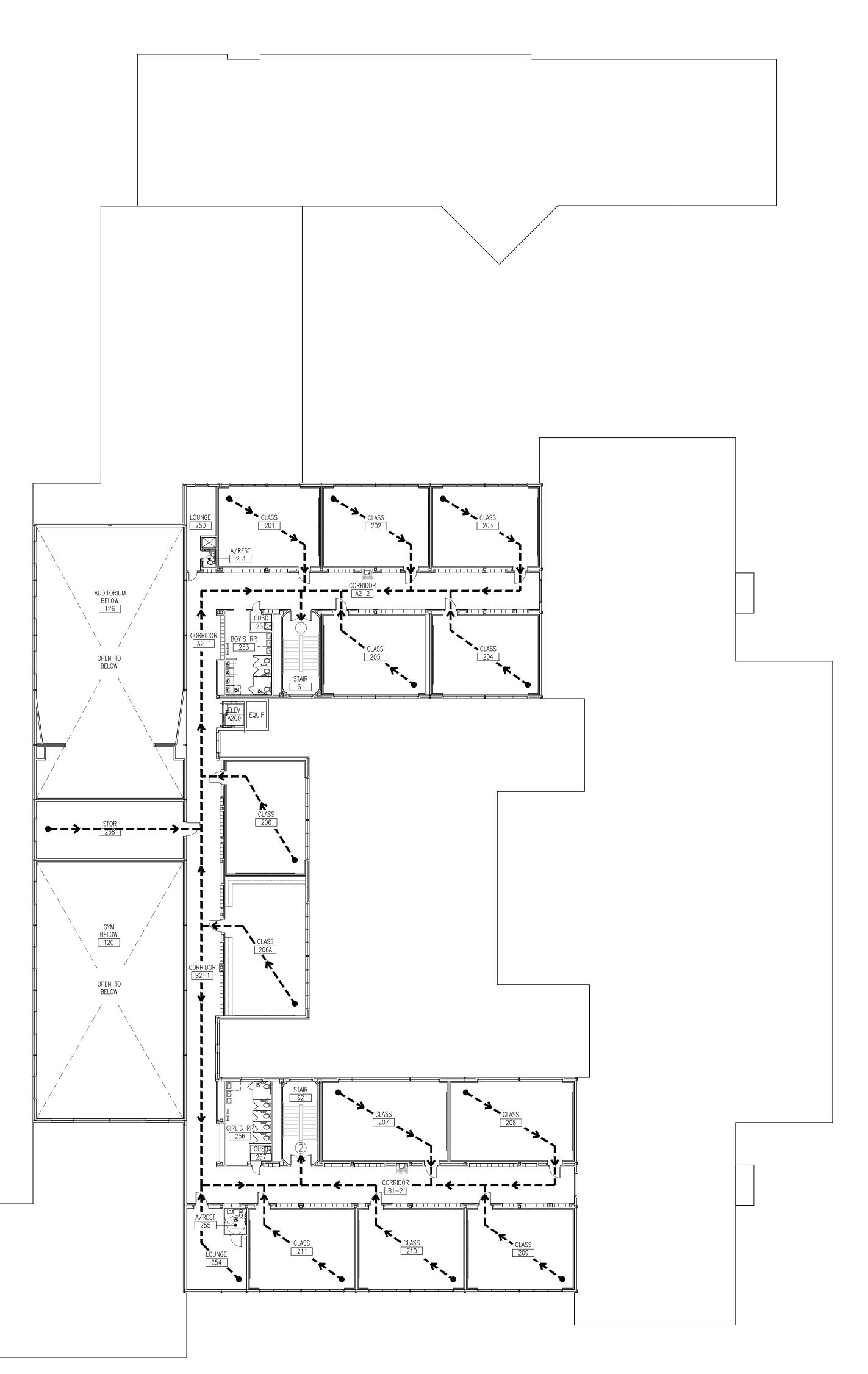
OI EXITING PLAN - FIRST FLOOR SCALE: 1"= 16'-0"

LEGEND:

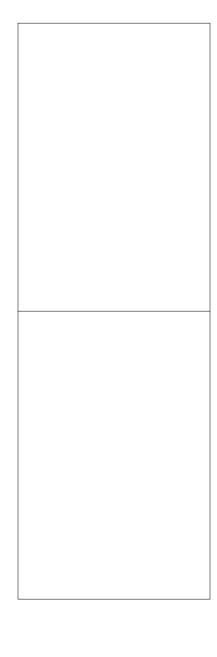
← Exit Route
EXIT DOORS: PROVIDED
() 6'-Ø"
(2) 6' = 0''
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(12) 6'-0"
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d width





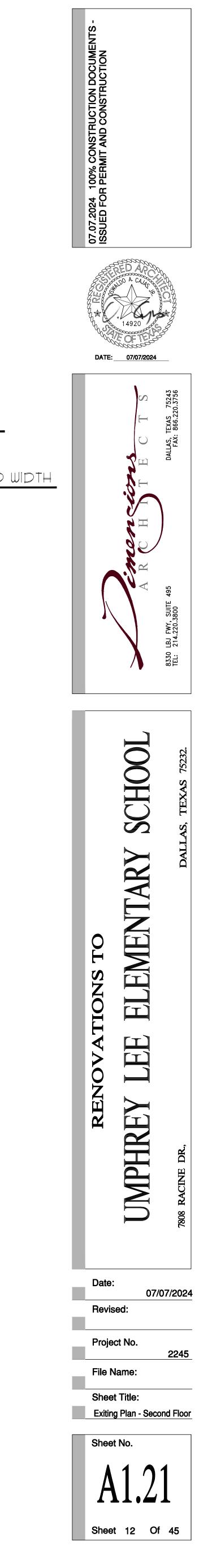


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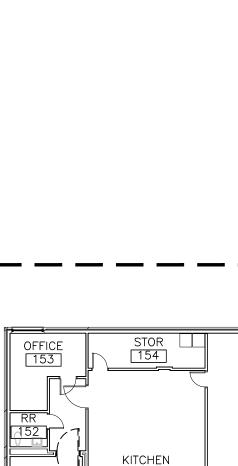
<---- Exit Route EXIT DOORS: PROVIDED WIDTH

 \bigcirc 6'-0" = STAIRS' EXIT OPENING (2) 6'- \emptyset " = STAIRS' EXIT OPENING

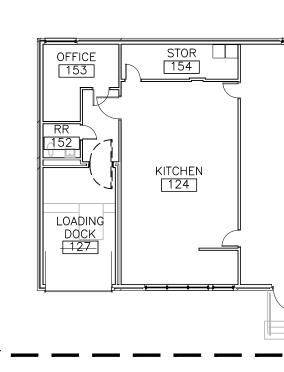
PLAN & TRUE NORTH EXITING PLAN = SECOND FLOOR SCALE: 1"= 16'-0"



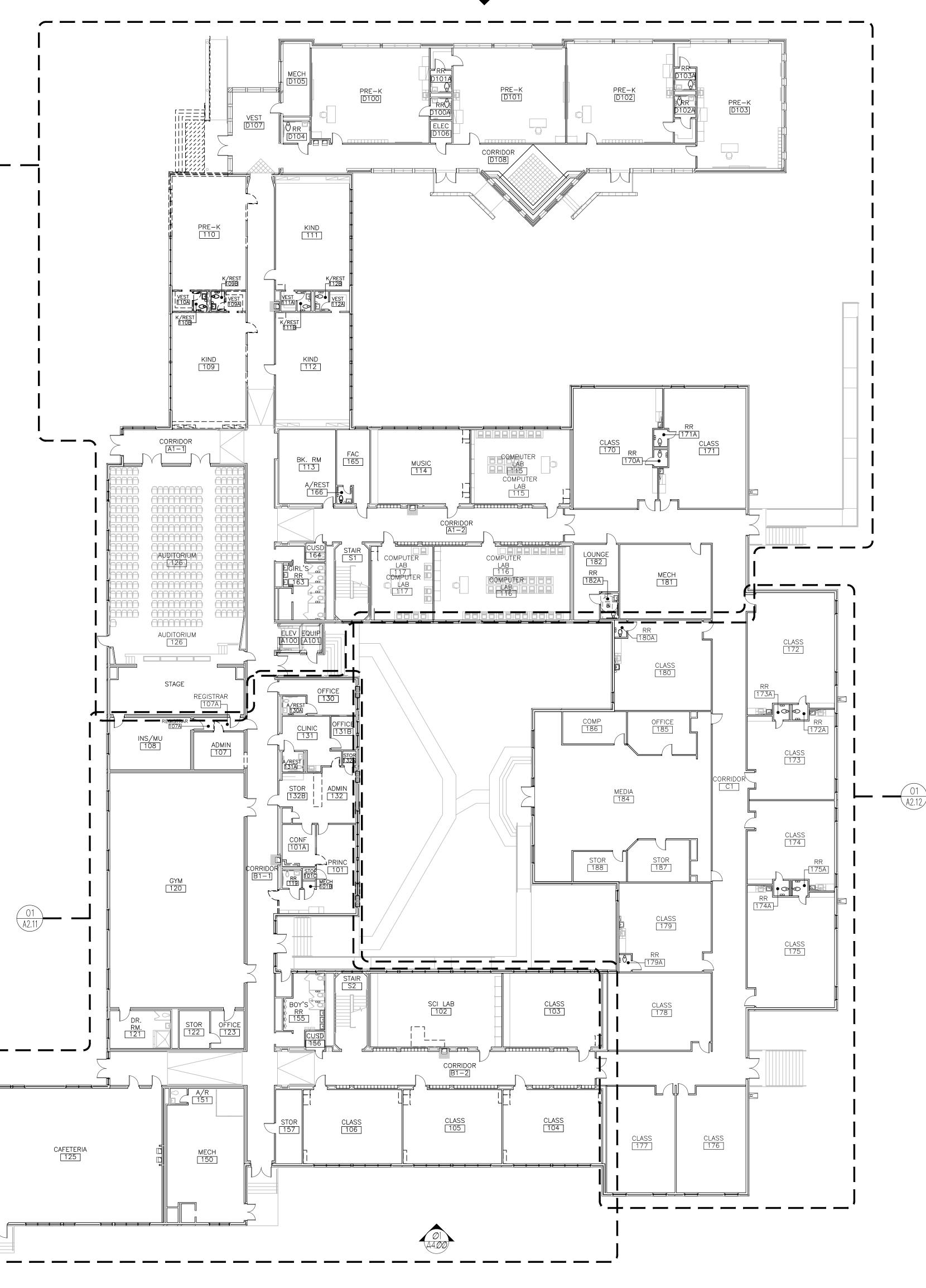




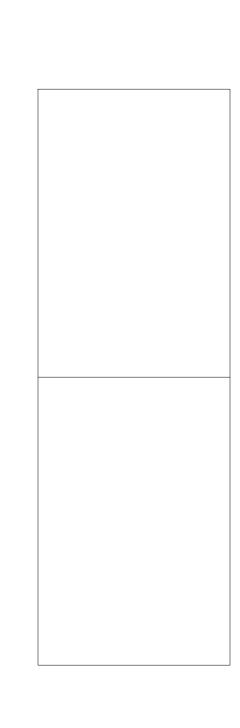
Ø2 A4.00



Ø4 44.00







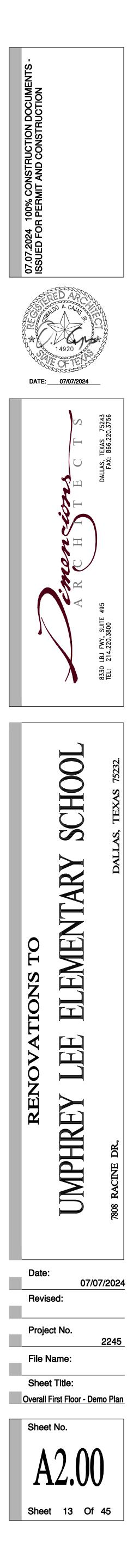
WALL LEGEND:

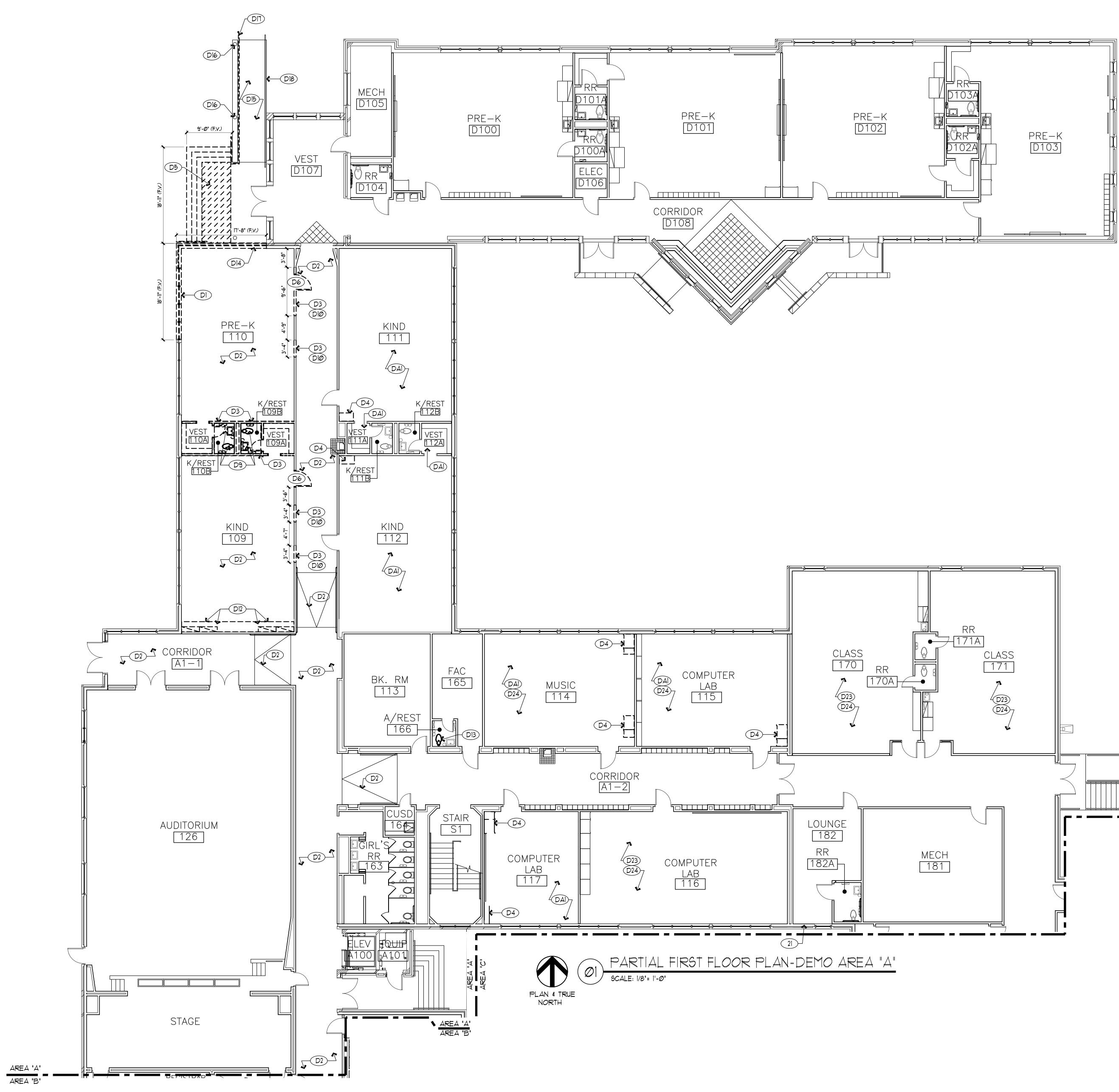
Ø3 44.00

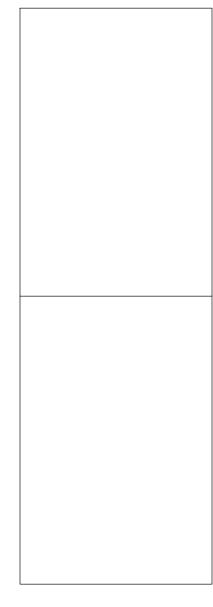
EXISTING CONSTRUCTION TO REMAIN

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 AREA TO BE DEMOED

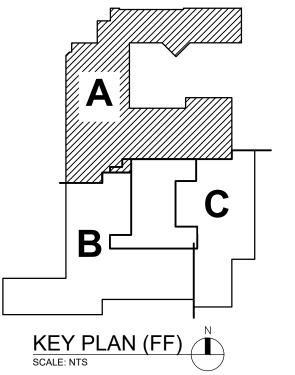


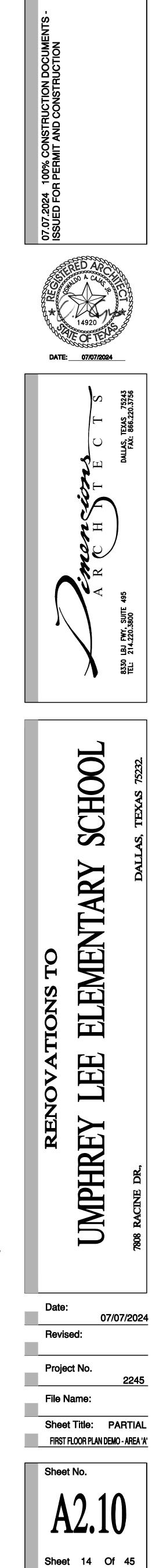




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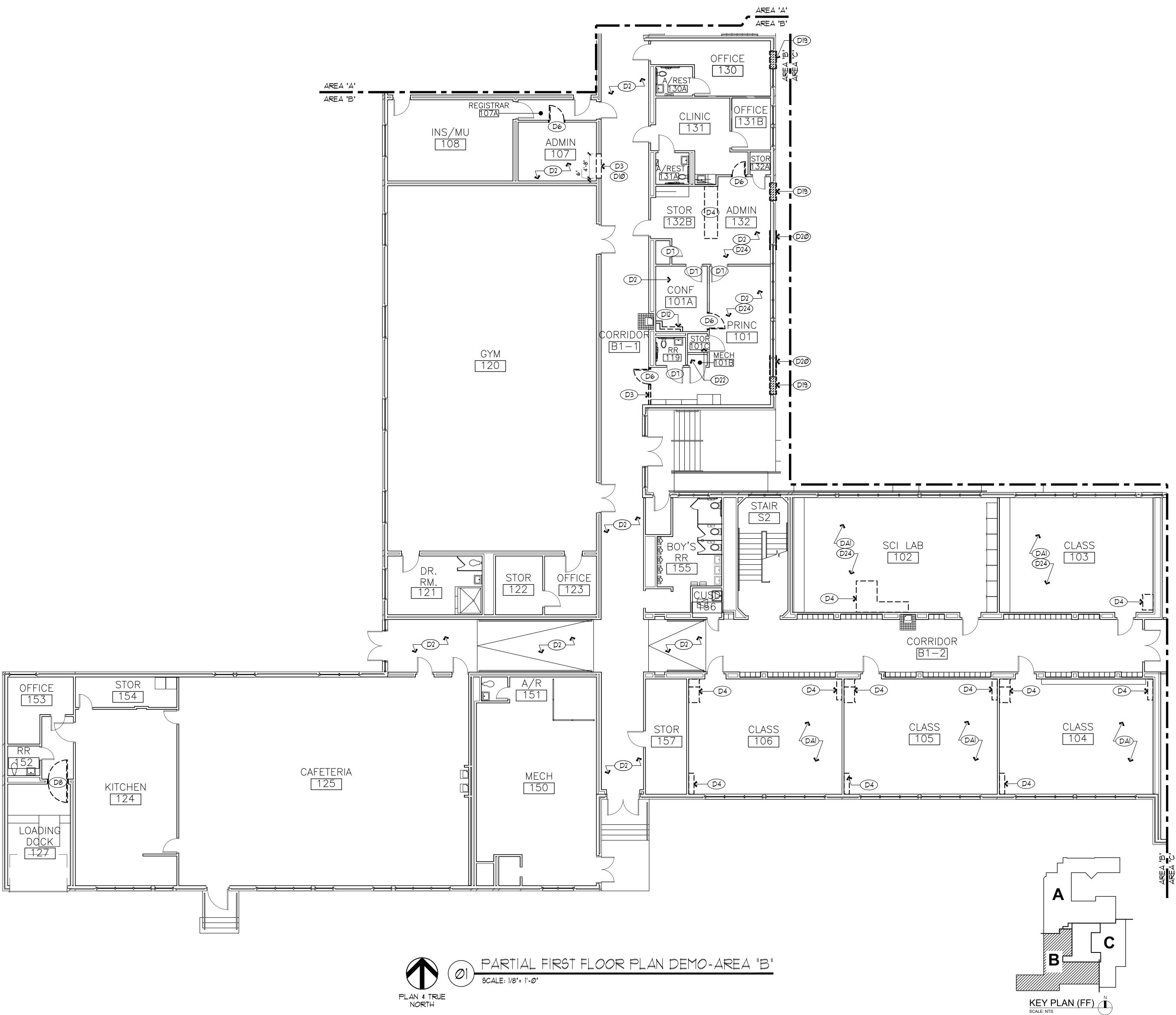
AREA "A" AREA "C"

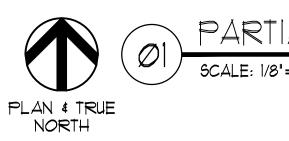


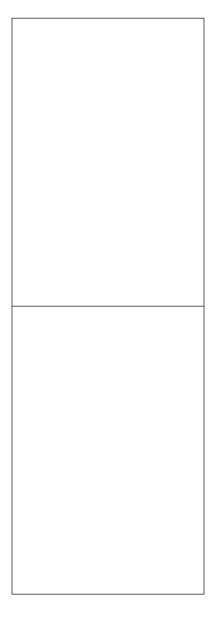


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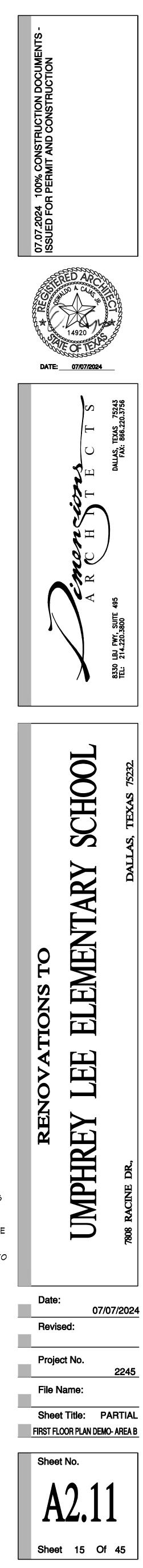
1.	PLAN KEY NOTES APPLY TO SHEETS- A2.10, A	2.
	A2.12, AND A2.30.	

- 2. ALL EXISTING DIMENSIONS AND CONDITIONS TO BE FIELD VERIFIED AND CONFIRMED BY CONTRACTOR PRIOR TO START OF CONSTRUCTION.
- EXISTING FOUNDATION AND ROOF STRUCTURE AT THE AREAS OF NEW CONSTRUCTION TO REMAIN AND TO BE PROTECTED AT ALL STAGES OF CONSTRUCTION.
- 4. EXISTING TACKBOARDS, BLACK BOARDS, GREEN BOARDS AND WHITE BOARDS TO BE ENCASED IN NEW FURROUT WALL, IN ALL CLASSROOMS WHERE NEW FURROUT WALLS ARE BEING ADDED.

DEMOLITION KEYNOTES:

	DEMO EXISTING WINDOW SYSTEM, REMOVE WINDO SALVAGE WINDOW SCREENS AND HANDOVER TO
D2	REMOVE EXISTING FLOOR FINISH. CLEAN SLAB A PREPARE SURFACE TO RECEIVE NEW FLOOR FINI
D3)	DEMO EXISTING WALL. PREPARE AREA TO RECE WALL, DOOR. COORDINATE WITH NEW FLOOR PLA
D4)	DEMO EXISTING MILLWORK, PREPARE AREA TO F NEW FURRED OUT WALL.
D5	DEMO EXISTING CONCRETE PAVEMENT & STAIRS. AREA TO RECEIVE NEW CONCRETE SLAB, NEW WA NEW FLOOR, COORDINATE WITH NEW FLOOR PLAN
D6	DEMO EXISTING DOOR.
(D1)	EXISTING DOOR TO REMAIN, PREPARE, DOOR AN FRAME TO RECEIVE NEW PAINT AND NEW DOOR H
D8	REMOVE EXISTING EXTERIOR DOOR AND SCREE PREPARE TO RECEIVE NEW.
D9	DEMO EXISTING FIXTURES, PREPARE AREA TO R FLOORING AND NEW WALLS . COORDINATE WITH N PLAN.
	PROVIDE NEW STEEL LINTEL ABOVE NEW OPENIN
	PATCH AND REPAIR ALL SURFACES, READY TO NEW PAINT.
D12	PRIOR TO REMOVAL OF WHOLE WALL, CONFIRM CAVITY AND ANY EQUIPMENT, NOTIFY ARCHITED
D13)	DEMO EXISTING WATER CLOSET AND PREPARE RECEIVE NEW.
D14)	DEMO EXISTING BRICK WALL, PROTECT EXISTIN SLAB AND ROOF ABOVE, PREPARE AREA TO F WALLS AND STOREFRONT, CO-ORDINATE WITH N CONSTRUCTION PLAN.
(D15)	EXISTING RAMP TO REMAIN.
D16	EXISTING COLUMNS TO REMAIN, PREPARE TO R PAINT TO MATCH NEW COLUMN COVER COLOR.
	EXISTING RAILING TO BE DEMOED.
	EXISTING RAILING TO REMAIN.
D19	EXISTING WINDOW UNIT TO BE REMOVED, REFER FOR ADDITIONAL INFO, PREPARE WINDOW OPEN INFILLED WITH NEW GLAZING.
D2Ø	EXISTING LOUVERS TO BE REMOVED, PREPARE INFILLED, TO MATCH EXISTING.
(D21)	PROVIDE NEW THRU WALL OPENING FOR DRYER MEP FOR ADDITIONAL INFORMATION.
D22	PATCH AND REPAIR ALL SURFACES (WALL, CEI. FLOOR) AFTER THE DEMOLITION OF HVAC UNIT.
D23	DEMO EXISTING BLACK BOARDS, GREEN BOAR WHITE BOARDS, PATCH AND REPAIR SURFACE NEW BOARD/NEW PAINT.
D24)	PROTECT EXISTING MILLWORK DURING CONSTRU
بو	ALTERNATE NOTES:

ALIERNAIE NUIES: REMOVE EXISTING FLOOR FINISH, CLEAN SLAB AND DAI PREPARE SURFACE TO RECEIVE NEW FLOOR FINISH, REFER TO FLOOR FINISH PLAN A2.62 AND FINISH SCHEDULE ON A6.00 FOR ADDITIONAL DETAILS.



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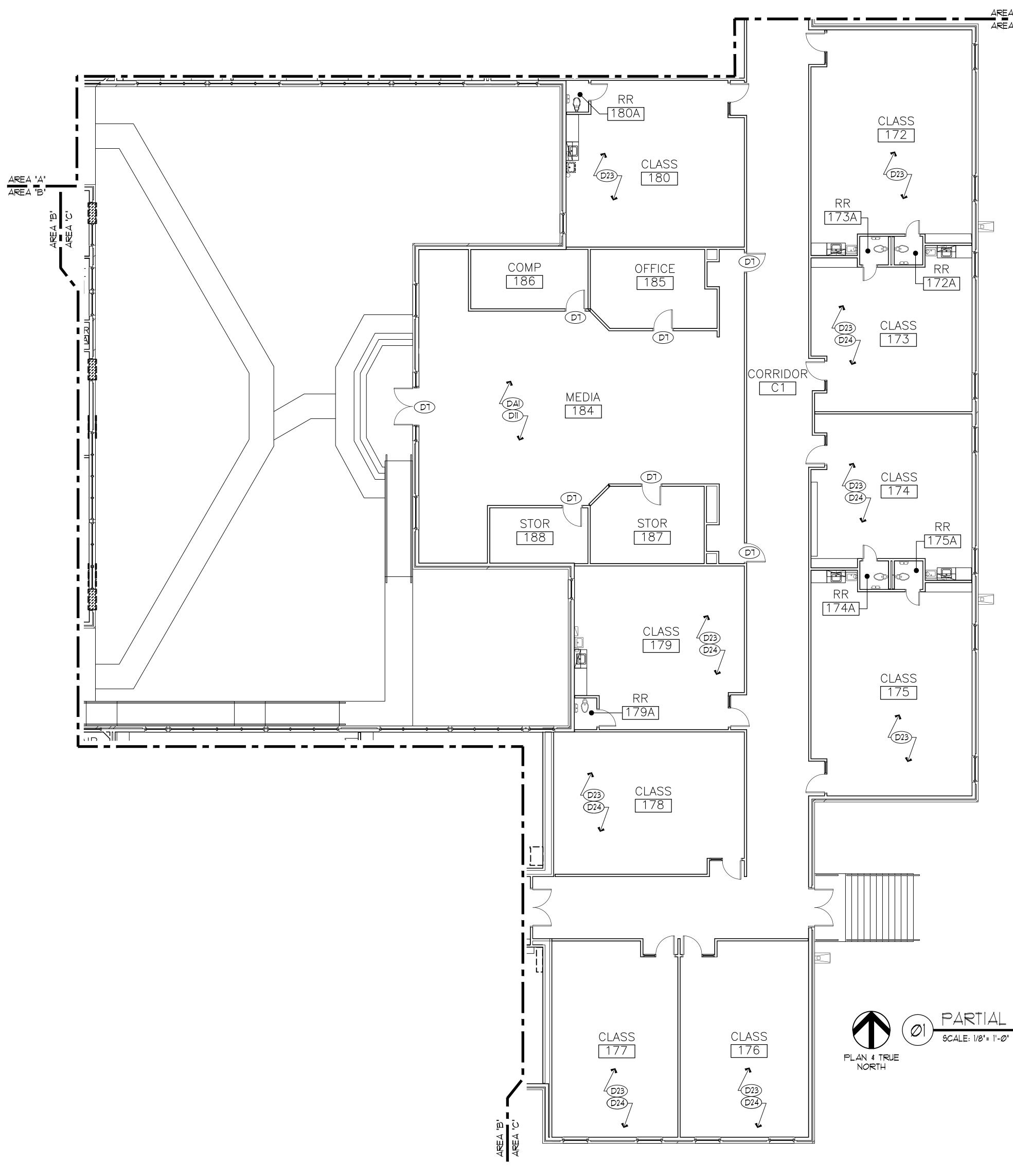
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	EXISTING CONSTRUCTION TO REMAIN	
$\equiv \equiv \equiv$	DEMOLISHED WALL	
	AREA TO BE DEMOED	
GENERAL NOTES:		

1. PLAN KEY NOTES APPLY TO SHEETS- A2.10, A2.11, A2.12, AND A2.30.

- 2. ALL EXISTING DIMENSIONS AND CONDITIONS TO BE FIELD VERIFIED AND CONFIRMED BY CONTRACTOR PRIOR TO START OF CONSTRUCTION.
- 3. EXISTING FOUNDATION AND ROOF STRUCTURE AT THE AREAS OF NEW CONSTRUCTION TO REMAIN AND TO BE PROTECTED AT ALL STAGES OF CONSTRUCTION.
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DEMOLITION KEYNOTES:

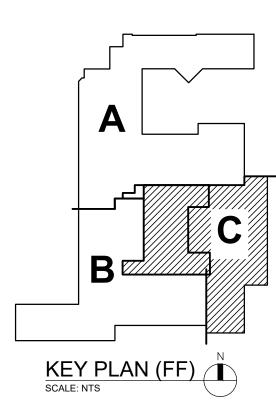
- DI DEMO EXISTING WINDOW SYSTEM, REMOVE WINDOW SCREENS, SALVAGE WINDOW SCREENS AND HANDOVER TO DISD. (D2) REMOVE EXISTING FLOOR FINISH, CLEAN SLAB AND PREPARE SURFACE TO RECEIVE NEW FLOOR FINISH. D3 DEMO EXISTING WALL, PREPARE AREA TO RECEIVE NEW WALL, DOOR. COORDINATE WITH NEW FLOOR PLAN. DEMO EXISTING MILLWORK, PREPARE AREA TO RECEIVE NEW FURRED OUT WALL. (D5) DEMO EXISTING CONCRETE PAVEMENT & STAIRS. PREPARE AREA TO RECEIVE NEW CONCRETE SLAB, NEW WALLS, AND NEW FLOOR, COORDINATE WITH NEW FLOOR PLAN. DEMO EXISTING DOOR.
- D1 EXISTING DOOR TO REMAIN, PREPARE, DOOR AND DOOR FRAME TO RECEIVE NEW PAINT AND NEW DOOR HARDWARE. D8 REMOVE EXISTING EXTERIOR DOOR AND SCREEN DOOR,
- PREPARE TO RECEIVE NEW.
- (D9) DEMO EXISTING FIXTURES, PREPARE AREA TO RECEIVE NEW FLOORING AND NEW WALLS . COORDINATE WITH NEW FLOOR PLAN.
- DIØ PROVIDE NEW STEEL LINTEL ABOVE NEW OPENING.
- DII) PATCH AND REPAIR ALL SURFACES, READY TO RECEIVE NEW PAINT.
- DI2 PRIOR TO REMOVAL OF WHOLE WALL, CONFIRM WALL CAVITY AND ANY EQUIPMENT, NOTIFY ARCHITECT.
- DI3 DEMO EXISTING WATER CLOSET AND PREPARE AREA TO
- RECEIVE NEW. DIA DEMO EXISTING BRICK WALL, PROTECT EXISTING CONCRETE SLAB AND ROOF ABOVE, PREPARE AREA TO RECEIVE NEW
- WALLS AND STOREFRONT, CO-ORDINATE WITH NEW CONSTRUCTION PLAN.
- DI5) EXISTING RAMP TO REMAIN.
- DIG EXISTING COLUMNS TO REMAIN, PREPARE TO RECEIVE NEW PAINT TO MATCH NEW COLUMN COVER COLOR.
- DIT EXISTING RAILING TO BE DEMOED.
- DIB EXISTING RAILING TO REMAIN.
- DIS EXISTING WINDOW UNIT TO BE REMOVED, REFER MEP DRAWINGS FOR ADDITIONAL INFO, PREPARE WINDOW OPENING TO BE INFILLED WITH NEW GLAZING.
- D20 EXISTING LOUVERS TO BE REMOVED, PREPARE OPENING TO BE INFILLED, TO MATCH EXISTING.
- (D21) PROVIDE NEW THRU WALL OPENING FOR DRYER VENT, REFER TO MEP FOR ADDITIONAL INFORMATION.
- (D22) PATCH AND REPAIR ALL SURFACES (WALL, CEILING AND FLOOR) AFTER THE DEMOLITION OF HVAC UNIT.
- D23 DEMO EXISTING BLACK BOARDS, GREEN BOARDS AND
- WHITE BOARDS, PATCH AND REPAIR SURFACE TO RECEIVE NEW BOARD/NEW PAINT.
- (D24) PROTECT EXISTING MILLWORK DURING CONSTRUCTION

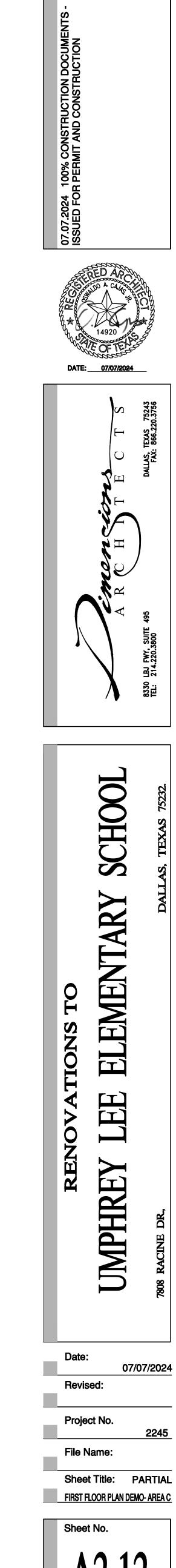
ALTERNATE NOTES:

(DAI) REMOVE EXISTING FLOOR FINISH. CLEAN SLAB AND PREPARE SURFACE TO RECEIVE NEW FLOOR FINISH, REFER TO FLOOR FINISH PLAN A2.62 AND FINISH SCHEDULE ON A6.00 FOR ADDITIONAL DETAILS.

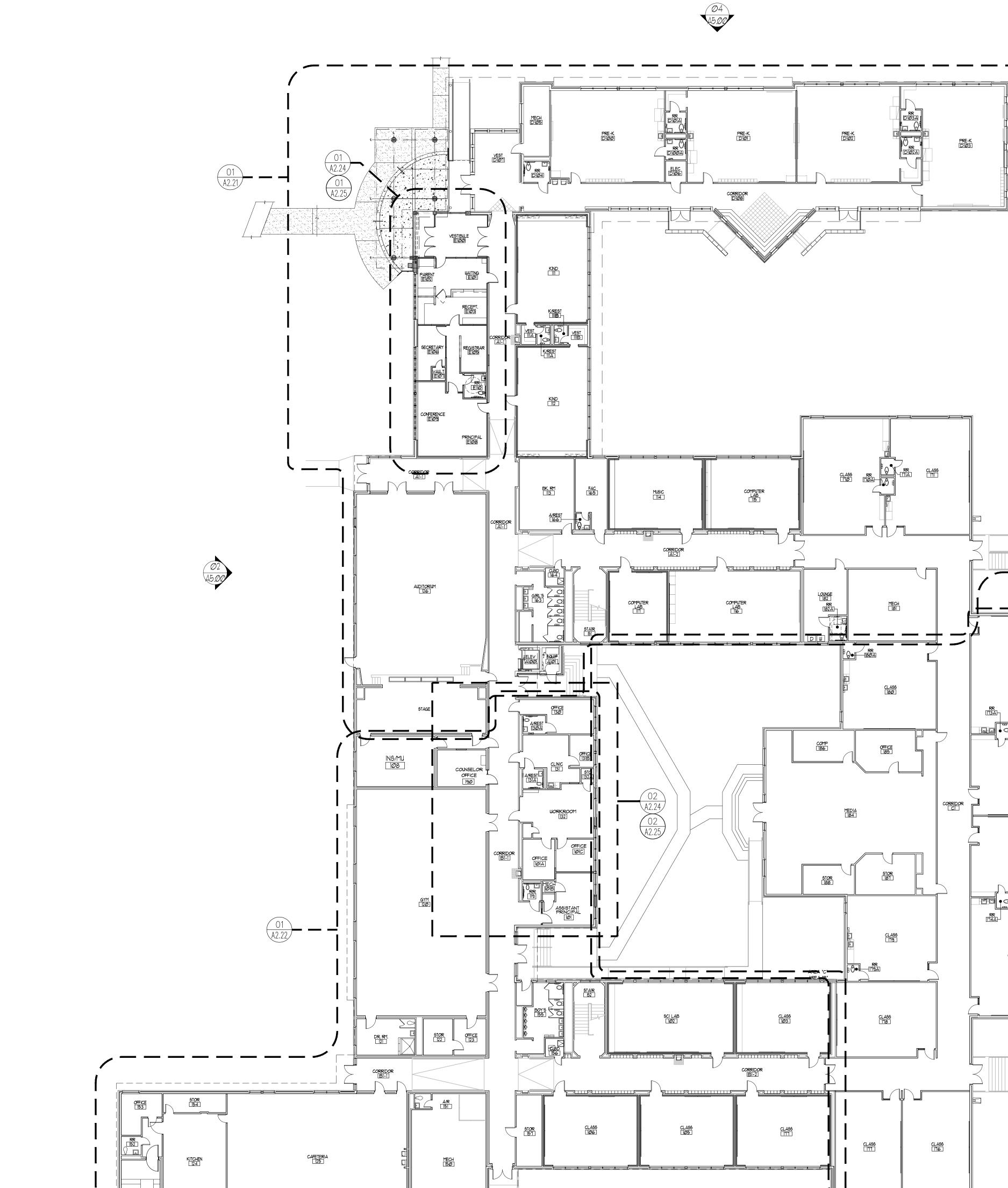
PARTIAL FIRST FLOOR PLAN DEMO-AREA "C"

AREA "A" AREA "C"

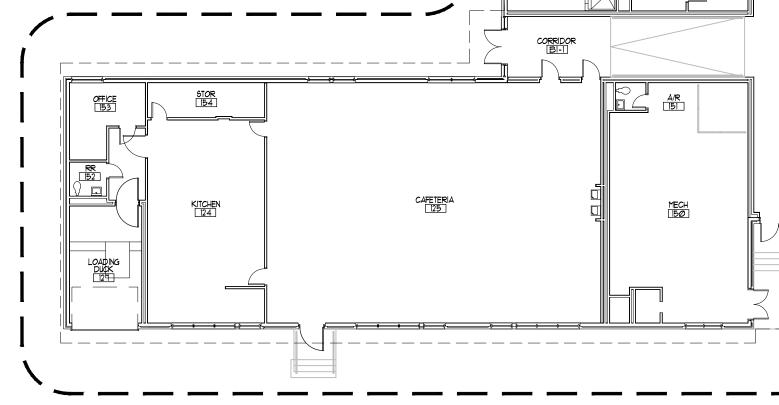


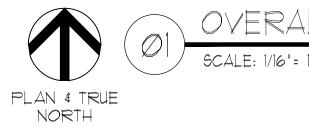


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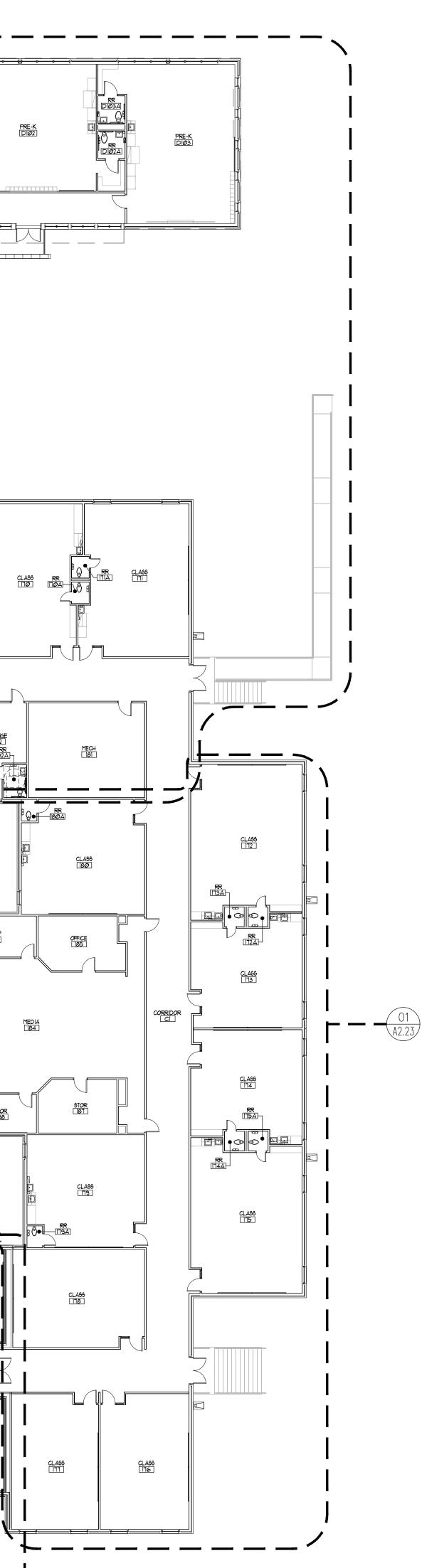


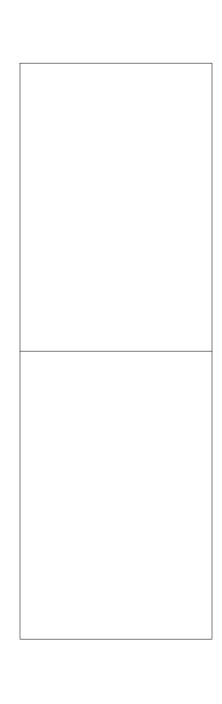




Ø1 45.00

OVERALL FIRST FLOOR PLAN - NEW Scale: 1/16"= 1'-0"



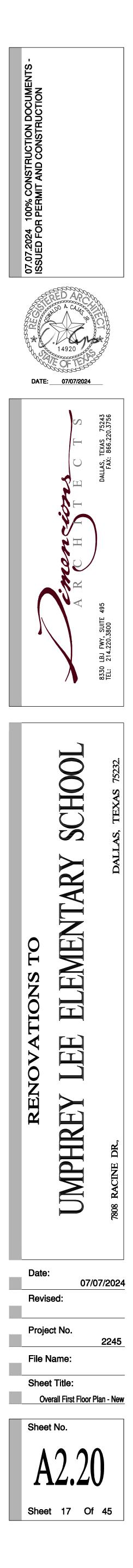


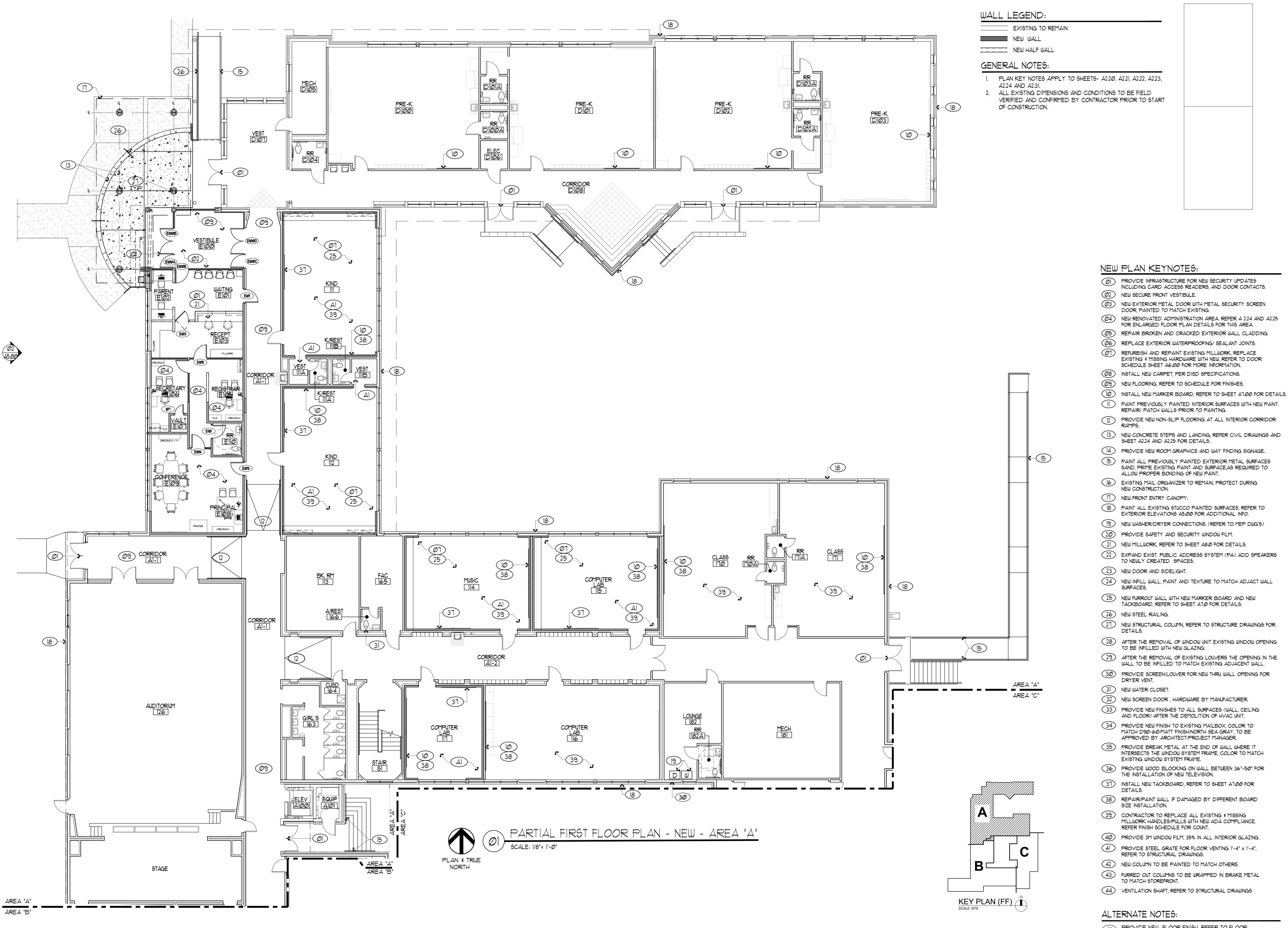
WALL LEGEND:

NEW WALL

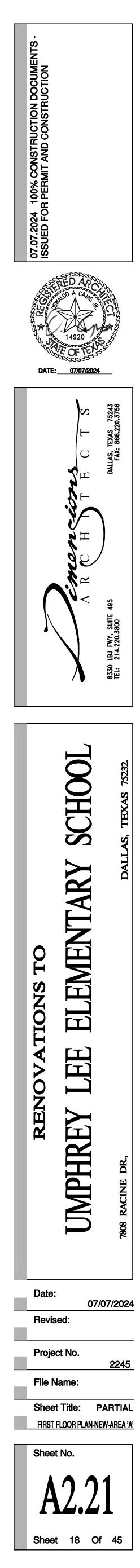
NEW HALF WALL

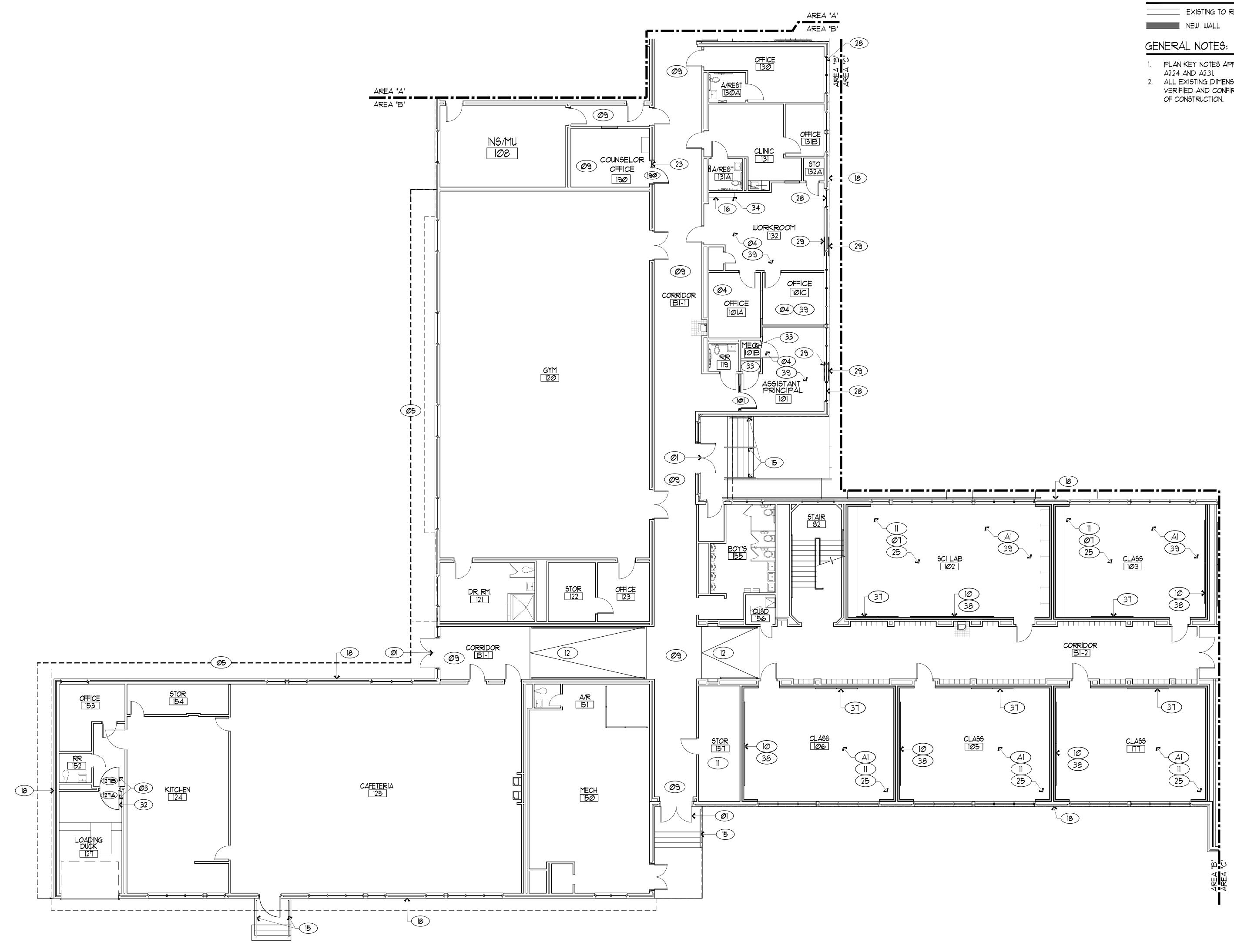
EXISTING CONSTRUCTION TO REMAIN





(A1) PROVIDE NEW FLOOR FINISH. REFER TO FLOOR FINISH PLAN A2.62 AND FINISH SCHEDULE ON A6.00 FOR ADDITIONAL DETAILS.

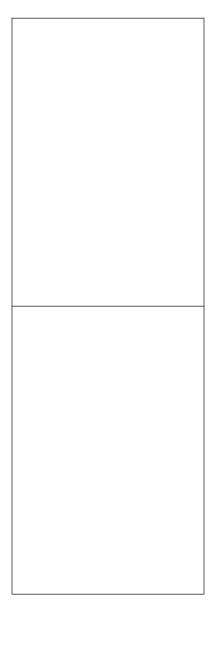


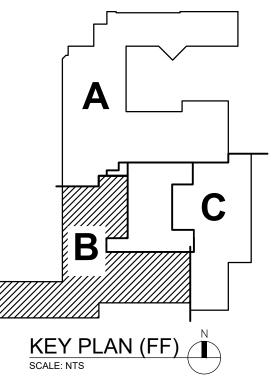




EXISTING TO REMAIN

- 1. PLAN KEY NOTES APPLY TO SHEETS- A2.20, A2.21, A2.22, A2.23, A2.24 AND A2.31.
- 2. ALL EXISTING DIMENSIONS AND CONDITIONS TO BE FIELD VERIFIED AND CONFIRMED BY CONTRACTOR PRIOR TO START OF CONSTRUCTION.





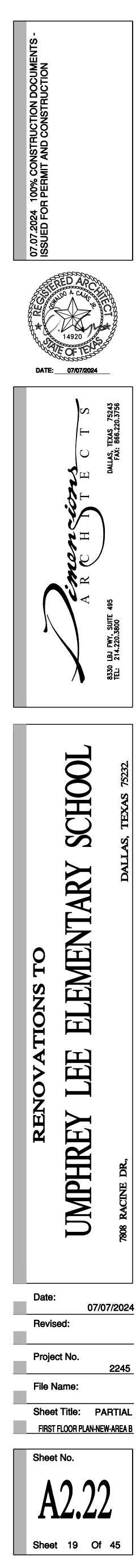
NEW PLAN KEYNOTES:

(\emptyset)	PROVIDE INFRAGTRUCTURE FOR NEW SECURITY UPDATES INCLUDING CARD ACCESS READERS, AND DOOR CONTACTS.
Ø2)	NEW SECURE FRONT VESTIBULE.
Ø3	NEW EXTERIOR METAL DOOR WITH METAL SECURITY SCREEN DOOR, PAINTED TO MATCH EXISTING.
@4	NEW RENOVATED ADMINISTRATION AREA. REFER A 2.24 AND A
	FOR ENLARGED FLOOR PLAN DETAILS FOR THIS AREA.
(Ø5) (Ø6)	REPAIR BROKEN AND CRACKED EXTERIOR WALL CLADDING. REPLACE EXTERIOR WATERPROOFING/ SEALANT JOINTS.
(ØT)	REFURBIGH AND REPAINT EXISTING MILLWORK, REPLACE
	EXISTING & MISSING HARDWARE WITH NEW, REFER TO DOOR SCHEDULE SHEET AG.00 FOR MORE INFORMATION.
Ø8)	INSTALL NEW CARPET, PER DISD SPECIFICATIONS.
(Ø9)	NEW FLOORING, REFER TO SCHEDULE FOR FINISHES.
	INSTALL NEW MARKER BOARD, REFER TO SHEET A1.00 FOR D
	PAINT PREVIOUSLY PAINTED INTERIOR SURFACES WITH NEW PAREPAIR/ PATCH WALLS PRIOR TO PAINTING.
(12)	PROVIDE NEW NON-SLIP FLOORING AT ALL INTERIOR CORRID
$(\overline{3})$	RAMPS. NEW CONCRETE STEPS AND LANDING, REFER CIVIL DRAWINGS
\bigcirc	SHEET A2.24 AND A2.25 FOR DETAILS.
(14)	PROVIDE NEW ROOM GRAPHICS AND WAY FINDING SIGNAGE.
(15)	PAINT ALL PREVIOUSLY PAINTED EXTERIOR METAL SURFACES SAND, PRIME EXISTING PAINT AND SURFACE, AS REQUIRED TO ALLOW PROPER BONDING OF NEW PAINT.
(16)	EXISTING MAIL ORGANIZER TO REMAIN, PROTECT DURING NEW CONSTRUCTION.
	NEW FRONT ENTRY CANOPY.
18	PAINT ALL EXISTING STUCCO PAINTED SURFACES, REFER TO EXTERIOR ELEVATIONS A5:00 FOR ADDITIONAL INFO.
(19)	NEW WASHER/DRYER CONNECTIONS, (REFER TO MEP DWG'S)
\leq	
(20)	PROVIDE SAFETY AND SECURITY WINDOW FILM.
(21)	NEW MILLWORK, REFER TO SHEET A8.0 FOR DETAILS.
22	EXPAND EXIST. PUBLIC ADDRESS SYSTEM (PA). ADD SPEAKE TO NEWLY CREATED SPACES.
(23)	NEW DOOR AND SIDELIGHT.
24	NEW INFILL WALL, PAINT AND TEXTURE TO MATCH ADJACT WAL SURFACES.
25	NEW FURROUT WALL WITH NEW MARKER BOARD AND NEW TACKBOARD, REFER TO SHEET A1.0 FOR DETAILS.
(26)	NEW STEEL RAILING.
(27)	NEW STRUCTURAL COLUMN, REFER TO STRUCTURE DRAWINGS FO
\bigcirc	DETAILS.
28	AFTER THE REMOVAL OF WINDOW UNIT EXISTING WINDOW OPEN TO BE INFILLED WITH NEW GLAZING.
(29)	AFTER THE REMOVAL OF EXISTING LOUVERS THE OPENING IN WALL TO BE INFILLED TO MATCH EXISTING ADJACENT WALL.
30	PROVIDE SCREEN/LOUVER FOR NEW THRU WALL OPENING FOR DRYER VENT.
(31)	NEW WATER CLOSET.
32	NEW SCREEN DOOR , HARDWARE BY MANUFACTURER.
33	PROVIDE NEW FINISHES TO ALL SURFACES (WALL, CEILING AND FLOOR) AFTER THE DEMOLITION OF HVAC UNIT.
(34)	
54	PROVIDE NEW FINISH TO EXISTING MAILBOX, COLOR TO MATCH D90-60/MATT FINISH/NORTH SEA GRAY, TO BE APPROVED BY ARCHITECT/PROJECT MANAGER.
35	PROVIDE BREAK METAL AT THE END OF WALL WHERE IT INTERSECTS THE WINDOW SYSTEM FRAME, COLOR TO MATCH EXISTING WINDOW SYSTEM FRAME.
36	PROVIDE WOOD BLOCKING ON WALL BETWEEN 36"-50" FOR THE INSTALLATION OF NEW TELEVISION.
37	INSTALL NEW TACKBOARD, REFER TO SHEET A1.00 FOR DETAILS.
38	REPAIR/PAINT WALL IF DAMAGED BY DIFFERENT BOARD SIZE INSTALLATION.
39	CONTRACTOR TO REPLACE ALL EXISTING & MISSING MILLWORK HANDLES/PULLS WITH NEW ADA COMPLIANCE. REFER FINISH SCHEDULE FOR COUNT.
(40)	PROVIDE 3M WINDOW FILM, 35% IN ALL INTERIOR GLAZING.
41	PROVIDE STEEL GRATE FOR FLOOR VENTING 1'-4" x 1'-4", REFER TO STRUCTURAL DRAWINGS.
(42)	NEW COLUMN TO BE PAINTED TO MATCH OTHERS.
(43)	FURRED OUT COLUMNS TO BE WRAPPED IN BRAKE METAL
	TO MATCH STOREFRONT.

TO MATCH STOREFRONT. (44) VENTILATION SHAFT, REFER TO STRUCTURAL DRAWINGS

ALTERNATE NOTES:

(A) PROVIDE NEW FLOOR FINISH, REFER TO FLOOR FINISH PLAN A2.62 AND FINISH SCHEDULE ON A6.00 FOR ADDITIONAL DETAILS.



TACTS.

CREEN 4 AND A2.25 ADDING. TS. OOR

00 FOR DETAILS. H NEW PAINT. CORRIDOR

RAWINGS AND

NAGE. BURFACES RED TO

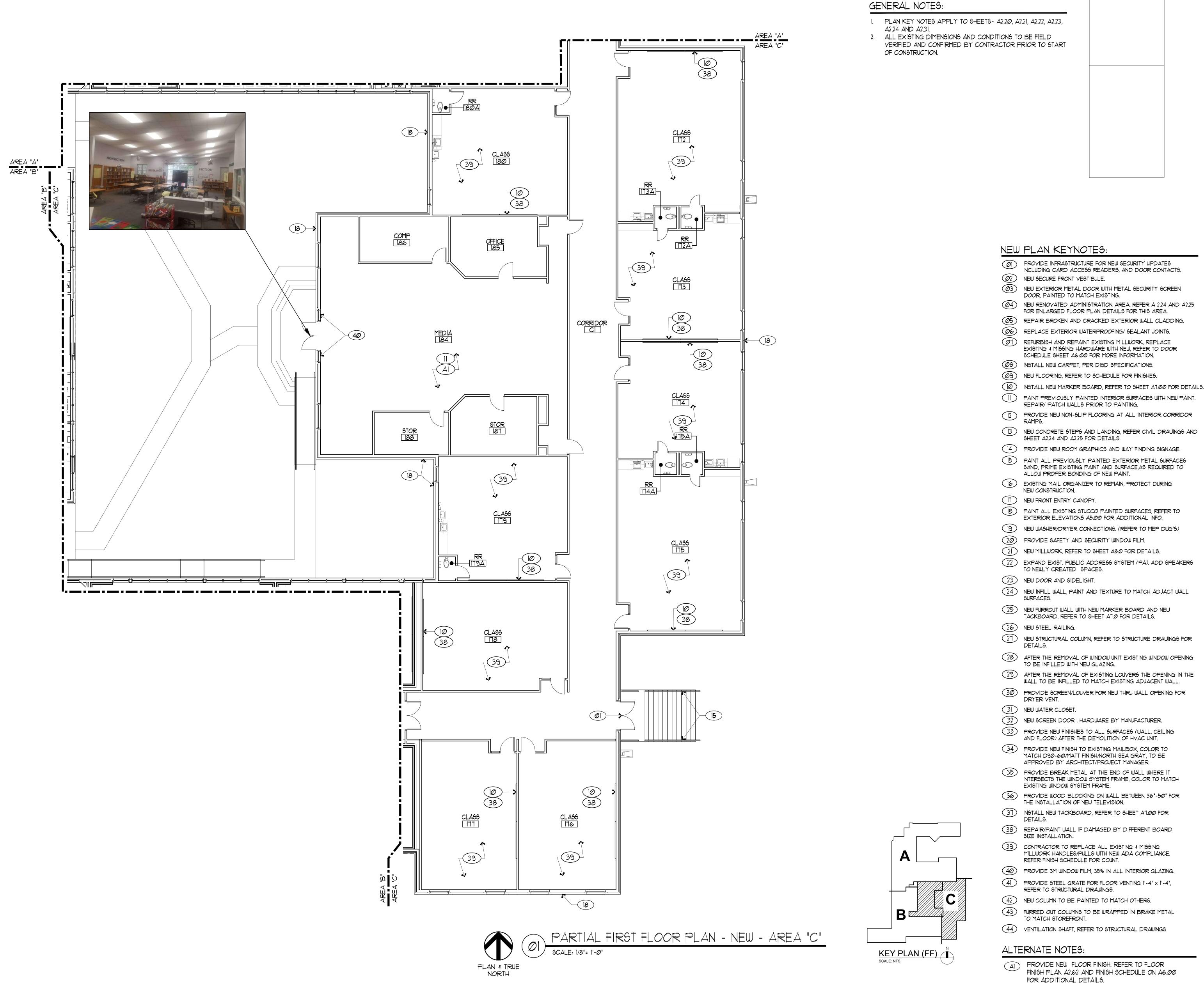
SPEAKERS

JACT WALL

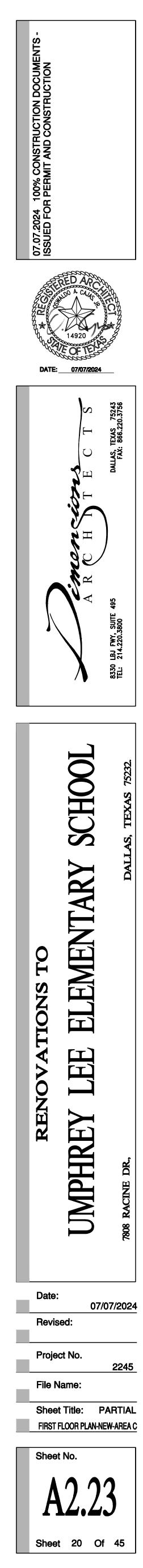
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U OPENING

ENING IN THE WALL. NING FOR



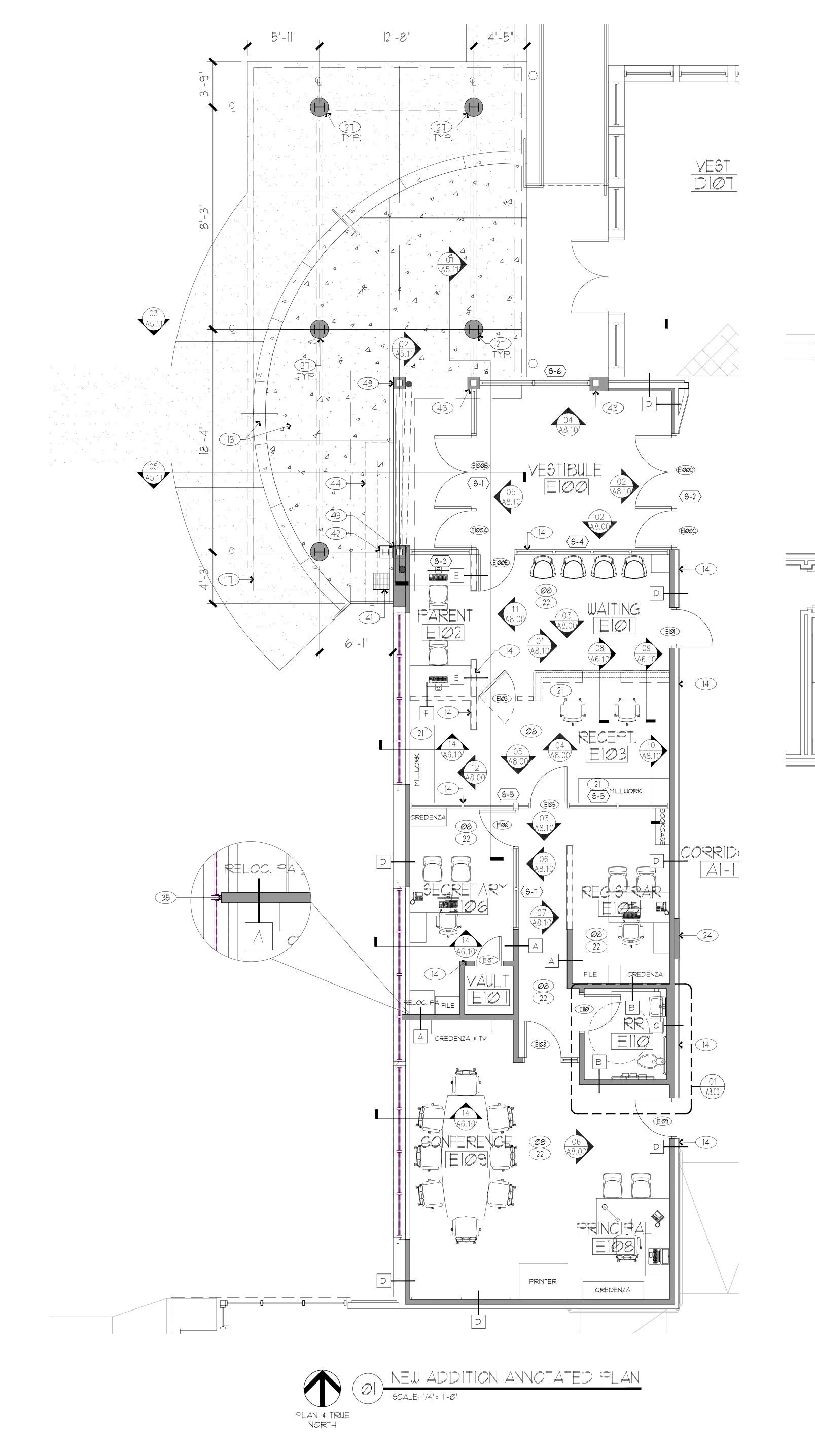
AI PROVIDE NEW FLOOR FINISH, REFER TO FLOOR FINISH PLAN A2.62 AND FINISH SCHEDULE ON A6.00

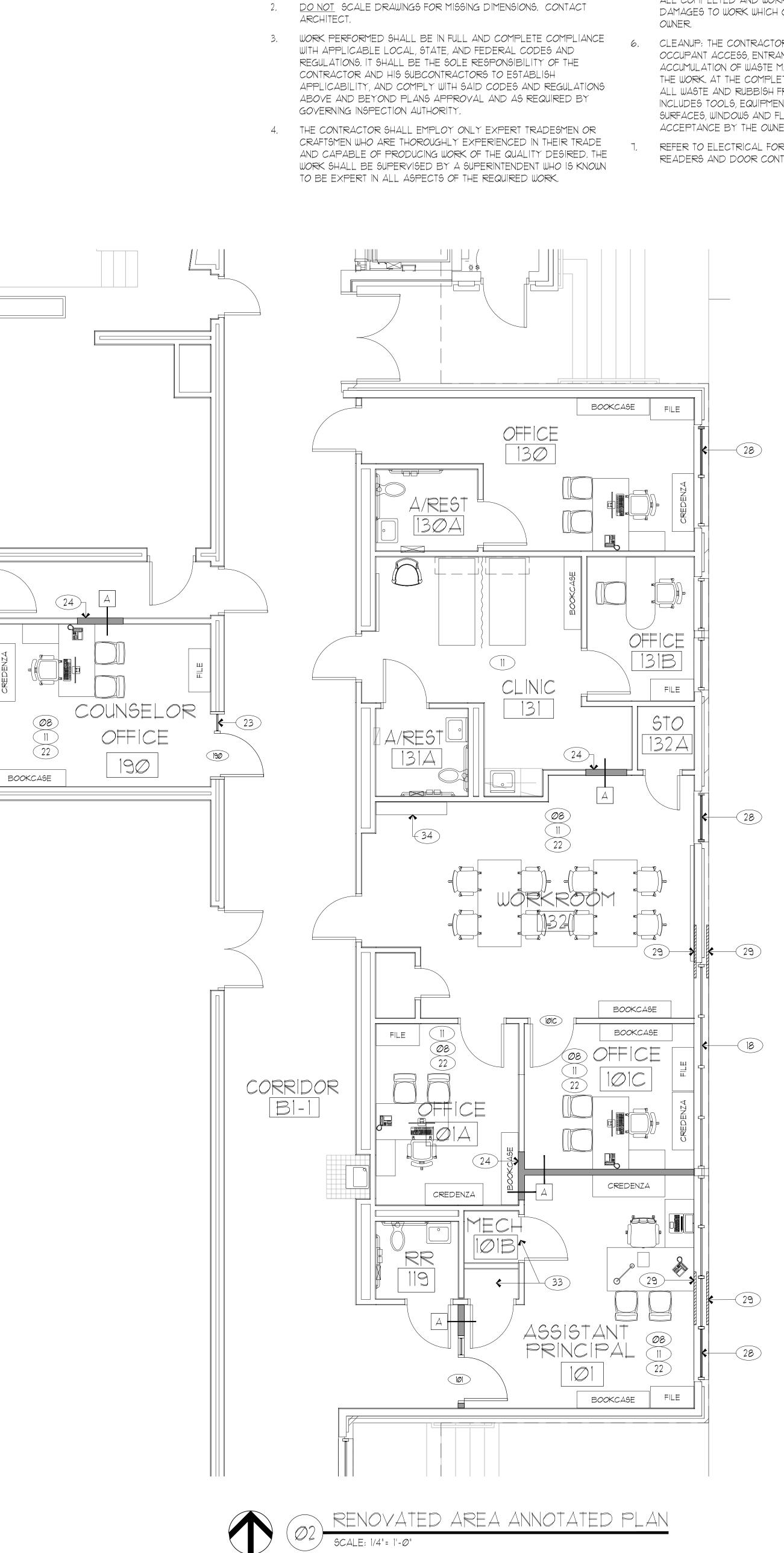


WALL LEGEND:

NEW WALL

EXISTING TO REMAIN





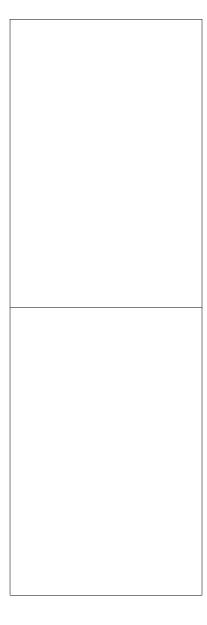
PLAN & TRUE NORTH

1. DIMENSIONS ARE GIVEN TO FINISH FACE OF WALL UNLESS OTHERWISE

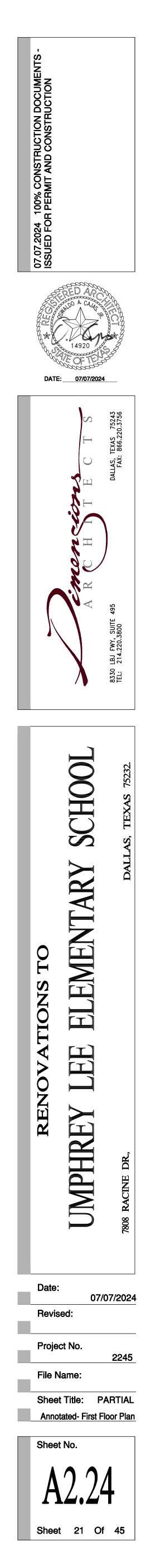
GENERAL NOTES:

NOTED.

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SEQUENCING OF SUBCONTRACTORS WORK AND SHALL ASSUME RESPONSIBILITY FOR ALL COMPLETED AND WORK IN PROGRESS INCLUDING REPAIR OF DAMAGES TO WORK WHICH OCCURS PRIOR TO ACCEPTANCE BY THE
- CLEANUP: THE CONTRACTOR SHALL AT ALL TIMES KEEP PUBLIC. OCCUPANT ACCESS, ENTRANCES AND THE WORK FREE FROM ACCUMULATION OF WASTE MATERIALS, RUBBISH AND DIRT CAUSED BY THE WORK. AT THE COMPLETION OF THE WORK EACH DAY, REMOVE ALL WASTE AND RUBBISH FROM AND ABOUT THE PROJECT. THIS INCLUDES TOOLS, EQUIPMENT AND SURPLUS MATERIALS. CLEAN ALL SURFACES, WINDOWS AND FLOORS PER SPECIFICATIONS PRIOR TO ACCEPTANCE BY THE OWNER.
- REFER TO ELECTRICAL FOR SECURITY CAMERAS, CARD ACCESS READERS AND DOOR CONTACTS DETAILS.



LEGE	
	I NEW PARTITION
	I EXISTING PARTITION
	NEW HALF WALL PARTITION
JENE	RAL NOTES:
	AN KEY NOTES APPLY TO SHEETS- A2.20, A2.21, A2.22, .
2. AL Ve	.24 AND A2.31. .L EXISTING DIMENSIONS AND CONDITIONS TO BE FIELI :RIFIED AND CONFIRMED BY CONTRACTOR PRIOR TO : CONSTRUCTION.
NEW	PLAN KEYNOTES:
\bigcirc	PROVIDE INFRASTRUCTURE FOR NEW SECURITY UPDATES INCLUDING CARD ACCESS READERS, AND DOOR CONTACT
Ø2	NEW SECURE FRONT VESTIBULE.
Ø3)	NEW EXTERIOR METAL DOOR WITH METAL SECURITY SCREE DOOR, PAINTED TO MATCH EXISTING.
Ø4)	NEW RENOVATED ADMINISTRATION AREA. REFER A 2.24 ANI FOR ENLARGED FLOOR PLAN DETAILS FOR THIS AREA.
Ø5	REPAIR BROKEN AND CRACKED EXTERIOR WALL CLADDIN
$\begin{pmatrix} 06 \end{pmatrix}$	REPLACE EXTERIOR WATERPROOFING/ SEALANT JOINTS.
	REFURBISH AND REPAINT EXISTING MILLWORK, REPLACE EXISTING & MISSING HARDWARE WITH NEW, REFER TO DOOR SCHEDULE SHEET AG.00 FOR MORE INFORMATION.
(08) (09)	INSTALL NEW CARPET, PER DISD SPECIFICATIONS. NEW FLOORING, REFER TO SCHEDULE FOR FINISHES.
	INSTALL NEW MARKER BOARD, REFER TO SHEET A1.00 FOR
	PAINT PREVIOUSLY PAINTED INTERIOR SURFACES WITH NEW
(12)	REPAIR/ PATCH WALLS PRIOR TO PAINTING. PROVIDE NEW NON-SLIP FLOORING AT ALL INTERIOR CORF
(13)	RAMPS. NEW CONCRETE STEPS AND LANDING, REFER CIVIL DRAWIN
	SHEET A2.24 AND A2.25 FOR DETAILS.
(14)	PROVIDE NEW ROOM GRAPHICS AND WAY FINDING SIGNAGE
(15)	PAINT ALL PREVIOUSLY PAINTED EXTERIOR METAL SURFACE SAND, PRIME EXISTING PAINT AND SURFACE, AS REQUIRED ALLOW PROPER BONDING OF NEW PAINT.
(16)	EXISTING MAIL ORGANIZER TO REMAIN, PROTECT DURING NEW CONSTRUCTION.
	NEW FRONT ENTRY CANOPY.
18	PAINT ALL EXISTING STUCCO PAINTED SURFACES, REFER TO EXTERIOR ELEVATIONS A5.00 FOR ADDITIONAL INFO.
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20	PROVIDE SAFETY AND SECURITY WINDOW FILM.
(21)	NEW MILLWORK, REFER TO SHEET A8.0 FOR DETAILS.
(22)	EXPAND EXIST. PUBLIC ADDRESS SYSTEM (PA). ADD SPE, TO NEWLY CREATED SPACES.
23	NEW DOOR AND SIDELIGHT.
24	NEW INFILL WALL, PAINT AND TEXTURE TO MATCH ADJACT U SURFACES.
25	NEW FURROUT WALL WITH NEW MARKER BOARD AND NEW TACKBOARD, REFER TO SHEET ATØ FOR DETAILS.
26	NEW STEEL RAILING.
(27)	NEW STRUCTURAL COLUMN, REFER TO STRUCTURE DRAWING: DETAILS.
28	AFTER THE REMOVAL OF WINDOW UNIT EXISTING WINDOW OF TO BE INFILLED WITH NEW GLAZING.
29	AFTER THE REMOVAL OF EXISTING LOUVERS THE OPENING WALL TO BE INFILLED TO MATCH EXISTING ADJACENT WALL
30	PROVIDE SCREEN/LOUVER FOR NEW THRU WALL OPENING F
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33	PROVIDE NEW FINISHES TO ALL SURFACES (WALL, CEILING
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35	APPROVED BY ARCHITECT/PROJECT MANAGER. PROVIDE BREAK METAL AT THE END OF WALL WHERE IT INTERSECTS THE WINDOW SYSTEM FRAME, COLOR TO MATCH
(36)	EXISTING WINDOW SYSTEM FRAME. PROVIDE WOOD BLOCKING ON WALL BETWEEN 36"-50" FOI
(37)	THE INSTALLATION OF NEW TELEVISION. INSTALL NEW TACKBOARD, REFER TO SHEET A1.00 FOR
(38)	DETAILS. REPAIR/PAINT WALL IF DAMAGED BY DIFFERENT BOARD
(39)	SIZE INSTALLATION.
	MILLWORK HANDLES/PULLS WITH NEW ADA COMPLIANCE. REFER FINISH SCHEDULE FOR COUNT.
(4Ø) (41)	PROVIDE 3M WINDOW FILM, 35% IN ALL INTERIOR GLAZING. PROVIDE STEEL GRATE FOR FLOOR VENTING 1'-4" × 1'-4", REFER TO STRUCTURAL DRAWINGS.
(42)	NEW COLUMN TO BE PAINTED TO MATCH OTHERS.
43	FURRED OUT COLUMNS TO BE WRAPPED IN BRAKE METAL TO MATCH STOREFRONT.
(44)	VENTILATION SHAFT, REFER TO STRUCTURAL DRAWINGS



42.23, START

) A2.25 NG.

R DETAILS. PAINT. RIDOR

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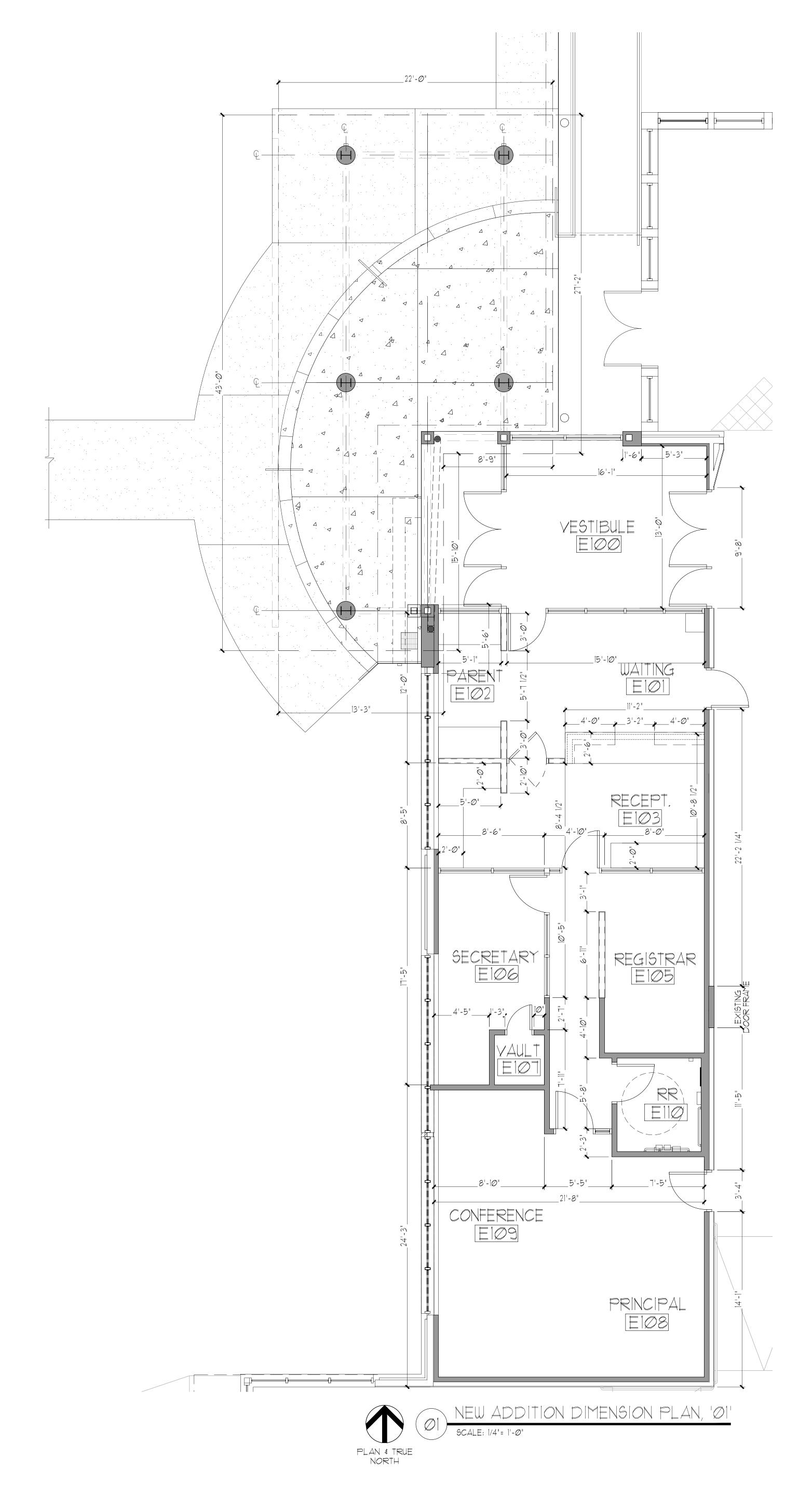
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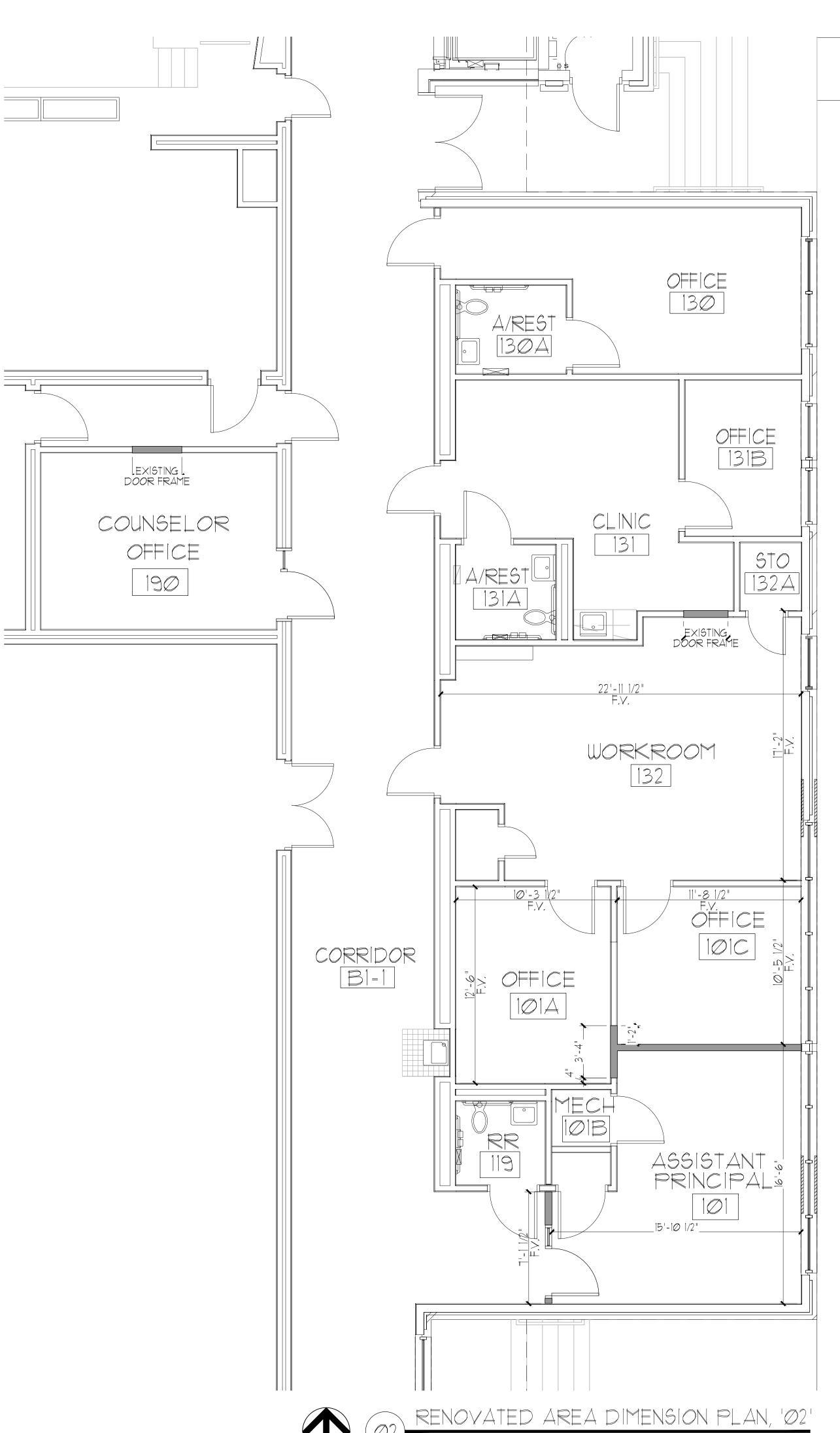
JALL

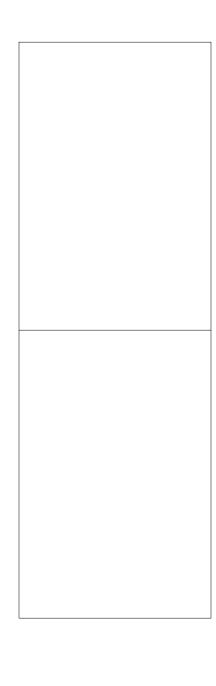
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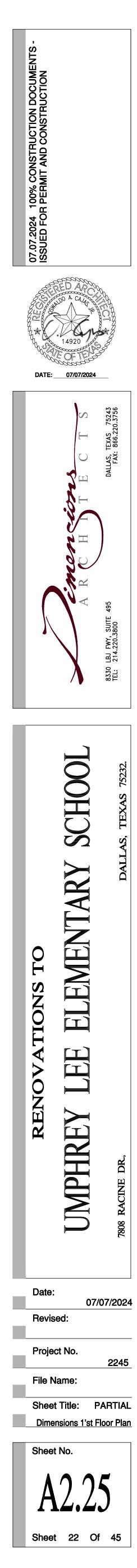
LEGEND:

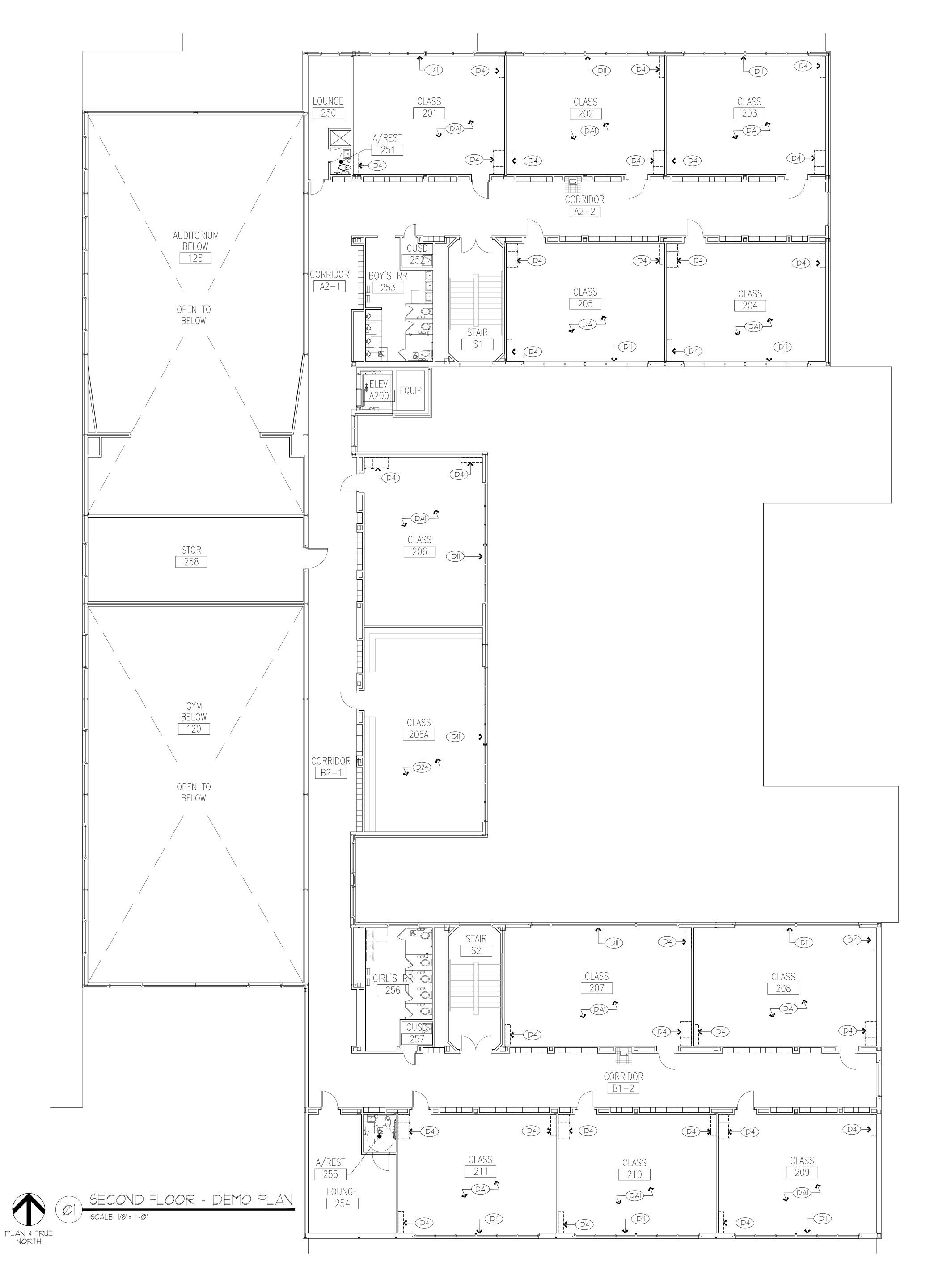
	EXISTING CONSTRUCTION TO REMAIN			
	NEW WALL			
	NEW HALF WALL			

GENERAL NOTES:

- DIMENSIONS ARE GIVEN TO FINISH FACE OF WALL UNLESS OTHERWISE NOTED.
- 2. <u>DO NOT</u> SCALE DRAWINGS FOR MISSING DIMENSIONS. CONTACT ARCHITECT.
- 3. WORK PERFORMED SHALL BE IN FULL AND COMPLETE COMPLIANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND REGULATIONS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND HIS SUBCONTRACTORS TO ESTABLISH APPLICABILITY, AND COMPLY WITH SAID CODES AND REGULATIONS ABOVE AND BEYOND PLANS APPROVAL AND AS REQUIRED BY GOVERNING INSPECTION AUTHORITY.
- 4. THE CONTRACTOR SHALL EMPLOY ONLY EXPERT TRADESMEN OR CRAFTSMEN WHO ARE THOROUGHLY EXPERIENCED IN THEIR TRADE AND CAPABLE OF PRODUCING WORK OF THE QUALITY DESIRED. THE WORK SHALL BE SUPERVISED BY A SUPERINTENDENT WHO IS KNOWN TO BE EXPERT IN ALL ASPECTS OF THE REQUIRED WORK.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SEQUENCING OF SUBCONTRACTORS WORK AND SHALL ASSUME RESPONSIBILITY FOR ALL COMPLETED AND WORK IN PROGRESS INCLUDING REPAIR OF DAMAGES TO WORK WHICH OCCURS PRIOR TO ACCEPTANCE BY THE OWNER.
- 6. CLEANUP: THE CONTRACTOR SHALL AT ALL TIMES KEEP PUBLIC. OCCUPANT ACCESS, ENTRANCES AND THE WORK FREE FROM ACCUMULATION OF WASTE MATERIALS, RUBBISH AND DIRT CAUSED BY THE WORK. AT THE COMPLETION OF THE WORK EACH DAY, REMOVE ALL WASTE AND RUBBISH FROM AND ABOUT THE PROJECT. THIS INCLUDES TOOLS, EQUIPMENT AND SURPLUS MATERIALS. CLEAN ALL SURFACES, WINDOWS AND FLOORS PER SPECIFICATIONS PRIOR TO ACCEPTANCE BY THE OWNER.
- REFER TO ELECTRICAL/TECHNOLOGY DRAWINGS FOR SECURITY CAMERAS, CARD ACCESS READERS AND DOOR CONTACTS DETAILS.

PLAN & TRUE NORTH



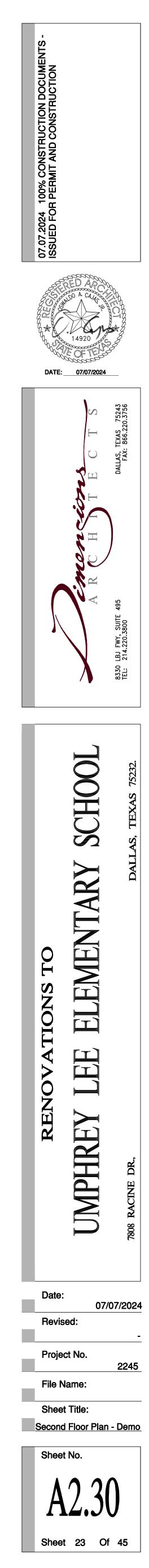


WALL LEGEND:

	EXISTING CONSTRUCTION TO REMAIN
	DEMO MILLWORK
GEN	ERAL NOTES:
FIEL	EXISTING DIMENSIONS AND CONDITIONS TO BE D VERIFIED AND CONFIRMED BY CONTRACTOR OR TO START OF CONSTRUCTION.
BO, NEU	STING TACKBOARDS, BLACK BOARDS, GREEN ARDS AND WHITE BOARDS TO BE ENCASED IN I CAVITY WALL, IN ALL CLASSROOMS WHERE NEW ROUT WALLS ARE BEING ADDED.
₽7	AN KEY NOTES APPLY TO SHEETS- A2.00, A2.10, 1, A2.12 AND A2.30.
DE	MOLITION KEYNOTES:
	DEMO EXISTING WINDOW SYSTEM, REMOVE WINDOW SCREENS, SALVAGE WINDOW SCREENS AND HANDOVER TO DISD.
D2	REMOVE EXISTING FLOOR FINISH, CLEAN SLAB AND PREPARE SURFACE TO RECEIVE NEW FLOOR FINISH,
D3	DEMO EXISTING WALL. PREPARE AREA TO RECEIVE NEW WALL, DOOR. COORDINATE WITH NEW FLOOR PLAN.
D4)	DEMO EXISTING MILLWORK, PREPARE AREA TO RECEIVE NEW FURRED OUT WALL.
D5	DEMO EXISTING CONCRETE PAVEMENT & STAIRS. PREPARE AREA TO RECEIVE NEW CONCRETE SLAB, NEW WALLS, AND NEW FLOOR, COORDINATE WITH NEW FLOOR PLAN.
D6)	DEMO EXISTING DOOR.
	EXISTING DOOR TO REMAIN, PREPARE, DOOR AND DOOR FRAME TO RECEIVE NEW PAINT AND NEW DOOR HARDWARE.
D8	REMOVE EXISTING EXTERIOR DOOR AND SCREEN DOOR, PREPARE TO RECEIVE NEW.
D9	DEMO EXISTING FIXTURES, PREPARE AREA TO RECEIVE NEW FLOORING AND NEW WALLS . COORDINATE WITH NEW FLOOR PLAN.
	PROVIDE NEW STEEL LINTEL ABOVE NEW OPENING.
	PATCH AND REPAIR ALL SURFACES, READY TO RECEIVE NEW PAINT.
D12	PRIOR TO REMOVAL OF WHOLE WALL, CONFIRM WALL CAVITY AND ANY EQUIPMENT, NOTIFY ARCHITECT.
D13)	DEMO EXISTING WATER CLOSET AND PREPARE AREA TO RECEIVE NEW.
D14)	DEMO EXISTING BRICK WALL, PROTECT EXISTING CONCRETE SLAB AND ROOF ABOVE, PREPARE AREA TO RECEIVE NEW WALLS AND STOREFRONT, CO-ORDINATE WITH NEW CONSTRUCTION PLAN.
D15	EXISTING RAMP TO REMAIN.
D16	EXISTING COLUMNS TO REMAIN, PREPARE TO RECEIVE NEW PAINT TO MATCH NEW COLUMN COVER COLOR.
	EXISTING RAILING TO BE DEMOED.
	EXISTING RAILING TO REMAIN.
(D19)	EXISTING WINDOW UNIT TO BE REMOVED, REFER MEP DRAWIN FOR ADDITIONAL INFO, PREPARE WINDOW OPENING TO BE INFILLED WITH NEW GLAZING.
D20	EXISTING LOUVERS TO BE REMOVED, PREPARE OPENING TO INFILLED, TO MATCH EXISTING.
(D21)	PROVIDE NEW THRU WALL OPENING FOR DRYER VENT, REFER MEP FOR ADDITIONAL INFORMATION.
D22	PATCH AND REPAIR ALL SURFACES (WALL, CEILING AND FLOOR) AFTER THE DEMOLITION OF HVAC UNIT.
D23	DEMO EXISTING BLACK BOARDS, GREEN BOARDS AND WHITE BOARDS, PATCH AND REPAIR SURFACE TO RECEIVE NEW BOARD/NEW PAINT.
(D24)	PROTECT EXISTING MILLWORK DURING CONSTRUCTION

ALTERNATE NOTES:

(DAI) REMOVE EXISTING FLOOR FINISH. CLEAN SLAB AND PREPARE SURFACE TO RECEIVE NEW FLOOR FINISH, REFER TO FLOOR FINISH PLAN A2.62 AND FINISH SCHEDULE ON A6.00 FOR ADDITIONAL DETAILS.

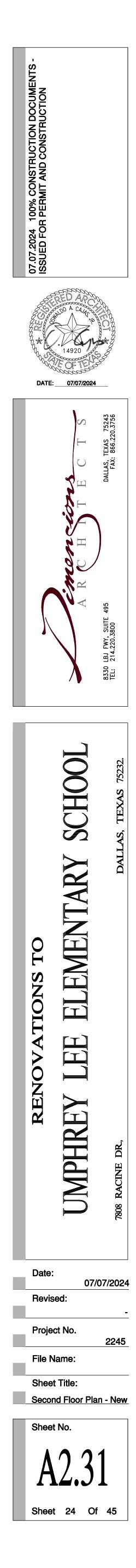


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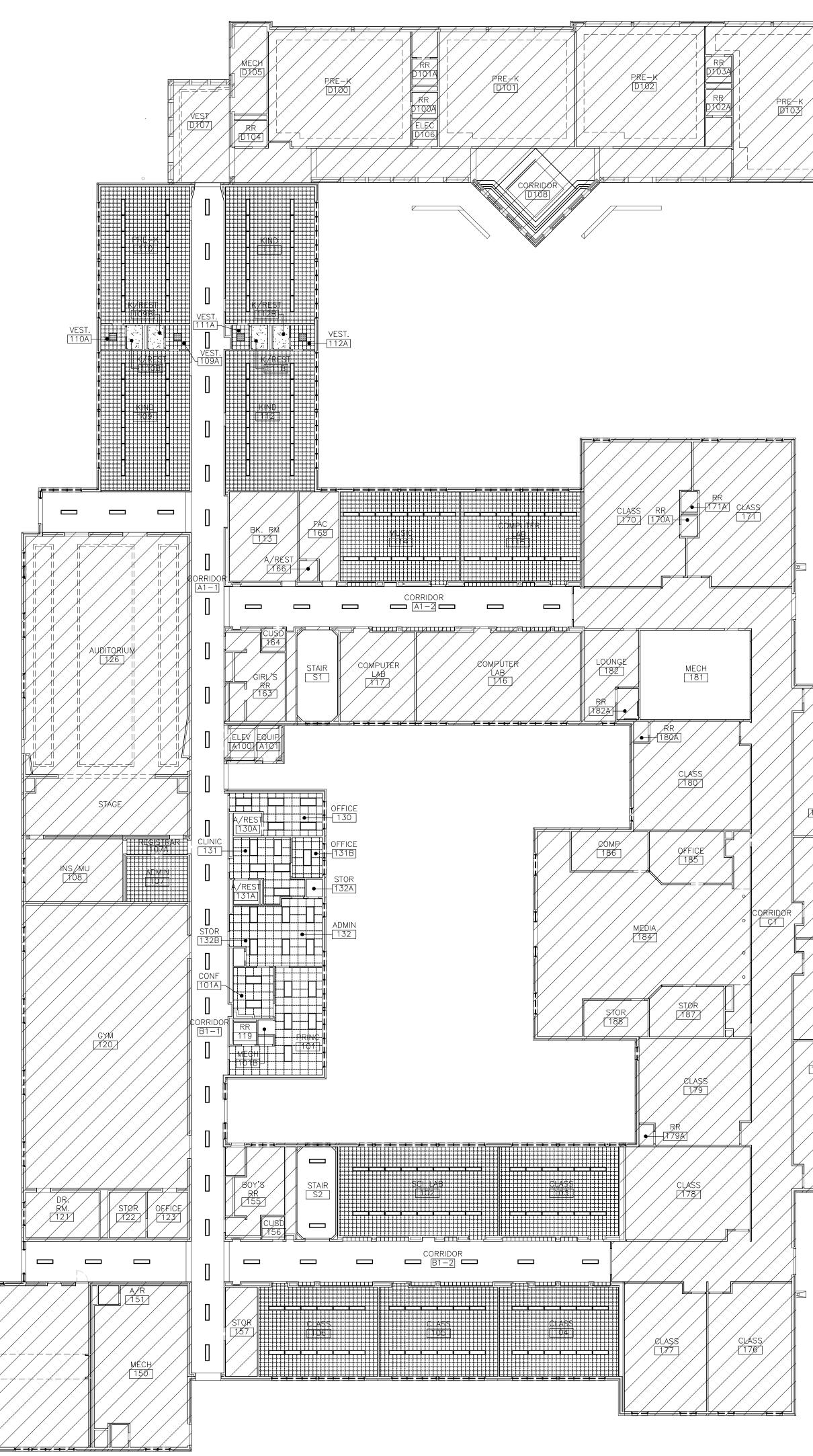
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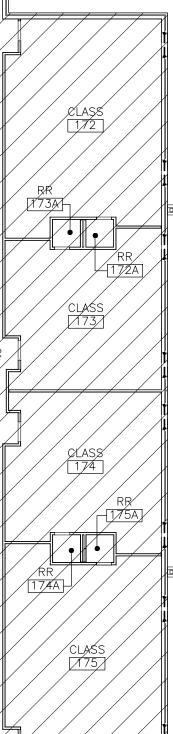


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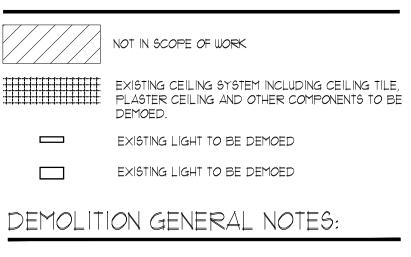


PLAN & TRUE NORTH

FIRST FLOOR RCP - DEMO SCALE: 1"= 16'-0"



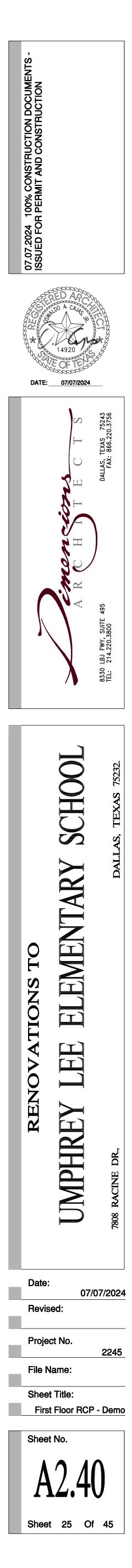
RCP DEMO LEGEND:

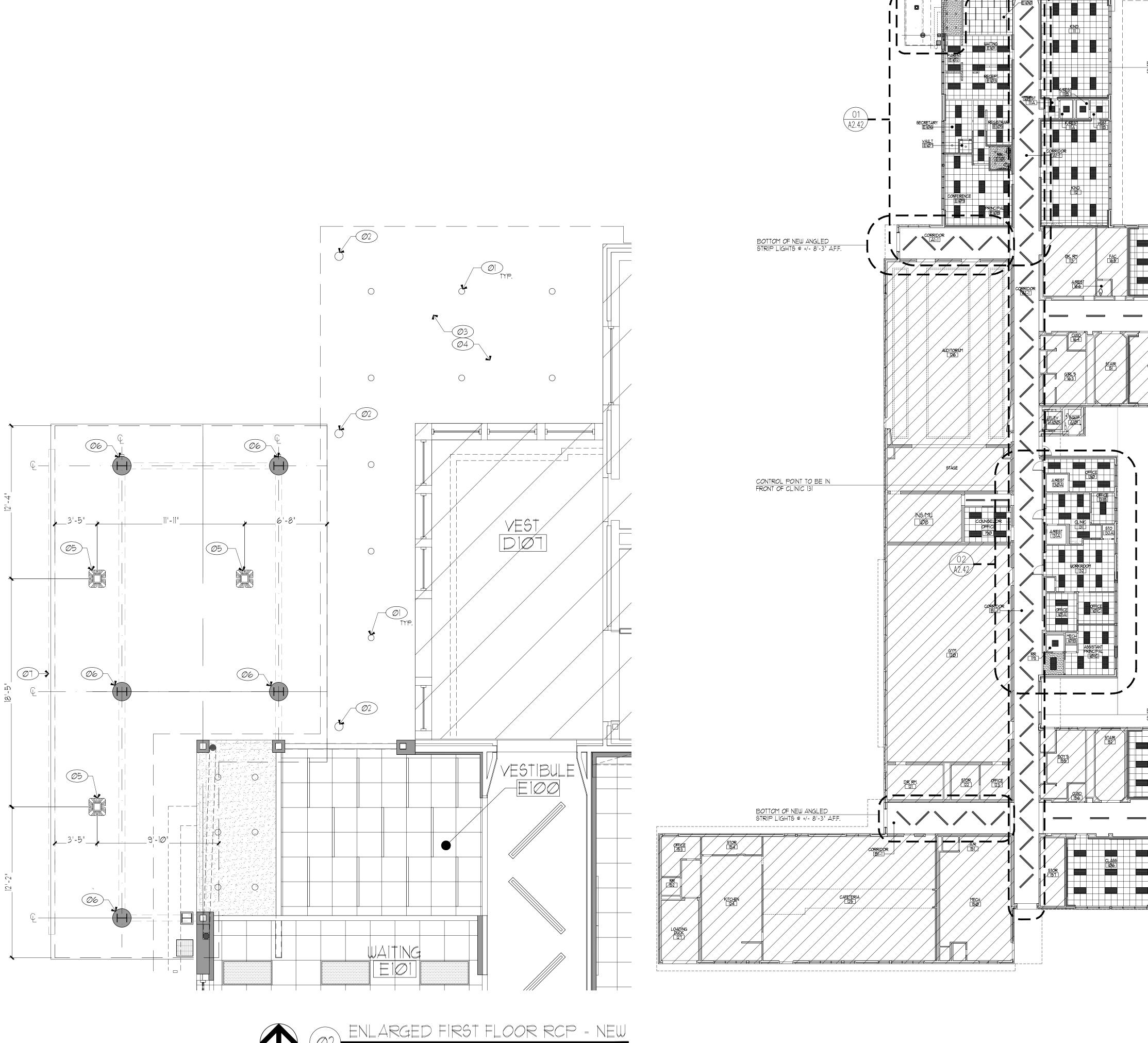


- ALL DIMENSIONS AND CONDITIONS TO BE FIELD VERIFIED AND CONFIRMED BY CONTRACTOR PRIOR TO START OF DEMOLITION.
- 2. ALL EXISTING PAINT SURFACES SHALL BE SCRAPED, PRIMED, CLEANED AND PREPARED TO RECEIVE NEW PAINT.
- 3. COORDINATE WITH DISD FOR STORAGE OF ALL REMOVED ITEMS OF VALUE TO DISD.
- 4. REFER TO MEP DRAWINGS FOR FURTHER DEMOLITION NOTES.
- 5. REMOVE ACOUSTICAL / GYPSUM CEILING. REMOVE LIGHT FIXTURES AND SALVAGE TO BE REUSED. PROTECT FIRE SPRINKLER SYSTEM AND MEP LINES / ITEMS FROM NEW WORK, CEILING DEVICES SUCH SMOKE / CARBON MONOXIDE DETECTORS, FIRE ALARM SYSTEM STROBE LIGHTS, ROUTERS FOR INTERNET, ETC. TO BE REUSED. ALL DAMAGED ITEMS TO BE REPLACED. MECHANICAL GRILLES TO BE REUSED. SEE MEP DRAWINGS FOR ADDITIONAL DEMOLITION INFORMÁTION,

ASBESTOS ABATEMENT NOTES:

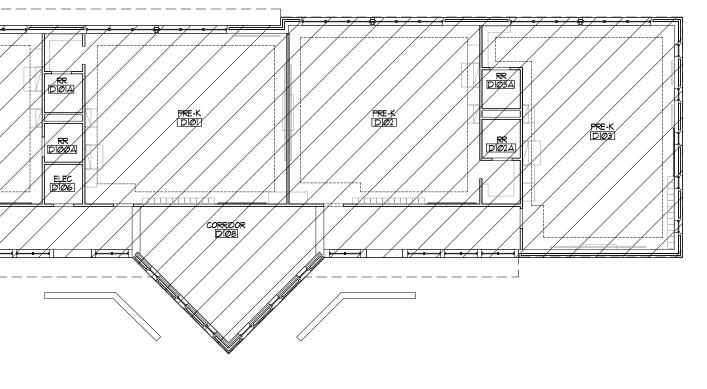
- 1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR EMPLOYING THE SERVICES OF THE ASBESTOS ABATEMENT COMPANY.
- 2. REFER TO ASBESTOS SURVEY INCLUDED IN THE SPECIFICATIONS MANUAL.
- 3. ABATEMENT CONTRACTOR TO REMOVE SUSPENDED ACOUSTICAL CEILING AS INDICATED ON DEMO RCP SHEETS. REMOVE ALL ASBESTOS-CONTAINING SPRAY-APPLIED CEILING THAT MAY BE PRESENT ABOVE THE SUSPENDED ACOUSTICAL CEILING. COORDINATE WITH GENERAL CONTRACTOR FOR REMOVAL OF ALL LIGHTING FIXTURES AND DEVICES. DATA/ELECTRICAL/FIRE SPRINKLER LINES AND DEVICES TO REMAIN IN PLACE.
- 4. ABATEMENT CONTRACTOR TO REMOVE VCT TILE AT ALL CLASSROOMS, OFFICES, STORAGE ROOMS AND HALLWAYS.
- 5. ABATEMENT CONTRACTOR TO REMOVE ASBESTOS-CONTAINING CAULKING COMPOUND ON EXTERIOR WINDOWS THAT ARE DESIGNATED TO BE REMOVED.
- 6. ABATEMENT CONTRACTOR TO REMOVE ASBESTOS-CONTAINING THERMAL SYSTEM INSULATION IN THE CRAWL SPACE AS DESIGNATED TO BE REMOVED ON PLUMBING SHEETS.



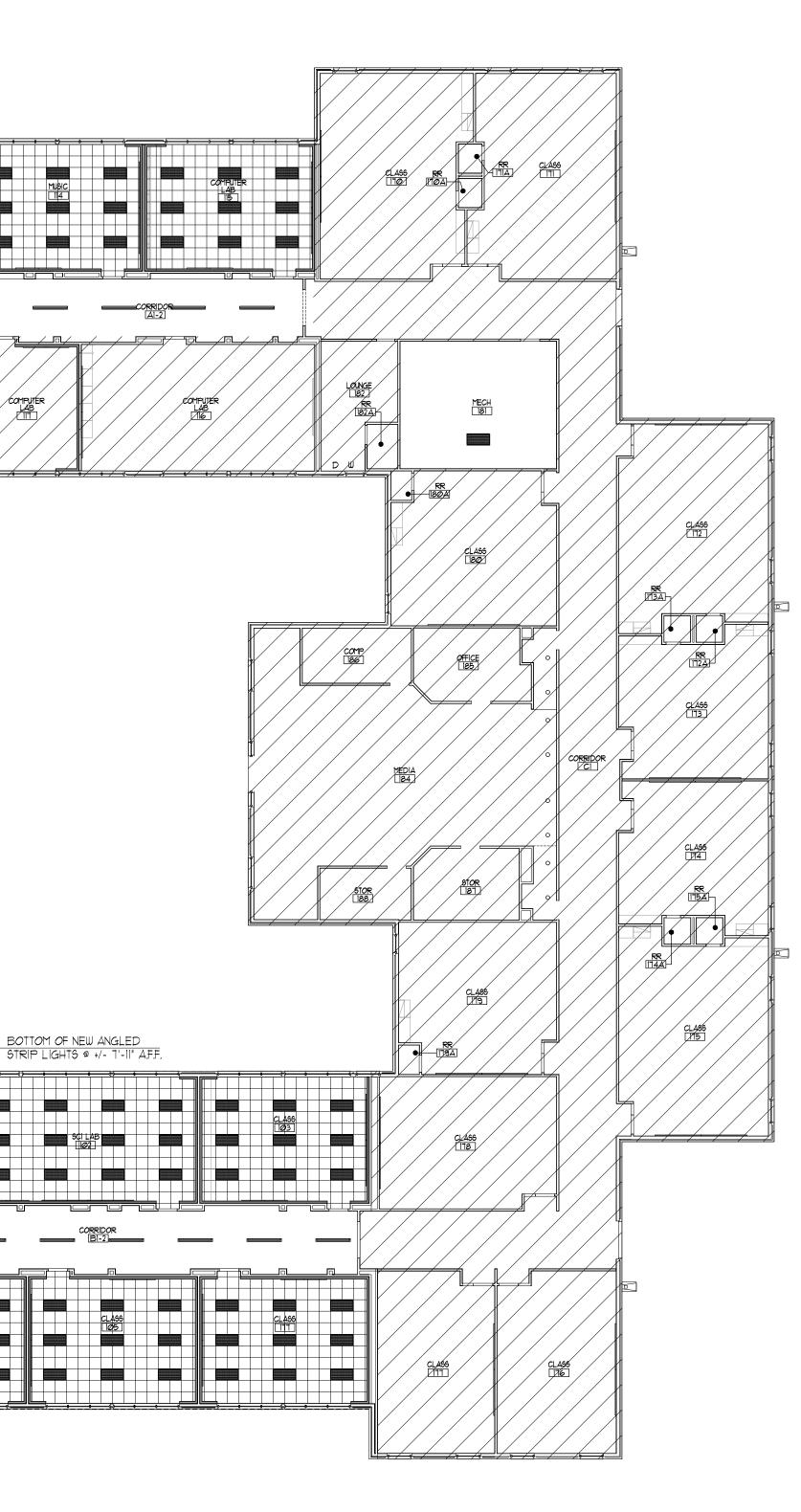


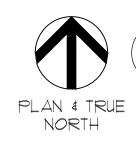
PLAN ∉ TRUE NORTH

SCALE: 1/4"= 1'-Ø"



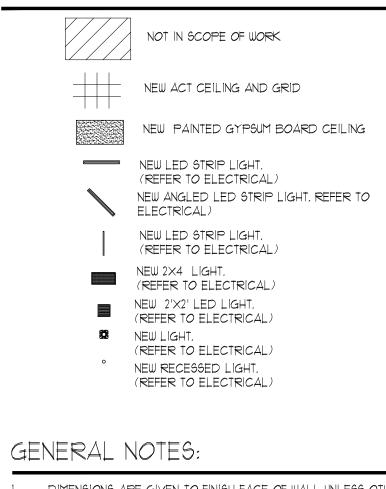
BOTTOM OF NEW ANGLED STRIP LIGHTS @ +/- 1'-11" A.F.F.





OI = FIRST FLOOR RCP = NEWSCALE: 1/16" = 1'-0"

RCP NEW WORK LEGEND:

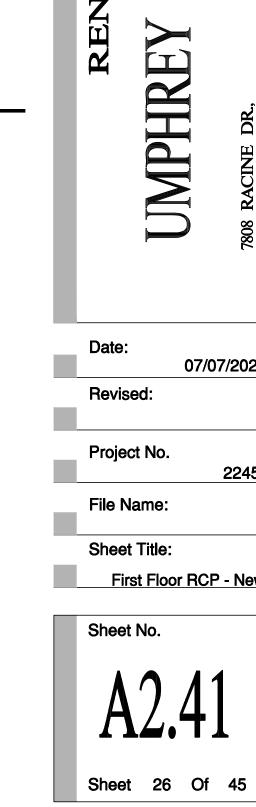


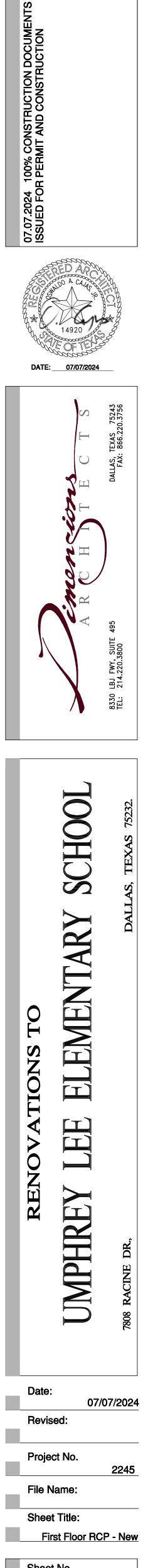
1. DIMENSIONS ARE GIVEN TO FINISH FACE OF WALL UNLESS OTHERWISE NOTED. 2. <u>DO NOT</u> SCALE DRAWINGS FOR MISSING DIMENSIONS. CONTACT ARCHITECT. WORK PERFORMED SHALL BE IN FULL AND COMPLETE COMPLIANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND REGULATIONS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND HIS SUBCONTRACTORS TO ESTABLISH APPLICABILITY, AND COMPLY WITH SAID CODES AND REGULATIONS ABOVE AND BEYOND PLANS APPROVAL AND AS REQUIRED BY GOVERNING INSPECTION AUTHORITY. 4. THE CONTRACTOR SHALL EMPLOY ONLY EXPERT TRADESMEN OR CRAFTSMEN WHO ARE THOROUGHLY EXPERIENCED IN THEIR TRADE AND CAPABLE OF PRODUCING WORK OF THE QUALITY DESIRED. THE WORK SHALL BE SUPERVISED BY A SUPERINTENDENT WHO IS KNOWN TO BE EXPERT IN ALL ASPECTS OF THE REQUIRED WORK. 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SEQUENCING OF SUBCONTRACTORS WORK AND SHALL ASSUME RESPONSIBILITY FOR ALL COMPLETED AND WORK IN PROGRESS INCLUDING REPAIR OF DAMAGES TO WORK WHICH OCCURS PRIOR TO ACCEPTANCE BY THE OWNER. 6. CLEANUP: THE CONTRACTOR SHALL AT ALL TIMES KEEP PUBLIC. OCCUPANT ACCESS, ENTRANCES AND THE WORK FREE FROM ACCUMULATION OF WASTE MATERIALS, RUBBISH AND DIRT CAUSED BY THE WORK. AT THE COMPLETION OF THE WORK EACH DAY, REMOVE ALL WASTE AND RUBBISH FROM AND ABOUT THE PROJECT. THIS INCLUDES TOOLS, EQUIPMENT AND SURPLUS MATERIALS. CLEAN ALL SURFACES, WINDOWS AND FLOORS PER SPECIFICATIONS PRIOR TO ACCEPTANCE BY THE OWNER. REFER TO ELECTRICAL FOR SECURITY CAMERAS, CARD ACCESS READERS AND DOOR CONTACTS DETAILS. 8. NO STEP DOWN FOR NEW CORRIDOR LIGHTS, MAINTAIN SAME HEIGHT FROM EXISTING CEILING THROUGHOUT. 9. REFER TO FINISH SCHEDULE SHEET A6.00 FOR ALL CEILING HEIGHTS.

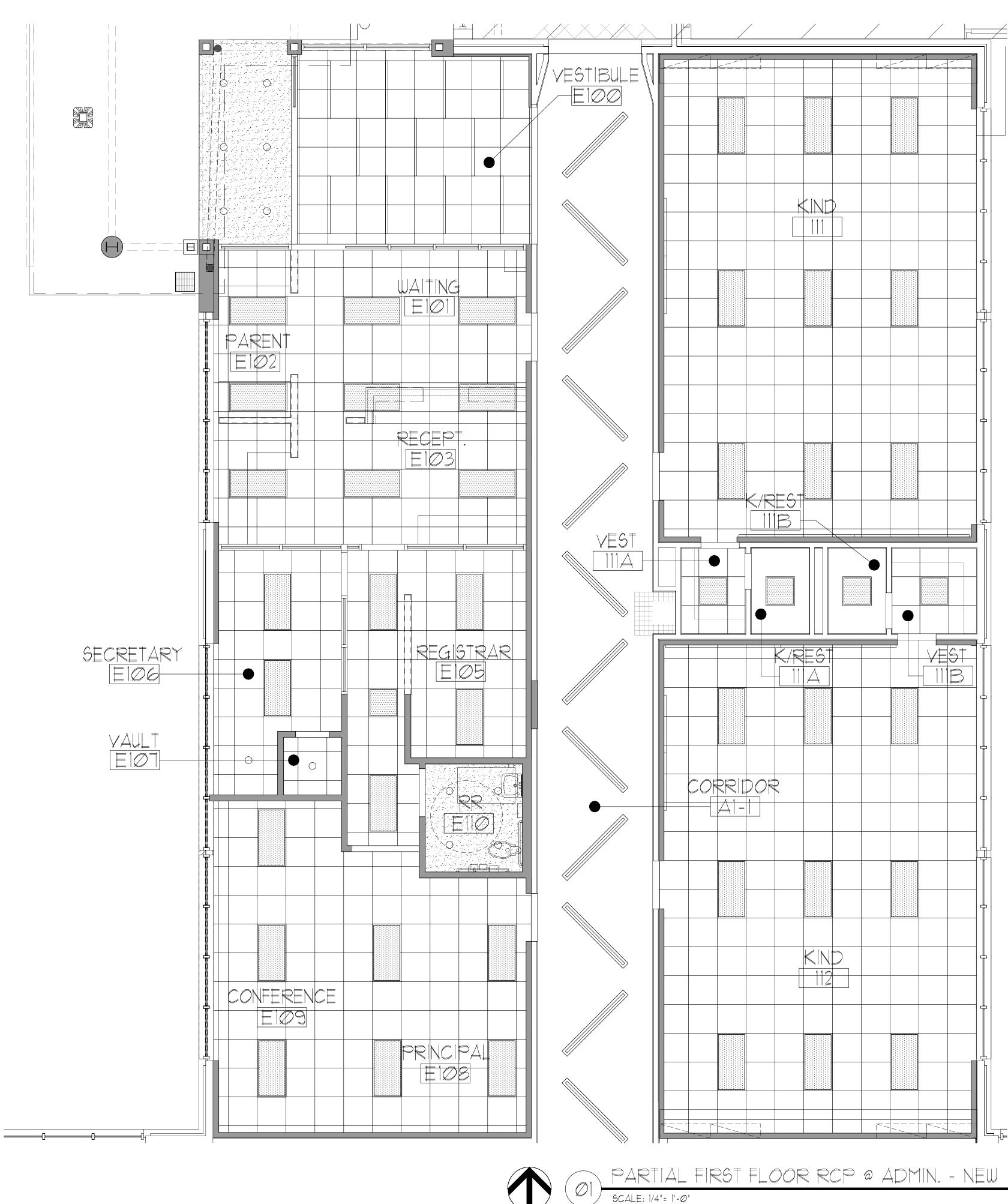
KEY NOTES:

(0) NEW LIGHTS TO BE INSTALLED ON EXISTING ROOF (2) EXISTING COLUMNS TO REMAIN

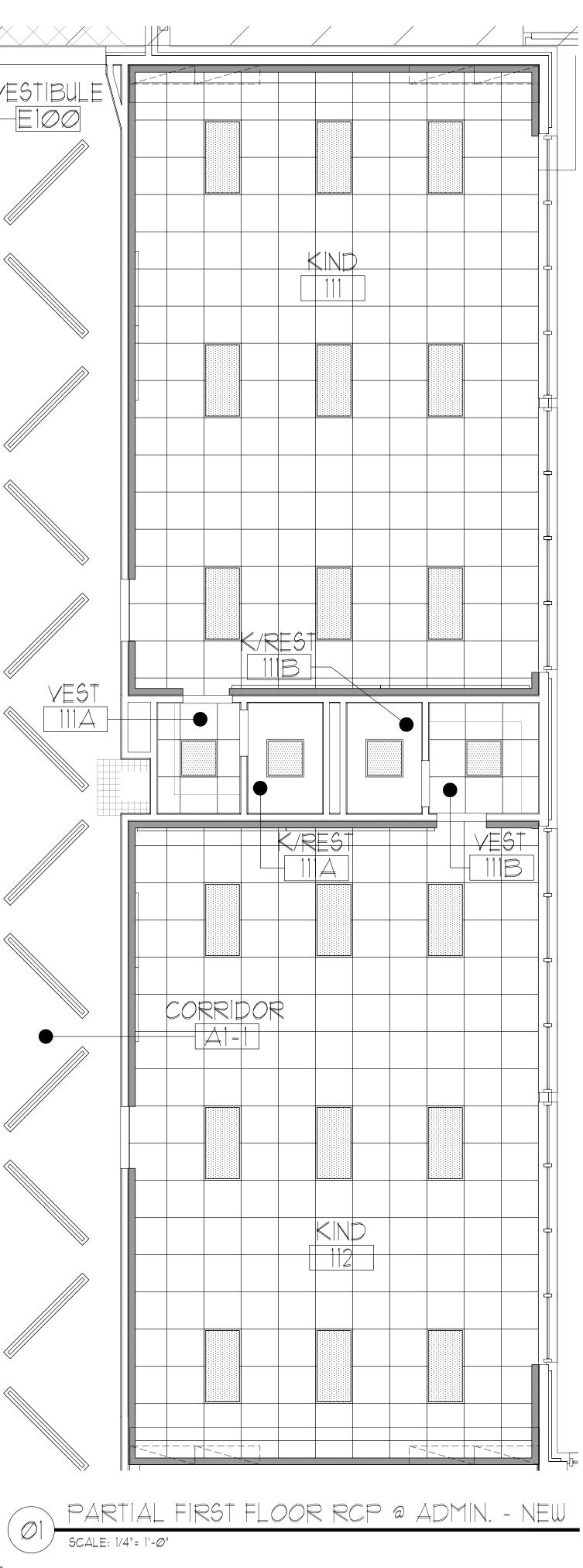
- (03) EXISTING ROOF TO REMAIN, PATCH AND REPAIR SURFACES AS NEEDED PER NEW LIGHT INSTALLATION
- $\bigcirc 4$ EXISTING PLASTER TO BE PAINTED WITH SW 1655 STAMPED CONCRETE
- (05) NEW LIGHTS TO BE ADDED ON NEW METAL CANOPY
- (06) NEW STRUCTURAL COLUMNS, REFER TO STRUCTURE DRAWINGS FOR DETAILS
- (07) NEW SCHOOL NAME SIGNAGE PER SPECIFICATIONS (08) NEW EXPOSED ROOF METAL COMPONENTS TO BE PAINTED SW 6255 MORNING FOG

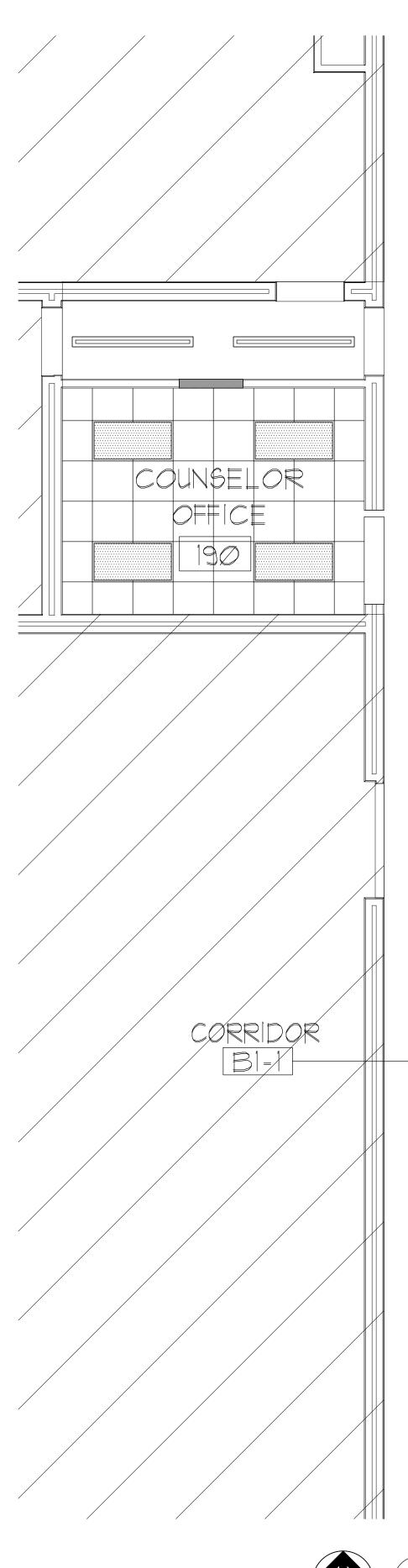




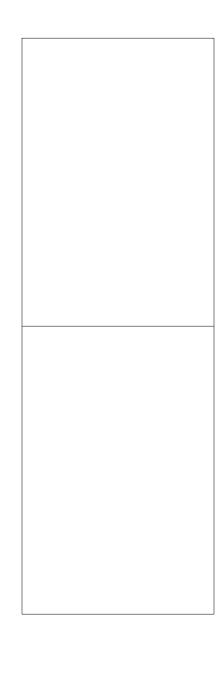


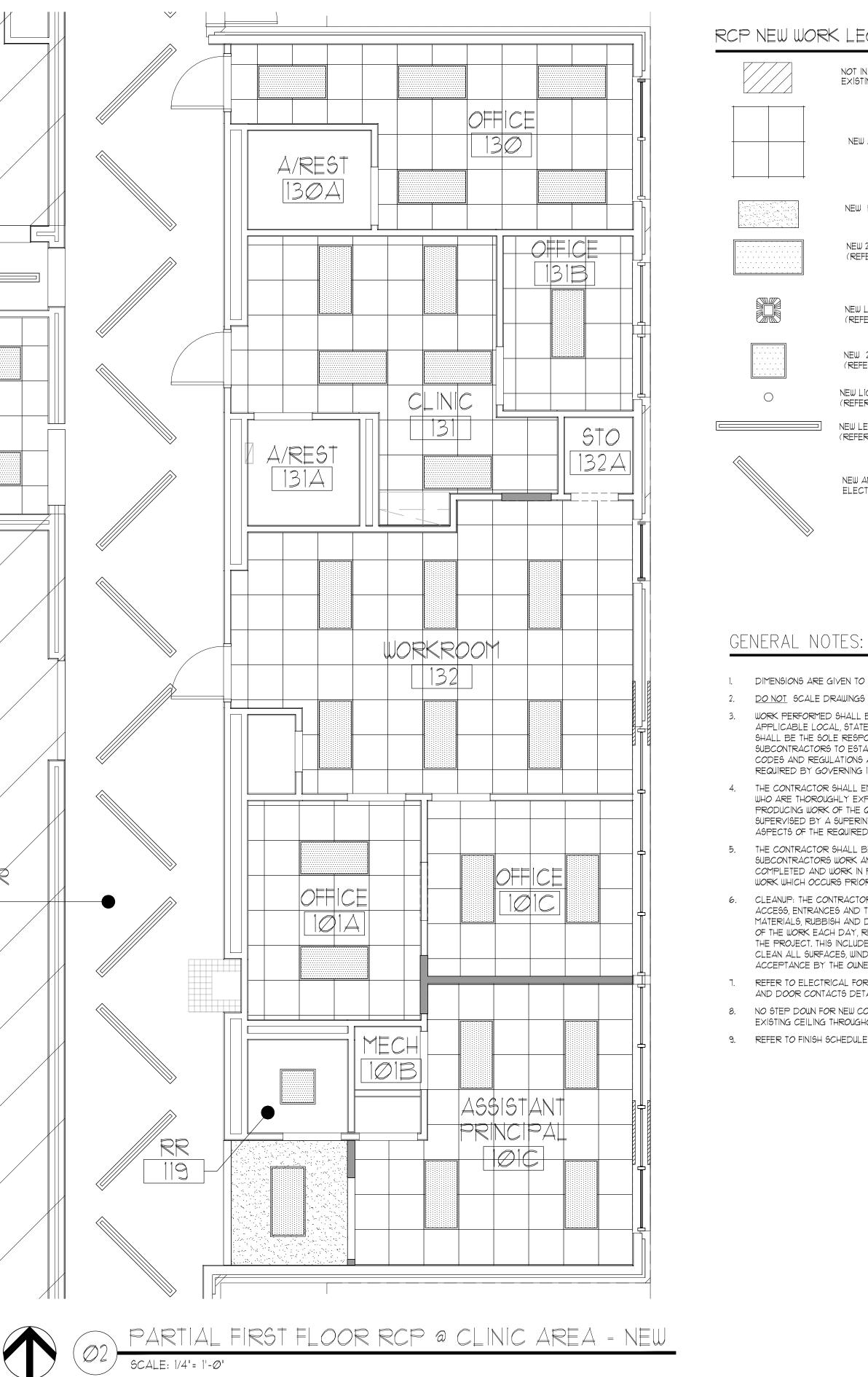
PLAN & TRUE NORTH

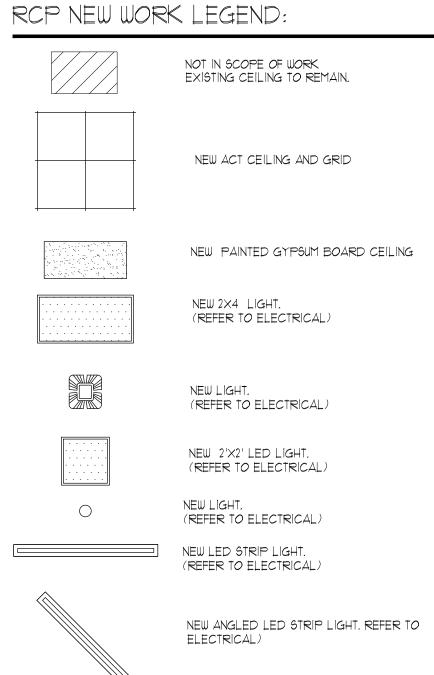




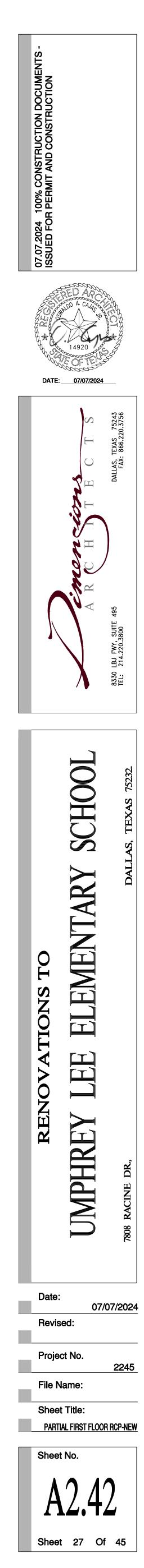
PLAN & TRUE NORTH

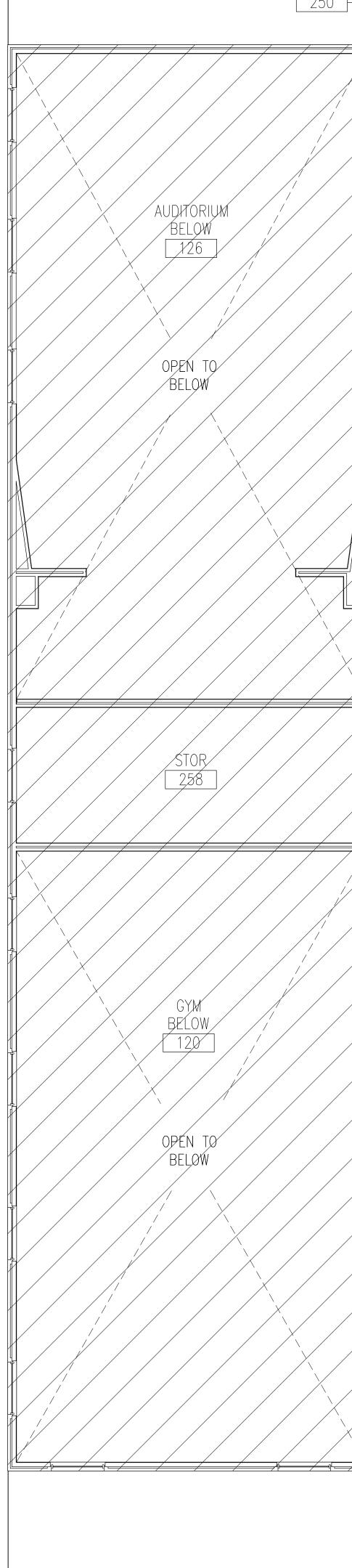


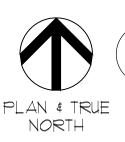




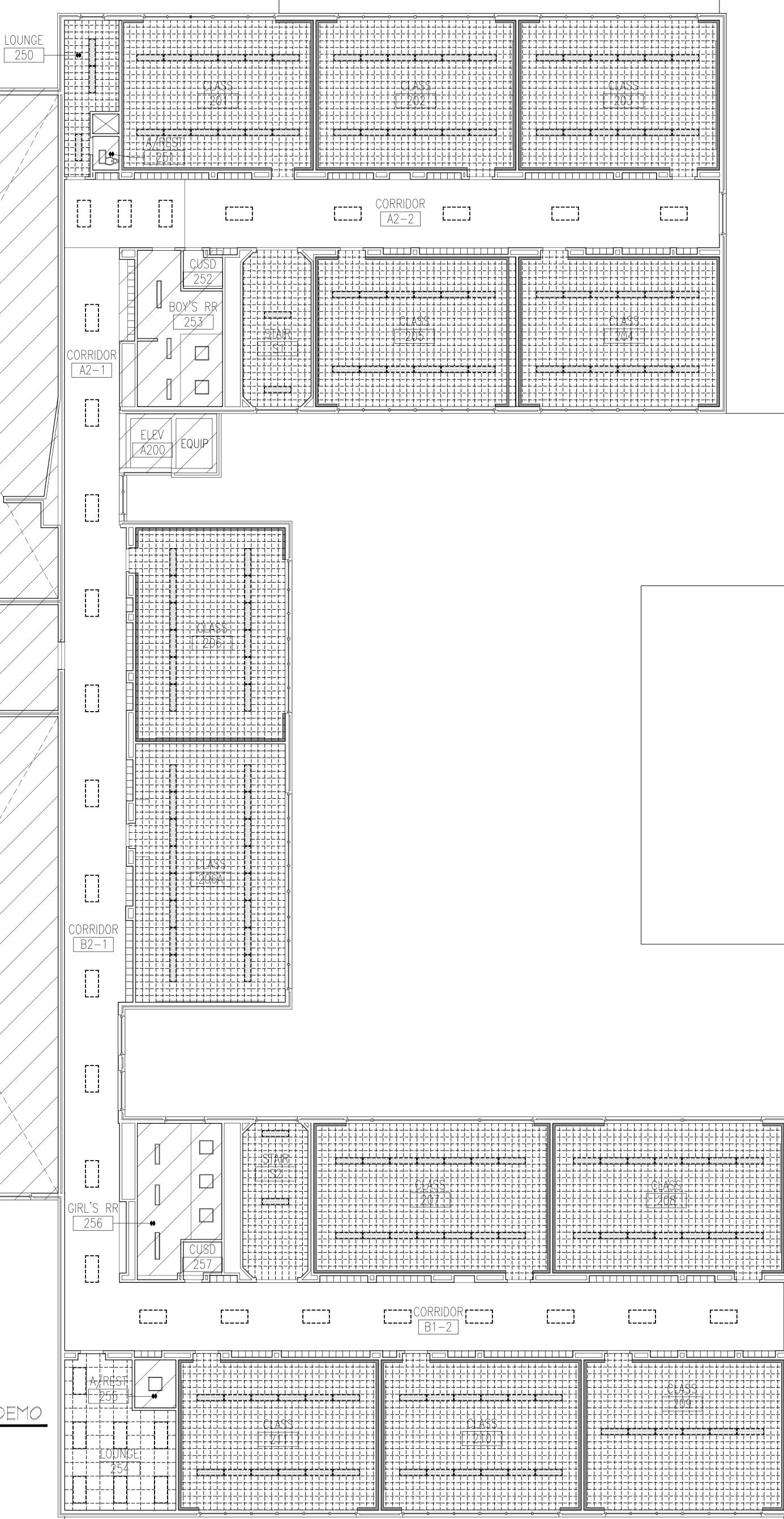
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- 6. CLEANUP: THE CONTRACTOR SHALL AT ALL TIMES KEEP PUBLIC, OCCUPANT ACCESS, ENTRANCES AND THE WORK FREE FROM ACCUMULATION OF WASTE MATERIALS, RUBBISH AND DIRT CAUSED BY THE WORK. AT THE COMPLETION OF THE WORK EACH DAY, REMOVE ALL WASTE AND RUBBISH FROM AND ABOUT THE PROJECT. THIS INCLUDES TOOLS, EQUIPMENT AND SURPLUS MATERIALS. CLEAN ALL SURFACES, WINDOWS AND FLOORS PER SPECIFICATIONS PRIOR TO ACCEPTANCE BY THE OWNER.
- 1. REFER TO ELECTRICAL FOR SECURITY CAMERAS, CARD ACCESS READERS AND DOOR CONTACTS DETAILS.
- 8. NO STEP DOWN FOR NEW CORRIDOR LIGHTS, MAINTAIN SAME HEIGHT FROM EXISTING CEILING THROUGHOUT.
- 9. REFER TO FINISH SCHEDULE SHEET AG.00 FOR ALL CEILING HEIGHTS.







SECOND FLOOR RCP - DEMO



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RCP DEMO LEGEND:

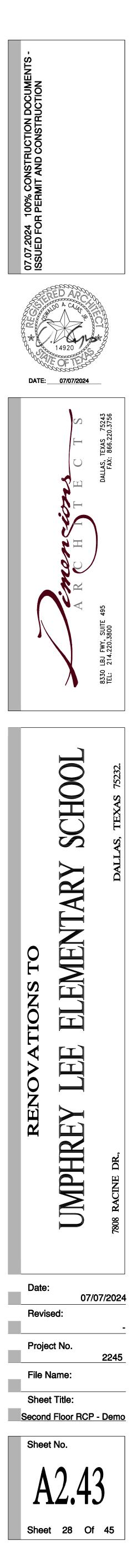
	NOT IN SCOPE OF WORK EXISTING CEILING TO REMAIN.
→ → → → → → → → → → → → → → → → → → →	EXISTING CEILING SYSTEM INCLUDING CEILING TILE, PLASTER CEILING: AND OTHER COMPONENTS TO BE DEMOED.
c=3 []]	EXISTING LIGHT TO BE DEMOED EXISTING LIGHT TO BE DEMOED

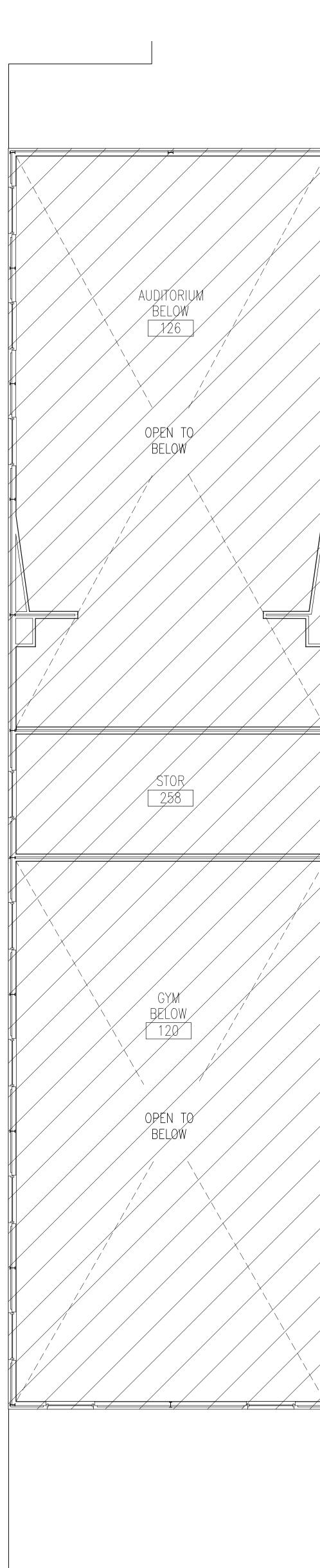
DEMOLITION GENERAL NOTES:

- 1. ALL DIMENSIONS AND CONDITIONS TO BE FIELD VERIFIED AND CONFIRMED BY CONTRACTOR PRIOR TO START OF
- DEMOLITION. 2. ALL EXISTING PAINT SURFACES SHALL BE SCRAPED, PRIMED,
- CLEANED AND PREPARED TO RECEIVE NEW PAINT. 3. COORDINATE WITH DISD FOR STORAGE OF ALL REMOVED
- ITEMS OF VALUE TO DISD.
- 4. REFER TO MEP DRAWINGS FOR FURTHER DEMOLITION NOTES.
- 5. REMOVE ACOUSTICAL / GYPSUM CEILING, REMOVE LIGHT FIXTURES AND SALVAGE TO BE REUSED IF REQUIRED AS PER DISD APPROVAL, PROTECT FIRE SPRINKLER SYSTEM AND MEP LINES / ITEMS FROM NEW WORK. CEILING DEVICES SUCH SMOKE / CARBON MONOXIDE DETECTORS, FIRE ALARM SYSTEM STROBE LIGHTS, ROUTERS FOR INTERNET, ETC. TO BE REUSED. ALL DAMAGED ITEMS TO BE REPLACED. MECHANICAL GRILLES TO BE REUSED IF REQUIRED AS PER DISD APPROVAL. SEE MEP DRAWINGS FOR ADDITIONAL DEMOLITION INFORMATION.

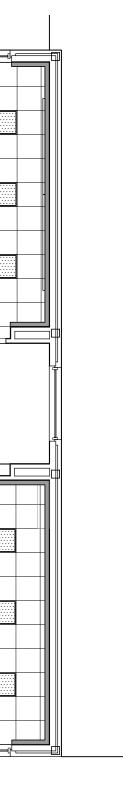
ASBESTOS ABATEMENT NOTES:

- 1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR EMPLOYING THE SERVICES OF THE ASBESTOS ABATEMENT COMPANY.
- 2. REFER TO ASBESTOS SURVEY INCLUDED IN THE SPECIFICATIONS MANUAL.
- 3. ABATEMENT CONTRACTOR TO REMOVE SUSPENDED ACOUSTICAL CEILING AS INDICATED ON DEMO RCP SHEETS. REMOVE ALL ASBESTOS-CONTAINING SPRAY-APPLIED CEILING THAT MAY BE PRESENT ABOVE THE SUSPENDED ACOUSTICAL CEILING, COORDINATE WITH GENERAL CONTRACTOR FOR REMOVAL OF ALL LIGHTING FIXTURES AND DEVICES. DATA/ELECTRICAL/FIRE SPRINKLER LINES AND DEVICES TO REMAIN IN PLACE.
- 4. ABATEMENT CONTRACTOR TO REMOVE VCT TILE AT ALL CLASSROOMS, OFFICES, STORAGE ROOMS AND HALLWAYS.
- 5. ABATEMENT CONTRACTOR TO REMOVE ASBESTOS-CONTAINING CAULKING COMPOUND ON EXTERIOR WINDOWS THAT ARE DESIGNATED TO BE REMOVED.
- 6. ABATEMENT CONTRACTOR TO REMOVE ASBESTOS-CONTAINING THERMAL SYSTEM INSULATION IN THE CRAWL SPACE AS DESIGNATED TO BE REMOVED ON PLUMBING SHEETS.

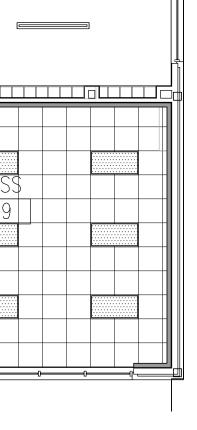




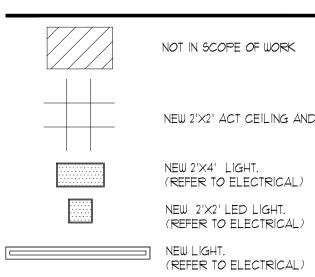
LOUNGE CLASS	CLASS
A/REST CORRIDOR 251 A/REST CORRIDOR	
BOY'S RR 253 STAR STAR STAR	CLASS
CORRIDOR A2-1 T	
	CLASS
GIRL'S RR 256 CUSD	
CORRIDOR B1-2	



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RCP NEW WORK LEGEND:



NEW 2'X2' ACT CEILING AND GRID NEW 2'X4' LIGHT. (REFER TO ELECTRICAL)

NOT IN SCOPE OF WORK

NEW 2'X2' LED LIGHT. (REFER TO ELECTRICAL)

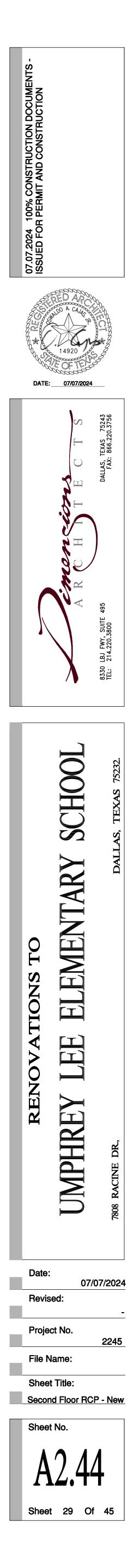
GENERAL NOTES:

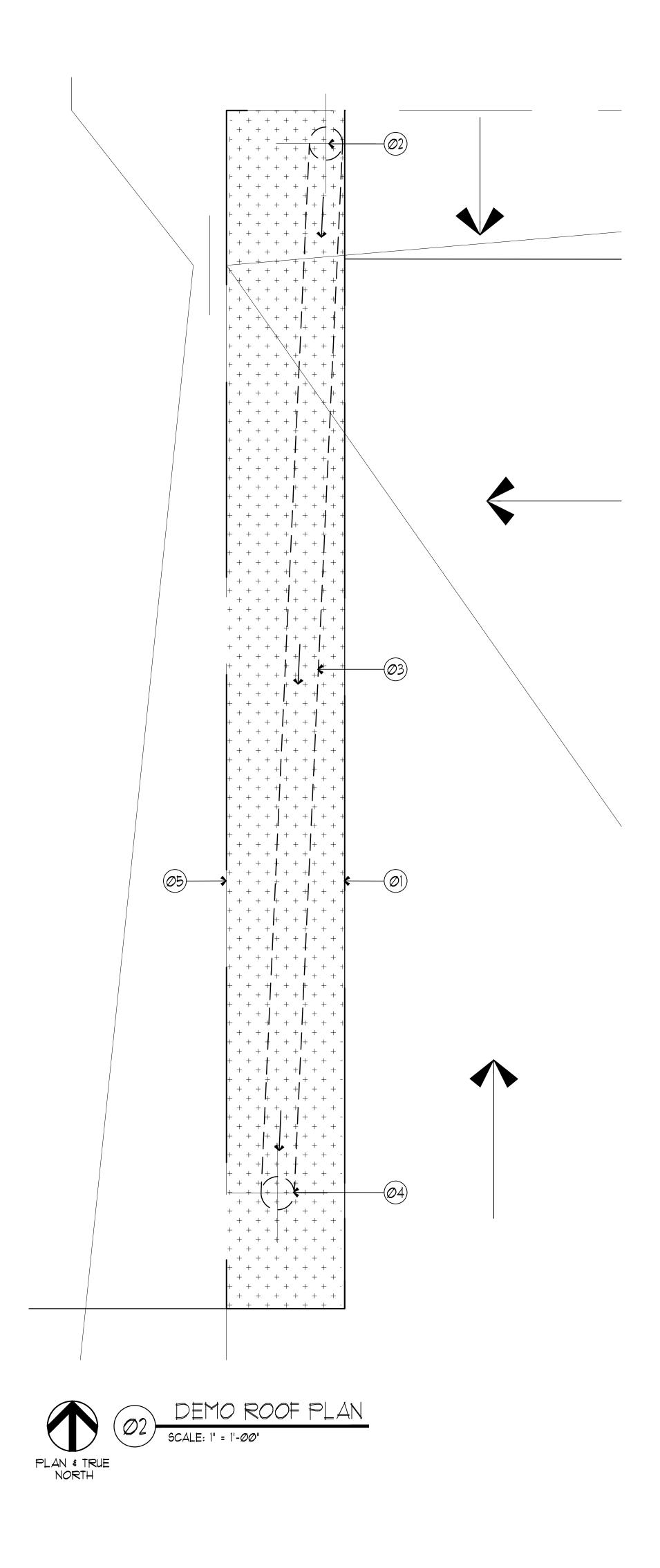
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- REFER TO ELECTRICAL FOR SECURITY CAMERAS, CARD ACCESS READERS AND DOOR CONTACTS DETAILS.

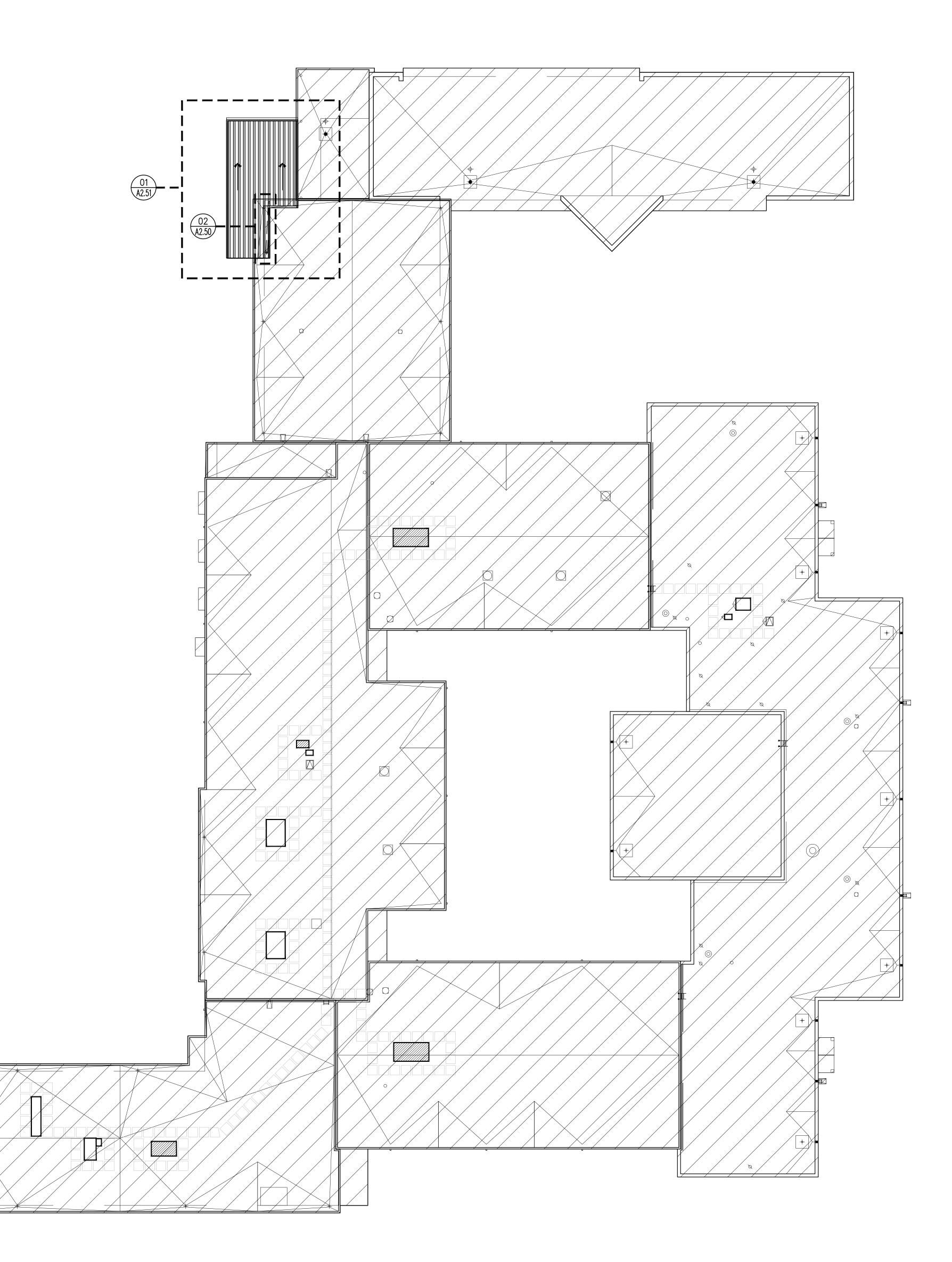


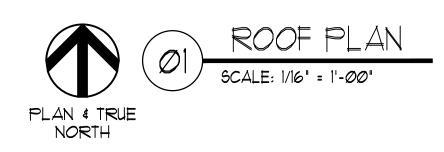


PLAN & TRUE NORTH









LEGEND:

	>	CANOPY ROOF SLOPE
	- ф-	EXISTING DOWNSPOUT
Ļ		NEW ROOF GUTTER & DOWNSPOUT ASSEMBLY
		NO WORK SCOPE

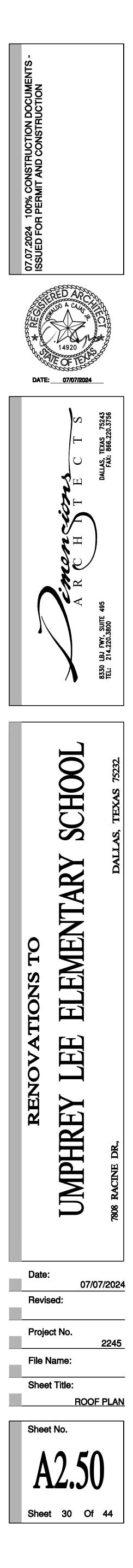
KEY NOTES:

(01) SCOPE AREA FOR NEW ROOF DRAINAGE	PIP
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- (02) EXISTING ROOF DRAIN TO REMAIN
- (03) NEW INTERNAL REROUTED ROOF DRAIN PIPE
- \bigcirc NEW INTERNAL DOWNSPOUT W/ DAYLIGHT DRAINAGE
- 05 EXISTING EDGE OF ROOF

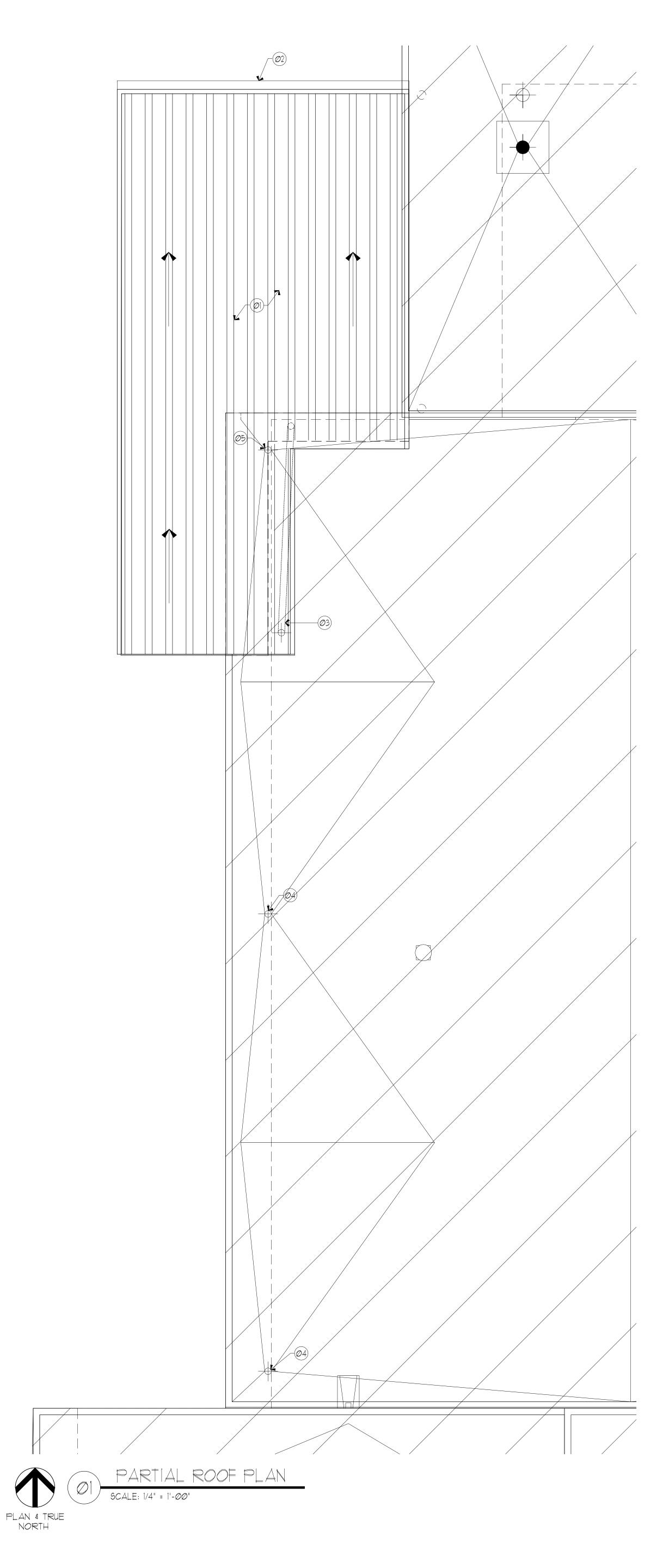
GENERAL NOTES:

1. ALL EXISTING DIMENSIONS AND CONDITIONS TO BE FIELD VERIFIED AND CONFIRMED BY CONTRACTOR PRIOR TO START OF CONSTRUCTION.



PING

		CAST IRON DRAIN STRA
		PRIME LEAD BO AND SET IN MAS
COVER BOARD		
CLAMPING RING		
DECK CLAMP		
SHEET LEAD, MIN. 30" × 30" - PRIME LEAD WITH PRIMER ON BOTH SIDES, ROLL LEAD DOWN BOWL. (SET IN MBR UTILITY CEMENT OR MBR FLASHING CEMENT)		
CAST-IRON DRAIN		
EXISTING DRAIN		
INSULATION TAPERED TO	DECK	



RAINER

SOTH SIDES

PLIES

Y ROOF MEMBRANE

LEGEND:

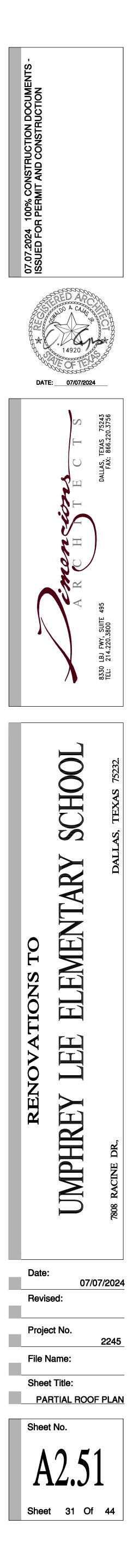
- NEW ROOF GUTTER & DOWNSPOUT ASSEMBLY
- NO WORK SCOPE

GENERAL NOTES:

1. ALL EXISTING DIMENSIONS AND CONDITIONS TO BE FIELD VERIFIED AND CONFIRMED BY CONTRACTOR PRIOR TO START OF CONSTRUCTION.

KEYNOTES:

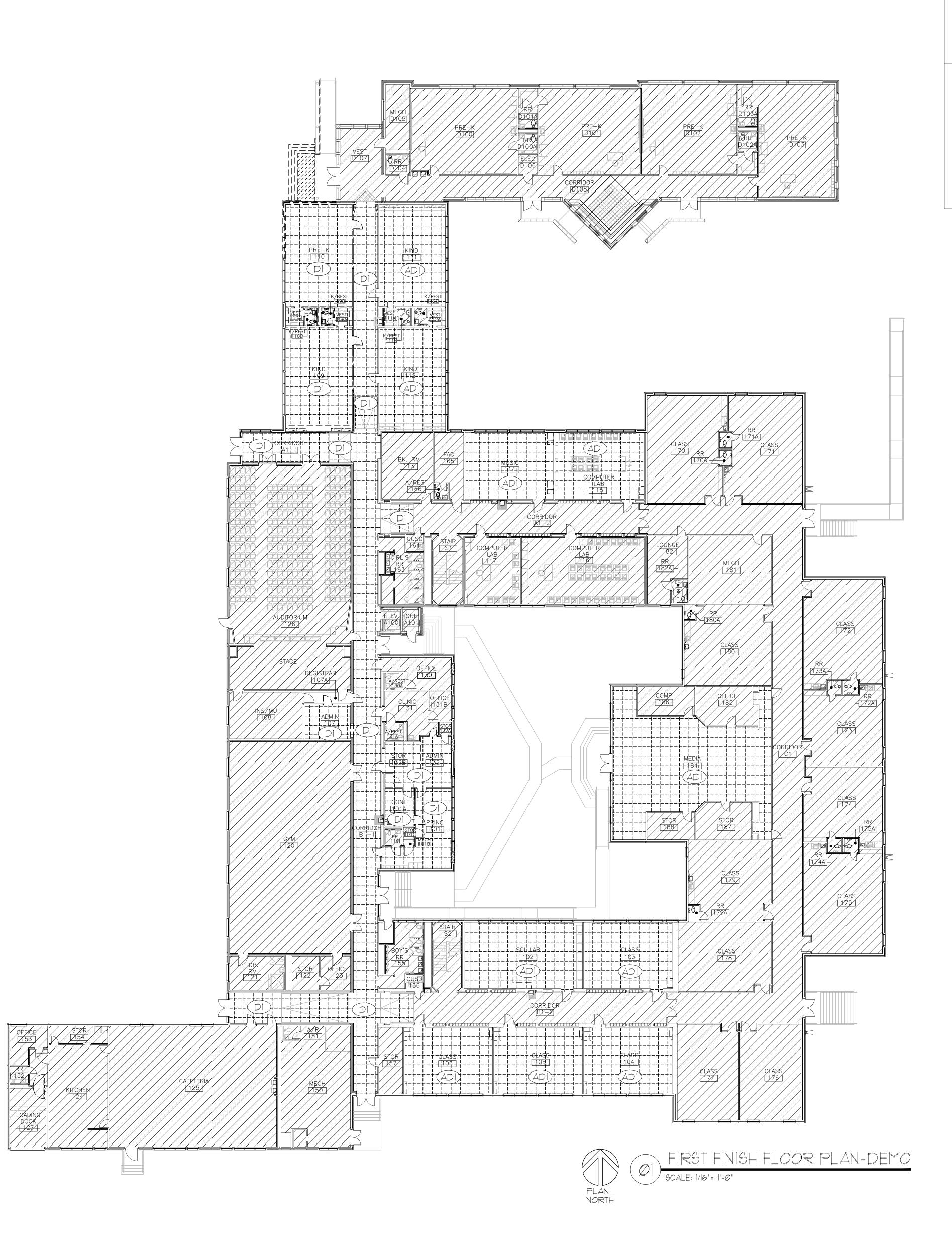
- (Ø) NEW METAL STANDING SEAM CANOPY ROOF
- (2) NEW GUTTER & DOWNSPOUT, DAYLIGHT AND GROUND.
- $(\emptyset3)$ repoute existing roof drain thru new piping AND WALL CHASE, REF. PLUMBING.
- (04) EXISTING ROOF DRAINS, CLEAN PIPING FREE OF ANY CLOGS, SECURE SCREEN ATTACHED.
- (05) G.C. TO CONFIRM POSSIBLE FLOW TO EXISTING ROOF DRAIN DURING CONSTRUCTION.



GENERAL NOTES:

- I. REPLACE EXISTING CARPET, VINYL COMPOSITE TILE, TO ASSIGNED CLASSROOMS AS INDICATED.
- 2. REF. ROOM FINISH SCHEDULE SHEET A6.00 FOR MORE INFO.

ALTERNATE SCOPE DEMO F.F. PLAN KEY NOTES: ADI REMOVE EXISTING FLOORING TO IT'S ENTIRETY. CLEAN SLAB & PREPARE THE SURFACE TO RECEIVE NEW FLOORING.



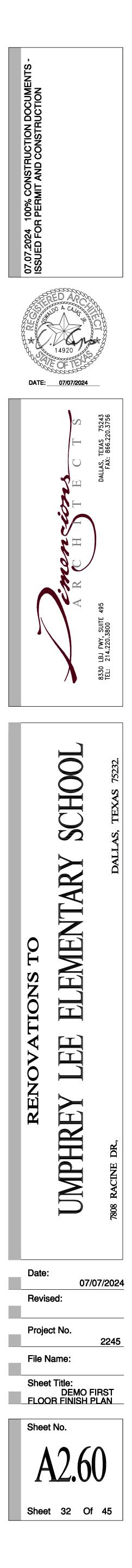
DEMO FINISH FLOOR PLAN KEY NOTES:

DI REMOVE EXISTING FLOORING TO IT'S ENTIRETY AND BASE. CLEAN SLAB & PREPARE THE SURFACE TO RECEIVE NEW FLOORING.

FINISH FLOOR LEGEND:

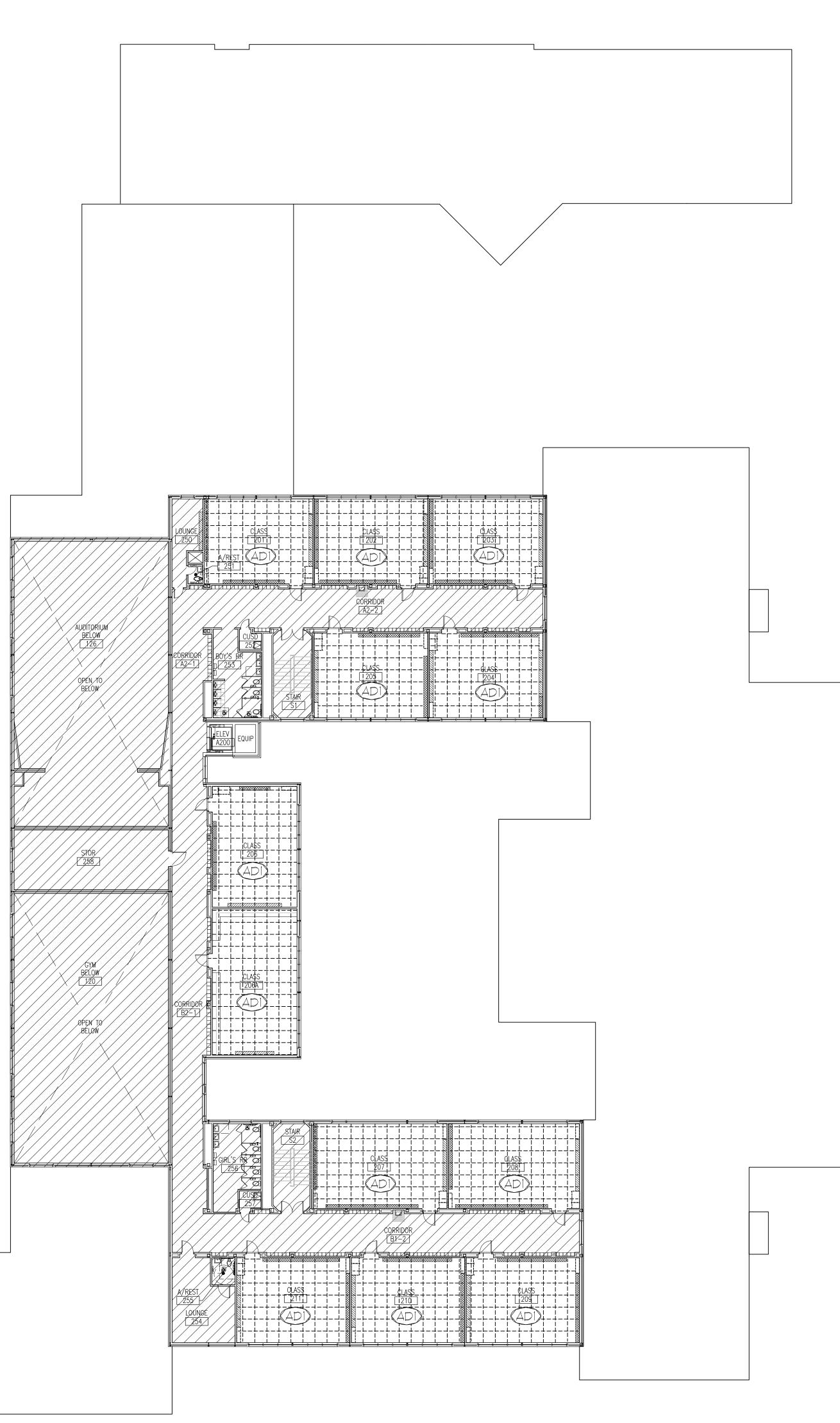
////

NOT IN SCOPE OF WORK EXISTING FLOORING TO REMAIN. DEMO FLOORING



GENERAL NOTES:

- I. REPLACE EXISTING CARPET, VINYL COMPOSITE TILE, TO ASSIGNED CLASSROOMS AS INDICATED.
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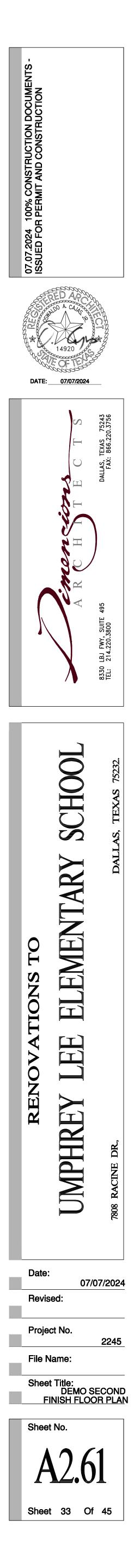
ALTERNATE SCOPE DEMO F.F. PLAN KEY NOTES: FINISH FLOOR LEGEND:

ADI) REMOVE EXISTING FLOORING TO IT'S ENTIRETY. CLEAN SLAB & PREPARE THE SURFACE TO RECEIVE NEW FLOORING.

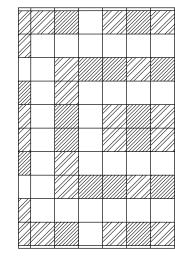
NOT IN SCOPE OF WORK EXISTING FLOORING TO REMAIN.

DEMO FLOORING

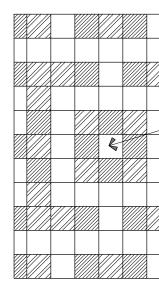
PLAN NORTH SECOND FLOOR FINISH PLAN-DEMO SCALE: 1/16"= 1'-0"



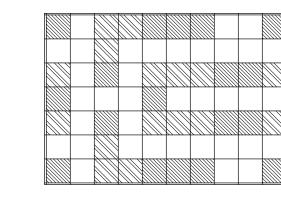
	FLOOR	FINISHES CO	DES SCHEDULE
CODE	MATERIAL	MANUFACTURER	STYLE
F1	VCT	ARMSTRONG	12" x 12" IMPERIAL TEXTURE
F2	VCT	ARMSTRONG	12" x 12" IMPERIAL TEXTURE
F3	VCT	ARMSTRONG	12" x 12" IMPERIAL TEXTURE
F4	CARPET	EF CONTRACT	KINETEX 24 x 24 INTRIGUE
F5/B2	CERAMIC	DALTILE	6" x 6" DALTILE, 0Q63
F6	VCT	ARMSTRONG	12" x 12" SAFETY ZONE # 5
B1	RUBBER	TARKETT	4" TALL x 1/8" THICK WITH
	F1 F2 F3 F4 F5/B2 F6	CODEMATERIALF1VCTF2VCTF3VCTF4CARPETF5/B2CERAMICF6VCT	F1VCTARMSTRONGF2VCTARMSTRONGF3VCTARMSTRONGF4CARPETEF CONTRACTF5/B2CERAMICDALTILEF6VCTARMSTRONG















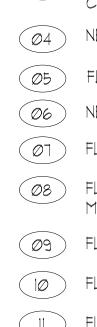
			<u>' K</u>		
	''''''' 7777				

(02) SCALE: 1/4"= 1'-0"

		I. REPLACE TO ASSIGN
	COLOR	2. REF. ROOM MORE INFO
51899	COOL WHITE	ALTERNA
57534	RUBY RED	(AØ1) NEW V
51910	CLASSIC BLACK	
KITR	TANTALIZE #ITR85	(AØ2) NEW E
	DAWN DT	(AØ3) NEW C SCOPI
022	ROCKY ROAD	

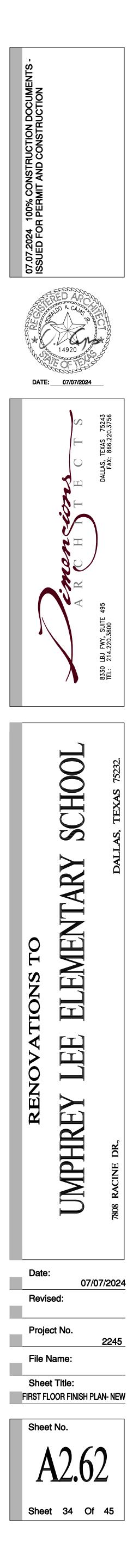
REPLACE EXISTING CARPET, VINYL COMPOSITE TILE,
TO ASSIGNED CLASSROOMS

MC	RE INFO.
ŧĹŤĔ	ERNATE SCOPE NEW F.F.PLAN KEY NOT
	NEW VINYL COMPOSITE TILE (VCT) IN THE ROOMS INDICATED, UNDER ALTERNATE SCOPE.REFER TO FINISH SCHEDULE.
Ø2)	NEW BASE, REFER TO FINISH SCHEDULE.



NEW FINISH FLOOR PLAN KEY NOTES:

FINISH FLOOR LEGEND:



GENERAL NOTES:

- I. REPLACE EXISTING CARPET, VINYL COMPOSITE TILE, TO ASSIGNED CLASSROOMS
- 2. REF. ROOM FINISH SCHEDULE SHEET A6.00 FOR MORE INFO.

(AO2) NEW BASE. REFER TO FINISH SCHEDULE.



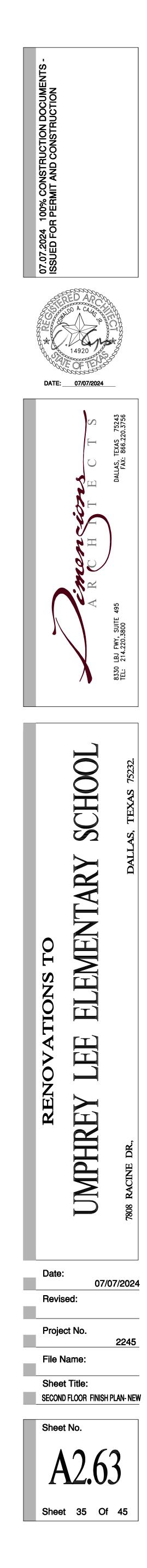
ALTERNATE SCOPE NEW F.F.PLAN KEY NOTES:

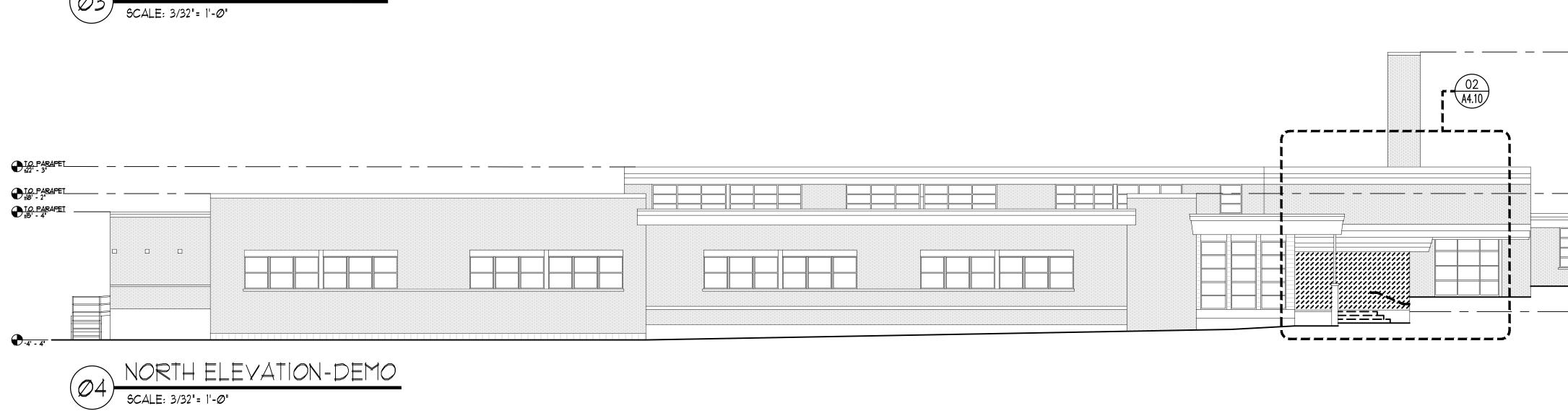
(AO) NEW VINYL COMPOSITE TILE (VCT) IN THE ROOMS INDICATED, UNDER ALTERNATE SCOPE.REFER TO FINISH SCHEDULE.

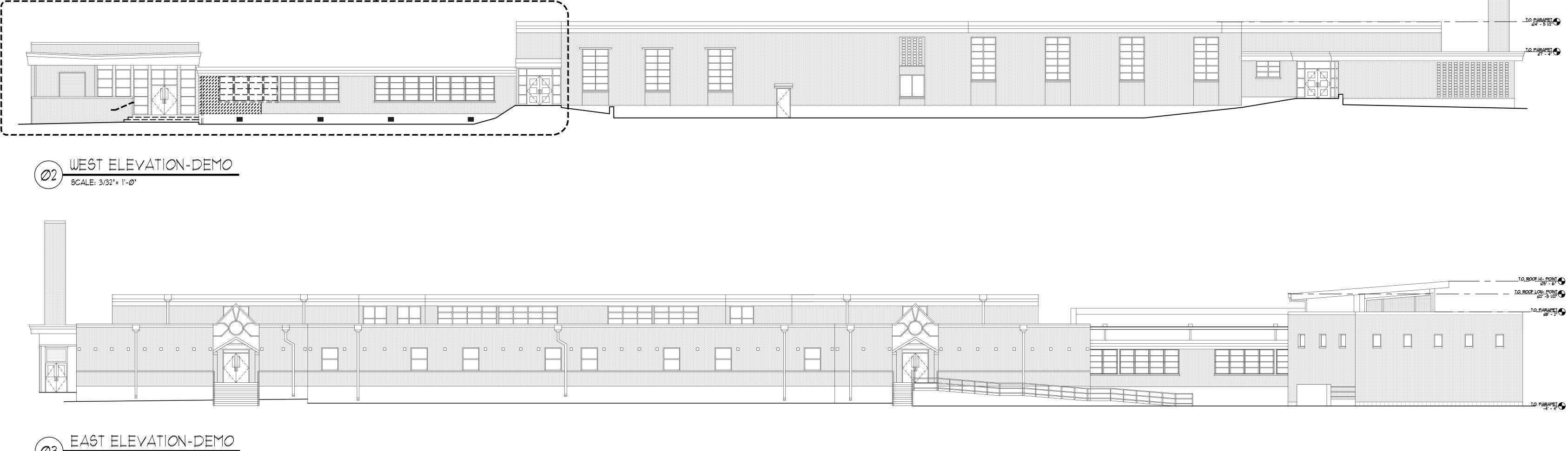
(AØ3) NEW CARPET IN THE ROOMS INDICATED, UNDER ALTERNATE SCOPE.REFER TO FINISH SCHEDULE.

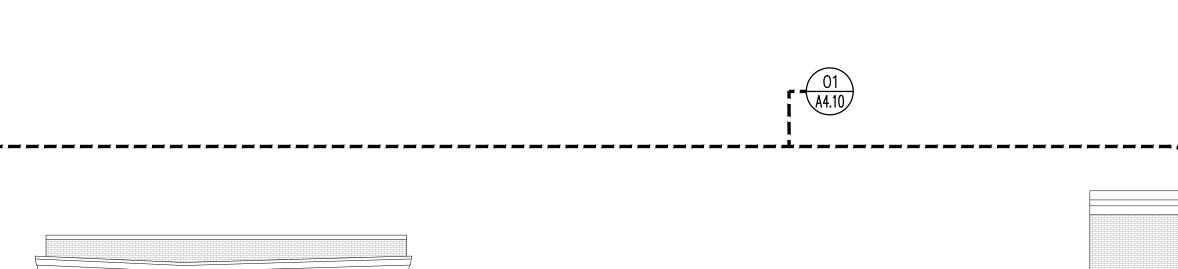
FINISH FLOOR LEGEND:

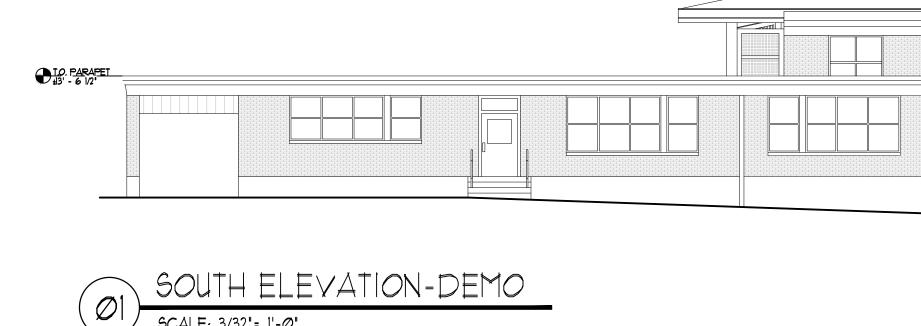
	NOT IN SCOPE OF WORK EXISTING FLOORING TO REMAIN.
F1-	NEW VCT FLOORING COLOR-COOL WHITE BASE COLOR
F2-	NEW VCT FLOORING COLOR-RUBY RED ACCENT COLOR
F3-	NEW VCT FLOORING COLOR-COLOR BLACK ACCENT COLOR
F4-	NEW CARPET TILE FL <i>OO</i> RING
F5-	NEW CERAMIC TILE FL <i>OO</i> RING
F6-	NEW VCT TILE FL <i>OO</i> RING-SLIP RESISTANT





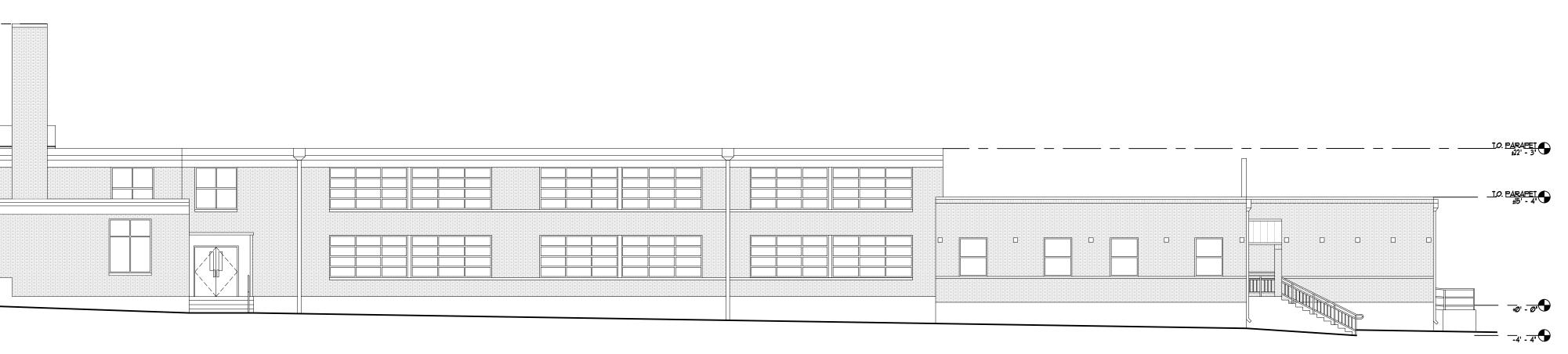






SCALE: 3/32"= 1'-Ø"

Ø3



GENERAL NOTES:

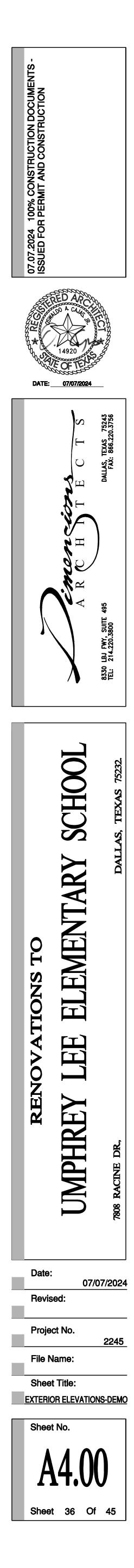
- 1. PATCH AND REPAIR ALL EXTERIOR DAMAGED STUCCO
- SURFACES, PREPARE TO RECEIVE NEW PAINT. 2. ALL EXISTING EXTERIOR SURFACES WITH VISIBLE MOLD MILDEW AND STAINS TO BE WASHED BY USING METHODS AS
- MENTIONED IN SPECS.
- 3. REFER TO SHEET A1.12 AND A1.13 FOR ADDITIONAL INFORMATION ON EXTERIOR FACADE WORK.
- 4. REFER TO NEW ELEVATIONS & PREPARE SURFACES TO RECEIVE NEW FINISHES.

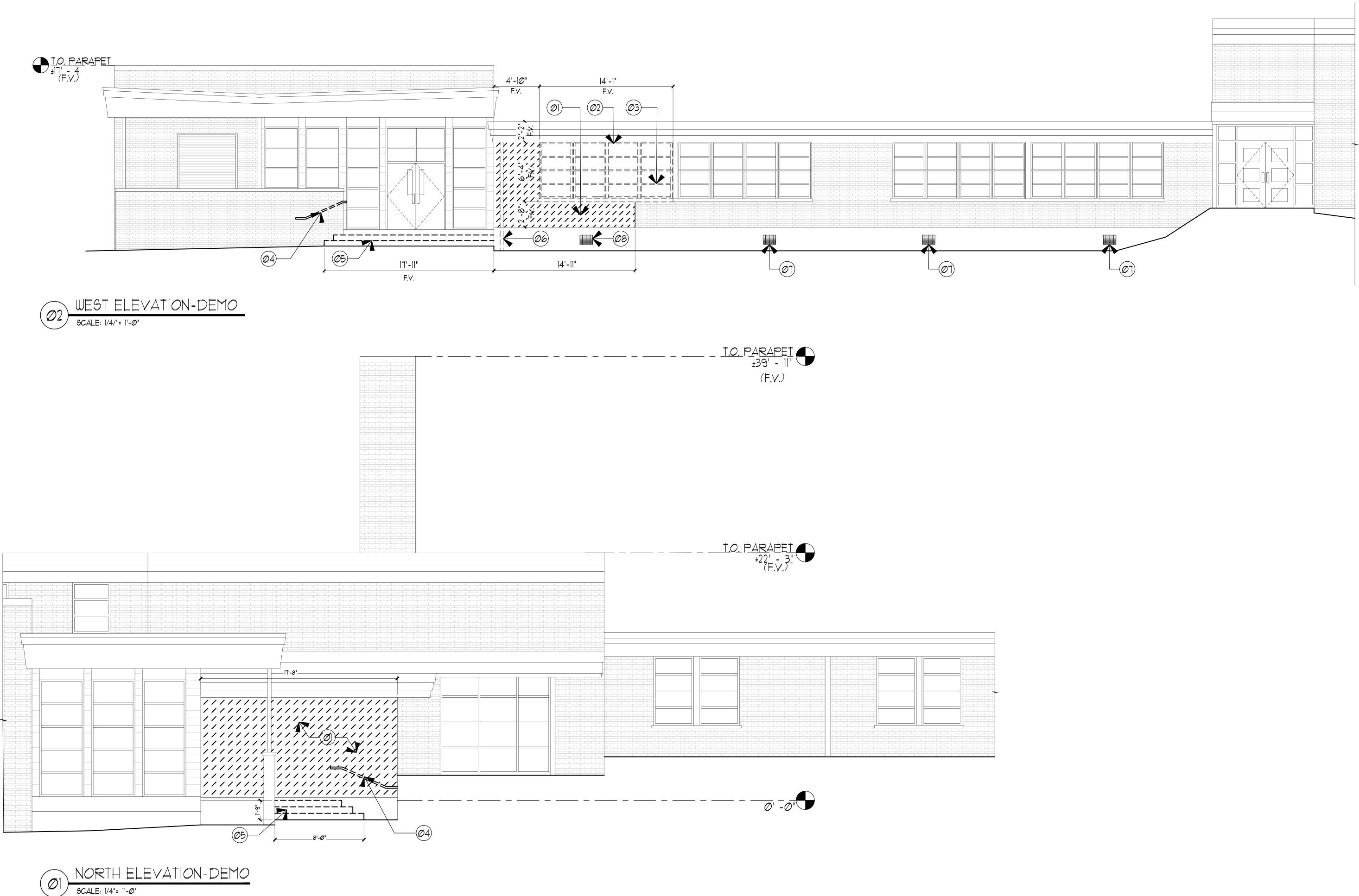
LEGEND:



AREA TO BE DEMOED

ter and the second seco





ELEVATION-DEMO KEYNOTES:

ELEVATION-DEMO GENERAL NOTES:

NOTES

- (01) REMOVE PORTION OF MASONRY WALL AS SHOWN.
- (02) REMOVE EXISTING WALL SYSTEM, PROTECT OVERHEAD BEAM/ HEADERS, DURING DEMOLITION.
- (03) REMOVE EXISTING WINDOW SYSTEM, PREPARE TO BE INFILLED
- @4) REMOVE EXISTING HANDRAILS& BRACKETS, FILL IN HOLES IN WALLS/ GROUND.
- REMOVE PORTION OF CONCRETE STEPS AND PREPARE SURFACE FOR NEW LANDING AND STEPS.
- 6 REMOVE EXISTING DOWNSPOUT FOR RELOCATION
- (07) EXISTING CROSSVENTS TO REMAIN
- (08) PROTECT EXISTING CROSSVENT SPACE FOR RE-USE DURING NEW CONCRETE WORK, TO REMAIN FUNCTIONAL.

ALL DIMENSIONS AND CONDITIONS TO BE FIELD VERIFIED AND CONFIRMED BY CONTRACTOR PRIOR TO START OF DEMOLITION.

EXISTING WALLS IDENTIFIED TO GET NEW PAINT SURFACES SHALL BE SCRAPED, PRIMED, CLEANED AND PREPARED TO RECEIVE NEW PAINT.

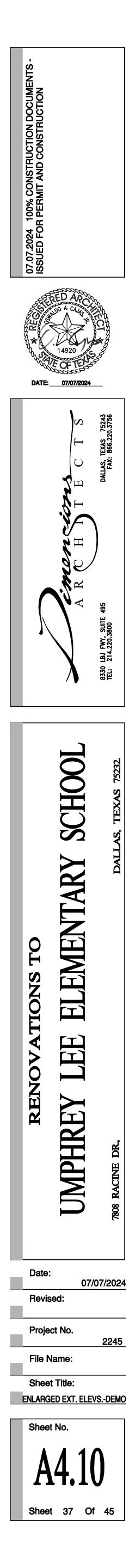
3. COORDINATE WITH DISD FOR STORAGE OF ALL REMOVED ITEMS OF VALUE TO DISD.

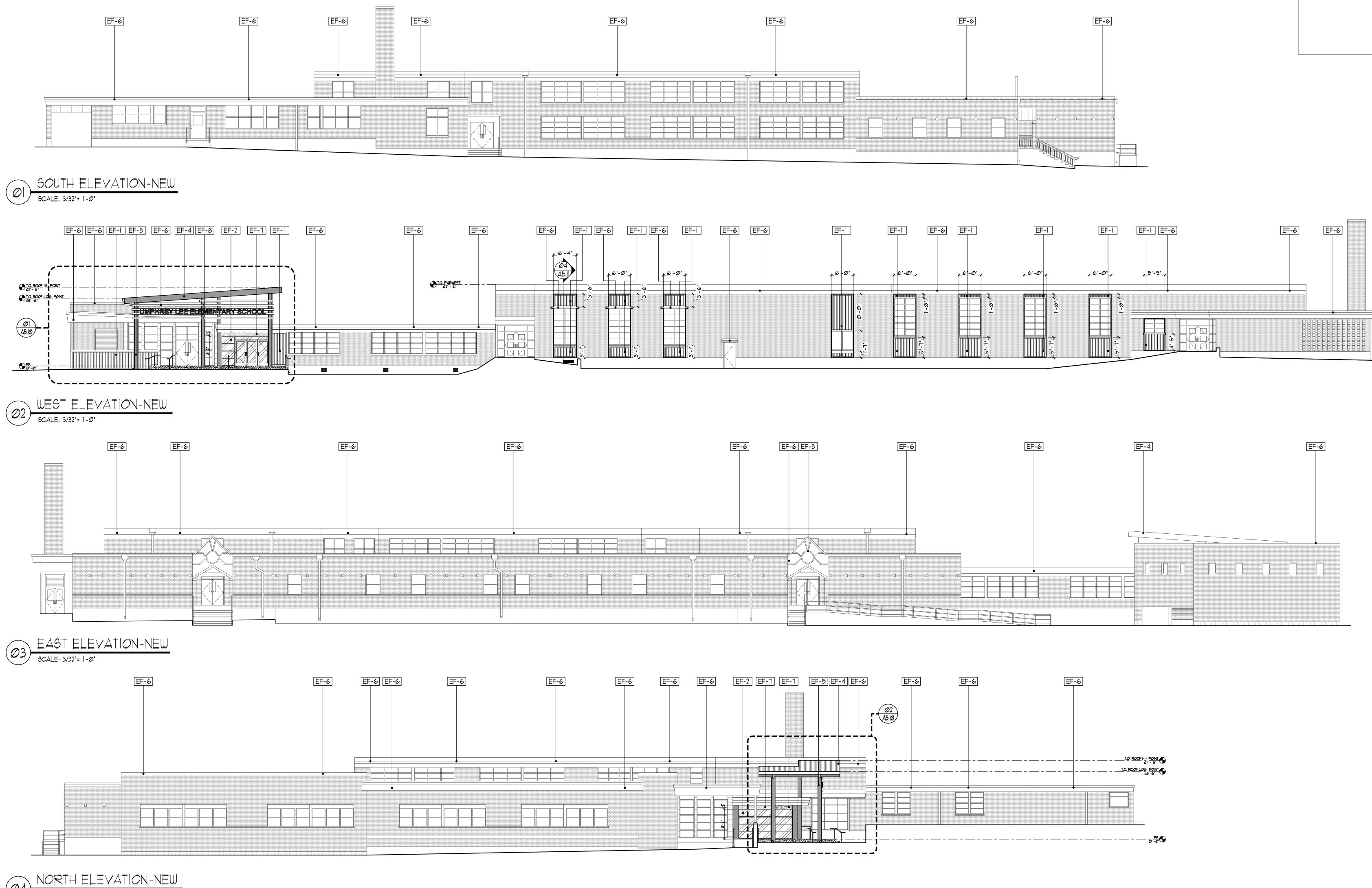
4. REFER TO MEP DRAWINGS FOR FURTHER DEMOLITION

5. BUILDING MUST STAY DRY AND SECURE DURING DEMOLITION AND NEW CONSTRUCTION.

LEGEND:

AREA TO BE DEMOED





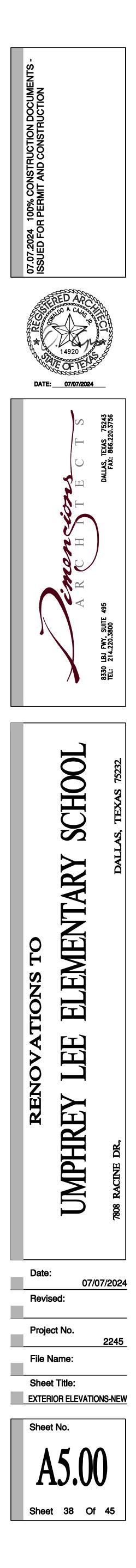
EXTERIOR FINISH SCHEDULE

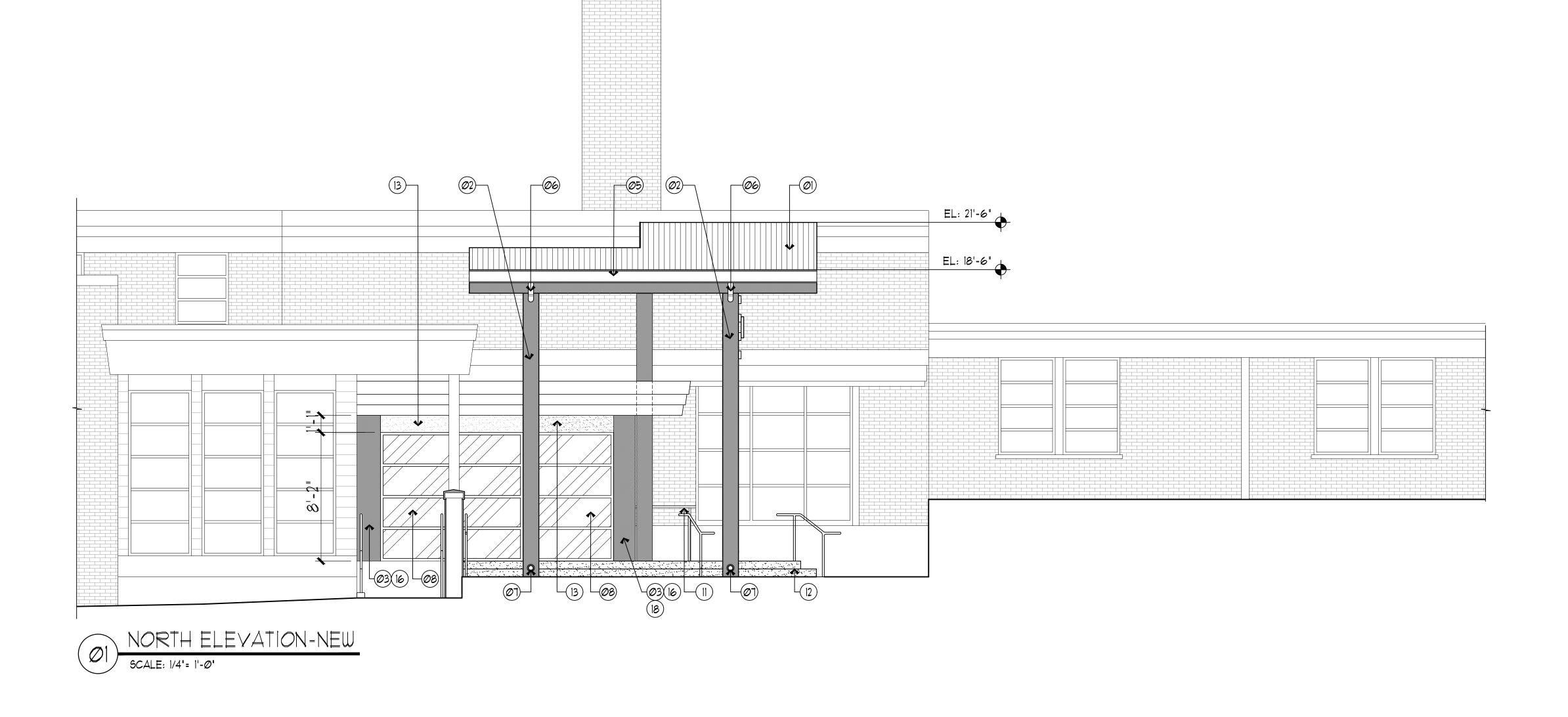
CODE	MATERIAL	MANUFACTURER	COLOR	REMARKS
EF-1	METAL PANEL	BERRIDGE	DEEP RED	HR-16 WALL PANEL
EF-2	STOREFRONT	YKK AP	CLEAR ANNODIZED	
EF-3	METAL LOUVERS	-	PAINTED EF-6	
EF-4	METAL CANOPY	BERRIDGE	CITYSCAPE	TEE PANEL
EF-5	EXTERIOR PAINT	SHERWIN WILLIAMS	SW6594-POINSETTIA	
EF-6	EXTERIOR PAINT	SHERWIN WILLIAMS	SW6255-MORNING FOG	
EF-7	STUCCO	PORTLAND CEMENT PLASTER	MATCH SW6255-MORNING FOG	SAND FINISH
EF-8	METAL TRUSS	-	SW6594-POINSETTIA	SCHOOL LETTERIN

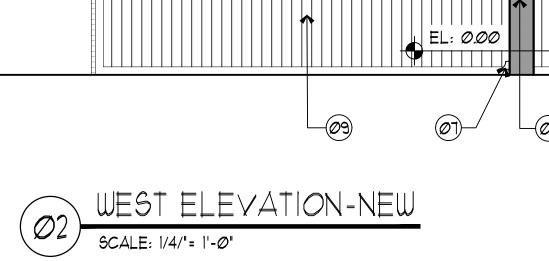
6	EF-6	F-6]	EF-6 EF-6	6 EF-6 E	F-2 EF-1 EF-1	EF-5 EF-4 EF-6	
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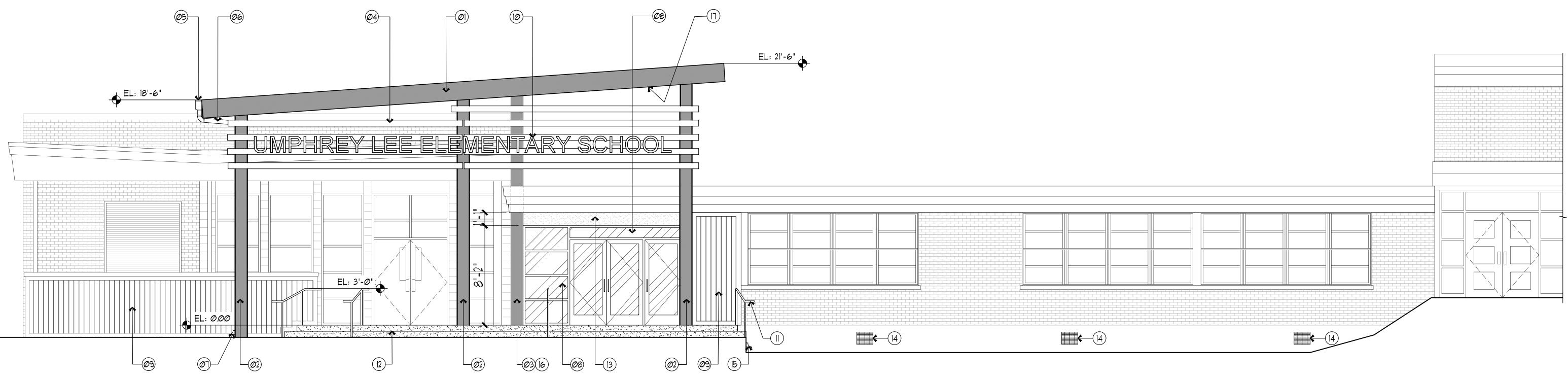
GENERAL NOTES:

- 1. PATCH AND REPAIR ALL EXTERIOR DAMAGED STUCCO SURFACES, PROVIDE NEW PAINT.
- 2. ALL EXISTING EXTERIOR SURFACES WITH VISIBLE MOLD MILDEW AND STAINS TO BE WASHED BY USING METHODS AS MENTIONED IN SPECS.
- 3. REFER TO SHEET A1.12 AND A1.13 FOR ADDITIONAL INFORMATION ON EXTERIOR FACADE WORK.
- 4. ALL EXISTING EXTERIOR PREVIOUSLY PAINTED SURFACES INCLUDING STUCCO, EXTERIOR DOORS, HANDRAILS, METAL AWNINGS AND CANOPIES TO PAINTED NEW.
- 5. FIELD VERIFY ALL DIMENSIONS. EXISTING BLOCK TO BE FULLY COVERED. CONTACT ARCHITECT IF DIFFERENT THAN SHOWN.









- METAL ROOF. (07) NEW INTERNAL DOWNSPOUT DRAIN PIPE, DAYLIGHT AT BASE OF COLUMN WRAP WITH NOZZLE, SHEET FLOW TO INGROUND STROM DRAIN. (08) NEW 8'-2" FT. HIGH ALUMINUM STOREFRONT AS SCHEDULED. (09) PREFINISHED METAL WALL PANELS, REF. TO SPECS AND FINISH SCHEDULE.
- (10) NEW 16" SCHOOL NAME LETTERING, ATTACH TO TRELLIS, PAINTED SW 6594 POINSETTIA.

- ELEVATION KEY NOTES:
- (0) NEW METAL CANOPY WITH STANDING SEAM METAL ROOF, REFER TO STRUCTURAL.
- $(\emptyset 2)$ NEW PRE-FINISHED COLUMN ROUND WRAP FOR WIDE FLANGE STEEL COLUMN.
- (03) NEW COLUMN, REFER TO STRUCTURAL.
- (04) PROPOSED METAL TRELLIS, PAINTED. REF. STRUCTURAL.
- (05) NEW 8" PRE-FINISHED METAL GUTTER, COLOR TO MATCH STANDING SEAM METAL ROOF

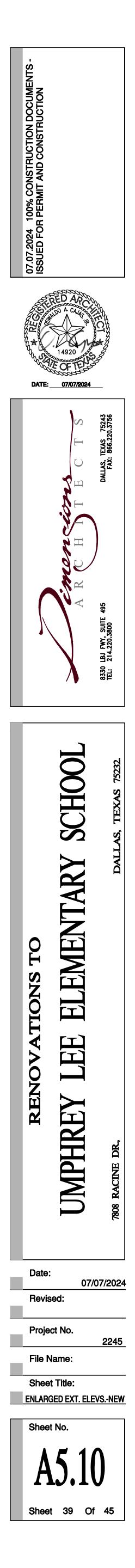
(06) NEW 6" PRE-FINISHED METAL DOWNSPOUT, COLOR TO MATCH STANDING SEAM

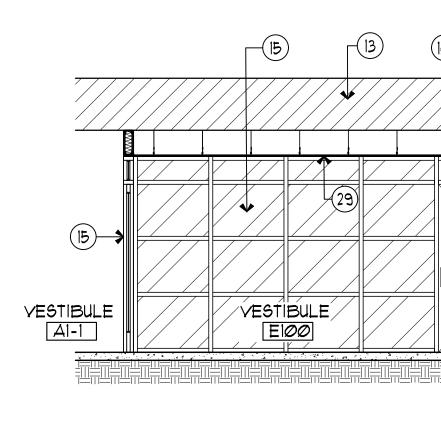
(18)

GENERAL NOTES:

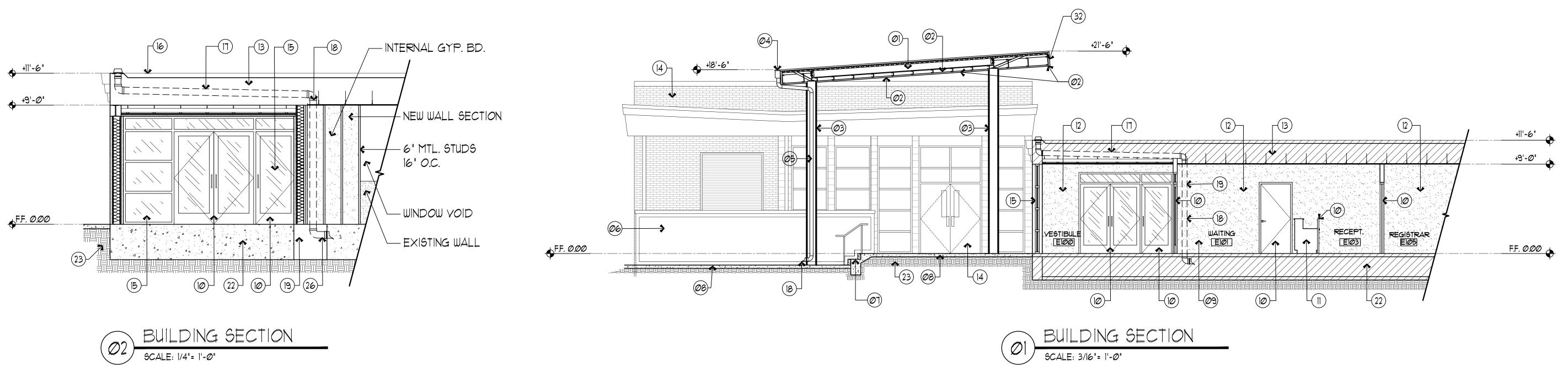
- (1) NEW METAL RAILING PAINTED, TYPICAL.
- (12) NEW CONCRETE STEPS.
- (13) NEW STUCCO FINISH AT STOREFRONT, REFER TO FINISH SCHEDULE
- (14) EXISTING CROSSVENTS
- (15) NEW INTERNAL DOWNSPOUT DRAIN PIPE, DAYLIGHT AT BASE OF CONCRETE STAIRS WITH NOZZLE, SHEET FLOW TO INGROUND STROM DRAIN.
- (16) WRAP NEW COLUMN W/ BRAKE METAL TO MATCH STOREFRONT
- (17) NEW METAL SOFFIT PANEL, COLOR EF-4
 - WRAP EXISTING BRICK WALL ALL FOUR SIDES W/ NEW METAL PANELS, REF. KEY NOTE ON SHEET A5.11.

REFER TO SHEET A6.00 FOR NEW EXTERIOR FINISH SCHEDULE







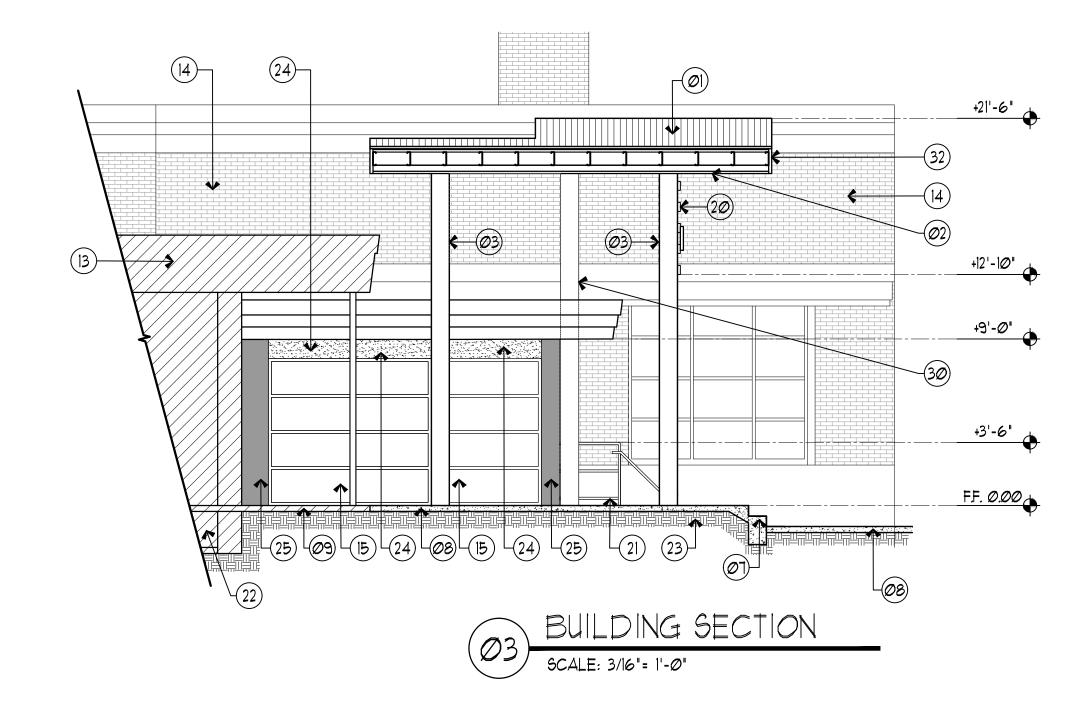


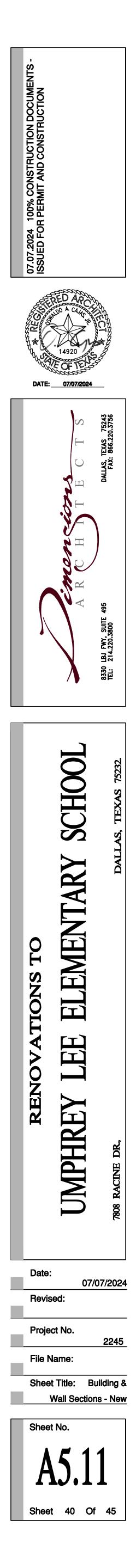
GENERAL NOTES	KEY NOTES:
1. REFER TO SHEET A SCHEDULE	A6.00 FOR NEW EXTERIOR FINISH (01) NEW METAL CANOPY WITH REFER TO STRUCTURAL.
	(02) NEW CANOPY SOFFIT MET, VENTING STRIP / PANEL K
	(03) NEW PRE-FINISHED COLUN STEEL COLUMN, REFER TO
	(04) NEW PRE-FINISHED GUTTE
	05 NEW INTERNAL DOWNSPOU OF COLUMN WRAP, WITH N STROM DRAIN.
	06 NEW PREFINISHED METAL
	(01) NEW CONCRETE STEPS, RE
	08 NEW CONCRETE SLAB, RE
	09 EXISTING CONCRETE SLA
	10 NEW DOOR AS SCHEDULE
	II NEW RECEPTION COUNTER
	12 EXISTING WALL, NEW TEXT
	13 EXISTING ROOF / ROOF ST
	(14) EXISTING BUILDING BEYO
	(15) NEW STOREFRONT AS SCH
	(16) EXISTING ROOF DRAIN TO
	(17) NEW REROUTED DOWNSPO
	EL: 24'-6"
	EL: 18'-0"
	PRE-FINISHED ARCHITECTURAL METAL PANELS ATTACHED TO FURRING CHANNEL
	JO METAL PANEL
	EL: VARIES MOISTURE DRAINAGE
STEEL FRAMING,	ATTACHED TO MASONRY WALL PROVIDE PERIMETER TRIM KIT
10 13 -15 -32 REFER TO STRUCT.	AROUND EDGES
+11'-6"	
+9'-0"	
	<u>T.O. METAL PANEL</u> <u>T.O. METAL PANEL</u> <u>AROUND EDGES</u>
FF. Ø.ØØ	EL: VARIES PRE-FINISHED ARCHITECTURAL METAL PANELS ATTACHED TO FURRING CHANNEL
	BO. METAL PANEL EL::0'-0' BO. METAL PANEL WITH DRIP HOLES FOR MOISTURE DRAINAGE ATTACHED TO MASONRY WALL
	PROVIDE PERIMETER TRIM KIT
ECTION	WALL SECTION
	6CALE: 3/8"= 1'-0"

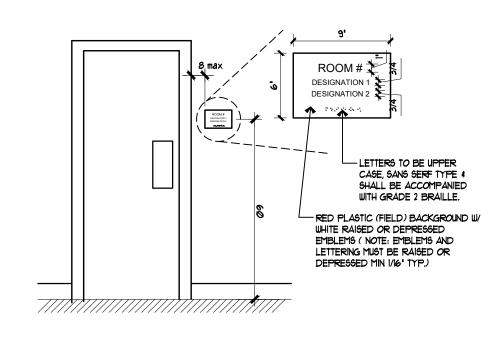
STANDING SEAM METAL ROOF,

- TAL PANELS, PROVIDED PERIMETER KIDS. REF. SPECS
- IMN ROUND WRAP FOR WIDE FLANGE O STRUCTURAL.
- ER ASSEMBLY.
- DUT DRAIN PIPE, DAYLIGHT AT BASE NOZZLE, SHEET FLOW TO INGROUND
- PANELS.
- REFER TO STRUCTURAL.
- EFER TO STRUCTURAL.
- AB TO REMAIN.
- 2. SEE MILLWORK.
- TURE AND PAINT.
- STRUCTURE TO REMAIN.
- OND NOT TO DISTURB.
- HEDULED.
- REMAIN.
- OUT, REFER TO MEP.

- (18) NEW DOWNSPOUT TO DRAIN TOWARDS
- SOUTH OF STEPS TO OPEN SOIL. (19) VENT VOID SPACE BEYOND.
- 20 PROPOSED SHADE LOUVER METAL , TYPICAL.
- (21) NEW STEEL RAILING, PAINTED, REF. SPECS. FOR INFO.
- (22) EXISTING CRAWL SPACE TO REMAIN.
- (23) COMPACTED FILL, REFER TO STRUCTURAL, TYP.
- (24) NEW STUCCO FINISH ABOVE STOREFRONT, REFER TO FINISH SCHEDULE
- (25) WRAP NEW COLUMN W/ BRAKE METAL TO MATCH STOREFRONT
- (26) INTERNAL ROOF DAYLIGHT
- (27) 7/8" CEMENT PLASTER ON SELF-FURRING METAL LATH, OVER MOISTURE BARRIER, ON 5/8" DENSGLASS SHEATHING, TYP.
- (28) NEW 7/8" CEMENT PLASTER ON SELF-FURRING METAL LATH, OVER MOISTURE BARRIER, ON 5/8" EXTERIOR GYPSUM BOARD CEILING. 5 3/8" M.S. @ 16" O.C. RUNNERS, HAT CHANNELS @ 16" O.C. AS SHOWN. PROVIDE HANGER WIRES AS REQUIRED.
- (29) NEW ACOUSTICAL CEILING SYSTEM, SEE SHEET A2.41
- (30) PENETRATE EXISTING ROOF, TO ALLOW NEW STRUCTURAL COLUMN INSTALL FOR NEW CANOPY, FLASH & SEAL PERIMETER OF PENETRATION, MAKE WATER PROOF.
- (31) NEW STUD HEADER WITH R-21 INSULATION PROVIDE MESH FOR KEEPING IN PLACE/ SECURING TO STUDS ...
- (32) NEW PRE-FINISHED METAL PANEL BY WALL AND ROOF PANEL MANUFACTURE, COLOR SAME AS ROOF.







DOOR DETAIL
SCALE: $1/2" = 1'-0"$

ROOM NO.	ROOM NAME	FLOOR	BASE		•			CEILING	HEIGHT	MILLWORK COUNT	REMARKS
IRGT FL				NORTH	I SOUTH	EAST	WEST				
<u>=100</u>		F1F2F3	BI	ωı	-	ωı	-	CI	9'-0"	-	
<u>E</u> IØ1	WAITING	F4	BI	-	-	ωı	ωı	CI	9'-Ø"	-	
E1Ø2	PARENT	F4	BI	-	ωı	ωı	ωı	CI	9'-0"	-	
E1Ø3	RECEPTION	F4	BI	ωı	ωı	ωı	ωı	CI	9'-Ø"	-	
E1Ø5	REGISTRAR	F4	BI	ωı	WI	ωı	ωı	CI	9'-Ø"	-	
E106	SECRETARY	F4	BI	ωι	ωı	ωı	ωı	C1	9'-Ø"	-	
ElØT	VAULT	F4	BI	ωı	ωı	ωı	ωı	C1	9'-Ø"	-	
E1Ø8	PRINCIPAL	F4	BI	ωı	ωı	ωı	W۱	C1	9'-0"	-	
E1Ø9	CONFERENCE	F4	BI	ωı	<u><u></u><u></u><u></u><u></u><u></u><u></u><u></u><u></u><u></u><u></u><u></u><u></u><u></u><u></u><u></u><u></u><u></u><u></u><u></u></u>	<u></u> <u> </u>	<u> </u>		9'-0"	-	
	RESTROOM	F5	B2			· · ·	i		9'-Ø' Exist.		#4,
<u> </u> Ø	CORRIDOR ASST. PRINCIPAL	F1, F2, F3, F6	BI BI	ພາ ພາ	ພາ ພາ	ພາ ພາ	ພາ ພາ	EXIST.	MATCH EXISTING	3	#1. \$ #2.
101A	OFFICE	F4 F4	BI	ωı W1	wi	wi	ω Ψ1		MATCH EXISTING	-	
101A 101B	MECHANICAL	-	-	ωι ωι	ωı Wi	wi	ω W1	EXIST.		_	#], \$ #3,
101C	OFFICE	F4	BI	ωı	ωı W1	ωı	<u> </u>		MATCH EXISTING	-	
	STORE	-	-	<u> </u>	ωı W1	ωı	<u>سا</u>	EXIST.	EXIST.	-	#1, \$ #3,
102	SCIENCE LAB	F1	BI	ωı	w1	Ŵ	<u>سا</u>	Cl	6" BELOW EXISTING	23	# 5,
103	CLASSROOM	Fl	BI	WI	ωı	ŴI	WI	CI	6" BELOW EXISTING	12	# 5.
104	CLASSROOM	FI	BI	W1	W1	WI	ωı	Cl	6" BELOW EXISTING	-	# 5.
105	CLASSROOM	FI	BI	ωı	ωı	ωı	ωı	CI	6" BELOW EXISTING	-	# 5.
106	CLASSROOM	F 1	BI	ωı	ωı	ωı	ωı	CI	6" BELOW EXISTING	-	朽.
111	KINDERGARTEN	FI	BI	ωı	ωı	ωı	ωı	CI	6" BELOW EXISTING	12	# 5.
111A	VESTIBULE	F1	BI	ωı	ωı	ωı	ωı	C1	6" BELOW EXISTING		ൗ.
112	KINDERGARTEN	F1	BI	ωı	ωı	ωı	ωı	CI	6" BELOW EXISTING	12	ち.
112A	VESTIBULE	F1	BI	ωı	ωı	ωı	ωı	C1	6" BELOW EXISTING	-	ち.
114	MUSIC	F 1	BI	ωı	ωı	ωı	ωı	C1	6" BELOW EXISTING	12	# 5,
115	COMPUTER LAB	F1	BI	ωı	ωı	ωı	ωı	C1	6" BELOW EXISTING	3	*5.
דוו	COMPUTER LAB	FI	BI	ωı	ωı	ωı	ωı	C1	6" BELOW EXISTING	-	*5.
119	RESTROOM	EXISTING	EXIST.	W2	W2	W2	W2	-	-		
132	WORKROOM	F1	BI	ωı	Ψl	ωı	Ψl	Cl	MATCH EXISTING	1Ø	
	CLASSROOM	EXISTING	EXIST.	W1	WI	WI	WI	EXIST.	EXIST.	10	#],
171	CLASSROOM	EXISTING	EXIST.	W1	W1	W1	W1	EXIST.	EXIST.	T	#1,
172	CLASSROOM	EXISTING	EXIST.	W1	W1	W1	W1	EXIST.	EXIST.	14	#]
173	CLASSROOM	EXISTING EXISTING	EXIST. EXIST.	W1	W1	W1	Ψ1	EXIST. EXIST.	EXIST. EXIST.	14	#] #]_
174	CLASSROOM			W1	ພາ ພາ	ພາ ພາ	ພາ ພາ		EXIST.	14	*1. #1.
175 176	CLASSROOM CLASSROOM		EXIST.	ພາ ພາ	wi	ωı W1	ພາ ພາ			14	*1. #1,
	CLASSROOM		EXIST.	ωı ωι	ωı W1	ωı WI	ωı ωι			14	#]_
178	CLASSROOM	EXISTING	EXIST.	ωı W1	ωı W1	ωı W1	ωı ωι			14	#]_
179	CLASSROOM	EXISTING	EXIST.	ωı W1	ωı Wl	ωı Wl	 1		EXIST.	4	#]_
180	CLASSROOM	EXISTING	EXIST.	ωı	ωı	ωı	ωı	EXIST.	EXIST.	14	#]_
184	MEDIA	F4	BI	W2	W2	W2	W2	-	EXIST. TO REMAIN	-	# 5.
190	COUNSELOR OFFICE	F4	BI	ωı	ωı	ωı	ωı	Cl	6" BELOW EXISTING	-	
B1-1	CORRIDOR	FI, F2, F3, F6	BI	ωı	ωı	ωı	ωı	EXIST.	EXIST.		#1. # # 2.
SECOND	FLOOR		•								
2Ø1	CLASSROOM	F 1	BI	WI	ωı	WI	ωı	Cl	6" BELOW EXISTING	-	# 5,
2Ø2	CLASSROOM	F 1	BI	ωı	ωı	ωı	ωı	Cl	6" BELOW EXISTING	-	* 5.
2Ø3	CLASSROOM	F 1	BI	ωı	ωı	ωı	ωı	Cl	6" BELOW EXISTING	-	# 5.
2Ø4	CLASSROOM	F I	Bl	ωı	ωı	WI	ωı	Cl	6" BELOW EXISTING	-	ൗ.
2Ø5	CLASSROOM	 ∓1	BI	Ψl	ωı	WI	ωı	Cl	6" BELOW EXISTING	-	# 5,
<u>SI</u>	STAIRS	EXISTING	-	WI	WI	WI	W1	Cl	6" BELOW EXISTING		#5 .
206	CLASSROOM	F1	BI	UI	<u> </u>	W1	W1	CI	6" BELOW EXISTING	-	<u>*5.</u>
206A 207	CLASSROOM CLASSROOM	F1	BI BI	ຟ1 ຟ1	1 1	<u>ຟາ</u> ຟາ	ພາ ພາ	C1 C1	6" BELOW EXISTING 6" BELOW EXISTING	- 56	#5. #5.
208	CLASSROOM	 F 1	BI	W1	ωı W1	wi	ωı W1		6" BELOW EXISTING	-	*5.
209	CLASSR <i>OO</i> M	F1	BI	ωı Wi	ωı WI	ωı W1	ωı	Cl	6" BELOW EXISTING	-	ち,
210	CLASSROOM	F1	BI	ωı	ωı	ωı	ωı	Cl	6" BELOW EXISTING	-	* 5,
211	CLASSROOM	F1	BI	W1	W1	WI	W1	Cl	6" BELOW EXISTING	-	*5. *
52	STAIRS	EXISTING	-	ωı	ωı	WI	ωı	Cl	6" BELOW EXISTING	TOTAL: 276	*5.
	<u> </u>			ļ		I					
MARKS	· **;										
PATCH	AND REPAIR ALL DAMAGED	WALLS AND FINISH WITH WI F	PAINT TO MA		ENT WALL	AS NECESS	ARY.				
	EXISTING CEILING OF THE COF	•	BE APPROVI	ED BY ARC	CHITECT/ PR	ROJECT MA	NAGER.				
	H AND REPAIR CEILIN										
	NG GTPBOARD TO BE	PAINTED AS PER SC	-HEDULE,								





ROOM FINISHES CODES SCHEDULE

	CODE	MATERIAL	MANUFACTURER	STYLE	COLOR	NOTES
	F1	VCT	ARMSTRONG	12" x 12" IMPERIAL TEXTURE # 51899	COOL WHITE	
	F2	VCT	ARMSTRONG	12" x 12" IMPERIAL TEXTURE # 57534	RUBY RED	
	F3	VCT	ARMSTRONG	12" x 12" IMPERIAL TEXTURE # 51910	CLASSIC BLACK	
FLOOR	F4	CARPET	EF CONTRACT	KINETEX 24 x 24 INTRIGUE # KITR	TANTALIZE #ITR85	
	F5/B2	CERAMIC	DALTILE	6" × 6" DALTILE, ØQ63	DAWN DT	
	F6	VCT	ARMSTRONG	12" x 12" SAFETY ZONE # 57022	ROCKY ROAD	
BASE	BI	RUBBER	TARKETT	4" TALL X 1/8" THICK WITH TOE	#4Ø BLACK	
WALL	WI		KELLY MOORE	OW227-1	SOFT SESAME	
	W2		SHERWIN WILLIAMS	SW 6253	OLYMPUS WHITE	
	CI	FIBER	ARMSTRONG	24" x 24" x 5/8" FINE FISSURED #1831	WHITE	
CEILING	C2	GYPSUM BOARD		SW 6253	OLYMPUS WHITE	
	WCI	CERAMIC	DALTILE	6" x 6" DALTILE, #0190	BLACK	
WALL COVER	WC2	CERAMIC	DALTILE	6" x 6" DALTILE, *K 176	ICE GREY	
	WC3	CERAMIC	DALTILE	6" x 6" DALTILE, *K 176	VERMILLION	
METAL PANEL	EF-1	METAL PANEL	BERRIDGE	KYNAR 500	DEEP RED	
STOREFRONT	EF-2	ALUMINUM	YKK AP	* YSIN	CLEAR ANODIZED PLUS	
LOUVERS	EF-3	ALUMINUM				TO BE PAINTED WITH EF-6
METAL CANOPY	EF-4	METAL CANOPY	BERRIDGE	KYNAR 500	CITY SCAPE	
PAINT	EF-5	PAINT	SHERWIN WILLIAMS	SW6594	POINSETTIA	
PAINT	EF-6	PAINT	SHERWIN WILLIAMS	SW6255	MORNING FOG	
	L1	LAMINATE	WILSONART	* 1925-38	MONTICELLO MAPLE	
WOOD DOOR	WD1	VENEER	VT INDUSTRIES	RED OAK, #ALI8	ALPINE	
COUNTERTOP	SI	LAMINATE	WILSONART	# D90-60-/MATTE FINISH	NORTH SEA	

Ø3 MATERIAL SCHEDULE SCALE: NTS

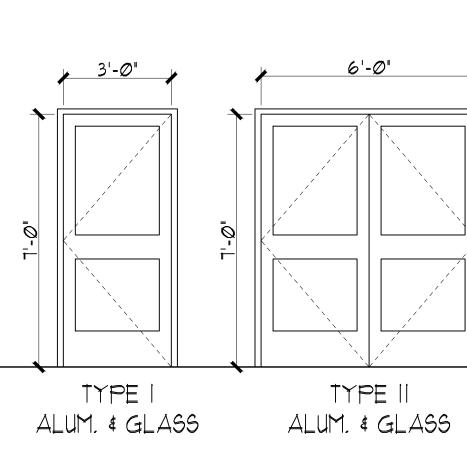
MARK	SIZE	ROOM	TYPE	DOOR MIRL.	DOOR FINISH	FRAME	FRAME	FRAM	E DETAIL NUM	1BERS	HW SET	FR	REMARKS
						MTRL. FINIS	FINISH	HEAD	JAMB	THRESHOLD			
			1						I				
101	3'-Ø" x 7'-Ø"	101		S.C. WOOD	STAINED	H.M.	PAINT	Ø9/A6.1Ø	Ø8/A6.1Ø	Ø6/A6.1Ø	551	-	
101C	EXISTING	1010	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	-	-	-	EXISTING	-	
127A	3'-8" x 7'-Ø"	127	V	METAL	PAINT	H.M.	PAINT	-	-	-	D2Ø5PW	-	
127B	3'-8" x 7'-Ø"	127	VII	METAL	PAINT	H.M.	PAINT	-	-	-	D2051P	-	
190	3'-Ø' x 7'-Ø'	190	V	S.C. WOOD	STAINED	H.M.	PAINT	Ø9/A6.1Ø	Ø8/A6.1Ø	Ø6/A6.1Ø	55IC	-	
E1ØØA	3'-Ø" x 7'-Ø"	ElØØ		ALUM/ GLASS	ANODIZED	ALUMINUM	ANODIZED	11/A6.1Ø	Ø7/A6.1Ø	Ø3/A6.1Ø	CR715A	-	
=100B	(2) 3'-Ø" x T'-Ø"	ElØØ		ALUM/ GLASS	ANODIZED	ALUMINUM	ANODIZED	11/A6.1Ø	Ø7/A6.1Ø	Ø3/A6.1Ø	DE714AM	-	
:100C	3'-Ø" x 7'-Ø"	ElØØ		ALUM/ GLASS	ANODIZED	ALUMINUM	ANODIZED	10/A6.10	Ø7/A6.1Ø	Ø3/A6.1Ø	CRIIIAV	-	
=100D	(2) 3'-Ø" x 7'-Ø"	ElØØ		ALUM/ GLASS	ANODIZED	ALUMINUM	ANODIZED	10/A6.10	Ø7/A6.1Ø	Ø3/A6.1Ø	DETTØAMV	-	
ElØØE	3'-Ø" x 7'-Ø"	ElØØ	I	ALUM/ GLASS	ANODIZED	ALUMINUM	ANODIZED	10/46.10	Ø7/A6.1Ø	Ø3/A6.1Ø	CR2Ø1A	-	
ElØI	3'-Ø" x 7'-Ø"	ElØI		S.C. WOOD	STAINED	H.M.	PAINT	Ø9/A6.1Ø	Ø8/A6.1Ø	Ø6/A6.1Ø	CR201CL	-	
E1Ø3	3'-Ø' x 3'-6'	E1Ø3	IV	S.C. WOOD	STAINED	WOOD	STAINED	-	-	-	4Ø36X	-	
E1Ø5	3'-Ø" x 7'-Ø"	E1Ø5		ALUM/ GLASS	ANODIZED	ALUMINUM	ANODIZED	10/46.10	Ø7/A6.1Ø	Ø3/A6.1Ø	C2Ø1AC	-	
E1Ø6	3'-Ø" x 7'-Ø"	E1Ø6		ALUM/ GLASS	ANODIZED	ALUMINUM	ANODIZED	10/46.10	Ø7/A6.1Ø	Ø3/A6.1Ø	C2ØIAC	-	
EIØT	2'-Ø" × 7'-Ø"	EIØT	VI-B	S.C. WOOD	STAINED	H.M.	PAINT	Ø9/A6.10	Ø8/A6.1Ø	Ø6/A6.1Ø	2Ø3SW	-	
E1Ø8	3'-Ø" x 7'-Ø"	E1Ø8	V	S.C. WOOD	STAINED	H.M.	PAINT	Ø9/A6.1Ø	Ø8/A6.1Ø	Ø6/A6.1Ø	551		
E1Ø9	3'-Ø" x 7'-Ø"	E1Ø9		S.C. WOOD	STAINED	H.M.	PAINT	Ø9/A6.10	Ø8/A6.1Ø	Ø6/A6.1Ø	C2Ø1	-	
EllØ	3'-Ø" x T'-Ø"	EllØ		S.C. WOOD	STAINED	H.M.	PAINT	Ø9/A6.1Ø	Ø8/A6.1Ø	Ø6/A6.10	241	-	

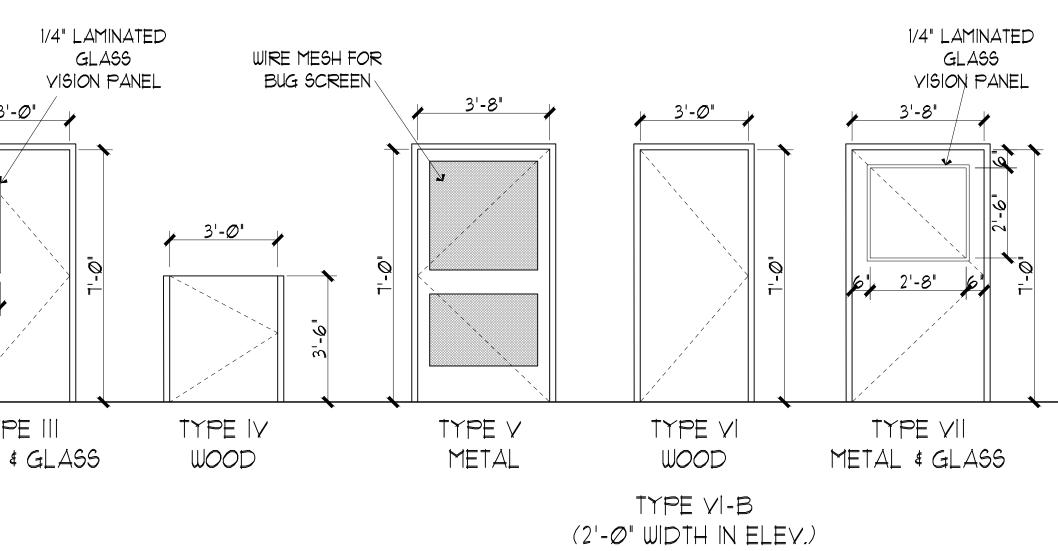
MINIMUM ACOUSTICAL RATING OF STC 30.

2. G.C. TO COORDINATE EXTERIOR DOOR REPLACEMENT AND PROVIDE SECURITY AT OPENINGS DURING CONSTRUCTION. 3. PROVIDE NEW ACCESS CONTROL SYSTEM AND CARD READERS INFRASTRUCTURE, DOOR CONTACT, REFER TO TECHNOLOGY SHEETS FOR ADDITIONAL INFORMATION. G.C. TO VERITY ALL OPENING AND THROAT SIZES.
 ALL NEW DOORS TO HAVE DOOR STOPS AND DOOR HOLD OPEN MECHANISM DEVICES.

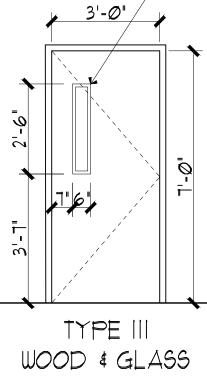
6. NEW MAIN CORRIDOR DOORS, DOORS IN HIGH TRAFFIC AREAS AND EXTERIOR DOOR TO HAVE CONTINUOUS GEAR TYPE HINGE AS SPECIFIED. 1. ALL DOORS CONTROLLED BY CARD ACCESS TO HAVE ELECTRICAL HARDWARE AS SPECIFIED. 8. ALL EXISTING EXTERIOR DOORS AND FRAMES TO BE PAINTED NEW. REFER TO FINISH SCHEDULE FOR EXACT PAINT COLOR. REMARKS:







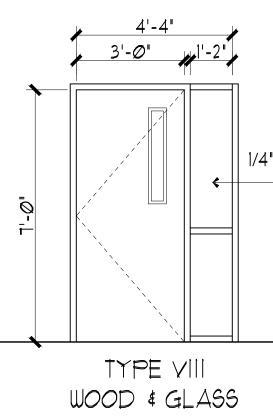
WOOD

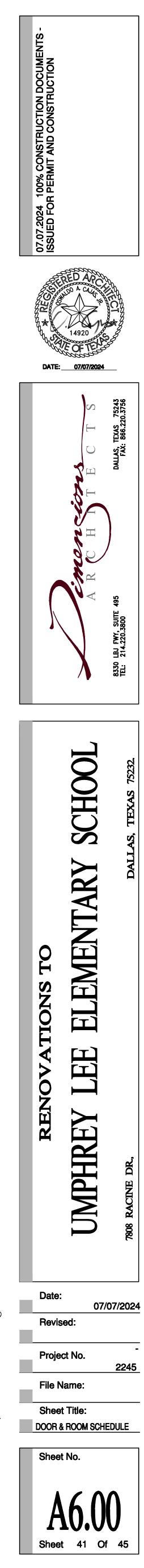


ALTERNATE NOTE:

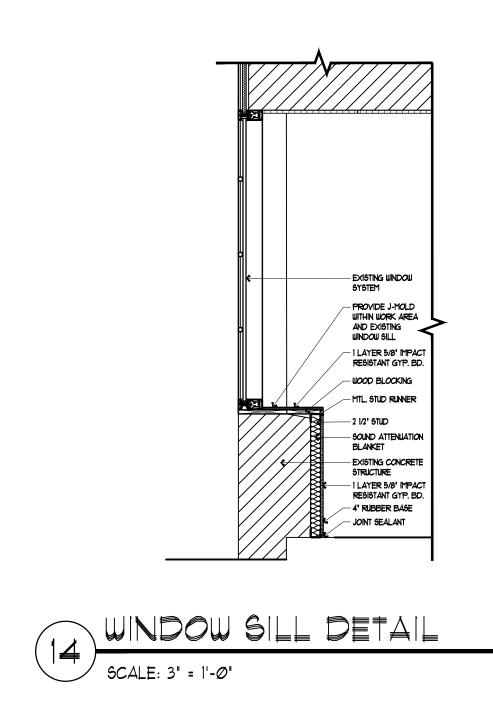
PROVIDE MISCELLANEOUS HARDWARE COUNT OF 20 EXTRA PULLS UNDER THE NEW ADA COMPLIANCE

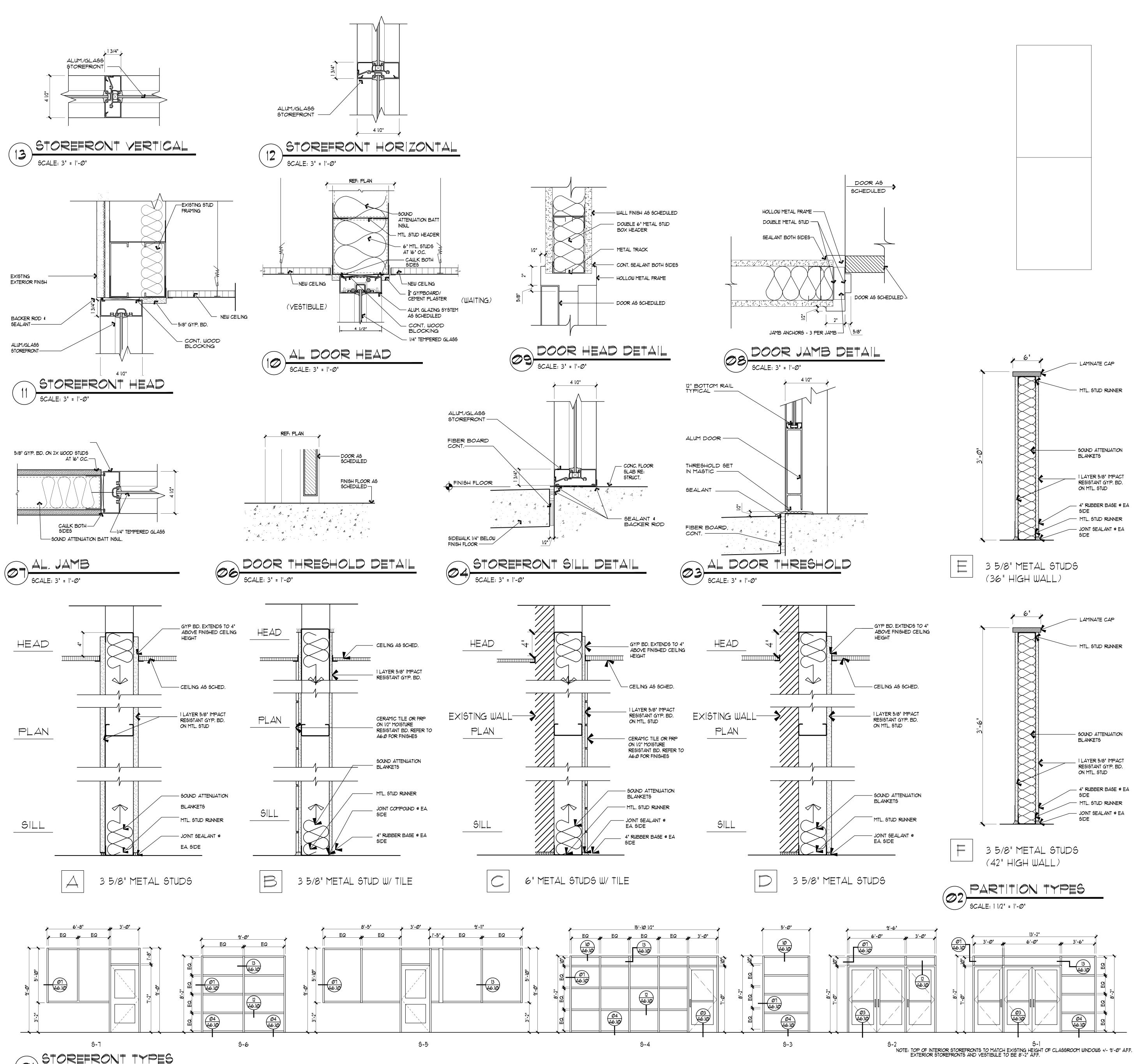


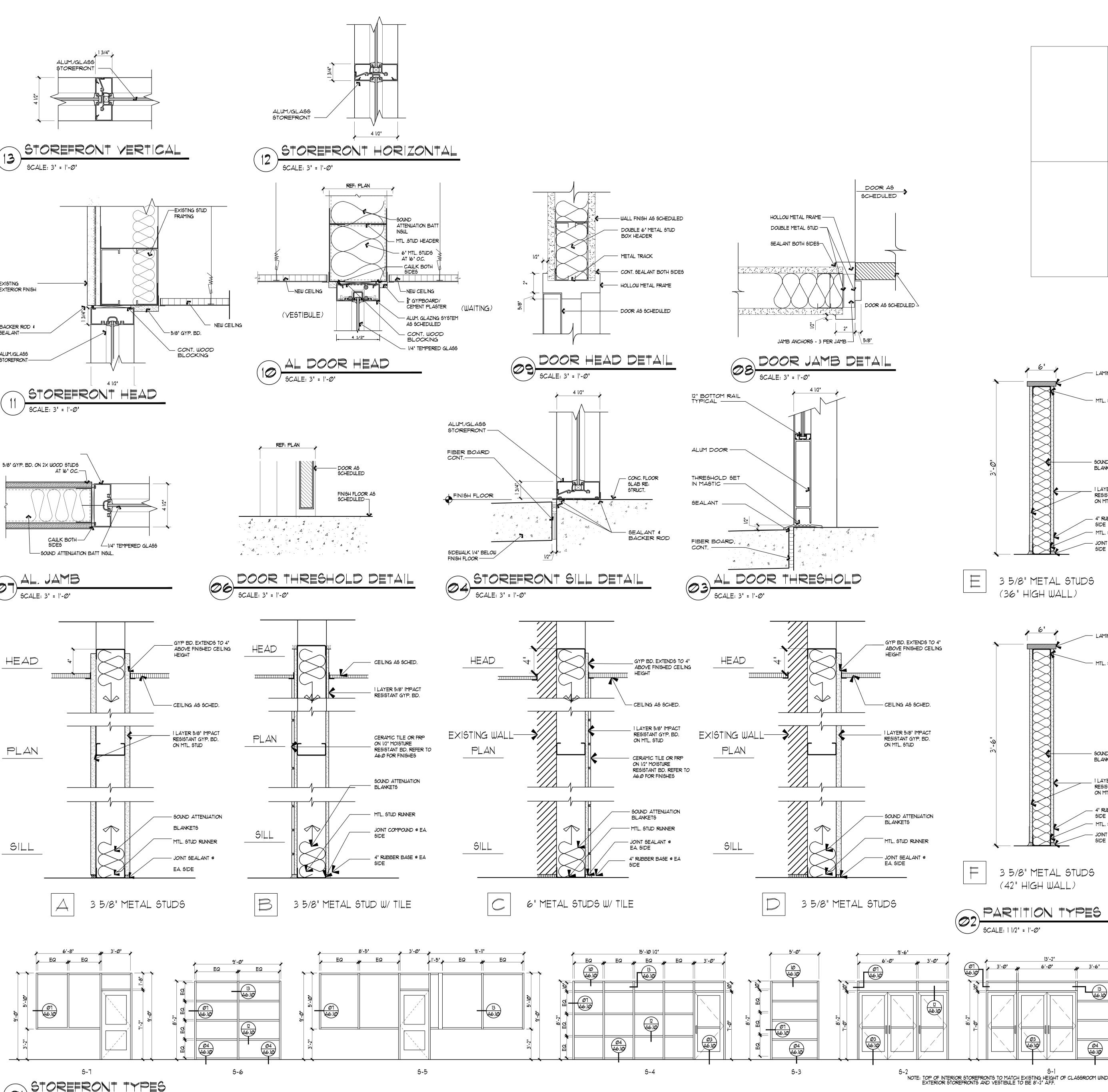


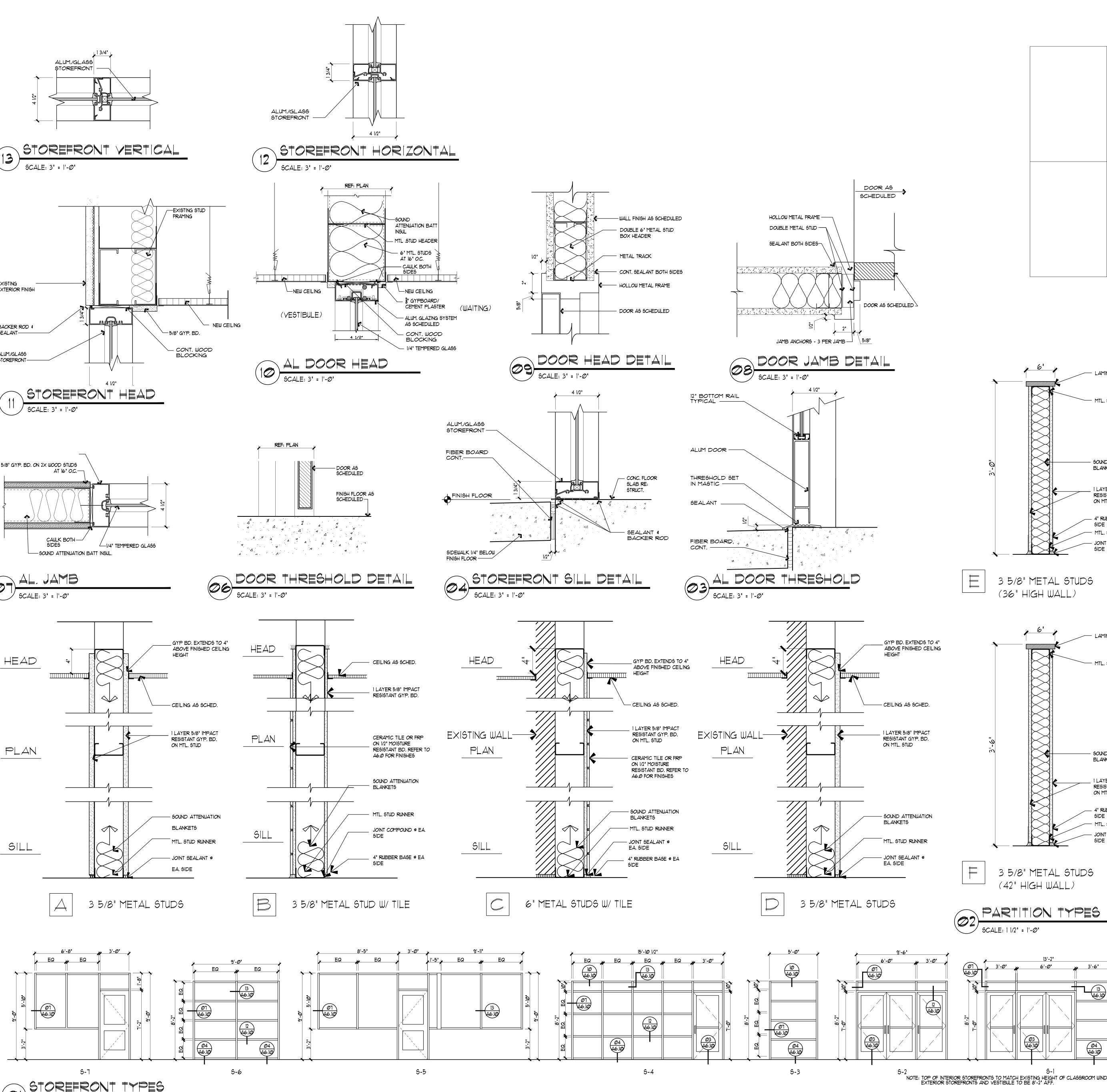


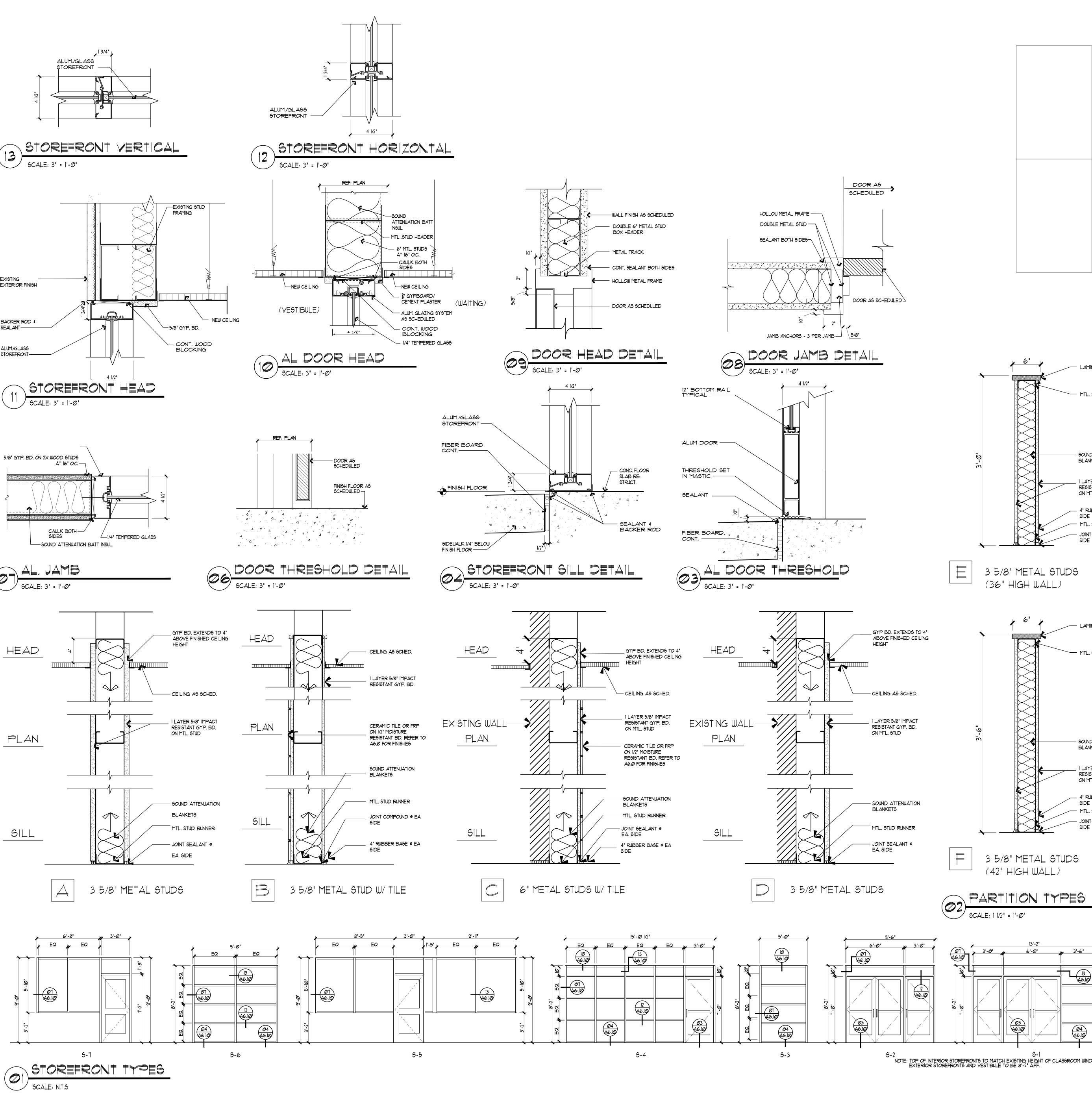
1/4" LAMINATED GLASS SIDELITE

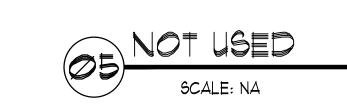


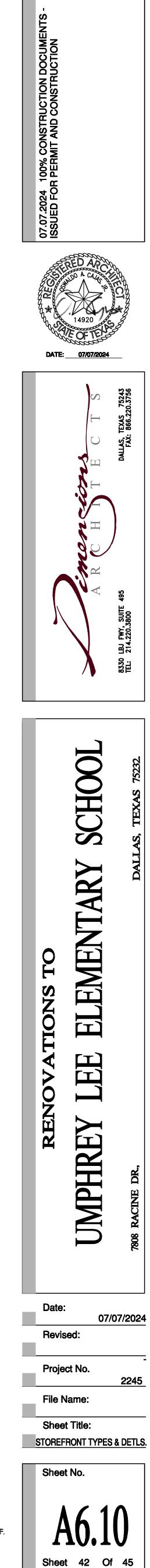












LAMINATE CAP

- SOUND ATTENUATION

I LAYER 5/8' IMPACT RESISTANT GYP. BD. ON MTL. STUD

_ 4" RUBBER BASE @ EA MTL. STUD RUNNER

- LAMINATE CAP

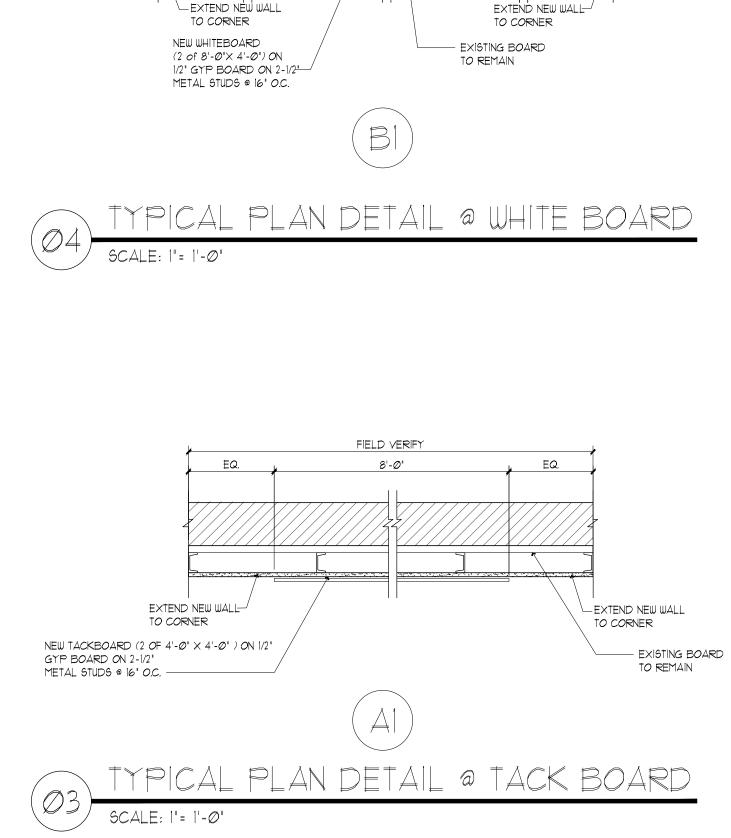
- MTL. STUD RUNNER

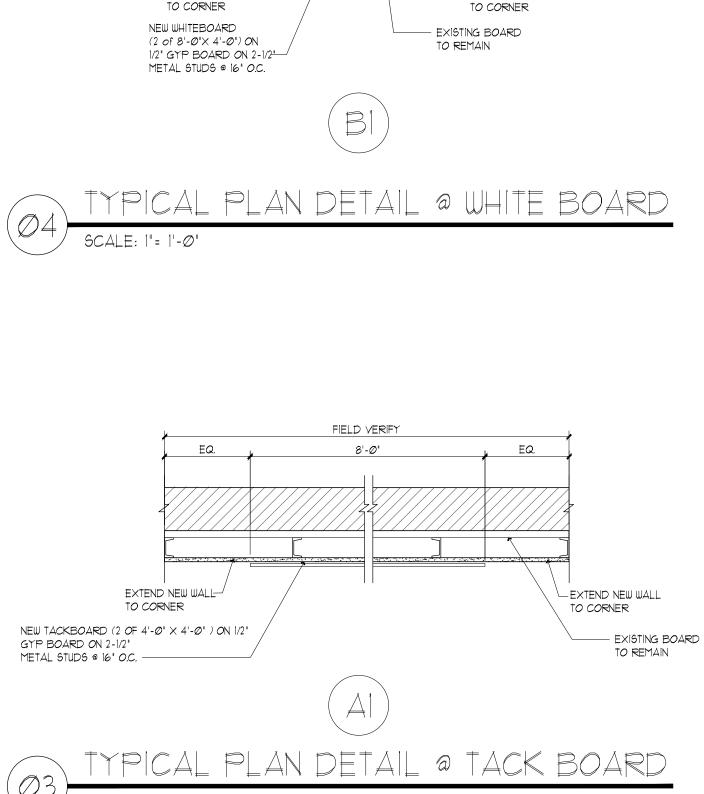
- SOUND ATTENUATION

I LAYER 5/8' IMPACT RESISTANT GYP. BD. ON MTL. STUD

– 4' RUBBER BAGE @ EA - MTL. STUD RUNNER

JOINT SEALANT @ EA

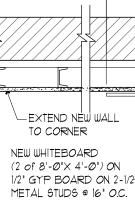


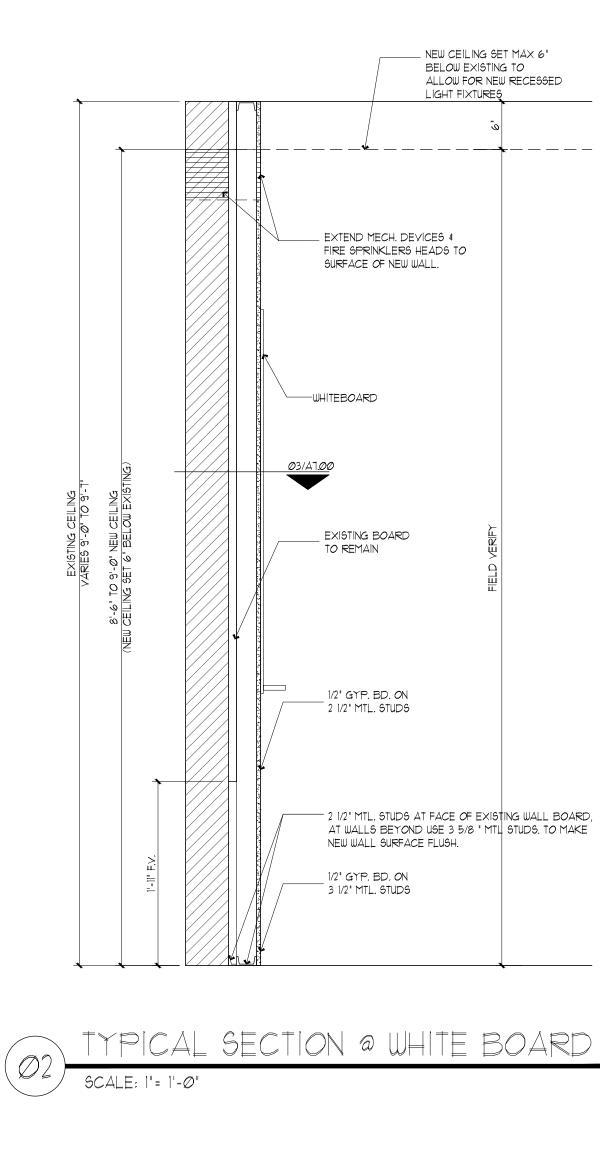


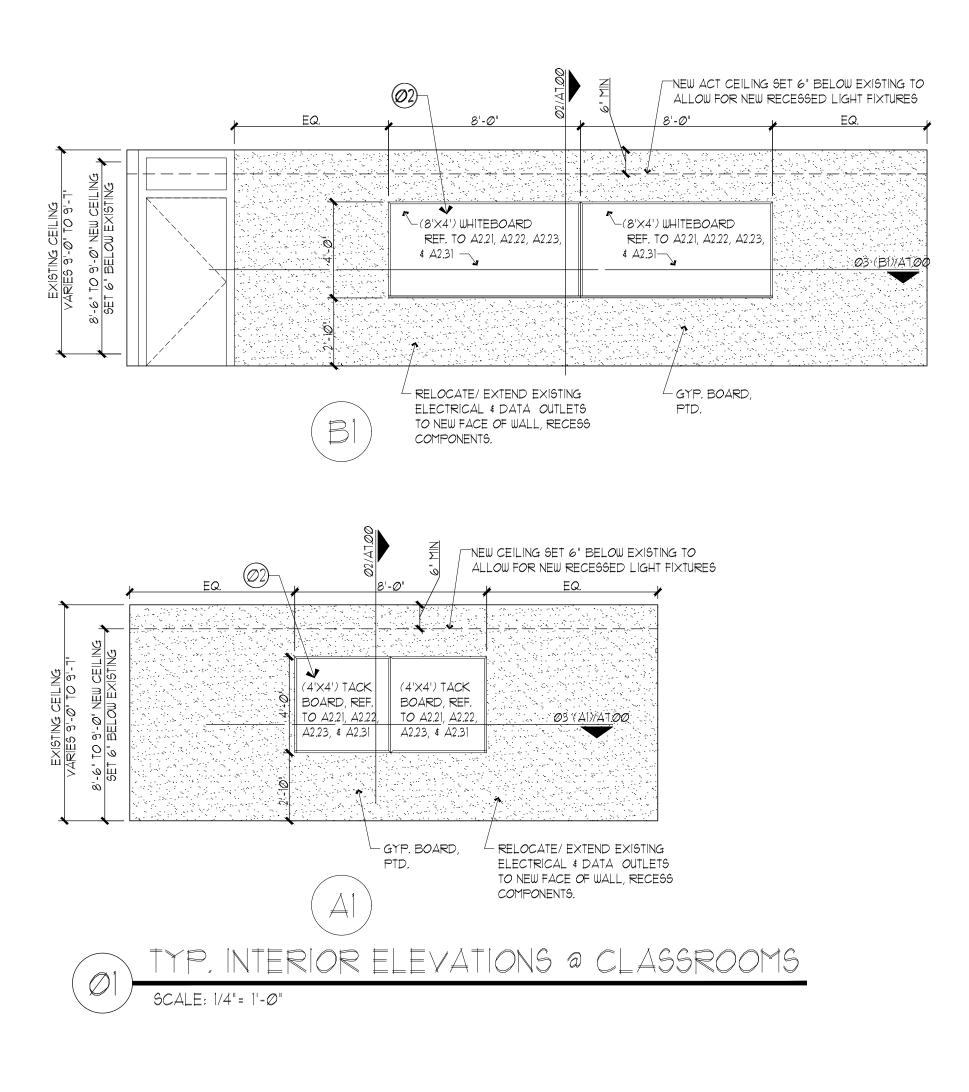
16'-0"

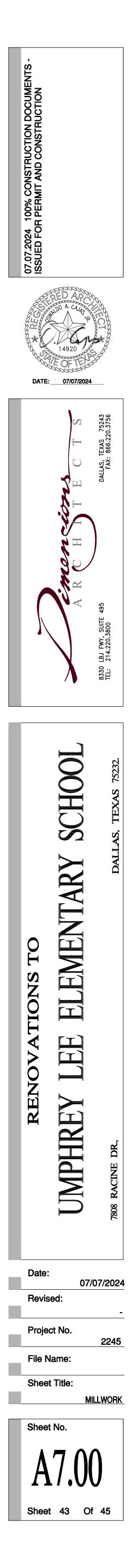
and a second of the second second

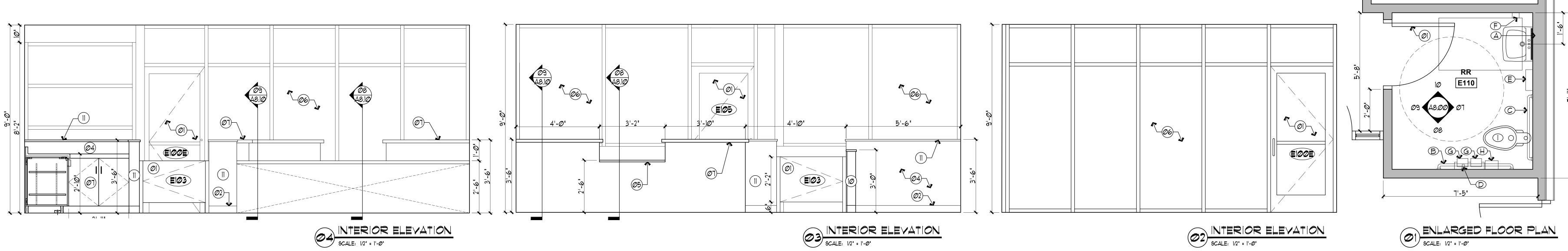
EQ.

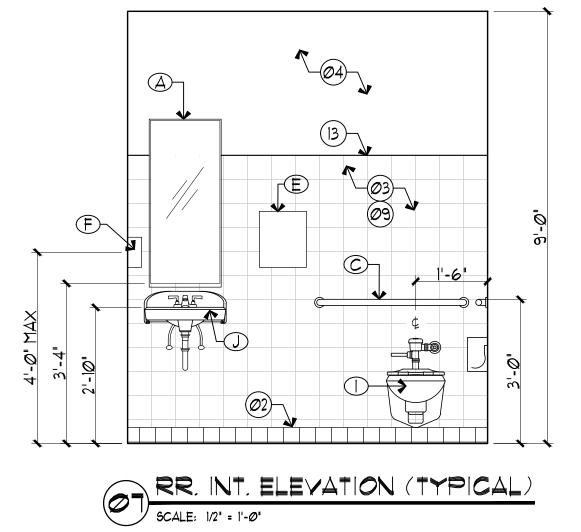




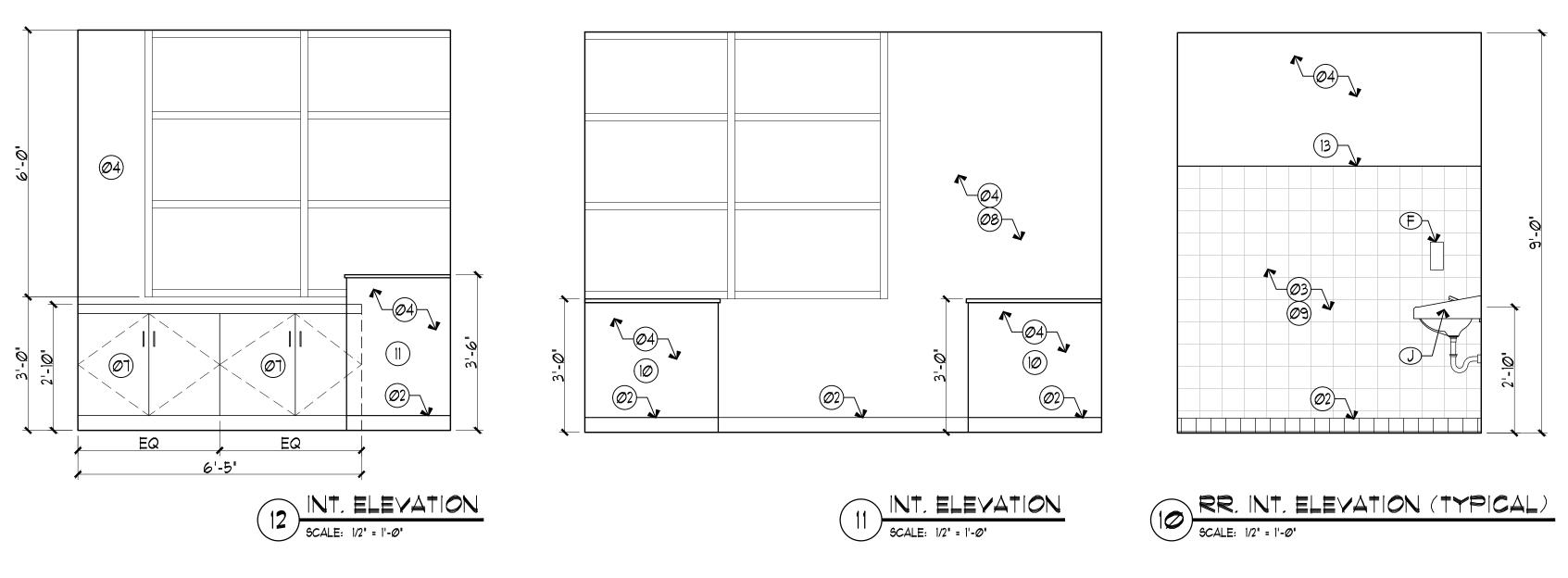


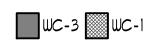








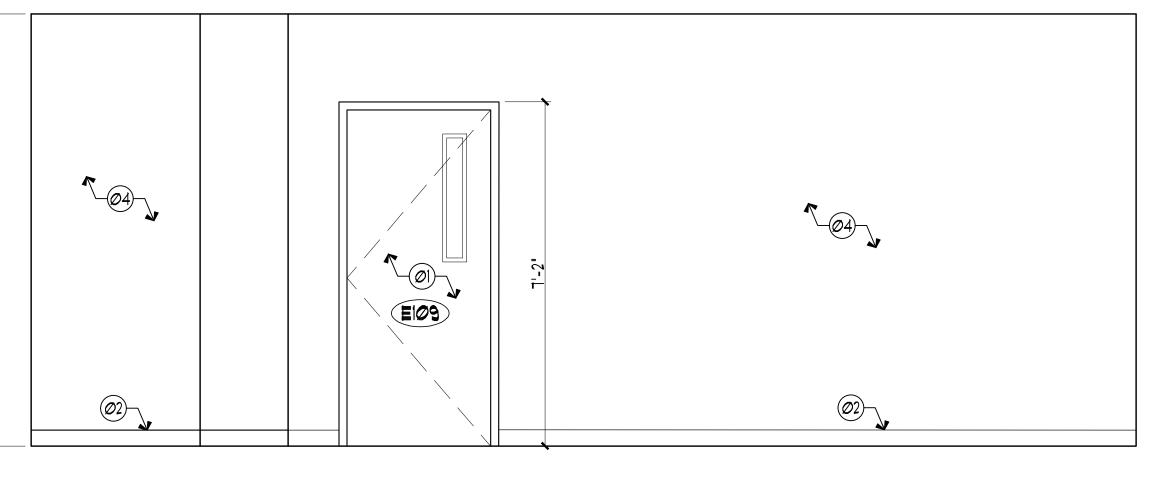




RESTROOM ACCESSORY SCHEDULE						
CODE	QTY	DESCRIPTION	MANUFACTURER & MODEL *			
А	1	MIRROR	BRADLEY WASHROOM CORP., 781-2436			
в	1	42" GRAB BAR	BRADLEY WASHROOM CORP., 812-00142			
С	1	36" GRAB BAR	BRADLEY WASHROOM CORP., 812-00136			
D	1	18" GRAB BAR	BRADLEY WASHROOM CORP., 812-00118			
E	1	PAPER TOWEL DISPENSER	BOBRICK B-2620			
F	1	SOAP DISPENSER	BRADLEY WASHROOM CORP., 6562			
G	1	TOILET PAPER DISPENSER	BRADLEY WASHROOM CORP. BDY 5241-50			
Н	1	SANITARY NAPKIN DISPOSAL	BOBRICK/ B-270			
	1	TOILET	AMERICAN STANDARD/ CADET 2386.Ø12			
J	1	LAVATORY	AMERICAN STANDARD/ LUCERNE Ø356.Ø15			

KEYNOTES:

Ø2)	4" WALL BASE A Schedule <i>o</i> n S
@3	WALL CERAMIC Schedule <i>o</i> n s
@4)	TEXTURE AND P SCHEDULE ON S
Ø5)	ACCESSIBLE CC
Ø6)	ALUMINUM STORE TYPES ON SHEE
Ø7)	MILLWORK
Ø8)	NEW WALL
09	RR WALL TILE PA
(10)	LOW HEIGHT WALI
	LOW HEIGHT WALI
(12)	GC TO PROVIDE INSTALLATION OF



SCALE: 1/2" = 1'-@"

OB INTERIOR ELEVATION SCALE: 1/2' = 1'-0'

- (ØI) DOOR AS SCHEDULED
 - SHEET A6.00, TYP.
 - SHEET A6.00, TYP.
 - PAINT AS SPECIFIED IN ROOM FINISH SHEET A6.00, TYP.

REFRONT. REFER TO STOREFRONT

PATTERN. REFER TO 13/A8.00

4LL 3'-Ø" HIGH.

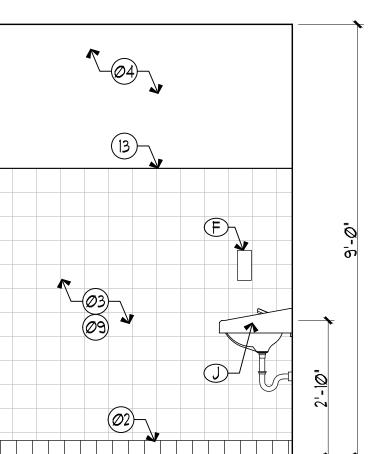
4LL 3'-6" HIGH.

E WOOD BLOCKING FOR THE OF THE TELEVISION.

(13) PROVIDE TERMINATION TILE AND SCHLUTER, TYP.

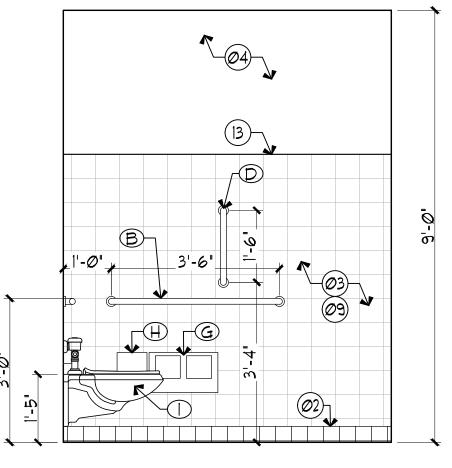
GENERAL NOTES:

- SEE SHEETS A.O.1 & A.O.2 FOR ADA COMPLIANCE. REFER M. E. P. DRAWINGS FOR ADDITIONAL
- INFORMATION.
- 3. ALL FIXTURES AND EQUIPMENT TO BE OWNER APPROVED, CONTRACTOR INSTALLED.
- 4. GC TO MAKE SURE TO PROVIDE WOOD BLOCKING FOR THE INSTALLATIONS OF EQUIPMENTS.

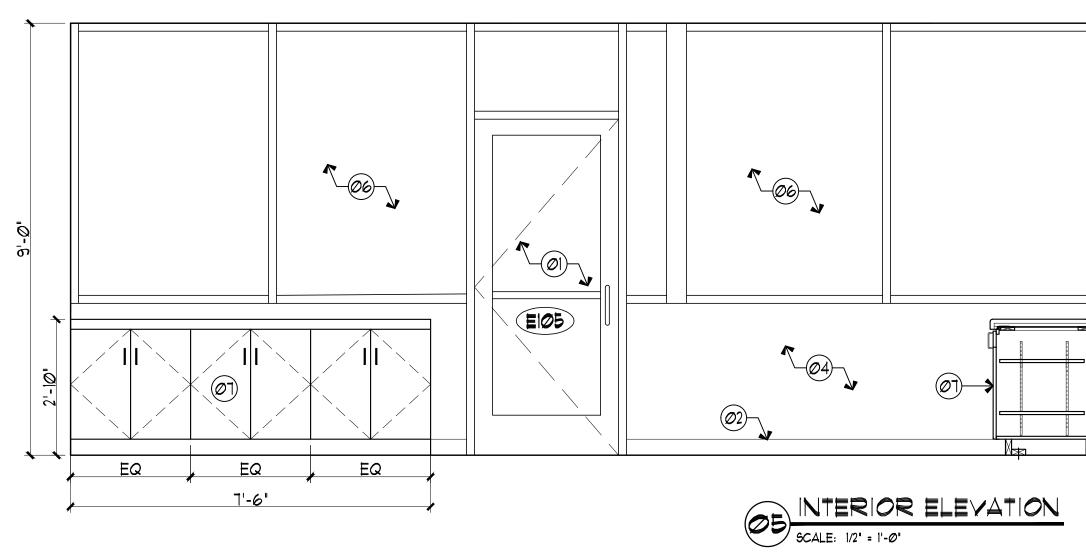


(13)-(-03 (03) EIIØ

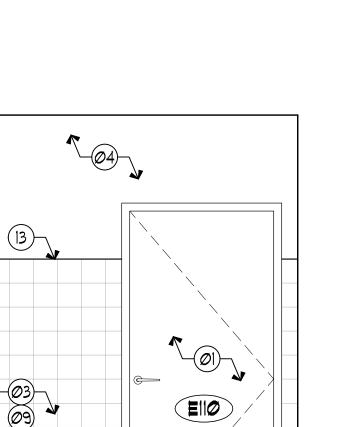
RR. INT. ELEVATION (TYPICAL) Scale: 1/2" = 1'-0'



RR. INT. ELEVATION (TYPICAL) Scale: 1/2' = 1'-0'



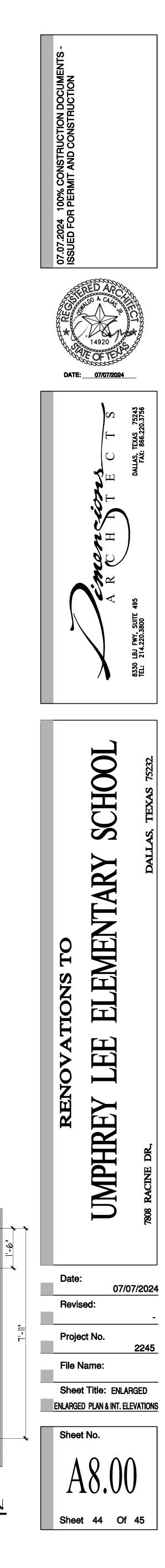
02 SCALE: 1/2' = 1'-0'

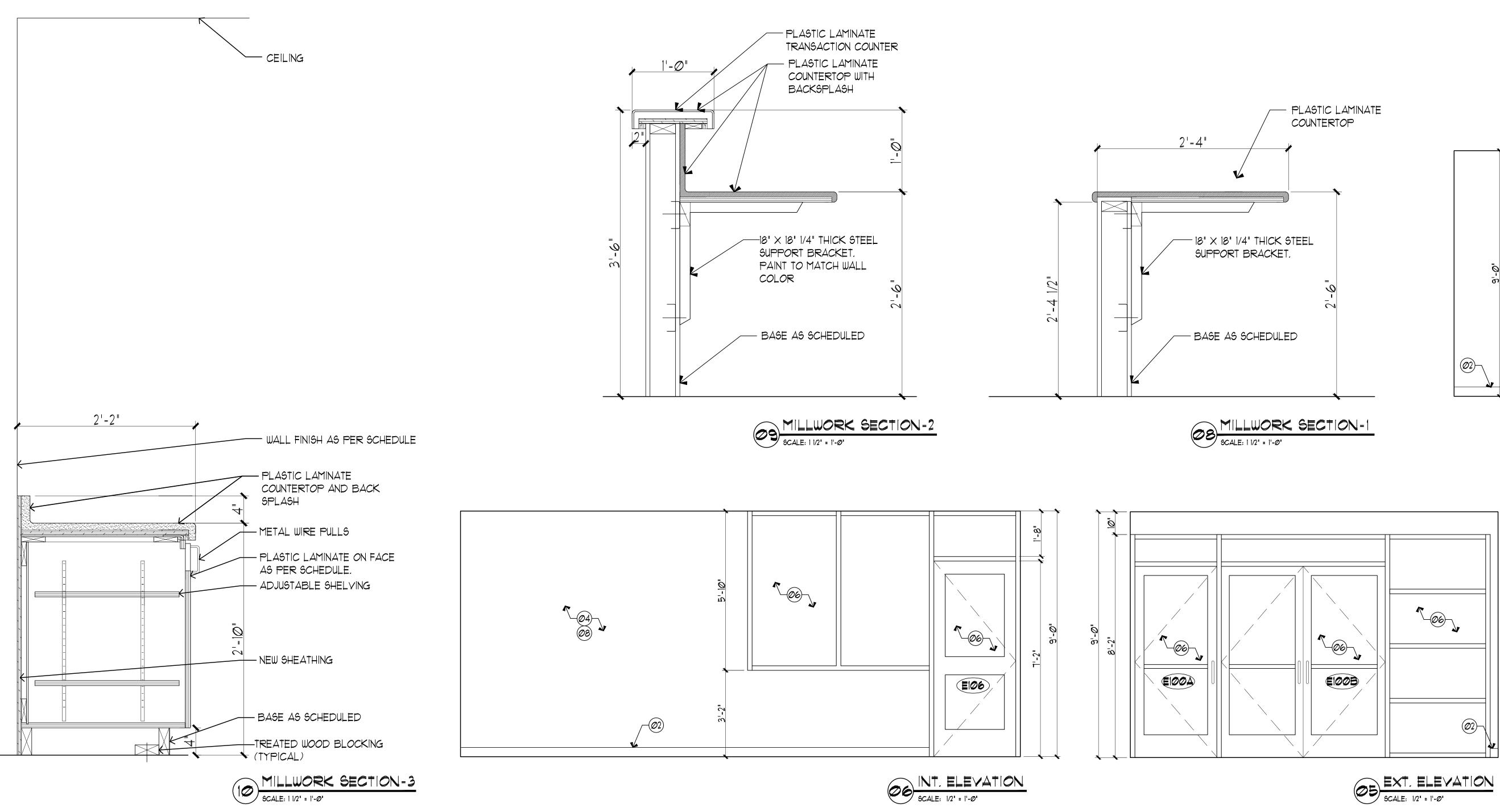


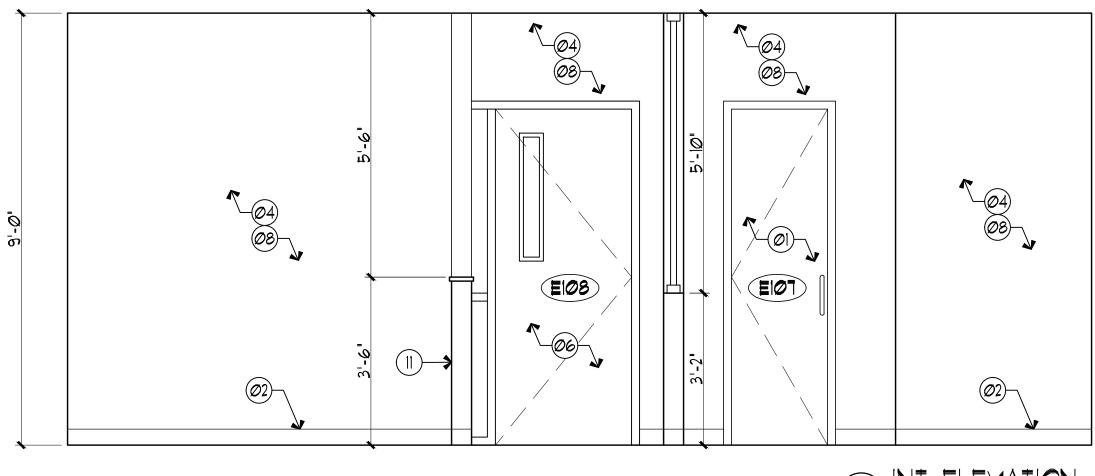
AS SPECIFIED IN ROOM FINISH C TILE AS SPECIFIED IN ROOM FINISH

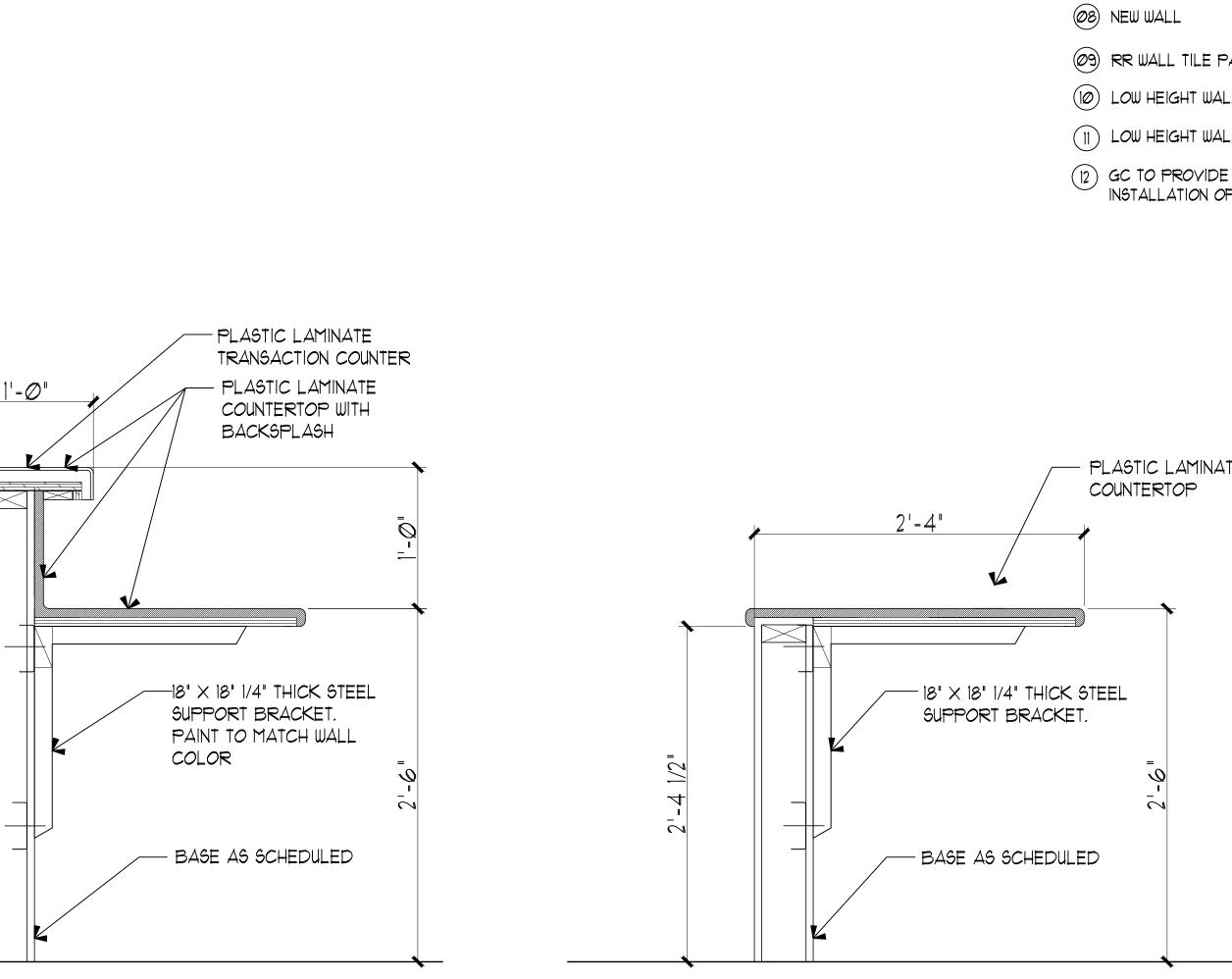
COUNTER

ET A6.10



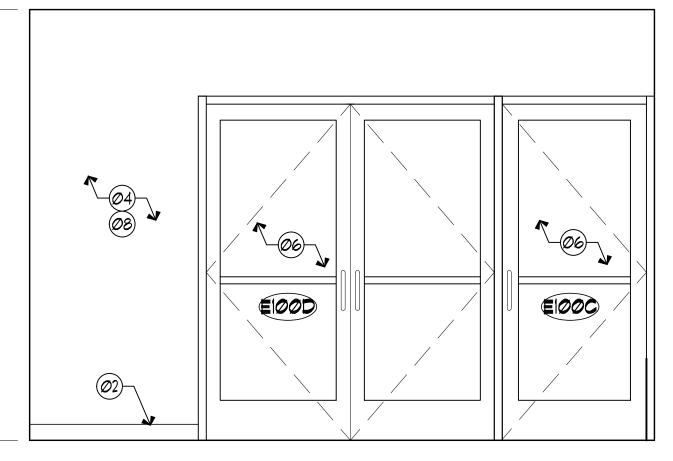








(03) INT. ELEVATION SCALE: 1/2" = 1'-0"



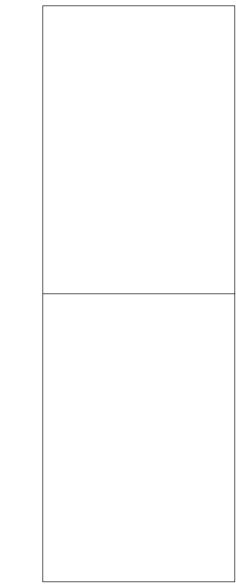
02 SCALE: 1/2" = 1'-0"

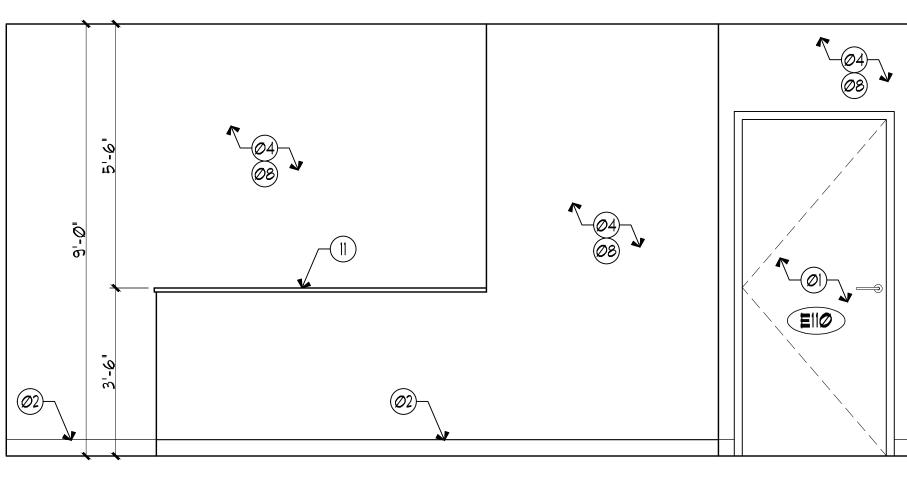
KEYNOTES:

- (01) DOOR AS SCHEDULED
- (2) 4" WALL BASE AS SPECIFIED IN ROOM FINISH SCHEDULE ON SHEET AG.00, TYP.
- WALL CERAMIC TILE AS SPECIFIED IN ROOM FINISH SCHEDULE ON SHEET AG.00, TYP.
- (04) TEXTURE AND PAINT AS SPECIFIED IN ROOM FINISH SCHEDULE ON SHEET A6.00, TYP.
- (05) ACCESSIBLE COUNTER
- 66 ALUMINUM STOREFRONT. REFER TO STOREFRONT TYPES ON SHEET AG.10
- ØT) MILLWORK
- (09) RR WALL TILE PATTERN. REFER TO 13/A8.00
- (10) LOW HEIGHT WALL 3'-0" HIGH.
- (1) LOW HEIGHT WALL 3'-6" HIGH.
- (12) GC TO PROVIDE WOOD BLOCKING FOR THE INSTALLATION OF THE TELEVISION.

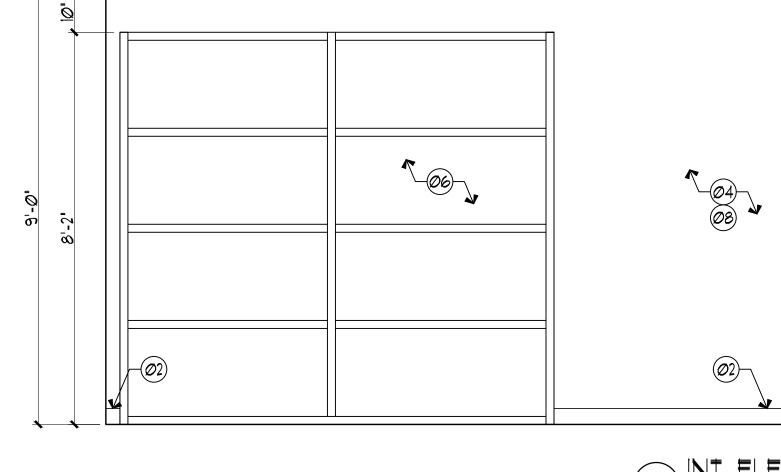
GENERAL NOTES:

- SEE SHEETS AQ.1 & AQ.2 FOR ADA COMPLIANCE.
- 2. REFER M. E. P. DRAWINGS FOR ADDITIONAL INFORMATION.
- 3. ALL FIXTURES AND EQUIPMENT TO BE OWNER
- APPROVED, CONTRACTOR INSTALLED. 4. GC TO MAKE SURE TO PROVIDE WOOD BLOCKING FOR THE INSTALLATIONS OF EQUIPMENTS.





(NT. ELEVATION SCALE: 1/2' = 1'-0'



@]-



@2



~_06__

EIØI

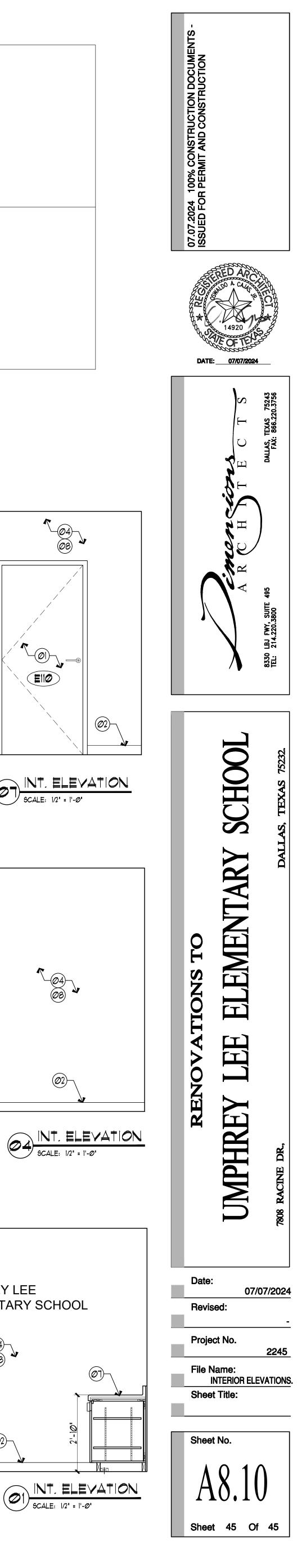
ELEMENTARY SCHOOL

UMPHREY LEE

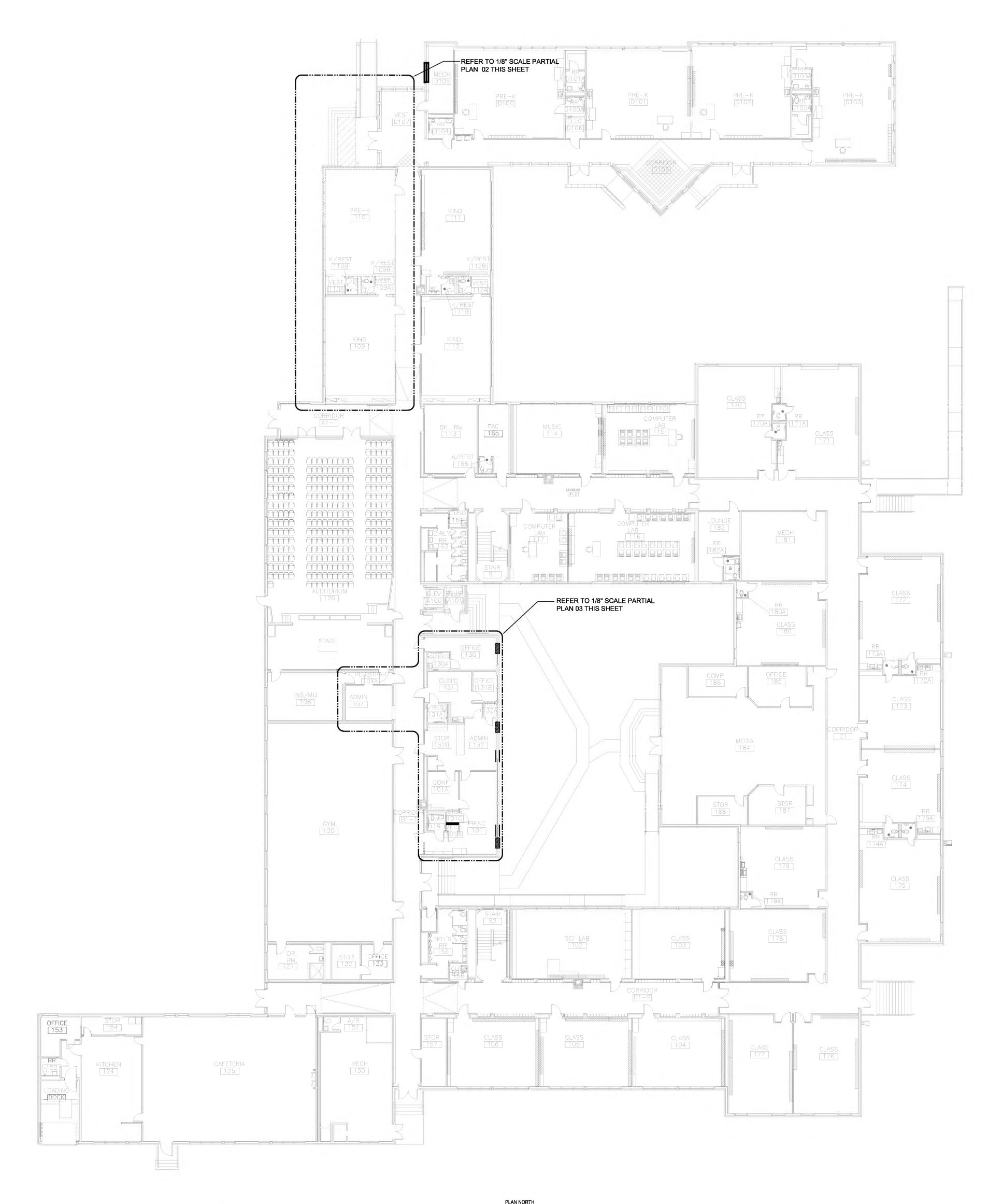
@2)-\

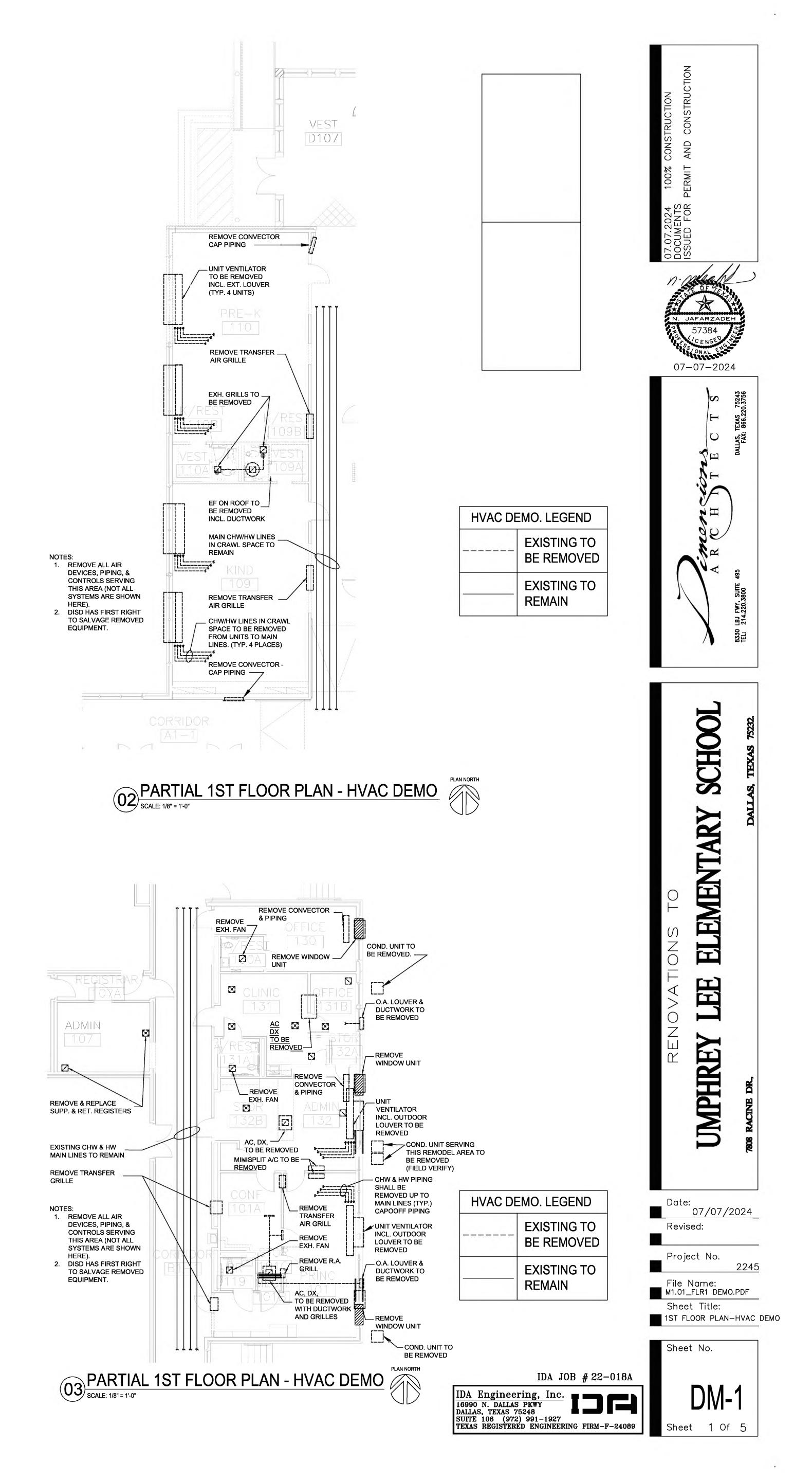


(01) INT. ELEVATION SCALE: 1/2" = 1'-0"

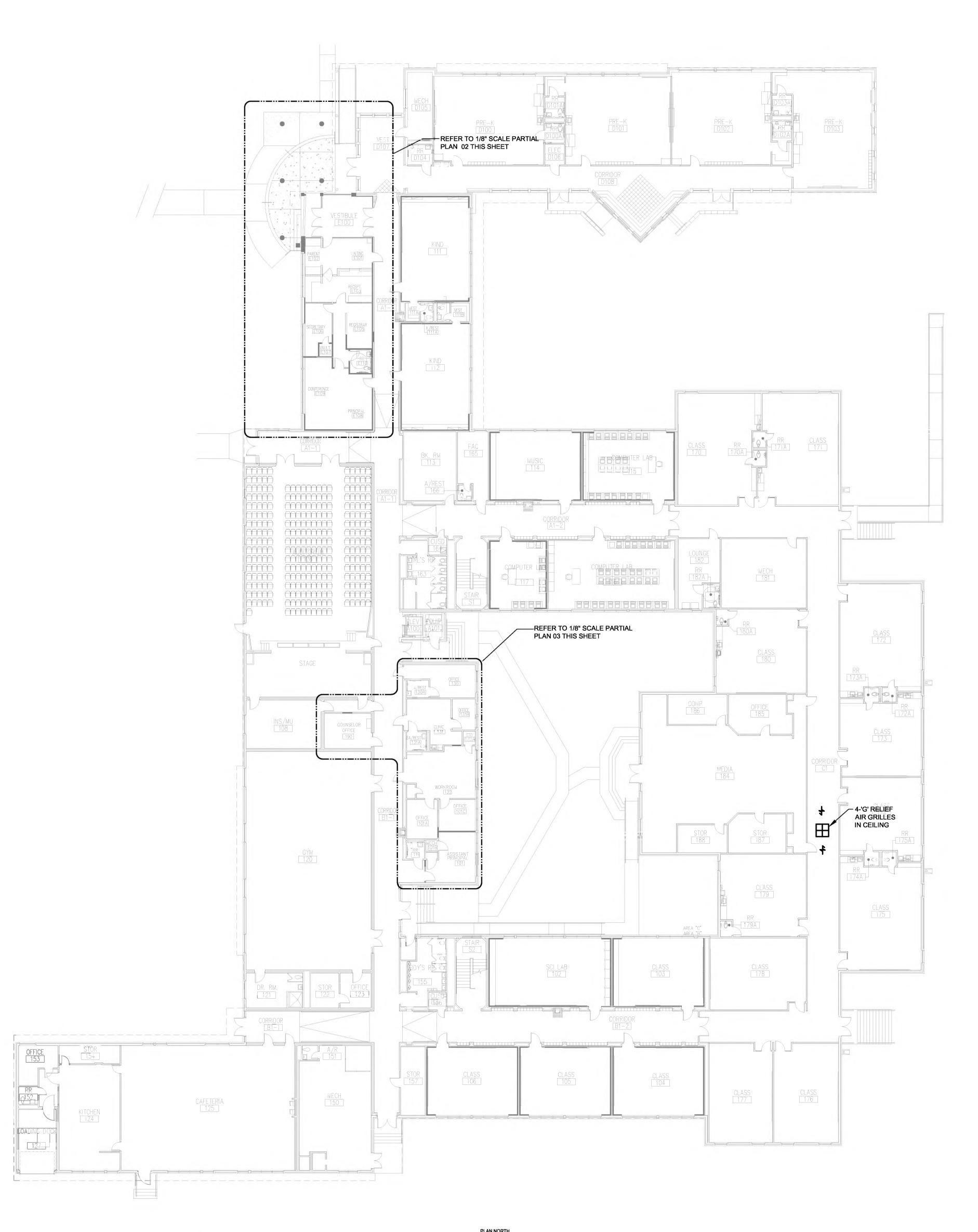


01 FIRST FLOOR PLAN - HVAC DEMO

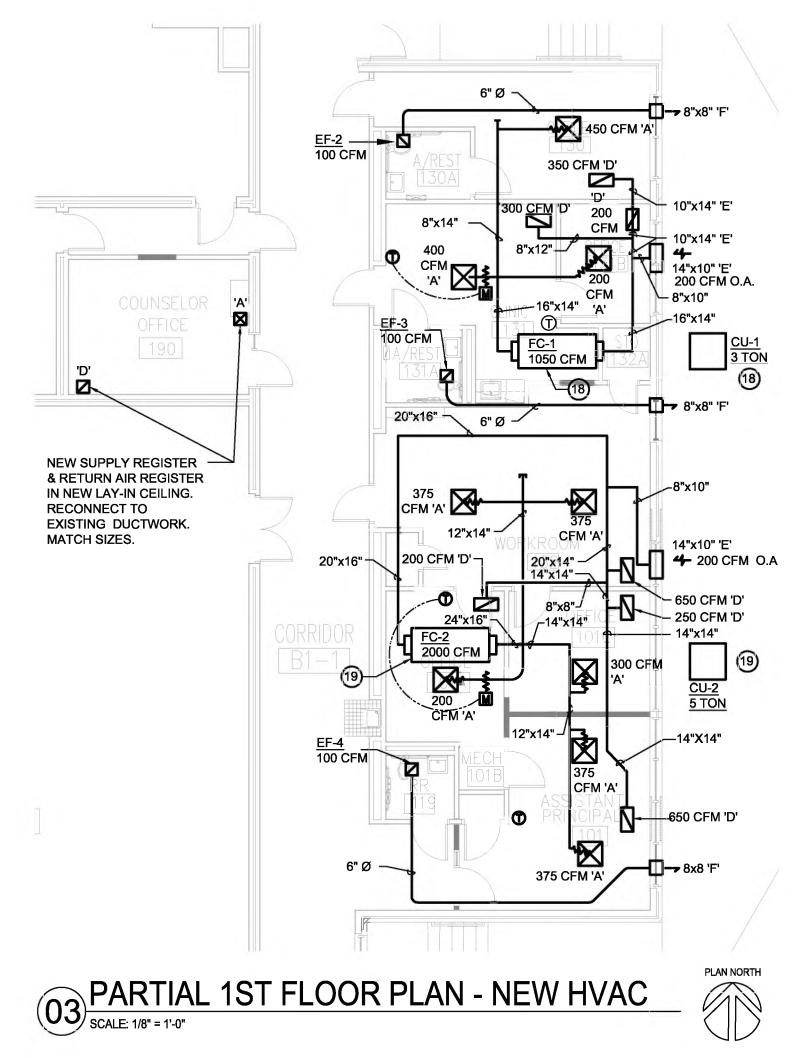


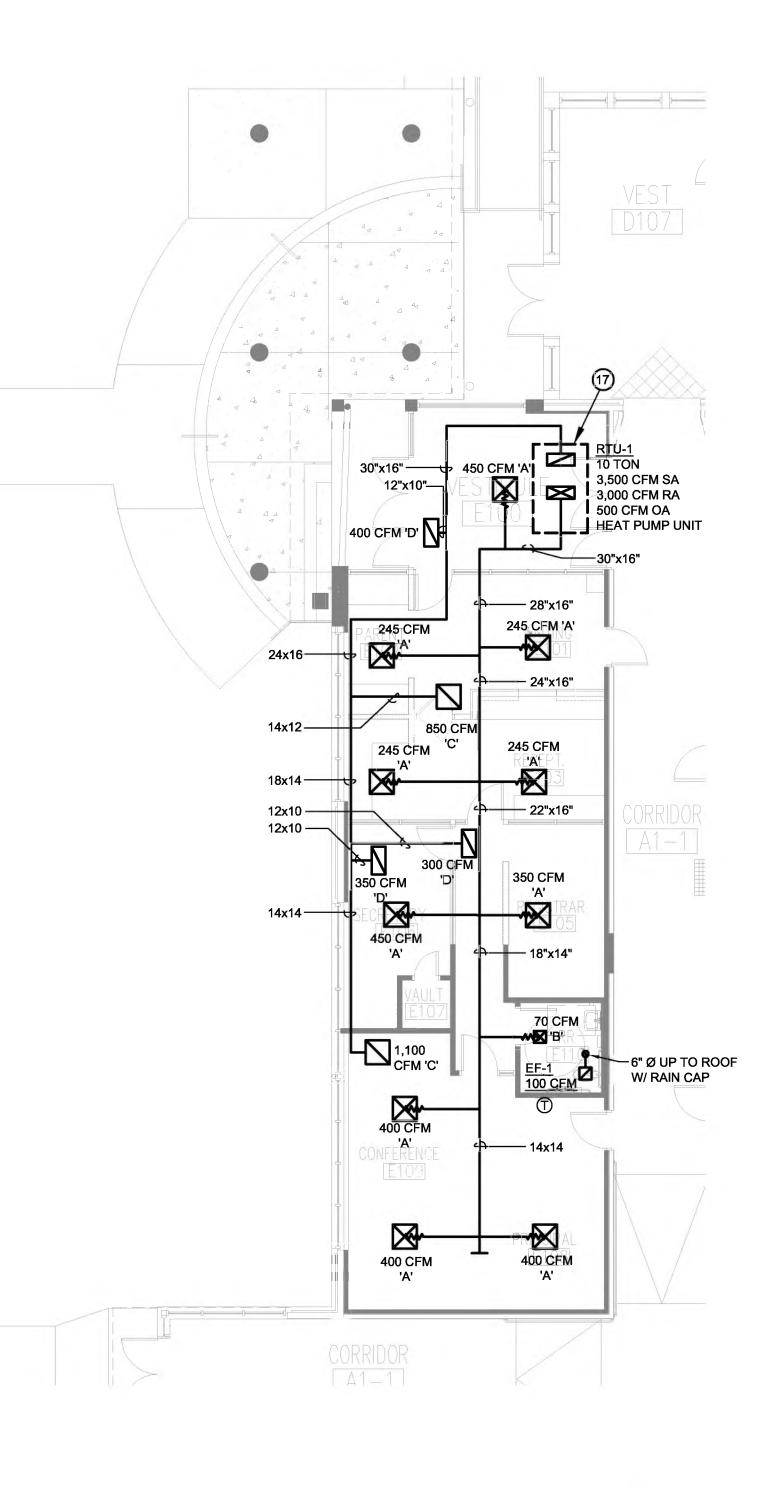


01 FIRST FLOOR PLAN - NEW HVAC

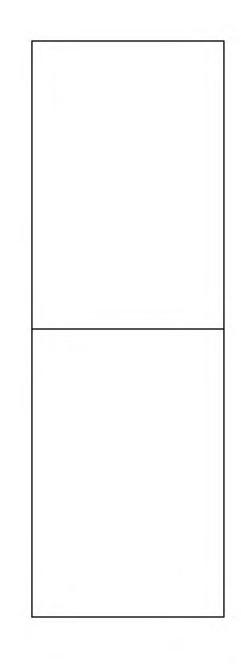


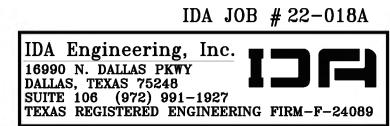


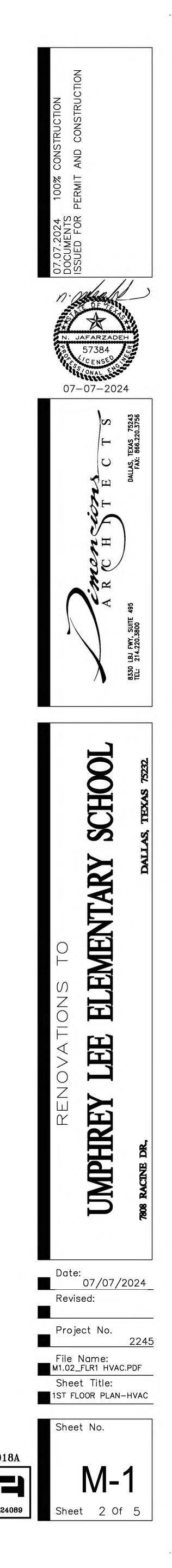


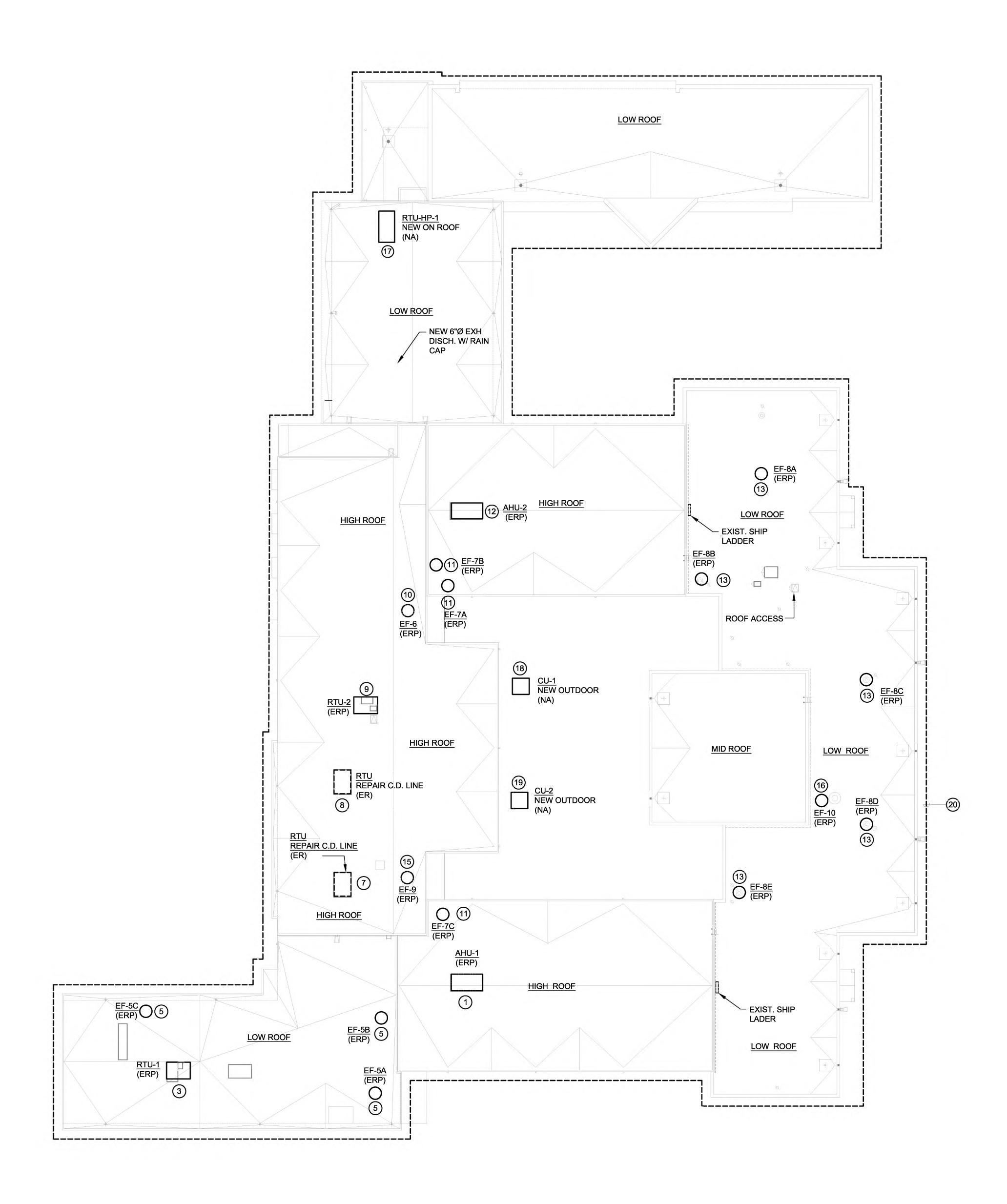












01 ROOF PLAN - HVAC



HVAC NOTES: (APPLY TO SHEETS M-1 AND M-2) REPLACE THE FOLLOWING EQUIPMENT EXCEPT AS NOTED OTHERWISE.

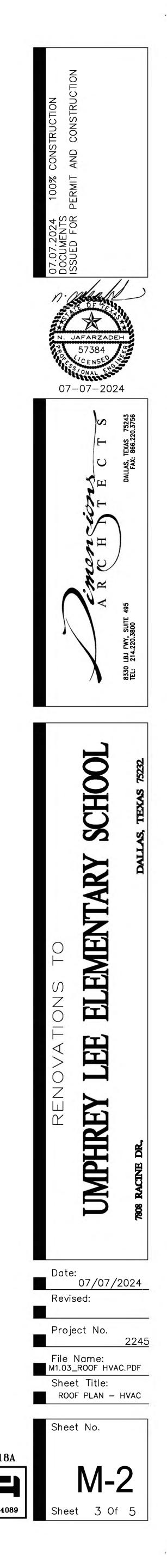
(1) AHU/CHW - 15,000 CFM - REPLACE WITH NEW ONE, AHU-1

- 2 NOT USED
- ③ RTU/DX/GAS 6.5 TON REPLACE WITH NEW ONE, RTU-1
- NOT USED
- 5 EXH. FAN 500 CFM, $\frac{1}{2}$ HP REPLACE WITH NEW ONE, EF-5A, EF-5B, EF-5C
- 6 NOT USED
- 7 RTU/DX/GAS CONDENSATE DRAIN NEEDS TO BE RUN ON ROOF TO HUB DRAIN INSIDE THE BUILDING. UNIT CURRENTLY HAS NO C.D. LINE.
- 8 RTU/DX/GAS CONDENSATE DRAIN LINE SPILLS ON ROOF. RUN C.D. LINE TO HUB DRAIN INSIDE THE BUILDING. UNIT CURRENTLY HAS NO C.D. LINE.
- ③ RTU/DX/GAS 7.5 TON REPLACE WITH NEW ONE, RTU-2
- 1 RELIEF AIR FAN 15,000 CFM, 3.5 HP REPLACE WITH NEW ONE, EF-6
- (1) EXH. FAN 500 CFM, $\frac{1}{4}$ HP REPLACE WITH NEW ONE, EF-7A, EF-7B, EF-7C
- AHU/CHW 15,000 CFM REPLACE WITH NEW ONE, AHU-2
- EXH. FAN 100 CFM, HP REPLACE WITH NEW ONE, EF-8A, EF-8B, EF-8C, EF-8D, EF-8E
- 14 NOT USED
- (5) RELIEF AIR FAN 12,000 CFM, 3.5 HP REPLACE WITH NEW ONE, EF-9.
- (6) RELIEF AIR FAN 12,000 CFM, REPLACE WITH NEW ONE, EF-10.
- NEW 10 TON RTU (HEAT PUMP WITH ELECT. STRIP HEAT), RTU-HP-1
- 18 NEW 3 TON SPLIT SYSTEM A/C UNIT, CU-1, FC-1 (REMODELLED AREA)
- NEW 5 TON SPLIT SYSTEM CONDENSING UNIT, CU-2, FC-2 (REMODELLED AREA)
- **@** REPLACEMENT OF THE ENTIRE SCHOOLS HVAC CONTROLS SYSTEM PER DALLAS ISD TDG STANDARDS. REFER TO SPECIFICATIONS.

ABBREVIATION LEGEND ON ROOF

(ER) (ERP) (NA)

EXISTING TO REPAIR EXISTING TO REPLACE NEW TO BE ADDED



					S	PLI	ΤS	YS	TEM D	X A/C	UNIT	S (E	LE	СТ	RIC) HE	AT)						
		NOM.	O.A.		FAN					COOLING	ì		Н	EATIN	G			CONDEN	ISING UN	IT		CARRIER, MOI	DEL No.
DESIG.	SERVES	TONS	CFM	TOTAL CFM	E.S.P. IN. WG.	HP	∨/0	EER.	TOTAL MBH	SENS. MBH	EA D B	Т WB	кw	∨/0	мса	моср	AMB TEMP.	MCA	MOCP	∨/0	SEER.	FAN COIL (FC)	COND.UNIT (CU)
FC-1 CU-1	OFFICE	3	200	1,050	0.60	1/2	208/1	-	32.4	27.0	80	67	9.0	208/3	30.4	35	105	16.7	25	208/1	13.4	FJ4DNXB36L00	24SCA536W003
FC-2 CU-2	OFFICE	5	250	2,000	0.60	3/4	208/1	-	54.0	45.0	78	66	18.0	208/3	50.3	60	105	33.4	50	208/1	13.4	FJ4DNXD60L00	24SCA560W003

			AIR	DEVICI	ΞS								FÆ	ANS				
DESIG.	DESCRIPTION	TYPE	NC (DB)	MAX. S.P.	FINISH	DAMPER	MFGR. & MODEL NO.	DESIG.	LOCATION	SERVES	TYPE	CFM EACH	ESP IN. W.G.	RPM	HP	√/0	MFGR. & MODEL No.	REMARKS
			(DB)	IN. WG.				EF-1, 2,	ABV CLG.	EXH,RR	CENTR.	100	0.40"	980	41W	120V/1	COOK, GC148	W/CLG. GRILLE, WALL SWITC
Α	24X24 SUPPLY	CEILING MOUNTED	15	0.08	BY ARCH.	YES	TITUS TMS	3, 4										
В	12X12 SUPPLY	CEILING MOUNTED	15	0.08	BY ARCH.	YES	TITUS TMS	EF-5A,B,C	ROOF	EXH	CENTR.	500	0.50"	1572	1/3	120V/1	COOK, 80C4B	MATCH EXISTING CONTROLS PROVIDE NEW CURB, BDD
с	24X24 RETURN	CEILING MOUNTED	15	0.08	BY ARCH.	YES	TITUS 50F	EF-6	ROOF	RELIEF	CENTR.	15,000	0.50"	713	5	480V/3	COOK, 330C11B	MATCH EXISTING CONTROLS PROVIDE NEW CURB, BDD
D	12X24 RETURN	CEILING MOUNTED	15	0.08	BY ARCH.	YES	TITUS 50F	EF-7A, B, C	ROOF	EXH	CENTR.	500	0.50"	1572	1/3	120V/1	COOK, 80C4B	MATCH EXISTING CONTROLS PROVIDE NEW CURB, BDD
Е	O.A. INTAKE LOUVER	WALL MOUNTED	25	0.08	BY ARCH.	YES	RUSKIN L6375D											-
F	DISCHARGE AIR LOUVER	WALL MOUNTED	25	0.08	BY ARCH.	NO	RUSKIN L6375D	EF-8A,B C,D,E	ROOF	EXH	CENTR.	100	0.40"	1291	1/3	120V/1	COOK, 60C4B	MATCH EXISTING CONTROLS PROVIDE NEW CURB, BDD
G	24X24 RELIEF AIR	CEILING MOUNTED	20	0.08	BY ARCH.	NO	TITUS, 50 F	EF-9	ROOF	RELIEF	CENTR.	12,000	0.50"	763	5	480V/3	COOK, 300C11B	MATCH EXISTING CONTROLS PROVIDE NEW CURB, BDD
								EF-10	ROOF	RELIEF	CENTR.	12,000	0.50"	763	5	480V/3	COOK, 300C11B	MATCH EXISTING CONTROL PROVIDE NEW CURB, BDD

RC	OF T	DP - A		NITS (H	HEAT PU	MP)								
			COOLIN	IG		STR	RIP HTR.	HEAT	PUMP HTG.		TOTAL	ELECT.			MEIGUT
TAL	SENS.		AT	AMB. °F	IEER.	кw	V/Ø	MBH	COP	MCA	V/Ø	моср	EER.	CARRIER, MODEL No.	WEIGHT
вн	MBH	DB	WB	/ 4112. 1			110	@ 47°F O.A.	@17°F DB O.A.	MOA	V/,O	MICCI			LBS.
5.0	90.0	80	67	105	14.1	10.0	480/3	114.8	2.25	51	480/3	60	-	50FCQM12A2M6-8W0A0	955

								RC		OP -	A/C UN	NITS (I	HEAT PL	JMP)								
			0.4			FAN					COOLI	NG		STR	RIP HTR.	HEA	F PUMP HTG.		ΤΟΤΑΙ	L ELECT.			
DESIG.	SERVES	NOM. TONS	O.A. CFM	TOTAL CFM	E.S.P. IN. WG.	MOTOR BHP	V/Ø	TOTAL MBH	SENS. MBH	DB	EAT WB	AMB. °F	IEER.	кw	V/Ø	MBH @ 47°F O.A.	COP @17°F DB O.A.	МСА	V/Ø	MOCP	EER.	CARRIER, MODEL No.	WEIGHT LBS.
RTU-HP-1	PRINCIPAL/OFF. RECEPT.	10	500	3,500	0.85	1.74	480/3	105.0	90.0	80	67	105	14 .1	10.0	480/3	114.8	2.25	51	480/3	60	-	50FCQM12A2M6-8W0A0	955

									ROO	FTC	DP D	X - A/(ſS (GA	S HEAT)					
DESIG.	LOCATION	NOM.	TOTAL	0.A.	AN E.S.P.	MOTOR	TOTAL	SENS.		AT	AMB.*F	IEER	INPUT	NAT. GAS HEA	TING UNITS HTG.	T(MCA	DTAL ELECT	. моср	CARRIER, MODEL No.	REMARKS	WEIGHT, LBS.
		10113	CFM	CFM	IN. WG.	BHP	MBH	MBH	DB	WB	AMD. F	IEEK	МВН	МВН	EFFICIENCY	MCA	V/ U	MOCP			
RTU-1	ROOF	6.5	2,600	550	0.75	1.65	70.0	52.0	82	66	105	14.6	110.0	88.0	80%	29	208/3	45	48FCEMO7AM5-8W0A0		794
RTU-2	ROOF	7.5	3,200	420	0.75	1.73	85.0	6 8.0	78	65	105	14.6	125.0	103.0	82%	39	208/3	50	48CDM08A2M5-8W0A0		1,004

												CHI		D MA.	TEF	R AIR	HAN	DLIN	G UN	IITS	(ON I	ROO	F)																		
DEOLO			O.A.		s		AN DAT	A						COOL	ING CC	DIL DATA							HEATIN	NG COIL	DATA			PRE F	ILTER	FINAL F	ILTER		RELIE	EF FAN D	ATA					DIMENSIONS	WEIGHT
DESIG	LOCATION	I SERVES	CFM	TOTAL CFM	E.S.P. IN WG.	T.S.P. IN WG.	RPM	<u>IOTOR (</u> HP	(FAN) V/ PH	TOTAL CAP. MBH	SENS. CAP. MBH	MAX FACE VEL FPM	EWT	LWT GF	м –	<u>ent. Air</u> DB WB	LVG. A	ir F Vb "Air"	<u>°.D.</u> I " WTR"	ROWS/ FPI	CAP. MBH	<u> </u>		WT LN	Л GPM EA	T LAT 3 DB	ROWS	EFF.%	ΔP	EFF.%	ΔP	TOTAL CFM	RPM	T.S.P. IN WG.	HP	V/PH	CARRIER, MOI	JEL NO.	OPERATION	APPROX.	LBS.
AHU-	ROOF	CLASSROOMS	1,600	14,500	2.50		1,837		480V/3	575.83						0.0 67.0						· -	-	-		-	-	-	-	-	-	-	-	-	-	-	39M3001HPDL-	D	VAV / VFD	16'-1" x 8'-10" x5'-3"	4,944
AHU-2	ROOF	CLASSROOMS	1,600	14,500	2.50	5.02	1,837	20	480\/3	575.83	378.85	477.8	44.0	56.0 9	5.7 8	0.0 67.0	54.91 5	3.55 1.17"	19.3 FT	8/14		-	-	-		-	-	-	-	-	-	-	-	-	-	-	39M3001HPDL-	D	VAV / VFD	16'-1" x 8'-10" x5'-3"	4,944

REFER TYPICAL AHU SCHEMATIC DETAIL FOR UNIT CONFIGURATION.

GENERAL / HVAC NOTES:

- 1. FIELD VERIFY THE ENTIRE INSTALLATIONS FOR ACCURACY OF DATA SHOWN OR STATED. CONTRACTOR IS RESPONSIBLE FOR MANDATORY VERIFICATION AND CORRECTNESS OF THE EXISTING SYSTEM AND LOCATIONS OF EQUIPMENT AND COMPONENTS. SITE VISITS & UNDERSTANDING OF EXISTING SYSTEM & NEW DRAWINGS ARE MANDATORY PRIOR TO BID.
- 2. DO NOT DISTURB/REMOVE HVAC SYSTEM NOT SHOWN HERE, EXCEPT OTHERWISE NOTED OR INTENDED.
- 3. AFTER MODIFICATIONS, CAP AND PATCH DUCTS, PIPING, WIRING, CONTROLS, AND BLDG. CONSTRUCTION AS REQUIRED.
- 4. RELOCATE DUCTWORK, PIPING, VAV BOXES, WIRING AND OTHER EQUIPMENT AND DEVICES ON THE CEILING OR IN THE PLENUM, ETC. AS NEEDED TO INSTALL AND FIT THE NEW SYSTEM ABOVE CORRIDOR AND OTHER CEILING/SPACE AREAS PROPERLY.
- 5. ALL G.B. CEILINGS SHALL BE PROVIDED WITH MIN. 2'x2' ACCESS PANEL FOR ABOVE CEILING EQUIPMENT ACCESS, REPAIR AND MAINTENANCE (COORD. W/G.C.).
- 6. COORDINATE ALL NEW CEILING AND WALL ASSEMBLIES WITH ARCHITECTURAL PLANS WHICH MAY HAVE AT LEAST A 1 HOUR FIRE RATING. ALL NEW WORK MUST COMPLY WITH FIRE RATING REQUIREMENTS AS DETAILED BY THE DALLAS BUILDING CODE.
- 7. PATCH OPENING WHERE EXISTING SUPPLY, RETURN AND EXHAUST GRILLES ARE REMOVED. MATCH EXISTING AND REPAINT, UNLESS INSTRUCTED OTHERWISE PER ARCHITECT/ENGINEER. CEILING PLENUM ISNOT USED FOR R.A.
- 8. PATCH AND REPAIR TO MATCH EXISTING, ALL WALLS, FLOORS, CEILINGS, AND ROOF INVOLVED WITH NEW MECHANICAL & ELECTRICAL INSTALLATION.
- 9. WHEN THE CEILING TILE IS REPLACED IN THE HALLWAYS, THE CATV/CCTV AND ALL OTHER SYSTEM MUST BE PUT BACK IN WORKING CONDITION UPON COMPLETION. IF THE 500 CABLE IS BENT IT MUST BE REPLACED.
- 10. WHEN THE CEILING TILE IS REPLACED IN THE HALLWAYS, THE SECURITY DEVICES MUST BE REINSTALLED, RE-AIMED AND CHECKED FOR ADEQUATE COVERAGE.
- 11. ALL WORK SHALL BE COORDINATED AND PROPERLY ARRANGED WITH THE DISD ROOFING CONTRACTOR. FIELD VERIFY AND COORDINATE ALL ROOFING RELATED WORK . NO WORK ON ROOF SHALL BE PERFORMED WITHOUT THE AUTHORIZATION OF THE DISD ROOFING CONTRACTOR.
- 12. ALL NEW ROOF OPENINGS SHALL BE COORDINATED WITH DISD ROOFING CONTRACTOR, NEW ROOF OPENINGS SHALL BE MADE BETWEEN STRUCTURAL JOISTS. PROVIDE PROPER STRUCTURAL BRACING SUPPORT FOR OPENINGS TO MAINTAIN THE STRUCTURAL INTEGRITY OF THE ROOF. REPORT & COORDINATE THE FINAL OPENING LOCATIONS WITH THE ENGINEER.
- 13. CAP AND INSULATE UNUSED ROOF OR WALL OPENINGS WITH WEATHER PROOF MATERIAL. COORDINATE WITH DISD MAINTENANCE DEPARTMENT FOR ALL APPROVED MATERIALS. MATCH EXISTING BUILDING MATERIAL WHENEVER POSSIBLE.
- 14. CONTRACTOR SHALL REPLACE TO ORIGINAL CONDITION ANYTHING DAMAGED DURING DEMOLITION THAT IS SCHEDULED TO REMAIN.
- 15. "DEMO" OR "DEMOLISH" MEANS TO REMOVE FROM PRESENT LOCATION, REMOVE FROM BUILDING SITE AND EITHER RETURN TO THE OWNER PER OWNER DISCRETION (OR DISPOSE IN AN APPROPRIATE AND LEGAL MANNER).
- 16. ASBESTOS & OTHER HAZARDOUS MATERIALS: CONTRACTOR SHALL NOTIFY CONSTRUCTION MANAGER AND/ OR ARCHITECT IF MATERIALS ARE FOUND WHICH ARE SUSPECTED OF CONTAINING HAZARDOUS MATERIAL, INCLUDING BUT NOT LIMITED TO ASBESTOS. ABATEMENT OF ANY HAZARDOUS MATERIALS (i.e. REMOVAL) WILL BE CARRIED OUT BY COORDINATING THE WORK WITH CONSTRUCTION MANAGER, DISD SERVICES AND THE ARCHITECT IN A SEPARATE OPERATION FROM THIS CONTRACT, UNLESS NOTED OR INSTRUCTED OTHERWISE.
- 17. COORDINATE FIXTURE SIZES WITH ALL CASEWORK/MILLWORK. FIELD VERIFY ALL DIMENSIONS OF NEW CASEWORK/MILLWORK ITEMS, NOTIFY ARCHITECT OF ANY CONFLICTS WITH CASEWORK INSTALLATION, PRIOR TO BID AND PRIOR TO ORDERING EQUIPMENT.
- 18. WHERE PENETRATIONS ARE MADE IN EXISTING WALLS, FLOORS OR CEILINGS FOR THE PURPOSE OF INSTALLING WORK UNDER THIS CONTRACT, ALL SURFACES DAMAGED OR DEFACED BY THE PENETRATION & INSTALLATION PROCESS SHALL BE PATCHED, PAINTED AND OTHERWISE TREATED TO RESTORE TO THE CONDITION AND APPEARANCE THEY WERE IN PRIOR TO THIS WORK, UNLESS NOTED OTHERWISE.

- 21. NOT USED .
- RECONNECTIONS.

- CODES.

- ELECTRICAL REQUIREMENTS.

SUP	PLY DIFFUS		SIZES
CFM RANGE	ROUND NECK SIZE	CFM RANGE	ROUND NECK SIZE
UP TO 150	6" <i>Ø</i>	351 TO 550	12" <i>Ø</i>
151 TO 275	8" <i>,</i> Ø	551 TO 750	14" <i>Ø</i>
276 TO 350	10" <i>Ø</i>	751 TO 1000	16" <i>Ø</i>

19. EXISTING AIR DEVICES, WHERE NOT REQUIRED, MAY BE REUSED PROVIDED THEY ARE CLEANED AND REPAINTED TO APPEAR NEW. COORD. W/ ARCHITECT AND THE ENGINEER FOR APPROVAL.

20. FOR MINOR SYSTEM MODIFICATION, RECONNECT NEW HVAC EQUIPMENT BACK TO EXISTING PIPING, CONTROLS AND ASSOCIATED COMPONENTS. PUT CONTROL COMPONENTS IN PERFECT OPERATING CONDITIONS. REPAIR OR REPLACE AS REQUIRED. ADD NEW CONTROL COMPONENTS AS REQUIRED. FIELD VERIFY AND REPORT DEFICIENCIES TO THE ENGINEER FOR APPROVAL PRIOR TO BID AND PRIOR TO INSTALLATIONS. REFER DRAWINGS AND SPECS FOR MAJOR CONTROLS WORK.

22. FIELD VERIFY EXISTING EQUIPMENT MOTOR SIZES BEFORE CHANGE OUTS AND PRIOR TO INTERLOCK OR

23. ALL BRANCH DUCTS TO DIFFUSERS SHALL BE THE SAME SIZE AS DIFFUSERS NECK UNLESS SHOWN OTHERWISE. 24. IN ADDITION TO THE AIR DEVICES DAMPER, PROVIDE MANUAL BALANCING DAMPER AT ALL SUPPLY, EXHAUST AND INTAKE FORCED AIR BRANCH DUCT FOR PROPER BALANCING. PROVIDE ACCESS PANEL IN G.B. CEILINGS, WALLS AND IN DUCTWORK FOR BALANCING DAMPERS, MAINTENANCE AND REPAIRS OF ALL MOTORS AND DAMPERS. 25. PROVIDE COMBINATION FIRE/SMOKE DAMPERS AT ALL FIRE RATED CEILINGS, FLOORS AND WALLS AS REQUIRED PER CODES. PROVIDE FIRE RATED ACCESS PANEL IN WALLS AND CEILING AS REQUIRED FOR RESETTING OF DAMPERS. COORDINATE ALL ELECTRICAL CONNECTIONS TO THESE DEVICES WITH THE ELECTRICAL CONTRACTOR FOR THEIR CONNECTIONS PRIOR TO BID. INTERLOCK UNITS WITH FIRE ALARM CONTROL SYSTEM AS REQD. PER

26. PROVIDE SMOKE DETECTORS ON BOTH S.A. AND R.A., FIRE STATS, AND OTHER SAFETY CONTROL DEVICES IN ALL HVAC UNITS AS REQUIRED PER CODES, INTERLOCK WITH FIRE ALARM CONTROL SYSTEM. COMPLY WITH NFPA AND CITY CODES AS REQUIRED.

27. COORDINATE AIR DEVICES LAYOUT WITH THE LIGHTING PLAN & ARCHITECTURAL REFLECTED CEILING PLAN ADJUST AS REQUIRED.

28. PROVIDE P-TRAP ON ALL CONDENSATE DRAIN LINES FROM ALL A/C UNITS.

29. RUN AND INSULATE ALL PRIMARY & SECONDARY FULL SIZE CONDENSATE DRAIN LINES FROM EVERY HVAC COOLING & PLUMBING COILS PER CODES AND AS REQUIRED.

30. COORDINATE THE FINAL LOCATIONS OF ROOF MOUNTED EQUIPMENT WITH STRUCTURAL PLANS FOR PROPER ROOF PENETRATIONS. COORDINATE ALL ROOF OPENINGS WITH ROOF TYPE. DO NOT CUT BEAMS, TRUSS AND BUILDING COMPONENTS WITHOUT AUTHORIZATION FROM ARCHITECT AND STRUCTURAL ENGINEER. FOR CONC. ROOFS, DO NOT CUT WEBS OF CONCRETE JOISTS AND CONCRETE GIRDERS. COORDINATE OPENINGS WITH AVAILABLE PAN JOIST SLAB. COORDINATE ALL OPENINGS W/ ARCHITECT & STRUCTURAL ENGINEER.

31. ALL EXPOSED DUCTWORK (OPEN TO VIEW INDOOR DUCTS) IS TO BE INTERNALLY LINED PER SPECIFICATION. NO EXTERNAL INSULATION IS NEEDED EXCEPT FOR OVERLAP. REFER SPEC. 32. SUPPORT AND INSTALL ALL DUCTWORK FROM TOP OF STRUCTURAL MEMBER AND INSTALL AS HIGH AS POSSIBLE,

UNLESS OTHER REQUIREMENTS ARE ENFORCED. 33. INSTALL ROOF TOP A/C UNITS WITH PROPER CLEARANCES FOR MAINTENANCE, FREE AIR CIRCULATION AND NEC 34. LOCATE ALL EXH. DISCH. MIN. 10'-0" FROM ANY FRESH AIR INTAKES, OPERABLE WINDOWS, AND DOORS. 35. NOT USED.

36. ALL AHU'S, ETC. SHALL BE MOUNTED IN THE BEST POSSIBLE MANNER TO PREVENT PENETRATION CONFLICT, VIBRATION AND NOISE TRANSMISSIONS INTO THE BUILDING STRUCTURE. CAUTION AND CARE ARE ADVISED. ALL SUPPORTS SHALL BE VERIFIED WITH MFGR'S FOR RECOMMENDATIONS. 37. SUBMITTALS OF EQUIPMENT BASE SUPPORT SHALL BE TRANSMITTED TO STRUCTURAL

AROUND MECHANICAL & ELECTRICAL EQUIPMENT PER CODES AND PER MANUFACTURERS REQUIREMENTS. ALL MAJOR EQUIPMENT SHALL HAVE STRUCT. SUPPORT SHOP DRAWING SUBMITTED TO STRUCT. ENGINEER. FOR APPROVAL.

38. PROVIDE O.A. MOTORIZED DAMPER ON A/C UNITS FRESH AIR INTAKE. WHEN THE SYSTEM FIRST STARTS, THE O.A. DAMPER SHALL BE CLOSED AND FULL RA. SYSTEM SHALL BE IN OPERATION. AFTER THE SPACE TEMPERATURE REACHES CLOSE TO IT'S DESIGN TEMPERATURE WITHIN 5 DEGREE F, THE O.A. DAMPER SHALL BE ENERGIZED TO BRING PROPER FRESH AIR TO THE A/C UNIT. WHEN THE SYSTEM IS SHUTDOWN, THE O.A. DAMPER SHALL CLOSE.

39. LOCATE, INSTALL, CONNECT, TEST AND ADJUST NEW VARIABLE FREQUENCY DRIVE UNITS FURNISHED BY THE MECHANICAL CONTRACTOR FOR THE VAV AIR HANDLING UNITS. COORDINATE THE EXACT LOCATIONS AND MOUNTING REQUIREMENTS WITH THE MFGR., ARCHITECT/ENGINEER & CONSTRUCTION MANAGER. RECONNECT ALL CONTROL FUNCTIONS INCLUDING CONTROL OVERRIDE AND UNITS STATUS. PROVIDE NEMA 4R ENCLOSURES FOR OUTDOOR OR EXTERIOR UNIT MOUNTED INSTALLATIONS. SHOULD THE AHU'S BE INSTALLED INDOOR, THEN NEMA 1R ENCLOSURES MAY BE ACCEPTED AS PER MFGR. RECOMMENDATIONS.

40. NOT USED.

- 41. NOT USED.
- 42. NOT USED.

43. FOR MINOR SYSTEM MODIFICATION, CONTROL SEQUENCE OF OPERATION SHALL BE PUT BACK TO MATCH EXISTING SYSTEM AND BE PUT IN PERFECT OPERATIONAL CONDITIONS. FIELD VERIFY COMPONENTS PRIOR TO BID AND PRIOR TO INSTALLATIONS AND REPORT TO THE ENGINEER & CONSTRUCTION MANAGER.

44. NEW CONTROLS SHALL BE SET UP FOR DDC INTERFACE CONTROLS AND SHALL BE INTERLOCKED WITH THE DISD MAINTENANCE ENERGY MANAGEMENT CONTROL SYSTEM. SUBMIT I/O SCHEDULE TO THE ENGINEER FOR THE FINAL APPROVAL. COORDINATE THE FINAL WORK SCOPE WITH THE ENGINEER & THE DISD "EMCS" DEPARTMENT PRIOR TO BIDDING AND INSTALLATION OF THE WORK. REFER CONTROLS SPEC.

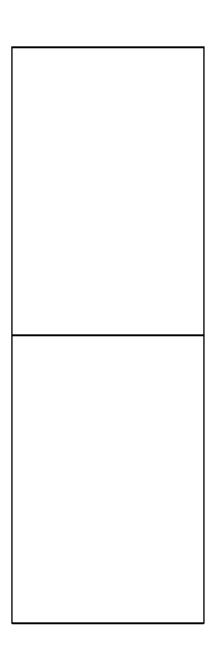
45. ALL MECHANICAL EQUIPMENT ON ROOF SHALL BE PROVIDED W/120V ELECT. OUTLET FOR MAINTENANCE PER CODES. COORDINATE W/G.C. & ELECTRICAL CONTRACTOR PRIOR TO BID. INSTRUCT TO PROVIDE HOME RUN TO NEAREST AVAILABLE ELECTRICAL PANEL.

46. LOCATE ALL ROOF EQUIPMENT MIN. 10'-0" AWAY FROM ANY ROOF EDGE. 47. PATCH ALL FLOOR & WALL OPENINGS (TO MATCH EXISTING) OF ALL FLOOR MTD. FAN COIL UNIT VENTILATORS. RE-USE EXISTING O.A. OPENINGS IF THE LOCATION OF NEW UNITS HAPPEN TO FALL ON SAME SPOT. OTHERWISE, PATCH TO MATCH EXISTING. COORD. W/ARCH.

48. PROVIDE MIN. 1-1/2 INCH. INTERNAL DUCT LINING ON SUPPLY DUCTWORK LEAVING ALL AHU, RTU, SPLIT SYSTEM FC. ETC. UP TO END OF 1st. ELBOW, OR MIN, OF 15 LINEAR FEET DOWNSTREAM OF UNITS (WHICHEVER IS LONGEST RUN). INTERNALLY LINED DUCTWORK WITHIN THE BLDG. DOES NOT REQUIRE EXTERNAL INSULATION EXCEPT FOR OVERLAP. REFER SPEC.

49. PROVIDE, REPAIR, REPLACE AND INSTALL FULL SIZE ADDITIONAL CD LINES IN CEILING/CRAWL SPACE FOR ALL A/C COOLING UNIT COILS TO CARRY PROPER CONDENSATE TO SANITARY DRAINS. FIELD VERITY PRIOR TO BID. PROVIDE SECONDARY C.D. LINES TO APPROPIATE EXPOSED TO VIEW LOCATIONS. COORDINATE WITH ENGONEER. 50. PROVIDE PROPER ACCESS TO COIL VALVES, AND TESTING & BALANCING ACCESS EITHER FROM CEILING, ABOVE

HEA		à, VENTILATION AND) AIR-CO	OND.	SYMBOLS
SYMBOL	ABBR.	DESCRIPTION	SYMBOL	ABER.	DESCRIPTION
[<u>+</u> +		DUCT (1ST FIGURE	— снѕ —	снѕ	CHILLED WATER SUPPLY
20 X 12		AS SHOWN, 2ND	— CHR —	CHR	CHILLED WATER RETURN
		FIGURE NOT SHOWN)	— н w s —	HWS	HOT WATER SUPPLY
		LINED DUCTWORK	— HWR —	HWR	HOT WATER RETURN
a axp		DUCT SECTION (SUPPLY)	— cs —	CS	CONDENSER WATER SUPPLY
o axb		DUCT SECTION (EXHAUST OR RETURN)	— CR —	CR	CONDENSER WATER RETURN
		RECT TO ROUND TRANS.	— rs —	RS	REFRIGERANT SUCTION
		DUCT TRANSITION; RECT.	— RL —	RL	REFRIGERANT LIQUID
		TO RECT.	—cd —	CD	CONDENSATE DRAIN
1-1		INCLUDE RISE OR DROP ARROW IN DIRECTION OF AIR FLOW			3-WAY CONTROL VALVE
		TURNING VANES	X		GLOBE VALVE
		SPLITTER DAMPER	Å		2-WAY CONTROL VALVE
		STANDARD BRANCH FOR SUPPLY & RETURN	¥		GATE VALVE
		(NO SPLITTER)			BALANCE VALVE
NNNNNNN		FELXIBLE DUCTWORK	6		BUTTERFLY VALVE
6	AP	ACCESS PANEL	Ó- ^B		BUTTERFLY VALVE BALANCING
[] -	DG	DOOR GRILLE	_		GAGE COCK
	BDD	BACK DRAFT DAMPER			CHECK VALVE
	MBD	MANUAL BALANCING DAMPER			PRESSURE REDUCING VAVLE
	MD	MOTORIZED DAMPER	<u> </u>		THERMOMETER
NECK SIZE, TYPE		SUPPLY REGISTER	Ų		THERMOMETER WELL
CFM SIZE,TYPE CFM		RETURN/EXHAUST REGISTER	AAV		AUTOMATIC AIR VENT
	SA	SUPPLY AIR			UNION
	RA	RETURN AIR	++		STRAINER
	EA	EXHAUST AIR			CAP
	ΟΑ	OUTSIDE AIR		1	DIRECTION OF FLOW
	MU	MAKE-UP AIR		1	DIRECTION OF PITCH
	EF	EXHAUST FAN		1	DUCT UP OR DOWN
Ð		HUMIDISTAT		AHU	AIR HANDLING UNIT
P		PRESSURSTAT		AFF	ABOVE FINISHED FLOOR
ſ9—	FS	COMB. FIRE/SMOKE DAMPER		F	FILTER
	FD	FIRE DAMPER		ET	EXPANSION TANK (COOLING SYS)
Ū		THERMOSTAT		СТ	COMPRESSION TANK (HEATING SYS)
Ūs		TEMPERATURE SENSOR		FC	FAN COIL UNIT
	VAV	VARIABLE AIR VOLUME		CU	CONDENSING UNIT
	cv	CONSTANT VOLUME		VFD	VARIABLE FREQUENCY DRIVE
	DX	DIRECT EXPANSION		HWP	HOT WATER PUMP
	СНР	CHILLED WATER PUMP		нс	HEATING COIL
	СР	CONDENSER WATER PUMP		сс	COOLING COIL



ENGINEERS FOR CONFIRMATION VIA ARCHITECTS. PROVIDE PROPER CLEARANCES FOR ACCESS AND MAINTENANCE

CEILING, OR, VIA SIDEWALL HINGED ACCESS DOOR FROM CLASSROOM/SPACES.

51. FURNISHING OF CONTROL VALVES OF CHW/HW SYSTEM SHALL BE PROPERLY COORDINATED BETWEEN MECH. & CONTROLS CONTRACTOR. ALL OTHER DEVICES NEED TO ALSO BE PROPERLY COORDINATED.

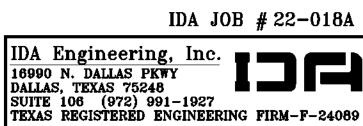
52. PROVIDE HAIL GUARD PROTECTION FOR RTU'S, AND ANY OUTDOOR EQUIPMENT WITH EXPOSED COIL/FINS. 53. ALL VALVES & PIPING ON ROOF SERVING AHU COILS SHALL BE ENCLOSED IN AN INSULATED PLENUM W/HINGED INSULATED ACCESS DOOR AS MANUFACTURED AS A PART OF AHU.

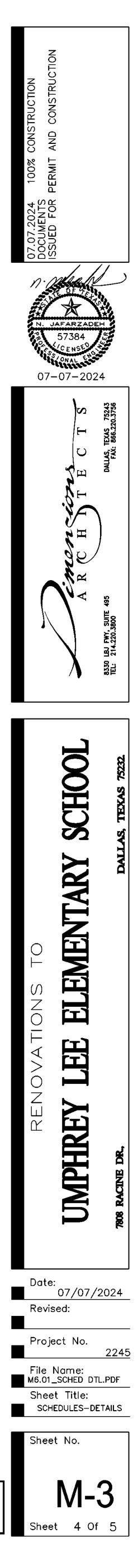
54. ALL RELIEF FANS SERVING THE BLDG. IN CONJUNCTION WITH AHU'S SHALL HAVE VFD.

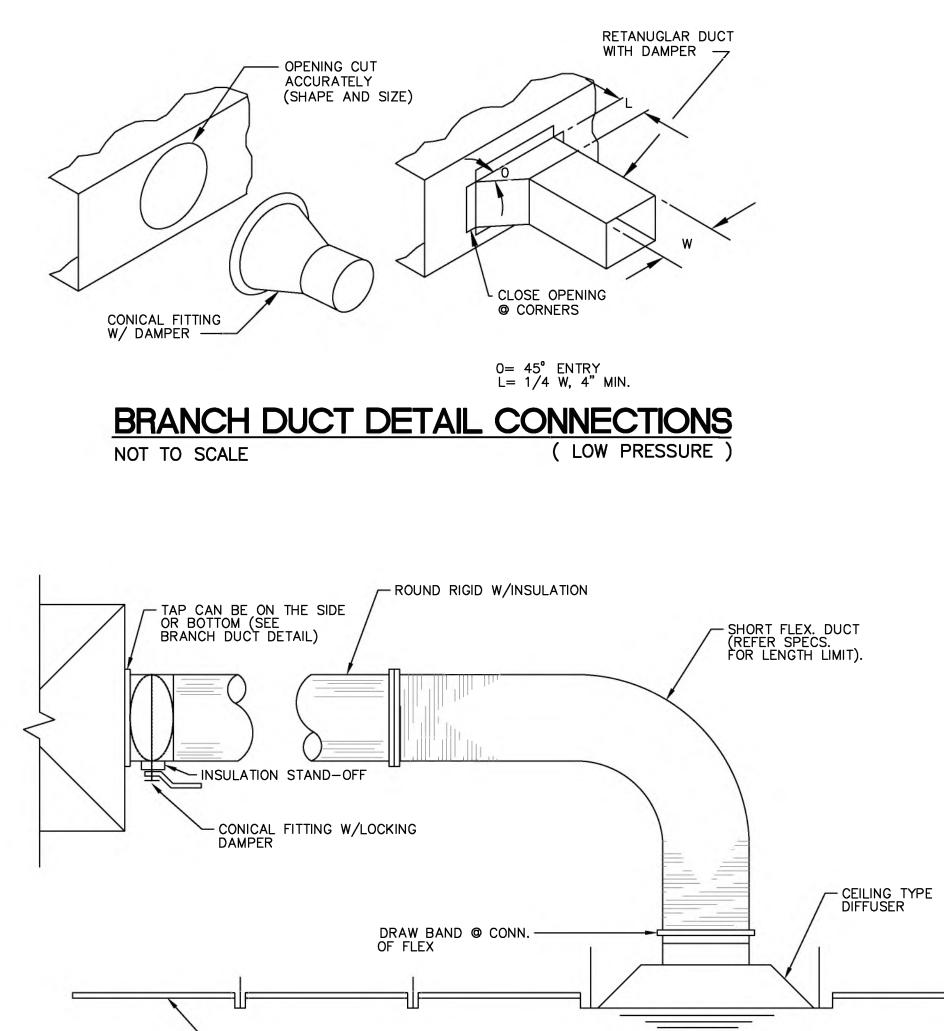
55. ALL RTU-DX SHALL BE PROVIDED WITH BAROMETRIC RELIEF UNDER 7.5 TONS, POWER RELIEF 7.5 TONS AND OVER FOR ECONOMIZER CYCLE OPERATION. 56. ALL DUCTWORK, CHW, HW, CD, REFRIG., AND SPRINKLER LINES SHALL BE INSTALLED AND COORDINATED

PROPERLY TO PREVENT ANY INSTALLATION CONFLICTS. 57. AHU'S HAVING OVER 15000 CFM SUPPLY SHALL BE PROVIDED WITH SMOKE DAMPER TO ISOLATE UNITS FOR SPACES. INTLK. W/ FACP. COORD. W/ ELECT. SUB & G.C. PRIOR TO BID.

58. PROVIDE FLEX DUCT FOR ALL CONNECTIONS TO EQUIPMENT CONTAINING FANS.

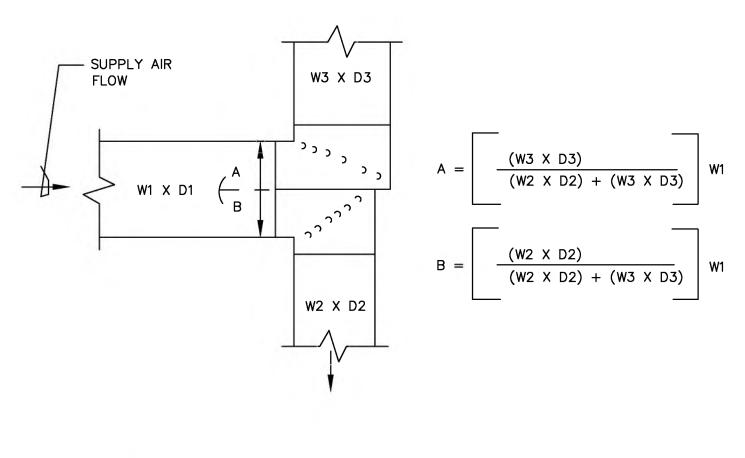




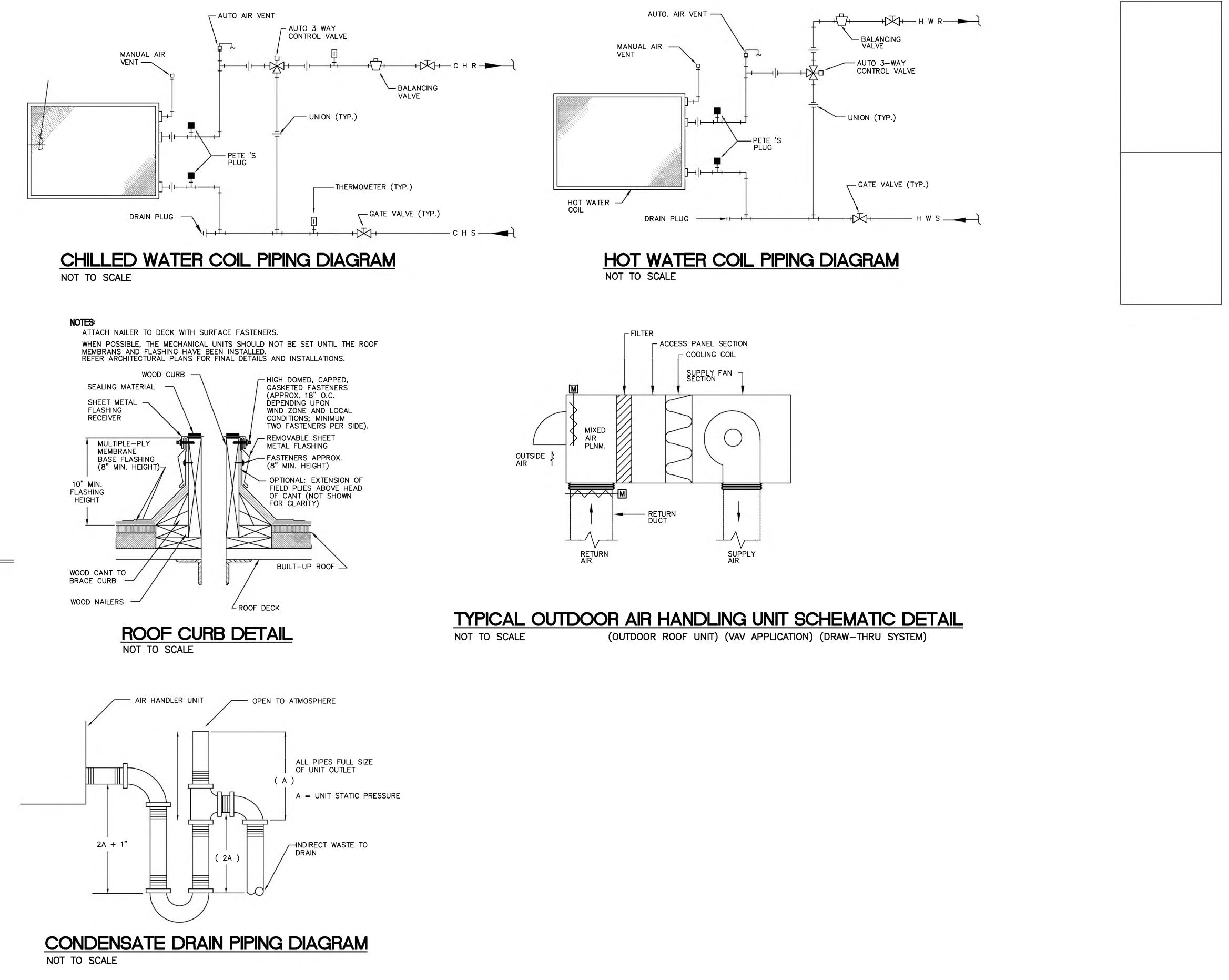


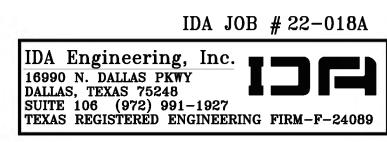
LAY - IN CEILING

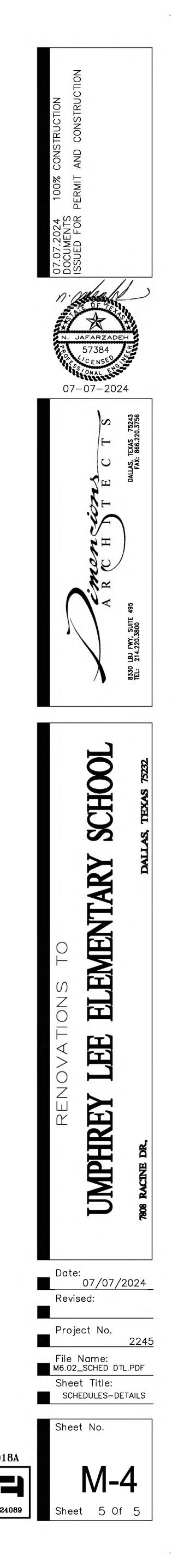
TYPICAL CEILING SUPPLY DIFFUSER DETAIL NOT TO SCALE

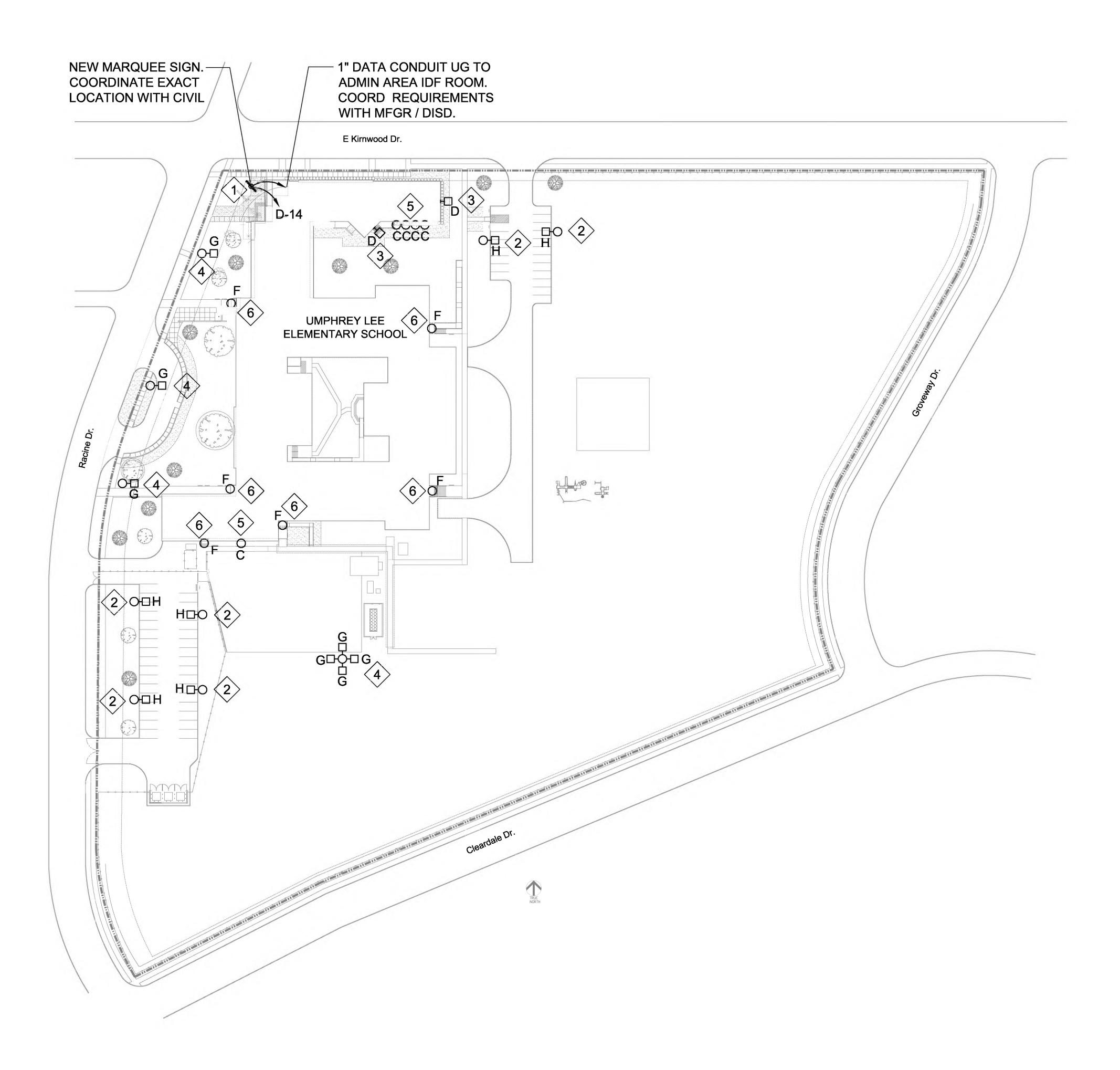


TRUNK DIVIDER SIZES DETAIL NOT TO SCALE









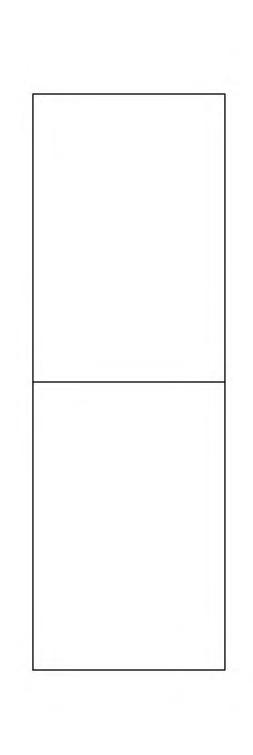
01 SCALE: 1" = 50'

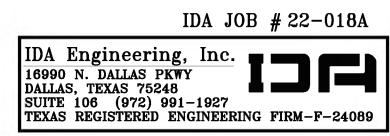
- (THIS SHEET "SE-1" ONLY)
- THE OUTDOOR MARQUEE SIGN IS OLD AND OUTDATED. PROVIDE ELECTRICAL POWER / LIGHTING AND CONTROLS AS REQUIRED FOR NEW OUTDOOR MARQUEE SIGN. PROVIDE 1"C DATA AND 3/4"C POWER BACK TO ADMIN AND ELECTRICAL PANEL. PROVIDE TWO GROUND WIRES, ONE EACH SIDE.
- EXISTING PARKING LOT LIGHT. REPLACE LUMINAIRES WITH LED LUMINAIRES WITH PHOTOCELL AND MOTION SENSOR.
- EXISTING WALL MOUNTED SECURITY LIGHTS. REPLACE WITH LED TYPE SECURITY LIGHTS.
- (4) EXISTING POLE MOUNTED SECURITY LIGHTS. REPLACE LUMINAIRES WITH LED TYPE LUMINAIRES. 5 EXISTING RECESSED CEILING MOUNTED SECURITY LIGHTS. REPLACE LAMPS WITH LED TYPE LAMPS.
- EXISTING SURFACE MOUNTED SECURITY LIGHTS. REPLACE LUMINAIRES WITH LED

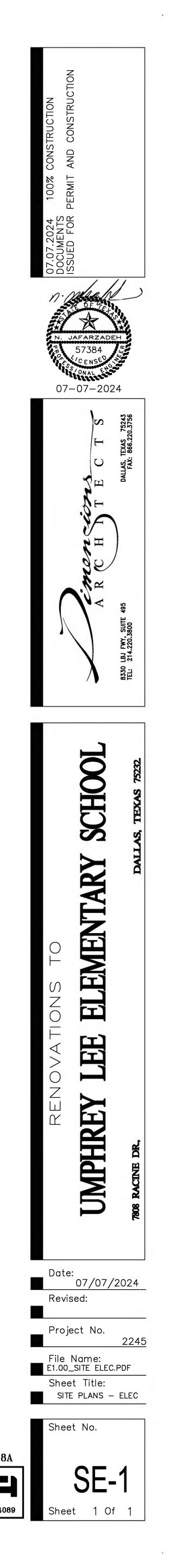
GENERAL NOTES (THIS SHEET "SE-1" ONLY)

TYPE LUMINAIRES.

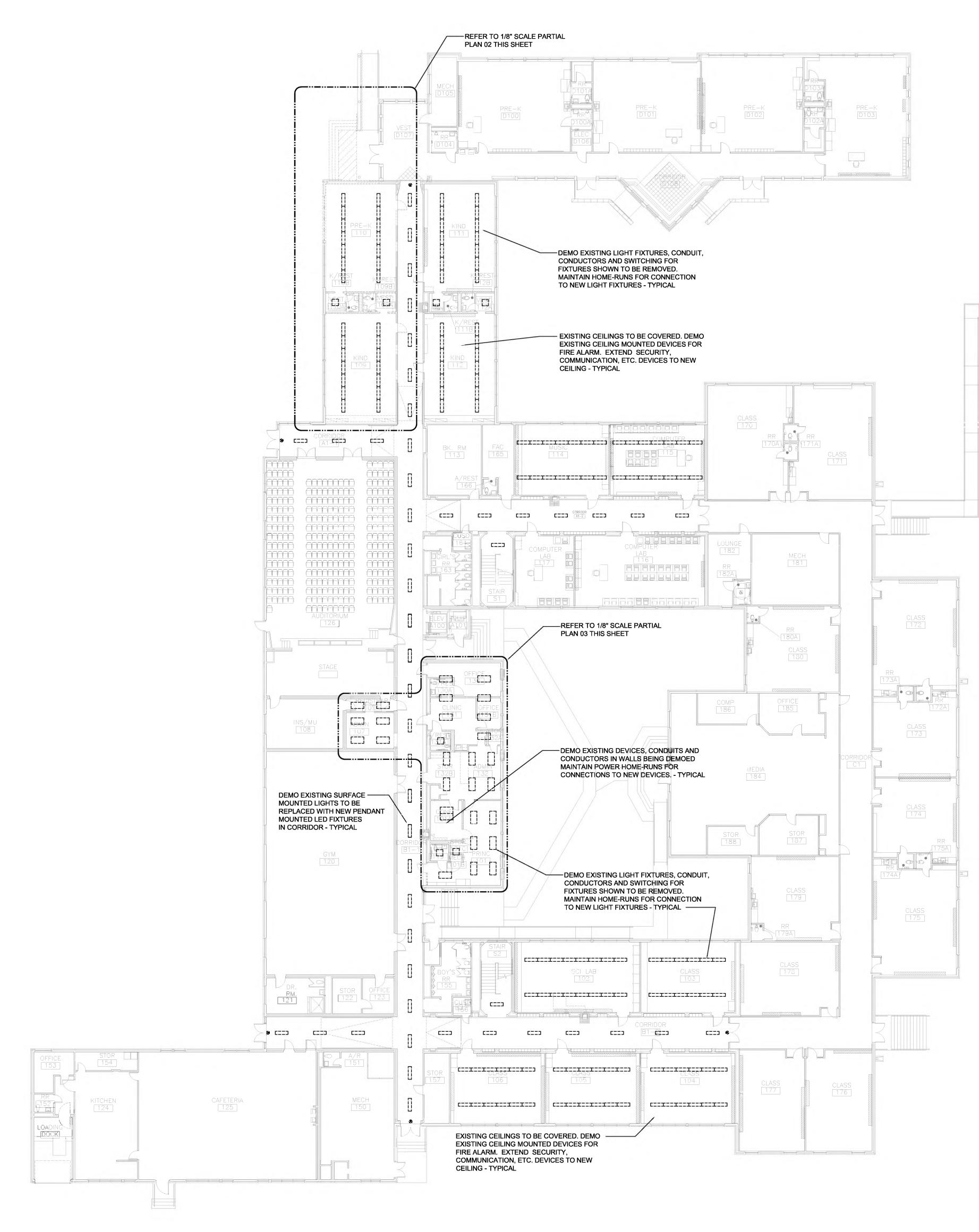
A. REFER TO SPECIFICATION DIVISION 26 FOR ALL LIGHTING CONTROLS.

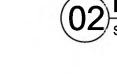


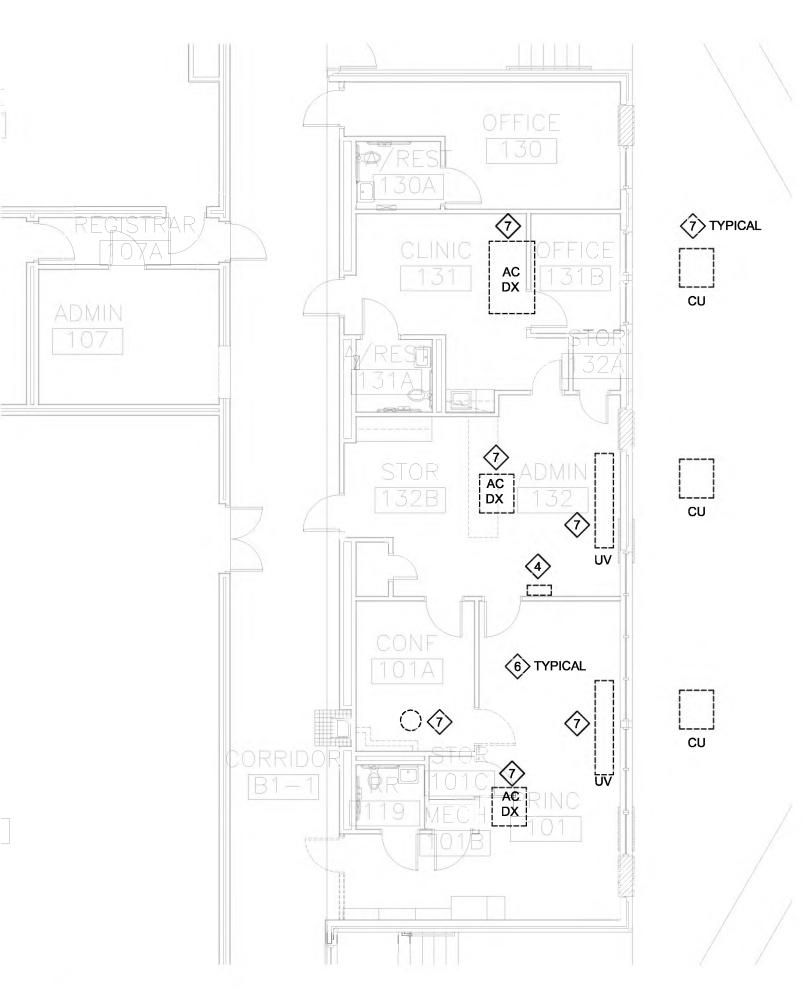




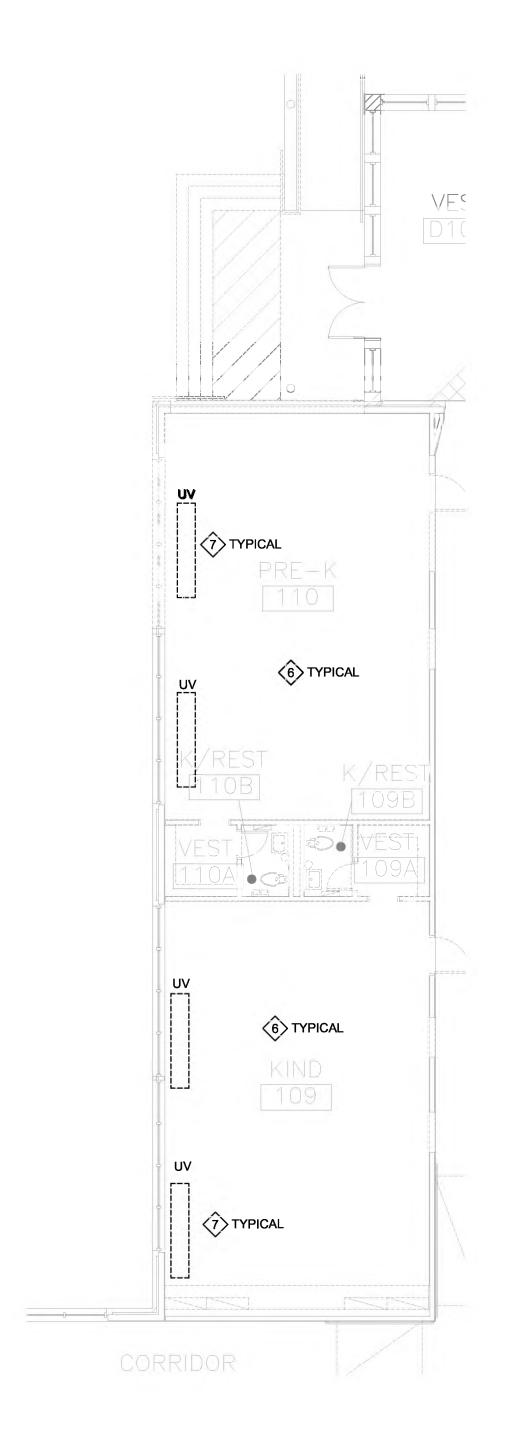










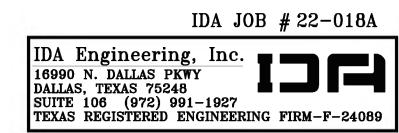


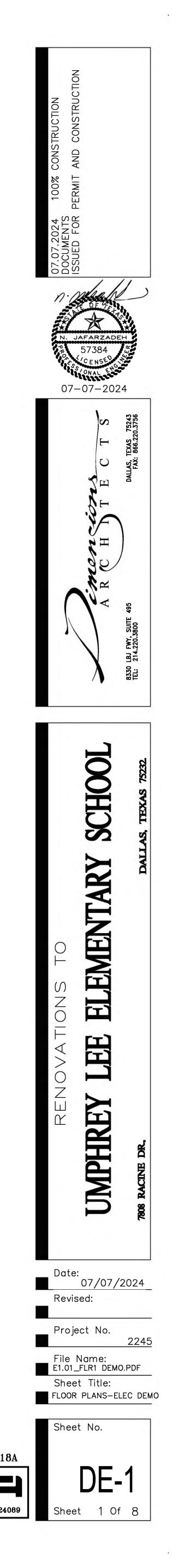
02 PARTIAL PLAN - ELECTRICAL DEMO

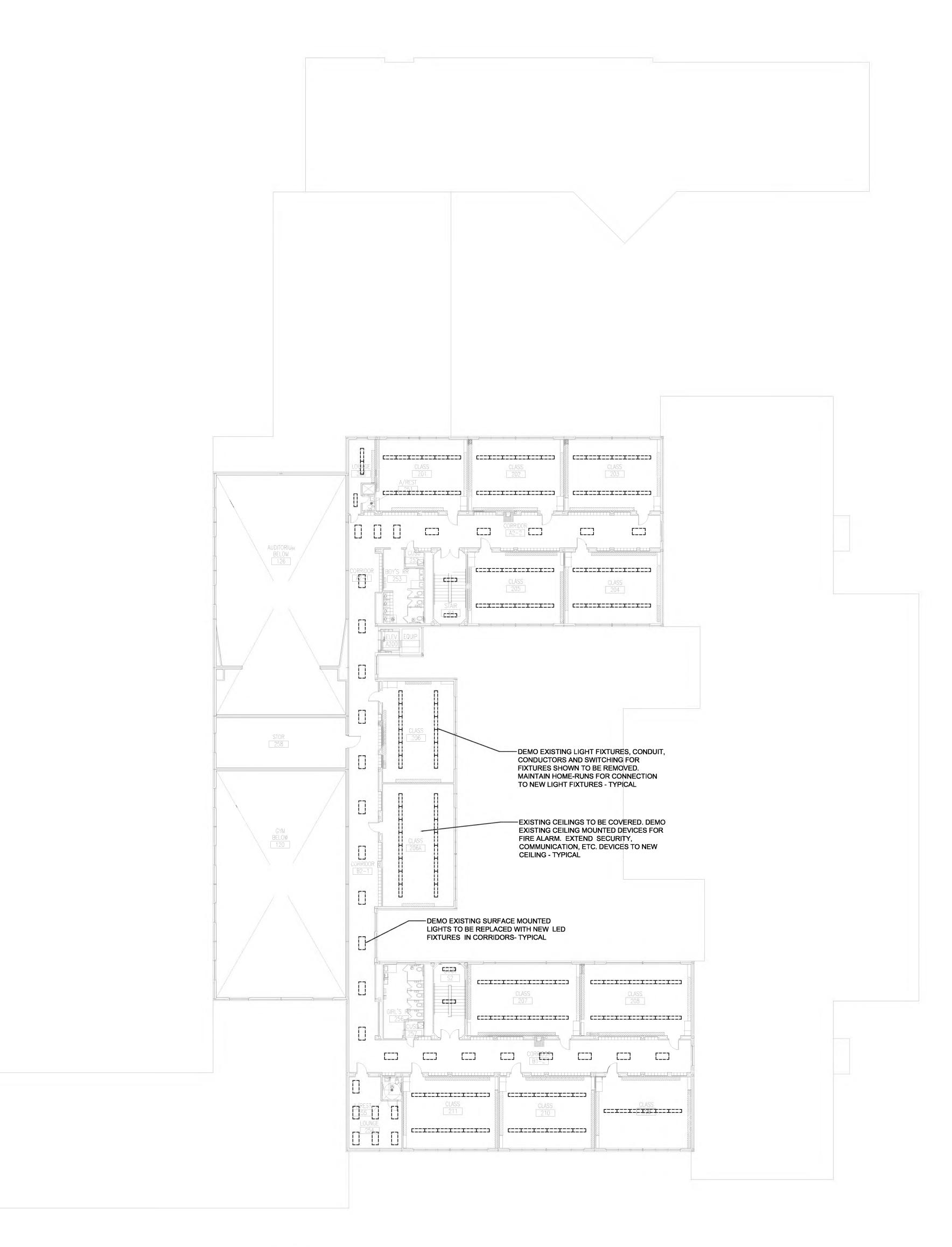
03 PARTIAL PLAN - ELECTRICAL DEMO



	INFRASTRUCTURE FOR ADDITIONAL CAMERAS, CARD READERS AND DOOR CONTACTS. SEE SECURITY AND ACCESS DRAWINGS. INFRASTRUCTURE BY DIV 26. EXISTING SECURITY SYSTEM SHALL REMAIN IN OPERATION WHILE CURRENT SYSTEM IS BEING UP-DATED.
$\langle 2 \rangle$	NEW LED LIGHTING, POWER, SECURITY, FIRE ALARM, RECEPTACLES AND COMMUNICATION SYSTEMS SHALL BE PROVIDED FOR SECURE FRONT VESTIBULE.
3	NEW LED LIGHTING, POWER, SECURITY, FIRE ALARM, RECEPTACLES AND COMMUNICATION SYSTEMS SHALL BE PROVIDED FOR RENOVATED AND EXPANDED ADMINISTRATION.
4>	THE ENTIRE EXISTING FIRE ALARM SYSTEM IS OLD AND OUTDATED. IT SHALL BE REPLACED WITH NEW ADDRESSABLE SYSTEM PER DISD TDG. ALL DOWN TIME OF FIRE ALARM SYSTEM MUST HAVE DIST APPROVAL.
5	EXTERIOR LIGHTING CONTROL CONSIST OF OLD TECHNOLOGY AND SHALL BE UP-DATED TO MEET DISD TDG REQUIREMENTS.
6	EXISTING CEILINGS TO BE REMOVED. DEMO EXISTING CEILING MOUNTED DEVICES FOR FIRE ALARM, SECURITY, COMMUNICATION, ETC TYPICAL
$\langle \hat{\gamma} \rangle$	DEMO / DISCONNECT EXISTING ELECTRICAL POWER AND CONTROLS SERVING EXISTING HVAC EQUIPMENT TO BE REMOVED. REFER TO HVAC DRAWINGS - TYPICAL
<u>(8)</u>	PROVIDE INTERIOR LIGHTING CONTROL TO MEET IECC ENERGY CODE. THE EXISTING INTERIOR LIGHTING DOES NOT COMPLY WITH THE ENERGY CODE.
٩	REPLACE INTERIOR FLUORESCENT LIGHTING WITH NEW LED LIGHTING.
10>	PROVIDE ELECTRICAL POWER AS REQUIRED FOR HVAC IMPROVEMENTS, INCLUDING POWER FOR NEW AND REPLACED SPLIT SYSTEMS, ROOFTOP UNITS AND EXHAUST FANS. REFER TO HVAC DRAWINGS.
$\hat{\mathbf{v}}$	PROVIDE ELECTRICAL POWER FOR ADDED WASHER / DRYER.
12	PROVIDE ELECTRICAL POWER FOR (REPLACED) WATER HEATER AND CIRCULATION PUMP.
(13)	EXTEND DEVICES AND WIRING IN WALLS THAT HAVE NEW FURRED WALLS TO BE FLUSH WITH NEW FURRED WALLS. ESTIMATE THREE DEVICES MINIMUM EACH FURRED WALL. FIELD VERIFY QUANTITY AND LOCATIONS.





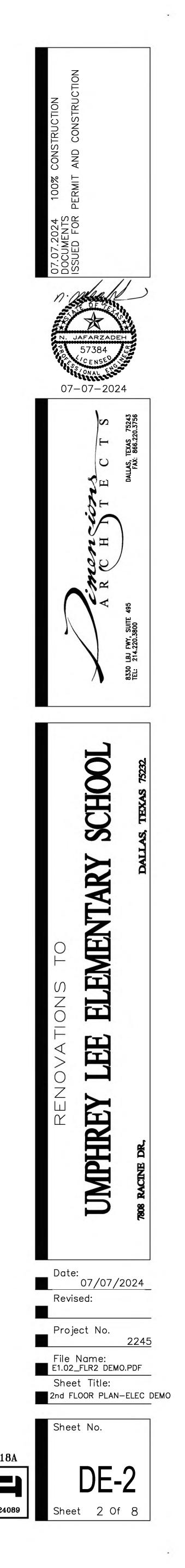


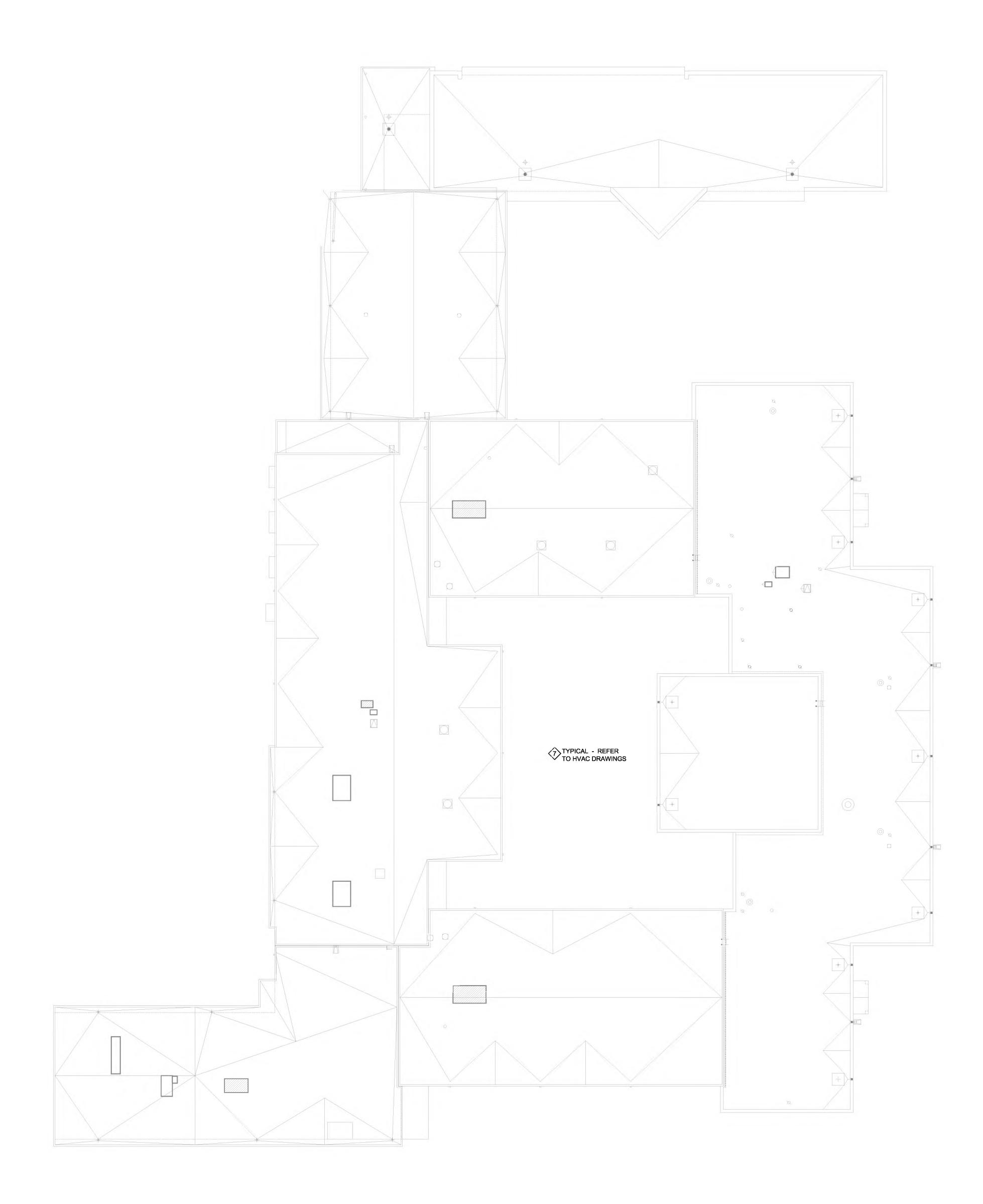
01 SECOND FLOOR PLAN - ELECTRICAL DEMO



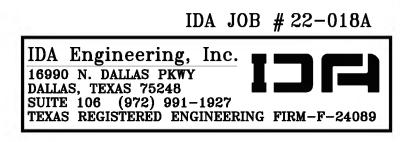
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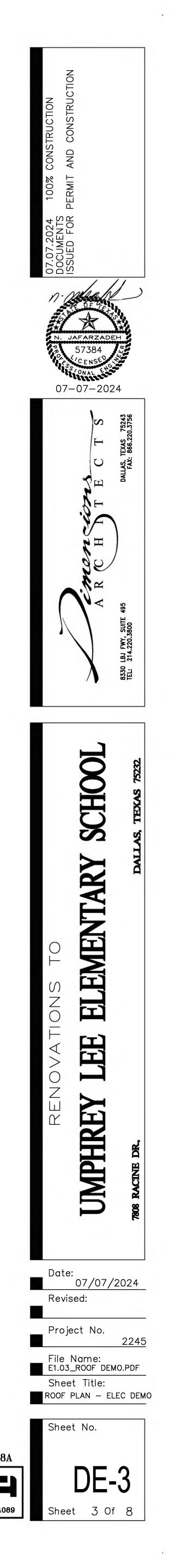




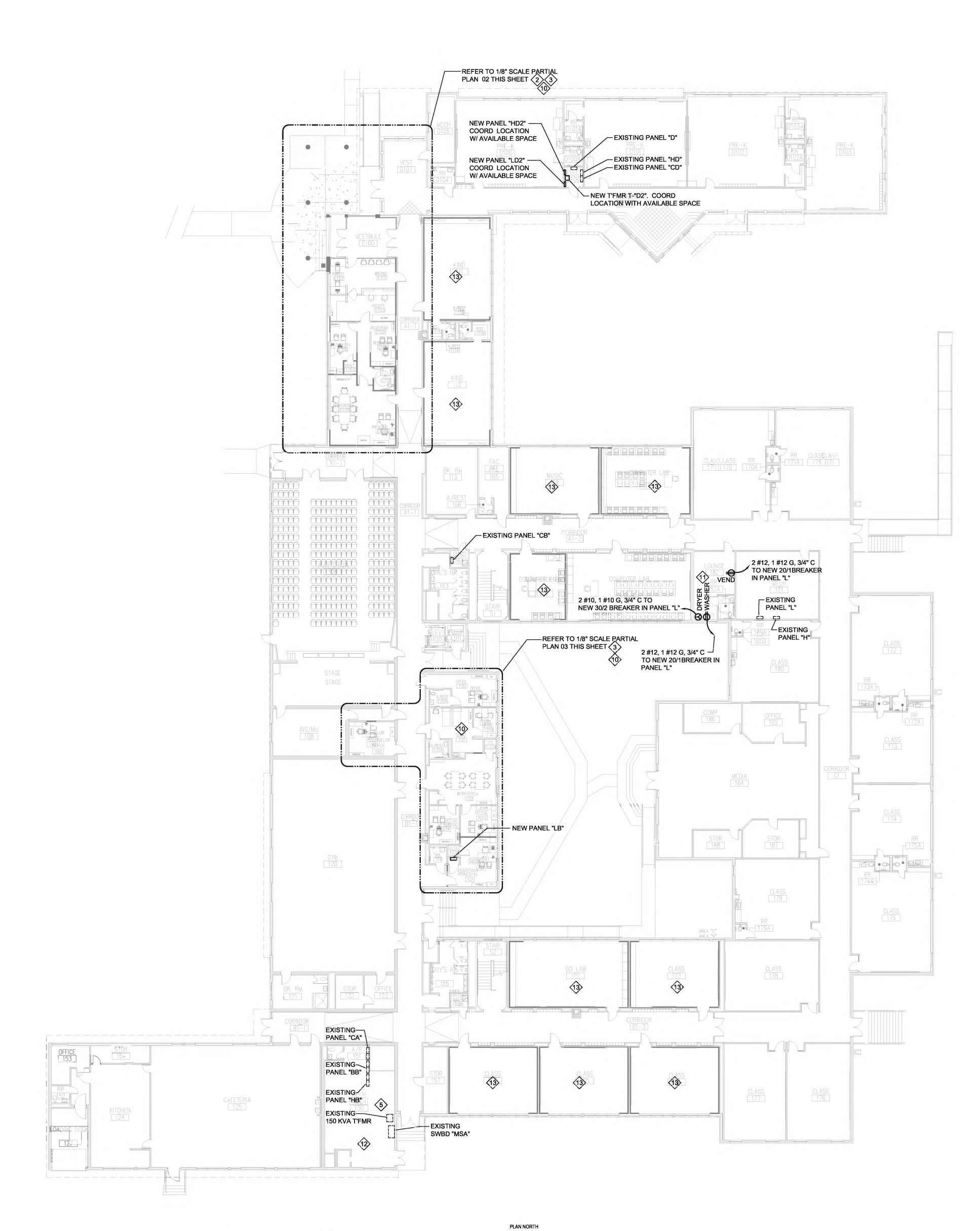


01 ROOF PLAN - ELECTRICAL DEMO SCALE: 1/16" = 1'-0"

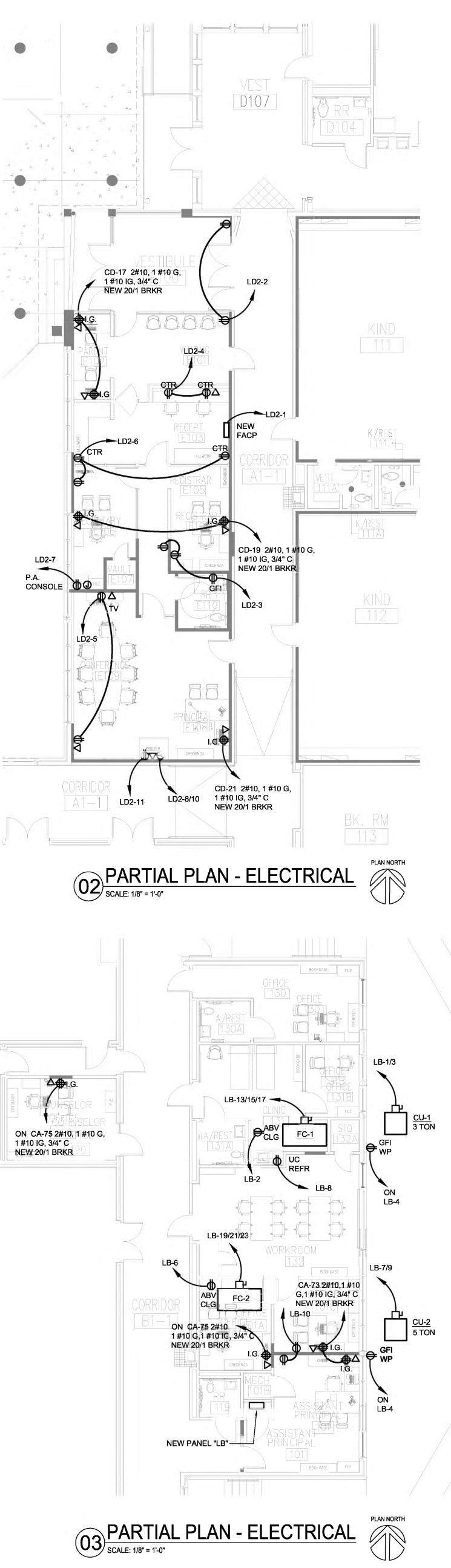


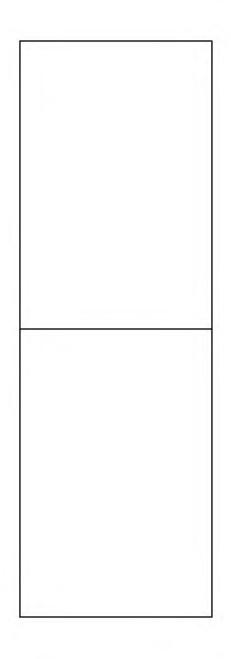


01 FIRST FLOOR PLAN - ELECTRICAL





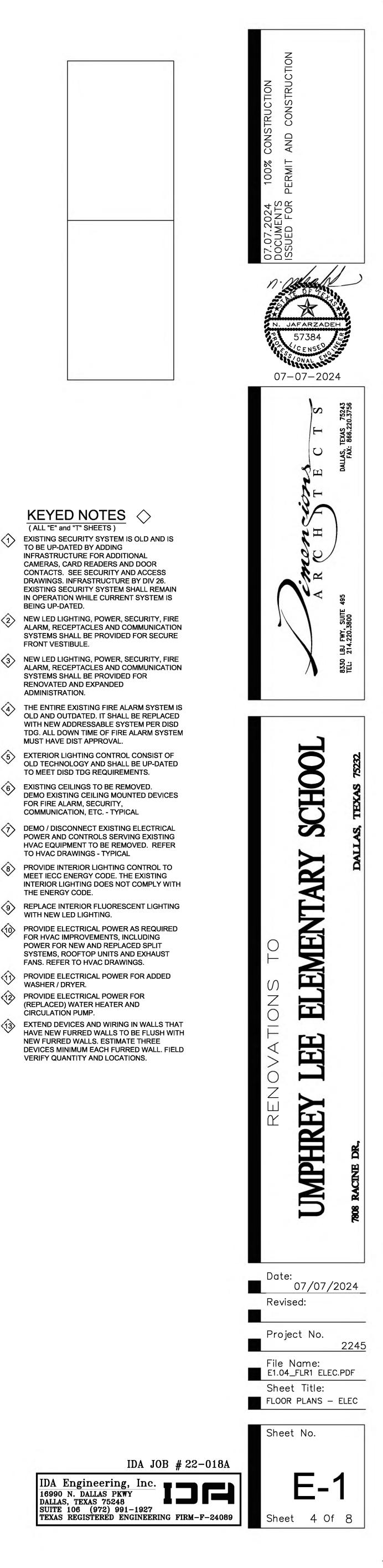


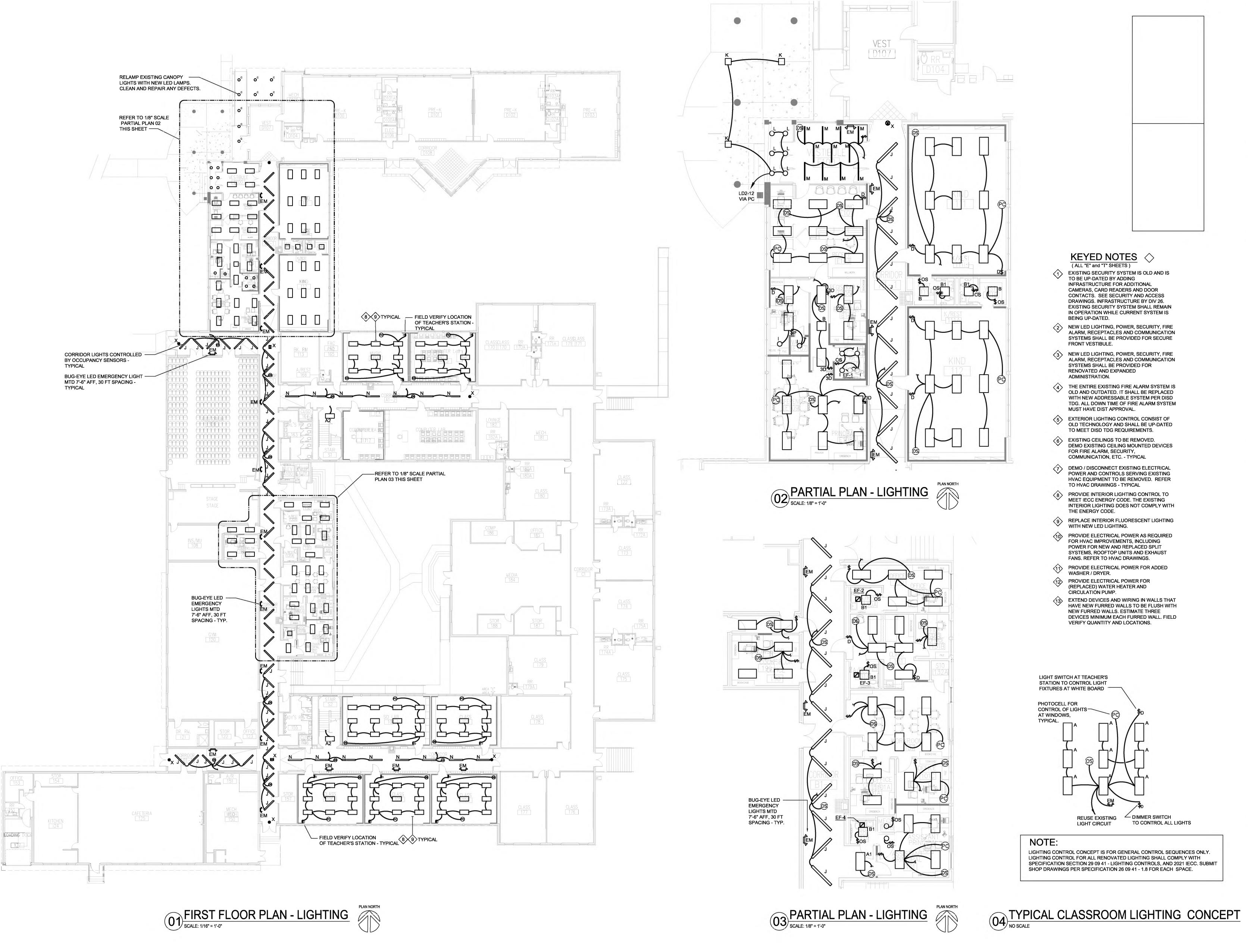


♦	KEYED NOTES (ALL "E" and "T" SHEETS) (ALL "E" and "T" SHEETS) EXISTING SECURITY SYSTEM IS OLD AND IS TO BE UP-DATED BY ADDING INFRASTRUCTURE FOR ADDITIONAL CAMERAS, CARD READERS AND DOOR CONTACTS. SEE SECURITY AND ACCESS DRAWINGS. INFRASTRUCTURE BY DIV 26. EXISTING SECURITY SYSTEM SHALL REMAIN IN OPERATION WHILE CURRENT SYSTEM IS BEING UP-DATED.
$\langle 2 \rangle$	NEW LED LIGHTING, POWER, SECURITY, FIRE ALARM, RECEPTACLES AND COMMUNICATION SYSTEMS SHALL BE PROVIDED FOR SECURE FRONT VESTIBULE.
3	NEW LED LIGHTING, POWER, SECURITY, FIRE ALARM, RECEPTACLES AND COMMUNICATION SYSTEMS SHALL BE PROVIDED FOR RENOVATED AND EXPANDED ADMINISTRATION.
4>	THE ENTIRE EXISTING FIRE ALARM SYSTEM IS OLD AND OUTDATED. IT SHALL BE REPLACED WITH NEW ADDRESSABLE SYSTEM PER DISD TDG. ALL DOWN TIME OF FIRE ALARM SYSTEM MUST HAVE DIST APPROVAL.
5	EXTERIOR LIGHTING CONTROL CONSIST OF OLD TECHNOLOGY AND SHALL BE UP-DATED TO MEET DISD TDG REQUIREMENTS.
6	EXISTING CEILINGS TO BE REMOVED. DEMO EXISTING CEILING MOUNTED DEVICES FOR FIRE ALARM, SECURITY, COMMUNICATION, ETC TYPICAL
$\langle \hat{\gamma} \rangle$	DEMO / DISCONNECT EXISTING ELECTRICAL POWER AND CONTROLS SERVING EXISTING HVAC EQUIPMENT TO BE REMOVED. REFER TO HVAC DRAWINGS - TYPICAL
(8)	PROVIDE INTERIOR LIGHTING CONTROL TO MEET IECC ENERGY CODE. THE EXISTING INTERIOR LIGHTING DOES NOT COMPLY WITH THE ENERGY CODE.
٩	REPLACE INTERIOR FLUORESCENT LIGHTING WITH NEW LED LIGHTING.
(10)	PROVIDE ELECTRICAL POWER AS REQUIRED FOR HVAC IMPROVEMENTS, INCLUDING POWER FOR NEW AND REPLACED SPLIT SYSTEMS, ROOFTOP UNITS AND EXHAUST FANS. REFER TO HVAC DRAWINGS.
	PROVIDE ELECTRICAL POWER FOR ADDED WASHER / DRYER.
12	PROVIDE ELECTRICAL POWER FOR (REPLACED) WATER HEATER AND CIRCULATION PUMP.

NEW FURRED WALLS. ESTIMATE THREE

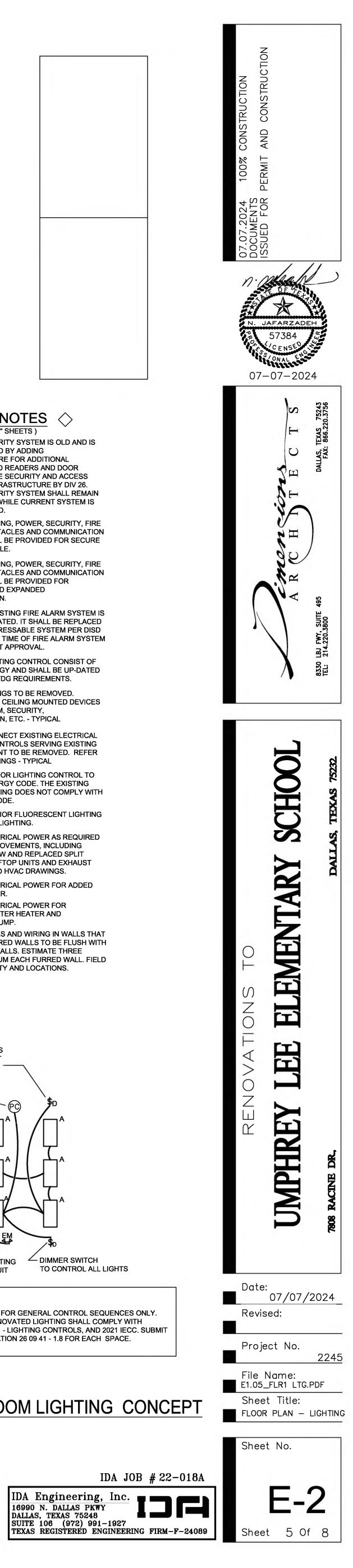


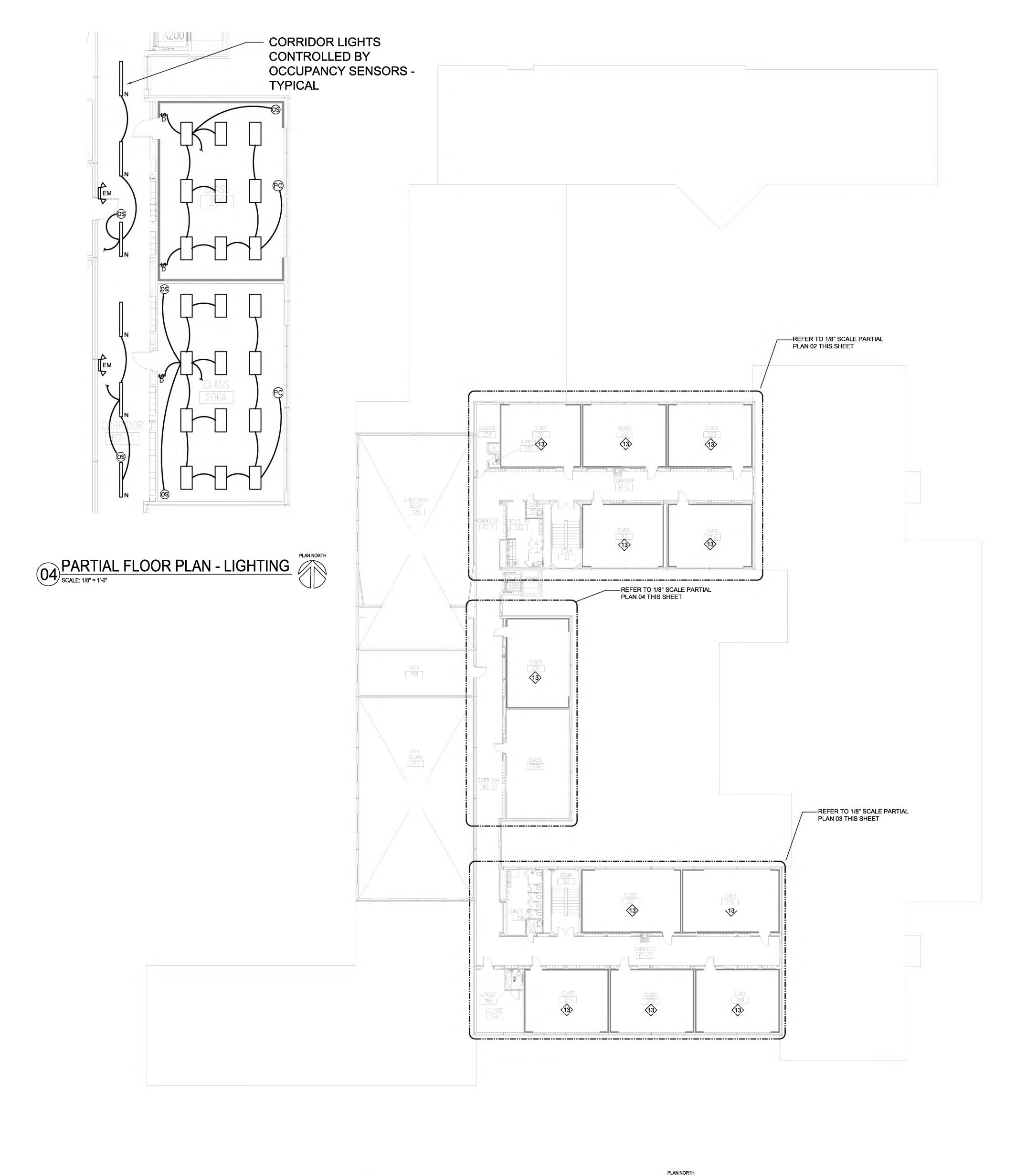




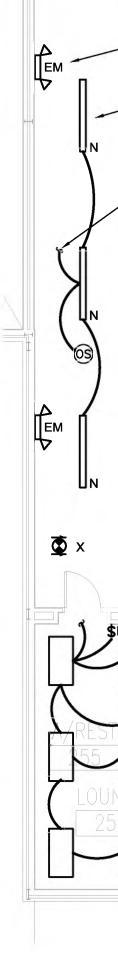
L			

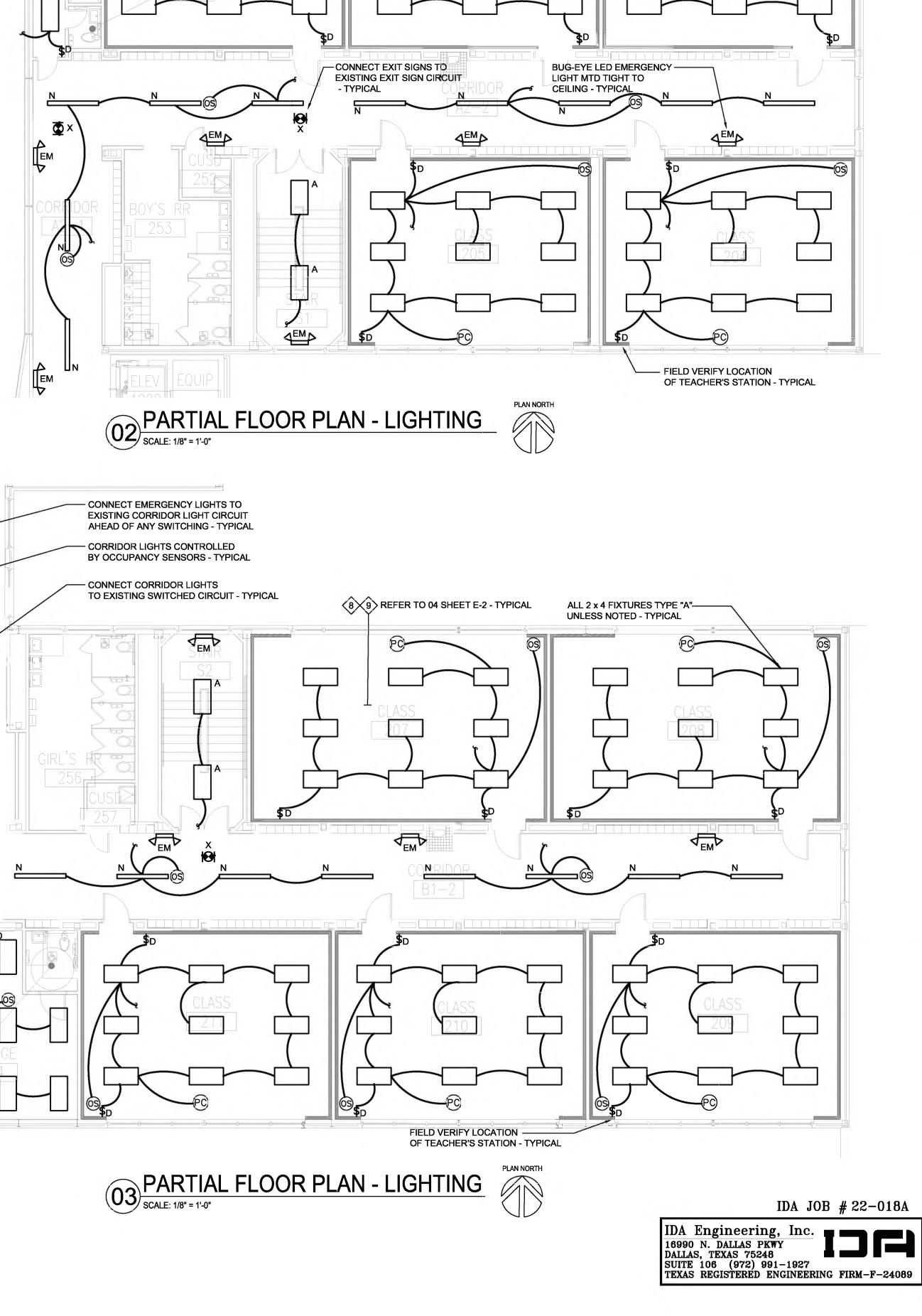
LIGHTING CONTROL CONCEPT IS FOR GENERAL CONTROL SEQUENCES ONLY. LIGHTING CONTROL FOR ALL RENOVATED LIGHTING SHALL COMPLY WITH SPECIFICATION SECTION 29 09 41 - LIGHTING CONTROLS, AND 2021 IECC. SUBMIT





01 SECOND FLOOR PLAN - ELECTRICAL SCALE: 1/16" = 1'-0"

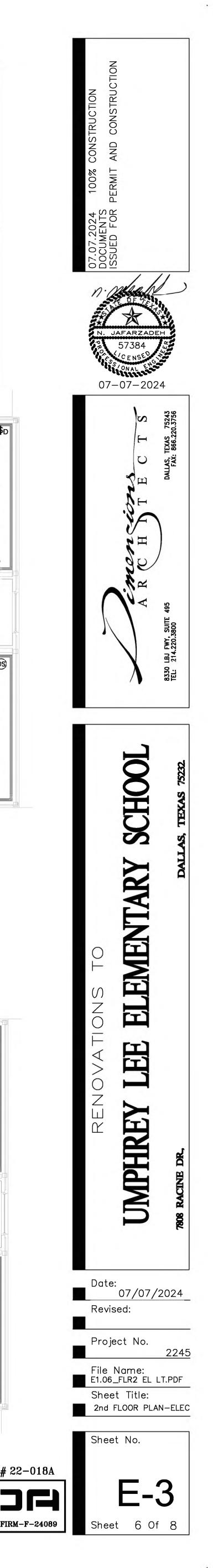


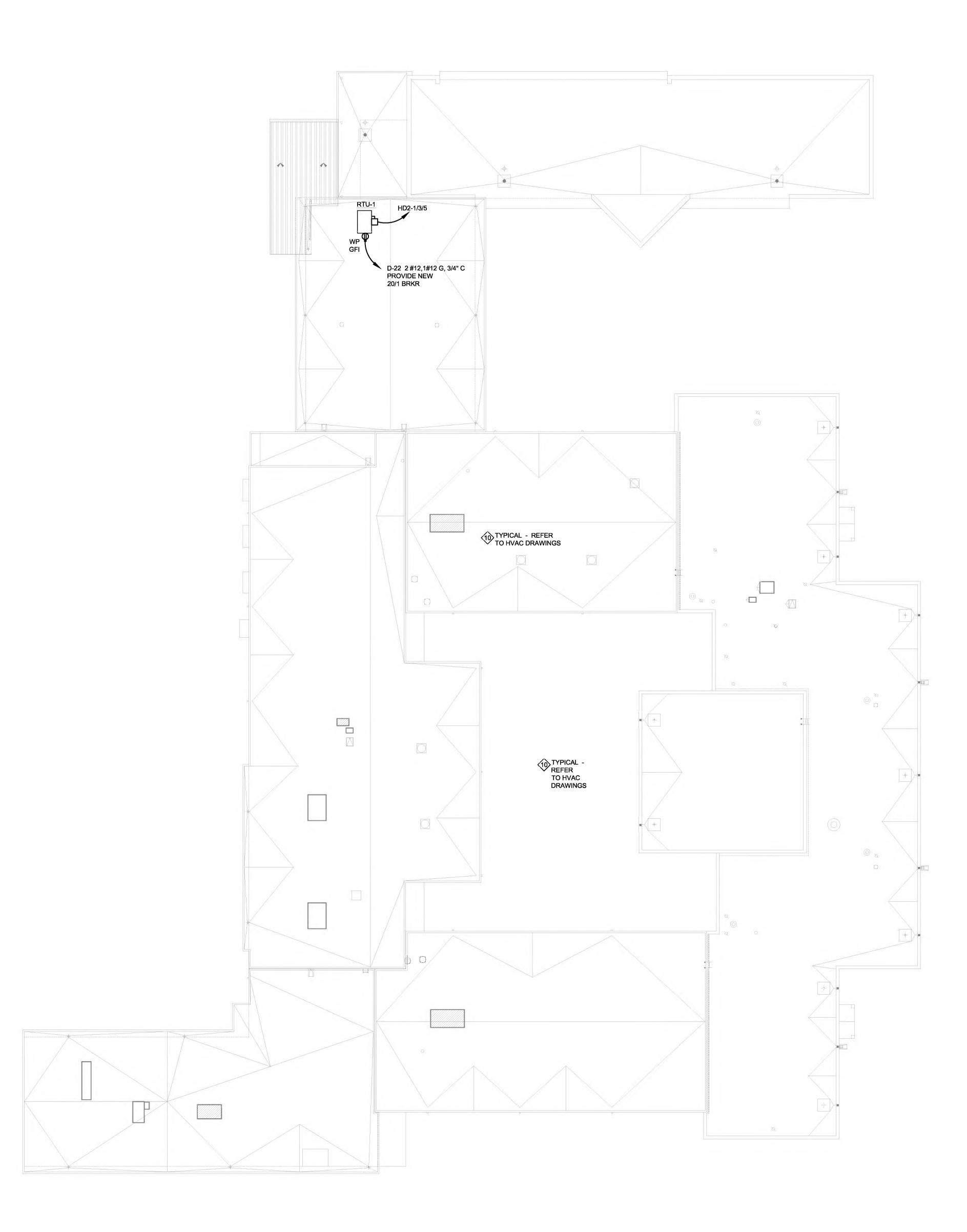


ALL 2 x 4 FIXTURES TYPE "A"-------UNLESS NOTED - TYPICAL

-

FIELD VERIFY LOCATION ______ OF TEACHER'S STATION - TYPICAL

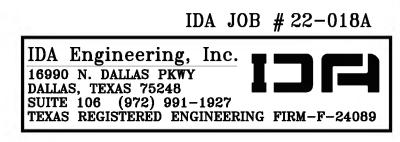


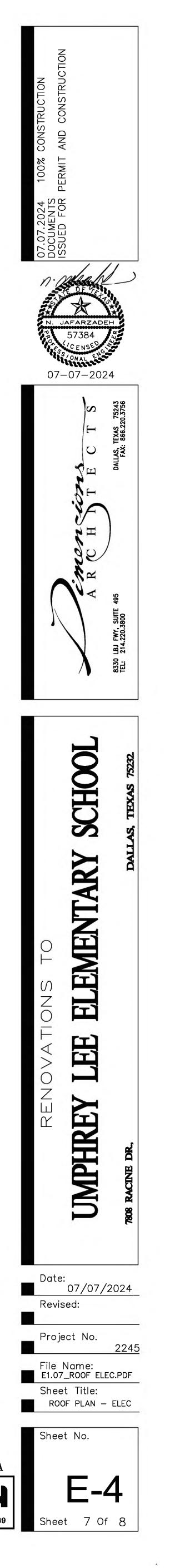


01 ROOF PLAN - ELECTRICAL



-			11



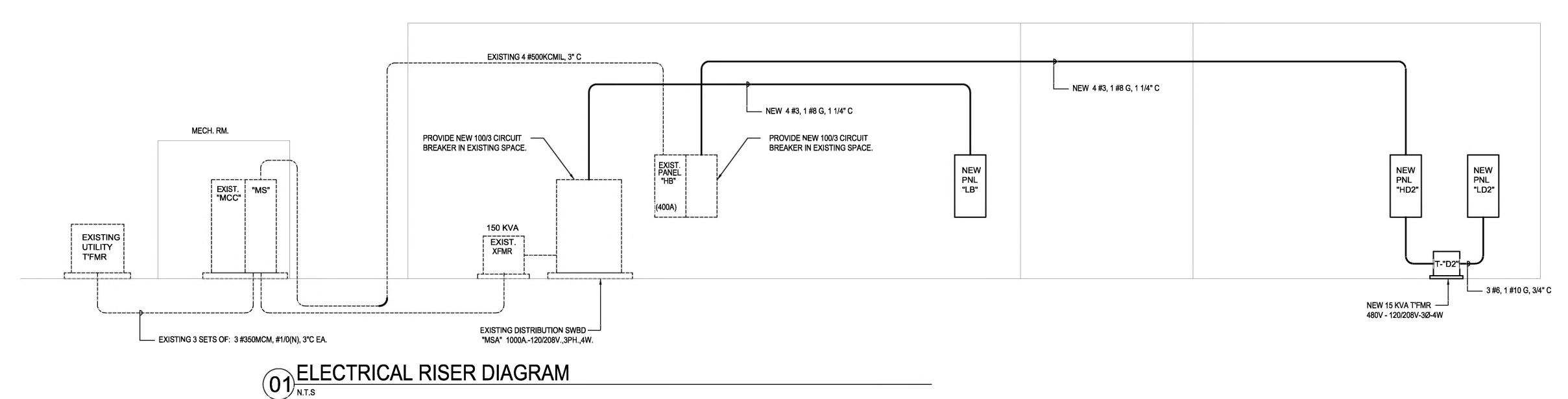


PHAS			/277 3 4	EQUIPMENT GROUND BUS : ISOLATED GROUND BUS : OTHER:	FULLY	RATED		MAINS : MAIN BREAKER : M. L. O. :	10	IOA		
S/N :		10	0%	LOCATED :				MOUNTING :	SUR	FACE		
CRT	TRIP	NO.	<i></i>		PH	ASE LOAD (- VA)			NO.	TRIP	CR
#		POLES	WIRE	LOAD SERVED	A	в	C	LOAD SERVED	WIRE	POLES	AMPS	#
1	60	3	2	RTU-1 (10 TONS)	14133 0		-	SPACE ONLY	-	-	-	2
3			-		-	14133	-	SPACE ONLY	-		-	4
5					-	0	14133	SPACE ONLY		-	-	6
_	-	_		J]	-	•	0		-		_	-
7	20	3	•	SPARE	0	-	-	SPACE ONLY	-	-		8
9	•		•	•	-	0	-	SPACE ONLY	-	-	-	10
11	•	-	-	-			0	SPACE ONLY	-	-	-	1:
13	20	3	1	PANEL "LD2" VIA T'FMR	1700	-	-	SPACE ONLY	-	-	-	14
15					0	1700	-	SPACE ONLY				1
		-	-			0	- 1700		-	-		-
17	•	•	•	-	-	-	0	SPACE ONLY	-	-	-	11
				ENTIRE PANEL TOTALS:	15833	15833	15833					
		NECTED			KVA			WIR	E			
	IGN LO	NECTED	AMPS	57.2	KVA		1 2	3#10, 1 #10 G, 3/4" C 3 #6, 1 #10 G, 3/4" C	-			
10												
L.O/	AD TYP	e] Ligi	115 (VA) RCPTS (VA) MOTO	DRS (VA)	KIT EQUIP (VA) [NO.	HEAT (VA) M	IISC (VA)	ТО	FALS (VA
т	D TYP TALS (VA)	E LIGI	115 (VA 0		DRS (VA)	KIT EQUIP (0	VA) NO.	HEAT (VA) M	IISC (VA) 0	TO'	Г <u>АLS (</u> 47499	VA
то	TALS			5100 42						TO		VA)

VOLT/ PHAS WIRE		:	/120 3	EQUIPMENT GROUND BUS : ISOLATED GROUND BUS : OTHER:	FULLY	RATED	_	MAINS : MAIN BREAKER :			-	
S/N:			4 0%	LOCATED :			-	M. L. O. : MOUNTING :		FACE		
CRT	TRIP	NO.			Ph	ASE LOAD	- (VA)			NO.	TRIP	CR
#		POLES	WIRE	LOAD SERVED	A	В	C	LOAD SERVED	WIRE	POLES		#
1	25	2	2	CU-1 (3 TONS)	2004	1 :	-	RCPT - 1 ABV CLG	1	1	20	2
3					-	2004	-	RCPT-2 WP	1	1	20	4
5				SPACE ONLY	-	360	- 0	RCPT - 1 ABV CLG	1	1	20	6
_	-				4008	-	180	-	-	-	-	-
7	50	2	4	CU-2 (5 TONS)	500			RCPT-1 UC REFR	1	1	20	8
9	-	•	-	•	-	4008		RCPT - 2 RM 101,1010	1	1	20	10
11	-	•	•	SPACE ONLY		-	0	SPARE	-	1	20	12
13	35	3	3	FC-1 (3 TONS)	3648	-	-	SPARE	-	1	20	14
15				-	-	3648	-	SPARE	-	1	20	16
_					-	0	- 3648		-	-		-
17	-	·	•	•	-	-	0	SPARE	-	1	20	18
19	60	3	5	FC-2 (5 TONS)	6036 0		-	SPARE	-	1	20	20
21		•	-			6036 0	-	SPARE	-	1	20	2:
23						-	6036 0	SPARE	-	1	20	24
25	20	1	-	SPACE ONLY	0		-	SPACE ONLY	-	1	20	26
27	20	1	-	SPACE ONLY	-	0	-	SPACE ONLY		1	20	28
_	-		-		-	0	0	1	-			-
29	20	1	-	SPACE ONLY	-	-	0		-	1	20	30
				ENTIRE PANEL TOTALS:	16376	16416	9864					
τοτα	L CON	VECTED	LOAD,	49.3	KVA			WIRI	;			
тота	LCON	NECTED	AMPS	136.8			1	2 #12, 1 #12 G, 3/4" C				
DESI	GN LO	AD (HEA	TING)	30.6	KVA		2	2 #10, 1 #10 G, 3/4" C				
							3	3 #8, 1 #10 G, 3/4" C				
							4	2 #8, 1 #10 G, 3/4" C 3 #6, 1 #10 G, 3/4" C				
							5	3#0,1#103,3/4 0				
							-					
							-					_
_	E	LIG	I <u>IS (VA</u>) RCPTS (VA) MOTO	ORS (VA)	KIT EQUIP (VA) NO.	HEAT (VA) M	SC (VA)	TO	FALS (V	/Λ)
	TALS		0	1080 1:	2024	500	1	29052	0		42656	_
												_
_	CIOR		1.25	RCPTS (VA) - PI	R NEC	1.0		1.00	1.00			

	GE :		/120	EQUIPMENT GROUND BL		Y RATED	_	MAINS :	1			
PHAS	:		3 1	ISOLATED GROUND BUS OTHER:	:		_	MAIN BREAKER : M. L. O. :	1	A00	-	
\$/N :		10	0%	LOCATED :				MOUNTING :	SUR	FACE		
CRT		NO.	WIRE	LOAD SERVED		HASE LOAD (1	LOAD SERVED	WIRE	NO.	TRIP	CR
#		POLES			2004	B	C -			POLES	-	+
1	25	2	2	CU-1 (3 TONS)	180	-	-	RCPT - 1 ABV CLG	1	1	20	2
3	•	•	•		-	2004	-	RCPT-2 WP	1	1	20	4
5	•			SPACE ONLY			0	RCPT - 1 ABV CLG	1	1	20	6
7	50	2	4	CU-2 (5 TONS)	4008	-	-	RCPT - 1 UC REFR	1	1	20	8
_					500	4008						-
9	-	•	•		-	360	-		1	1	20	10
11	-	•	•	SPACE ONLY			0	SPARE	-	1	20	12
13	35	3	3	FC-1 (3 TONS)	3648	-	-	SPARE	-	1	20	14
15				-	-	3648	-	SPARE		1	20	16
-						0	3648		-	-		-
17	-	•	•	-	-	-	0	SPARE	-	1	20	18
19	60	3	5	FC-2 (5 TONS)	6036 0		-	SPARE	-	1	20	20
21	-			-		6036	-	SPARE	-	1	20	22
23						-	6036	SPARE	-	1	20	24
_					- 0	-	0	1	2		-	-
25	20	1	•	SPACE ONLY	0	-	-	SPACE ONLY	-	1	20	26
27	20	1		SPACE ONLY	-	0	-	SPACE ONLY	-	1	20	28
29	20	1	-	SPACE ONLY			0	SPACE ONLY	-	1	20	30
				ENTIRE PANEL TOTA		16416	9864	1				1
IOT 4	L CON	VECTED		49.3	KVA		[J WIRI				
		VECTED		136.8			1	2 #12, 1 #12 G, 3/4" C				
		AD (HEA		30.6	KVA		2	2 #10, 1 #10 G, 3/4" C				
							3	3 #8, 1 #10 G, 3/4" C				
							4	2 #8, 1 #10 G, 3/4" C				
							5	3 #6, 1 #10 G, 3/4" C				
												_
_	E	LIGH	ITS (VA) RCPTS (VA) M	OTORS (VA)	KIT EQUIP (VA) NO.	HEAT (VA) M	SC (VA)	TO	TALS (VA)
	TALS		0	1080	12024	500	1	29052	0		42656	
_												
FA	CIOR		1.25	RCPTS (VA)	- PER NEC	1.0	-	1.00	1.00		-	

			P/	ANELBOAF	ND "LI)2"* S	CHE	DULE				
VOLTA PHAS WIRE	Ε:		/120 3 4	EQUIPMENT GROUND BUS ISOLATED GROUND BUS : OTHER:	:FULL	Y RATED	-	MAINS : MAIN BREAKER : M. L. O. :	5(0/3	-	
5/N :		10	0%	LOCATED :			-	MOUNTING :	SUR	FACE		
CRT		NO.	WIRE	LOAD SERVED	Р	HASE LOAD (VA)	LOAD SERVED) WIRE	NO.	TRIP	CR
#		POLES			A 500	B -	c				AMPS	#
1	20	1	1	FACP	360	-		RCPT-2 E100, E1	101 1	1	20	2
3	20	1	1	RCPT-3 E105, E110,	-	540	-	RCPT-2 E103	1	1	20	4
5	20	1	1	RCPT-2 E109 TV		-	500 540	RCPT-1 E103 E1	06 1	1	20	e
7	20	1	1	P.A. CONSOLE	500	-		PRINTER	1	2	20	8
9	20	1		SPARE	-	0	-	」.		-		1
11	20	1	1	PRINTER		-	500	OUTDOOR LIGH	TS 1	1	20	1:
13	20	1		SPARE			220	SPACE ONLY	-	1	20	1
15	20	1		SPARE	0	0	-	SPACE ONLY		1	20	1
17	20	1		SPARE		0	0	SPACE ONLY		1	20	1
19	20	1		SPACE ONLY	0	-	0	SPACE ONLY	p	1	20	2
					0	0	-	1				-
21	20	1	•	SPACE ONLY	-	0		SPACE ONLY		1	20	2
23	20	1	*	SPACE ONLY		-	0	SPACE ONLY	-	1	20	2.
25	20	1	2	-	0		-			1	20	24
27	20	1		•	-	0	-	」.	-	1	20	2
29	20	1				1 :	0	」.	-	1	20	3
				ENTIRE PANEL TOTAL	S: 1860	1400	1760					
ΓΟΤΑ	L CON	NECTED	LOAD,	5.6	KVA			11	VIRE			
		NECTED	AMPS	15.5	_		1	2 #12, 1 #12 G, 3/4"	С			
DES	GN LO	AD		5.1	KVA							
												_
												_
LO/	D TYP	ELIG	FIS (VA) RCPTS (VA) MO	TORS (VA)	KIT EQUIP (VA) NO.	IIFAT (VA)	MISC (VA)	TO	TALS (VA
	TALS		220	2300	0	0	0	0	2500		5020	
-						-						_
	CTOR		1.25	RCPTS (VA) -	PER NEC	1.0	-	1.00	1.00		-	_



GENERAL NOTES (FOR ALL ELECTRICAL SHEETS)

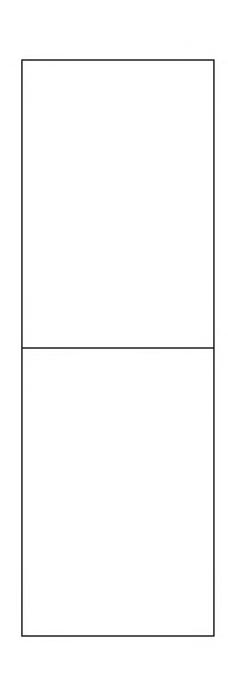
- A. COORDINATE LOCATION OF LUMINAIRES WITH ARCHITECTURAL REFLECTED CEILING PLANS. B. PROVIDE (1) 3/4"C. WITH PULL WIRE FROM EACH TELEPHONE, DATA OR COMMUNICATION OUTLET SHOWN, TO ABOVE ACCESSIBLE CEILING, AND CAP.
- C. COORDINATE EXACT EQUIPMENT LOCATIONS WITH OWNER PRIOR TO ROUGH-INS.
- D. COORDINATE LOCATION OF ALL OUTLETS WITH ARCHITECTURAL ELEVATIONS, CASEWORK SHOP DRAWINGS AND EQUIPMENT INSTALLATION DRAWINGS.
- E. COORDINATE LOCATION OF MECHANICAL EQUIPMENT WITH MECHANICAL PLANS AND MECHANICAL CONTRACTOR PRIOR TO ROUGH-IN.
- F. ANY ITEMS DAMAGED BY THE CONTRACTOR SHALL BE REPLACED BY THE CONTRACTOR.
- G. ALL 120V BRANCH CIRCUITS SHALL BE 3-WIRE (HOT, NEUTRAL, GROUND).
- H. CONTRACTOR SHALL NOT ROUTE ANY CONDUIT WITHIN STRUCTURAL OR TOPPING SLABS OF FLOORS UNLESS NOTED TO DO SO.
- I. REFER TO ARCHITECTURAL PLANS, ELEVATIONS AND DIAGRAMS FOR LOCATIONS OF FLOOR DEVICES AND WALL DEVICES. LOCATION WILL INDICATE VERTICAL AND/ OR HORIZONTAL MOUNTING. IF DEVICES ARE NOT NOTED OTHERWISE THEY SHALL BE MOUNTED LONG AXIS HORIZONTAL AT +16" TO CENTER. J. INFORMATION ON THE DRAWINGS HAS BEEN ASCERTAINED FROM EXISTING DRAWINGS AND CASUAL FIELD
- OBSERVATIONS. THIS INFORMATION IS AS ACCURATE AS CONDITIONS WOULD ALLOW. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VISIT THE SITE, PRIOR TO BID, AND FAMILIARIZE HIMSELF WITH THE EXTENT OF REMODEL WORK REQUIRED. NO EXTRAS WILL BE ALLOWED FOR ALTERATIONS OF A FORESEEABLE NATURE REQUIRED TO ACHIEVE THE END RESULT AS INDICATED BY CONTRACT DOCUMENTS.
- K. ALL NEW WIRING REQUIRED IN REMODELED AREAS SHALL BE FISHED THROUGH EXISTING WALLS OR CONCEALED IN NEW WALLS OR ABOVE CEILINGS. SURFACE MOUNTED CONDUIT SHALL NOT BE USED IN ANY FINISHED AREAS.
- L. PROVIDE UPDATED PANEL DIRECTORIES FOR ALL EXISTING PANELS BEING AFFECTED BY REMODEL WORK. PROVIDE NEW CIRCUIT BREAKER NUMBER IDENTIFICATION AS REQUIRED.
- M. MAINTAIN CIRCUIT CONTINUITY FOR ALL EXISTING ITEMS THAT ARE REMAINING OR BEING RELOCATED.
- N. ALL ITEMS SHOWN TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY INCLUDING ALL ASSOCIATED CONDUIT AND WIRE BACK TO POINT OF ORIGIN OR NEAREST EXISTING ITEM THAT IS REMAINING, UNLESS OTHERWISE NOTED.
- 0. WHERE EXISTING DEVICES, SWITCHES, MOTOR CONNECTIONS, ETC. ARE TO BE REMOVED FROM WALLS WHICH ARE REMAINING, WALLS SHALL BE PATCHED TO MATCH ORIGINAL FINISH, AFTER CONDUCTORS HAVE BEEN REMOVED. BLANK COVERPLATES OVER EXISTING BOXES ARE NOT ACCEPTABLE.
- P. IF EXISTING CONDUITS ARE ROUTED IN CONCRETE FLOOR SLABS, CONCRETE WALLS OR CONCRETE CEILINGS, THEY SHALL BE CUT BACK TO WITHIN CONCRETE AND FILLED WITH GROUT TO ACHIEVE A SMOOTH AND EVEN FINISH FLUSH WITH CONCRETE SURFACE AFTER CONDUCTORS HAVE BEEN REMOVED.
- Q. ALL EXISTING LOW VOLTAGE WIRING AND BRANCH CIRCUIT WIRING ABOVE CEILINGS THAT IS NOT SUPPORTED SHALL BE R-SUPPORTED WITH J-HOOKS. THIS INCLUDES, BUT NOT LIMITED TO, ALL FIRE ALARM, DATA, PUBLIC ADDRESS, ENERGY MANAGEMENT, BRANCH CIRCUIT WIRING, ETC. TO REMAIN.

FIRE ALARM GENERAL NOTE

EXISTING FIRE ALARM SYSTEM SHALL BE REPLACED. FIRE ALARM CONTRACTOR LICENSED BY STATE OF TEXAS SHALL BE RESPONSIBLE FOR DESIGN AND APPROVAL OF NEW FIRE ALARM SYSTEM. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION. ALL DOWN TIME OF THE FIRE ALARM SYSTEM SHALL HAVE DISD PRIOR APPROVAL.

		LIGH	TING FIX	TURE S	SCHEDULE	
SYMBOL	TYPE	MFGR. AND	MOUNTING	LAMPS	DESCRIPTION	REMARKS
		CATALOG NO.		NO. / TYPE		
Α	LED	LITHONIA 2RTL4-48L-LP840- N100	RECESSED	48W / LED	2 X 4 LED LAY-IN TROFFER	MUL'II VOLT 120-277
A1	LED	LITHONIA 2RTL4-48L-LP840- DGA24-N100	RECESSED	48W/LED	2 X 4 LED FLANGED TROFFER	MULTI VOLT 120-277
A2	LED	LITHONIA 2RTL4-48L-LP840- DGA24-N100 2X4SMKSHP PAF	SURFACE	48W / LED	2 X 4 LED SURFACE MOUNTED TROFFER	MULTI VOLT 120-277, MATTE WHITE FINISH
в	LED	LITHONIA 2RTL2-33L-LP840- N100 - EL7L	RECESSED	37W / LED	2 X 2 LED LAY-IN TROFFER	MULTI VOLT 120-277
B1	LED	LITHONIA 2RTL2-33L-LP840- DGA22-N100	RECESSED	37W / LED	2 X 2 LED FLANGED TROFFER	MULTI VOLT 120-277
С	LED	EXISTING TO REMAIN	FLUSH MOUNT	RELAMP	EXISTING CANOPY LIGHT	CLEAN AND RELAMP WITH LED LAMPS
D	LED	LITHONIA WDGE2 LED P3 40K 80CRI VW MVOLT SRM PE DDBXD SERIES	WALL MTD	18W / LED	WALL MTD SECURITY LIGHT	PHOTO CELL, COLD WEATHER
EM	LED	LITHONIA ELM2L-LED SD	SURFACE	10W / LED	BUG-EYE EMERGENCY LIGHTING	SELF DIAGNOSTIC
F	LED	LITHONIA CNY LED P1 40K MVOLT DDB M4 SERIES	SURFACE	35W / LED	SURFACE CANOPY MTD SECURITY LIGHT	
G	LED	LITHONIA RSX2 LED P3 40K R3 MVOLT SPA / RPA PE SERIES	EXISTING POLE	147W / LED	POLE MTD SECURITY LIGHT	HELD VERIFY SQUARE OR ROUND POLE. PROVIDE ADAPTERS AS REQUIRED, MATCH POLE COLOR
н	LED	LITHONIA RSX2 LED P3 40K R3 MVOLT SPA / RPA NLTAIR2 PIRHN SERIES	EXISTING POLE	147W / LED	PARKING LOT LIGHT	HELD VERIFY SQUARE OR ROUND POLE. PROVIDE ADAPTERS AS REQUIRED, MATCH POLE COLOR
I	LED	LITHONIA LDN4 40/10 LO4 AR LSS TRW MVOLT	RECESSED	10.6W / LED	DOWNLIGHT	
Ŀ	LED	NEO-RAY S123DR-V-1000D- 8-40-FES-6F0-1-U-DD-F-B SERIES	PENDANT MOUNTED	48.6W / LED	3" X 6' PENDANT MOUNTED	BLACK FINISH
к	LED	EELP VR10-Q-LED	SURFACE	55W / LED	CANOPY LIGHT	BLACK FINISH
L	LED	LITHONIA LDN4 40/15 LO4 BR LSS TRBL MVOLT	RECESSED	17.5W / LED	CANOPY DOW NLIGHT	BLACK TRIM
м	LED	NEO-RAY S123DR-V-1000D- 8-40-FES-4F0-1-U-DD-F-W SERIES	RECESSED	32.4W / LED	3" X 4' RECESSED MOUNTED	MATTE WHITE FINISH
N	LED	NEO-RAY S123DR-V-1000D- 8-40-FES-6F0-1-U-DD-F-W SERIES	SURFACE	48.6W / LED	3" X 6' SURFACE MOUNTED	MATTE WHITE FINISH
x	LED	LITHONIA LES1RELNSD	WALL / CEILING / DOUBLE FACE AS REQUIRED	5W / LED	EXIT SIGN	SELFDIAGNOSTIC

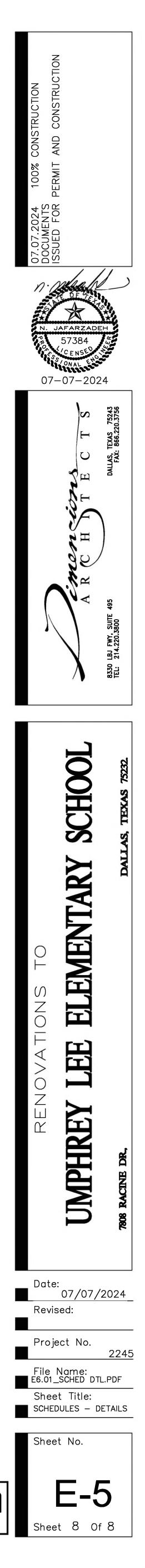
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
\$	TOGGLE SWITCH-SPST		BURIED CONDUIT
_ ⊕=	DUPLEX RECEPTACLE		RIGID CONDUIT
<u> </u>			FLEX CONDUIT
Ø	SPECIAL PURPOSE RECEPTACLE		CONDUIT STUB UP
	FLUORESCENT OR LED LIGHT FIXTURE	M	FLOOR MICROPHONE JACK
	EMERGENCY FLUORESCENT OR LED FIXTURE	нM	WALL MICROPHONE JACK
	W/ BATTERY PACK HOMERUN		CARBON MONOXIDE DETECTOR
Ю	LED LIGHT FIXTURE - WALL MOUNTED	Ś	SMOKE DETECTOR
Р	POWER PACK FOR OCCUPANCY SENSOR	Ŝτ	SMOKE DETECTOR (THERMAL)
	TRACK LIGHT FIXTURE	\$	SMOKE DETECTOR (IONIZATION)
	EMERGENCY BATTERY PACK	M	FIRE ALARM MAGNETIC DOOR HOLDER
0	EXIT LIGHT	FACP	FIRE ALARM CONTROL PANEL
Ū	JUNCTION BOX	FAAP	FIRE ALARM ANNUNCIATOR PANEL
-0 -©	JUNCTION BOX WALL MOUNTED	F⊲	FIRE ALARM HORN AND LIGHT (75 CANDELLA UNLESS NOTED OTHERWISE)
KP	SECURITY SYSTEM KEY PAD	TS	TEMPER SWITCH FLOW SWITCH
\$3	TOGGLE SWITCH 3-WAY		FIRE ALARM STROBE ONLY (75 CANDELLA UNLESS NOTED OTHERWISE)
\$ _D	WALL DIMMER	F	FIRE ALARM MANUAL PULL STATION
\$ _R	PROJECTION SCREEN SWITCH	-	HOMERUN
\$ _M	MOTOR SWITCH	Ψ	DENOTES CABLE TV OUTLET
€c	DUPLEX RECEP. 8" ABOVE COUNTERTOP	Ō	THERMOSTAT
⊕	QUADRAPLEX RECEPTACLE	ЪЧ	PANIC BUTTON-RED
Ö-	SINGLE RECEPTACLE	01	INFRARED DETECTOR - CEILING MOUNTE
€	DUPLEX RECEPTACLE	IK₂	INFRARED AND MICROWAVE DETECTOR - WALL MOUNTED
₩	ISOLATED GROUND QUADRAPLEX RECEPTACLE	UG.	UNDERGROUND
Ø	ISOLATED GROUND DUPLEX RECEPTACLE	WP.	WEATHERPROOF
\heartsuit	SPECIAL PURPOSE RECEPTACLE	A.F.F.	ABOVE FINISHED FLOOR
⊕ ∙	ISOLATED GROUND SPECIAL PURPOSE RECEPTACLE	A.F.G.	ABOVE FINISHED GRADE
θ	FLOOR DUPLEX RECEPTACLE	B.F.G.	BELOW FINISHED GRADE
	PLUGMOLD	N.L.	NIGHT LIGHT
	TELEPHONE OUTLET	GFI	GROUND FAULT INTERRUPTER
P	COIN OPERATED TELEPHONE	EC	EMPTY CONDUIT
\triangleright	DATA OUTLET	NF	NON-FUSED
	COMBINATION TELEPHONE / DATA	DS	DOOR SWITCH
\square	COMPUTER OR DATA FLOOR OUTLET	IG	DENOTES ISOLATED GROUND
Ó	ELECTRIC MOTOR	PS	PULL SWITCH
	DISCONNECT SWITCH	СКТ	CIRCUIT
\boxtimes	MAGNETIC MOTOR STARTER	EWC	ELECTRIC WATER COOLER
Ľ.	COMBINATION STARTER & DISCONNECT SWITCH	(E)	EXISTING
¢	LED LIGHT - CEILING MOUNTED ON STANDARD LIGHT BOX.	(N)	NEW
	CONTACTOR	TVSS	TRANSIENT VOLTAGE SURGE SUPPRESSION
	BELL (CLOCK AND PROGRAM SYSTEM)	۲	CEILING OUTLET FOR CEILING MOUNTED PROJEC
SD	SMOKE DUCT DETECTOR	\$ _{os}	WALL MOUNTED OCCUPANCY SENSOR
<u></u>	OCCUPANCY / VACANCY SENSOR	(D)	DEMO
		CTR	COORDINATE WITH COUNTER



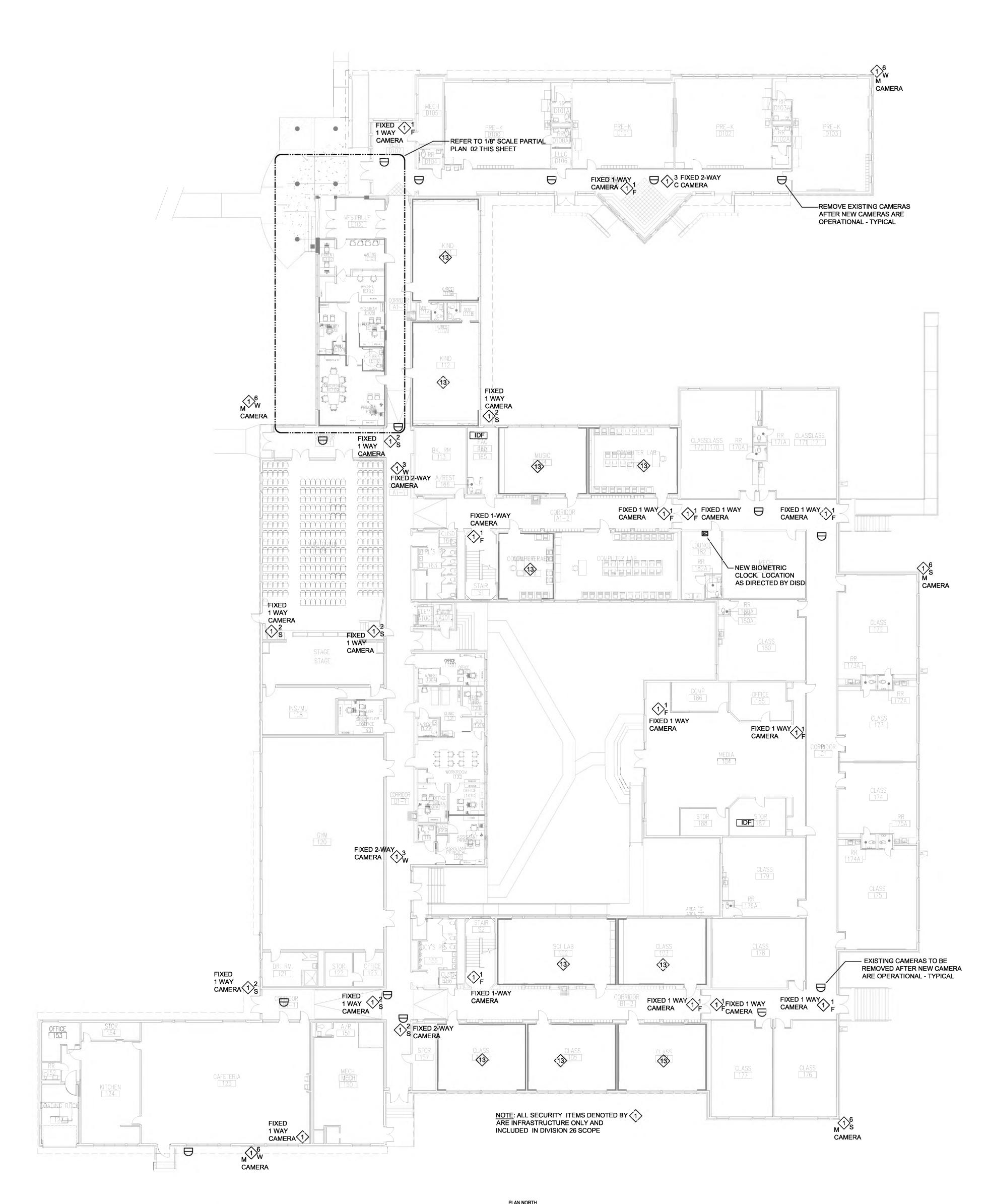
KEYED NOTES 🔿

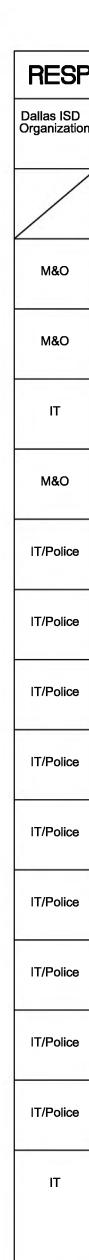
- (ALL "E" and "T" SHEETS) EXISTING SECURITY SYSTEM IS OLD AND IS TO BE UP-DATED BY ADDING INFRASTRUCTURE FOR ADDITIONAL CAMERAS, CARD READERS AND DOOR CONTACTS. SEE SECURITY AND ACCESS DRAWINGS. INFRASTRUCTURE BY DIV 26. EXISTING SECURITY SYSTEM SHALL REMAIN IN OPERATION WHILE CURRENT SYSTEM IS
- BEING UP-DATED. NEW LED LIGHTING, POWER, SECURITY, FIRE ALARM, RECEPTACLES AND COMMUNICATION SYSTEMS SHALL BE PROVIDED FOR SECURE FRONT VESTIBULE.
- $\langle \hat{3} \rangle$ NEW LED LIGHTING, POWER, SECURITY, FIRE ALARM, RECEPTACLES AND COMMUNICATION SYSTEMS SHALL BE PROVIDED FOR RENOVATED AND EXPANDED ADMINISTRATION.
- THE ENTIRE EXISTING FIRE ALARM SYSTEM IS OLD AND OUTDATED. IT SHALL BE REPLACED WITH NEW ADDRESSABLE SYSTEM PER DISD TDG. ALL DOWN TIME OF FIRE ALARM SYSTEM MUST HAVE DIST APPROVAL.
- $\langle 5 \rangle$ EXTERIOR LIGHTING CONTROL CONSIST OF OLD TECHNOLOGY AND SHALL BE UP-DATED TO MEET DISD TDG REQUIREMENTS.
- 6 EXISTING CEILINGS TO BE REMOVED. DEMO EXISTING CEILING MOUNTED DEVICES FOR FIRE ALARM, SECURITY, COMMUNICATION, ETC. - TYPICAL
- (7) DEMO / DISCONNECT EXISTING ELECTRICAL POWER AND CONTROLS SERVING EXISTING HVAC EQUIPMENT TO BE REMOVED. REFER TO HVAC DRAWINGS - TYPICAL
- (8) PROVIDE INTERIOR LIGHTING CONTROL TO MEET IECC ENERGY CODE. THE EXISTING INTERIOR LIGHTING DOES NOT COMPLY WITH THE ENERGY CODE.
- (9) REPLACE INTERIOR FLUORESCENT LIGHTING WITH NEW LED LIGHTING.
- PROVIDE ELECTRICAL POWER AS REQUIRED FOR HVAC IMPROVEMENTS, INCLUDING POWER FOR NEW AND REPLACED SPLIT SYSTEMS, ROOFTOP UNITS AND EXHAUST FANS. REFER TO HVAC DRAWINGS.
- WASHER / DRYER.
- PROVIDE ELECTRICAL POWER FOR (REPLACED) WATER HEATER AND CIRCULATIÓN PUMP.
- EXTEND DEVICES AND WIRING IN WALLS THAT HAVE NEW FURRED WALLS TO BE FLUSH WITH NEW FURRED WALLS. ESTIMATE THREE DEVICES MINIMUM EACH FURRED WALL. FIELD VERIFY QUANTITY AND LOCATIONS.

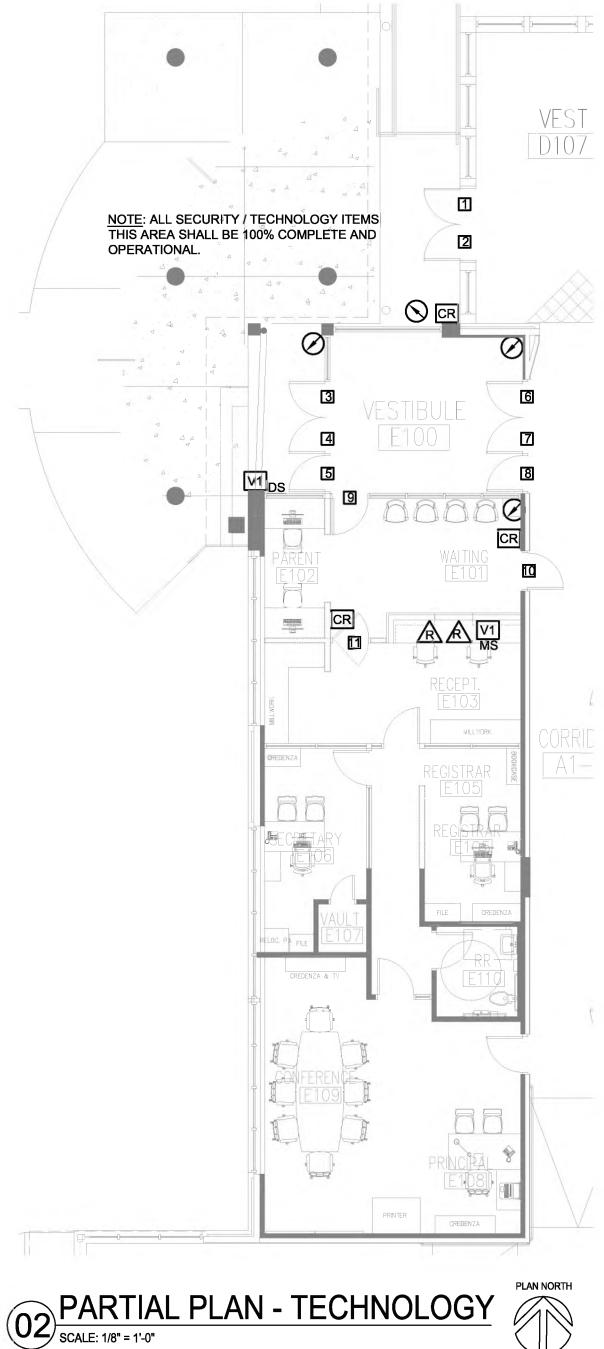
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IDA Engineering, Inc.	
16990 N. DALLAS PKWY DALLAS, TEXAS 75248	╏▃┛╏╼┩
16990 N. DALLAS PKWY DALLAS, TEXAS 75248 SUITE 106 (972) 991-1927 TEXAS REGISTERED ENGINEERING	G FIRM-F-24089

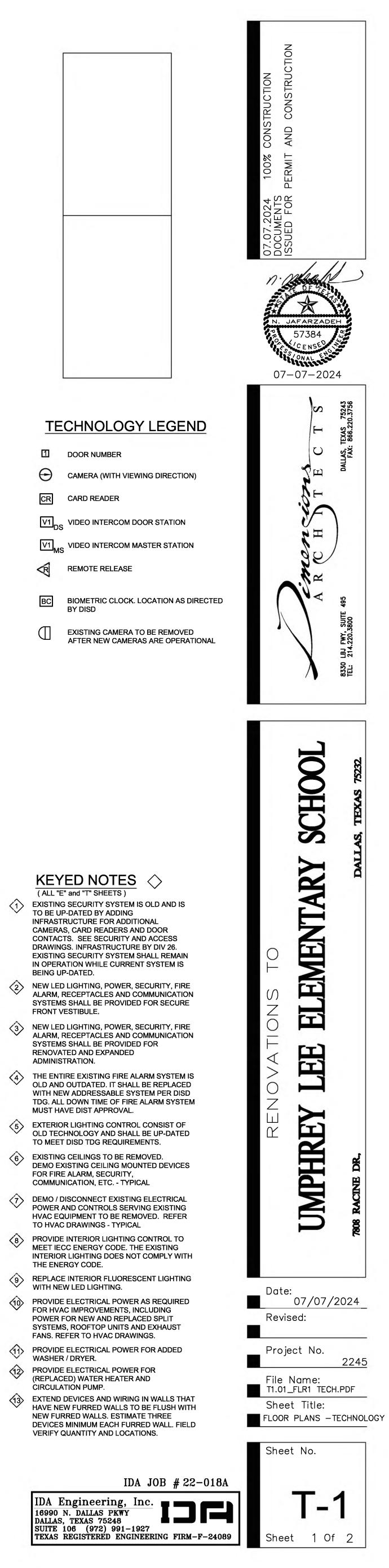


01 FIRST FLOOR PLAN - TECHNOLOGY









1	DOOR NUMBER
Θ	CAMERA (WITH VIEWING DIRECT
CR	CARD READER
V1 _{DS}	VIDEO INTERCOM DOOR STATIC
V1 _{MS}	VIDEO INTERCOM MASTER STAT
\bigotimes	REMOTE RELEASE
BC	BIOMETRIC CLOCK. LOCATION A BY DISD
\mathbb{D}	EXISTING CAMERA TO BE REMO AFTER NEW CAMERAS ARE OPE

02 PARTIAL PLAN - TECHNOLOGY SCALE: 1/8" = 1'-0"	ľ
SCALE: 1/8" = 1'-0"	<

	Dallas ISD		Description:		Pathways,		Pathways,	
on	Dept/Div/ Group	Building System	Equipment & Devices	Equipment & Devices	Cable Trays, Conduit, Backboxes, et al:	Equipment & Devices	Cable Trays, Conduit, Backboxes, et al:	Power
				Designed & Documented for Construction by	Designed & Documented for Construction by	Provided and installed by	Provided and installed by	Provided and installed by
	Grounds	Marquee Sign	Marquee Sign	A/E	A/E	CS-General Contractor	CS-General Contractor	CS-General Contractor
	Alarms	Fire Alarm	Fire Alarm Wireless Radio (AES) Call-out,Panel Cabling, Devices	A/E	A/E	CS-General Contractor	CS-General Contractor	CS-General Contractor
	Infrastructure	E-Rate	Technology Infrastructure	A/E IT Consultant	A/E	IT - Infrastructure PM	CS-General Contractor	CS-General Contractor
	Alarms	Intrusion Detection System	Intrusion Wireless Call-out,Panel, Keypads, Cabling, Devices	A/E	A/E	CS-General Contractor	CS-General Contractor	CS-General Contractor
	CSS/EM	Secure Vestibule	See "Access Control" Div 28	CSS- Security Contractor	A/E	CSS- Security Contractor	CS-General Contractor	CS-General Contractor
	CSS/EM	Access Control	Card Readers	CSS- Security Contractor	A/E	CSS- Security Contractor	CS-General Contractor	N/A
	CSS/EM	Access Control	Door Contacts	CSS- Security Contractor	A/E	CSS- Security Contractor	CS-General Contractor	N/A
	CSS/EM	Access Control	Electrified Door Hardware	A/E	A/E	CS-General Contractor	CS-General Contractor	N/A
	CSS/EM	Access Control	Electrified Door Hardware Power Supplies	A/E	A/E	CS-General Contractor	CS-General Contractor	CS-General Contractor
	CSS/EM	Access Control	IP Intercoms: Masters	CSS- Security Contractor	A/E	CSS- Security Contractor	CS-General Contractor	N/A
	CSS/EM	Security: Electronic Surveillance	Cameras: Exterior	CSS- Security Contractor	A/E	CSS- Security Contractor	CS-General Contractor	N/A
	CSS/EM	Security: Electronic Surveillance	Cameras: Interior	CSS- Security Contractor	A/E	CSS- Security Contractor	CS-General Contractor	N/A
	CSS/EM	Security: Electronic Surveillance	Cabling: Switch to Device	CSS- Security Contractor	A/E	CSS- Security Contractor	CS-General Contractor	CS-General Contractor
	Infrastructure	Network	Biometric Clocks (Bioclocks)	A/E	A/E	Cabling by IT-Cabling Contractor. Device provided by CS-GS purchased from IT- Biometric Vendor	CS-General Contractor	POE by IT- Cabling Contractor. Does not require voltage power.

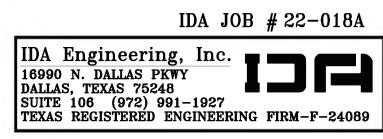
	KEYED NOTES 🔿
	(ALL "E" and "T" SHEETS)
	EXISTING SECURITY SYSTEM IS OLD AND IS TO BE UP-DATED BY ADDING INFRASTRUCTURE FOR ADDITIONAL
	CAMERAS, CARD READERS AND DOOR CONTACTS. SEE SECURITY AND ACCESS DRAWINGS. INFRASTRUCTURE BY DIV 26. EXISTING SECURITY SYSTEM SHALL REMAI IN OPERATION WHILE CURRENT SYSTEM IS BEING UP-DATED.
$\langle \hat{2} \rangle$	NEW LED LIGHTING, POWER, SECURITY, FIF ALARM, RECEPTACLES AND COMMUNICATI SYSTEMS SHALL BE PROVIDED FOR SECUR

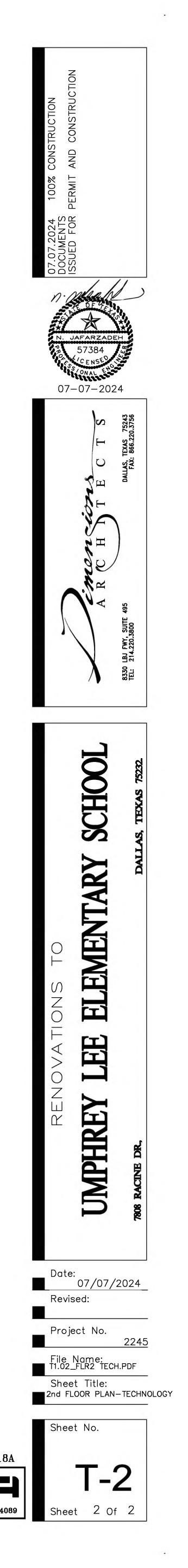
- $\langle 3 \rangle$ NEW LED LIGHTING, POWER, SECURITY, FIRE ALARM, RECEPTACLES AND COMMUNICATION SYSTEMS SHALL BE PROVIDED FOR RENOVATED AND EXPANDED
- THE ENTIRE EXISTING FIRE ALARM SYSTEM IS OLD AND OUTDATED. IT SHALL BE REPLACED WITH NEW ADDRESSABLE SYSTEM PER DISD TDG. ALL DOWN TIME OF FIRE ALARM SYSTEM MUST HAVE DIST APPROVAL.
- OLD TECHNOLOGY AND SHALL BE UP-DATED TO MEET DISD TDG REQUIREMENTS.
- FOR FIRE ALARM, SECURITY, COMMUNICATION, ETC. - TYPICAL
- HVAC EQUIPMENT TO BE REMOVED. REFER TO HVAC DRAWINGS - TYPICAL
- THE ENERGY CODE.
- POWER FOR NEW AND REPLACED SPLIT SYSTEMS, ROOFTOP UNITS AND EXHAUST FANS. REFER TO HVAC DRAWINGS.
- WASHER / DRYER. PROVIDE ELECTRICAL POWER FOR
- CIRCULATION PUMP.
- NEW FURRED WALLS. ESTIMATE THREE DEVICES MINIMUM EACH FURRED WALL. FIELD VERIFY QUANTITY AND LOCATIONS.

ł	IDA JOB	#
	IDA Engineering, Inc. 🕳	
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l	SUITE 106 (972) 991-1927 TEXAS REGISTERED ENGINEERING	FI

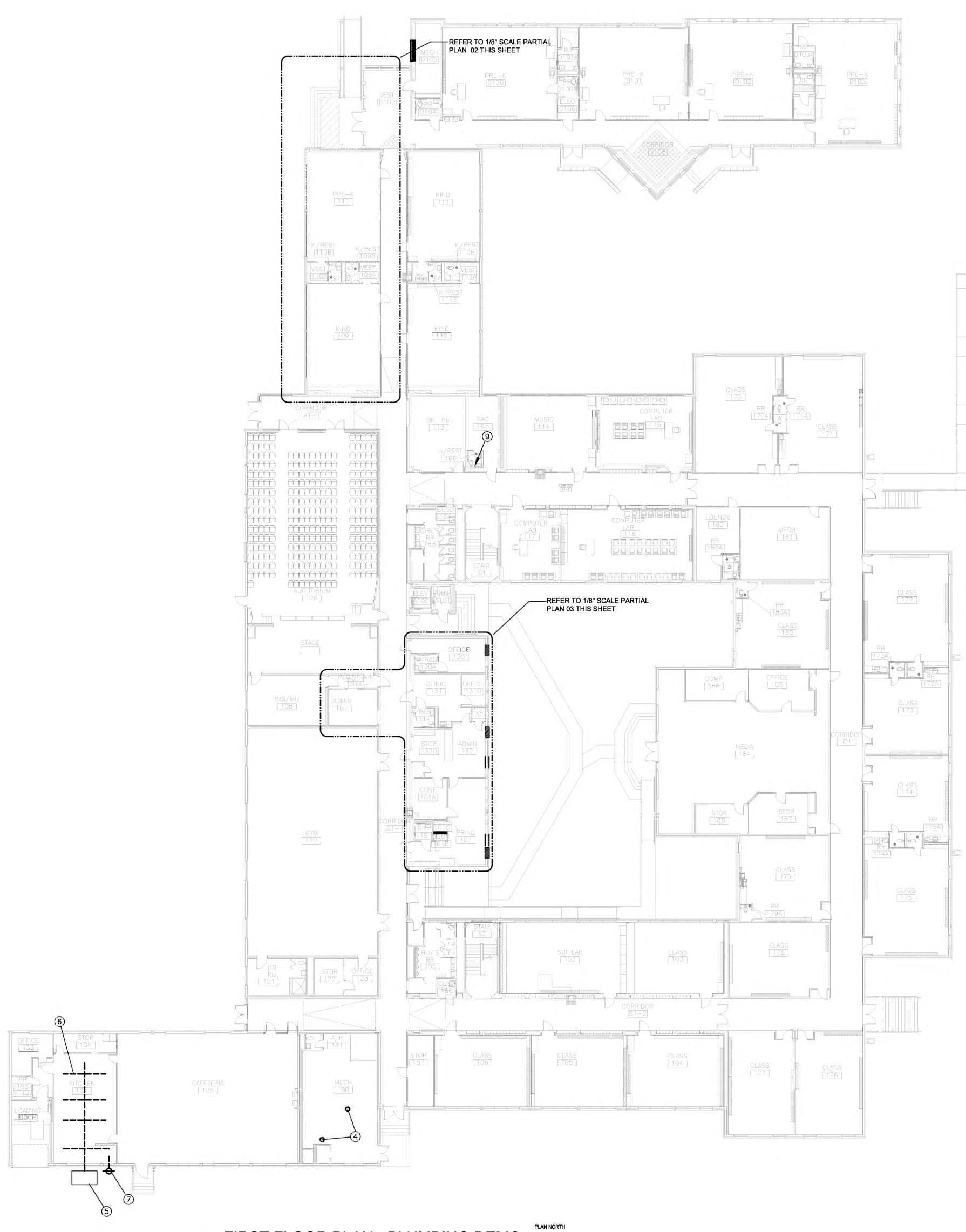


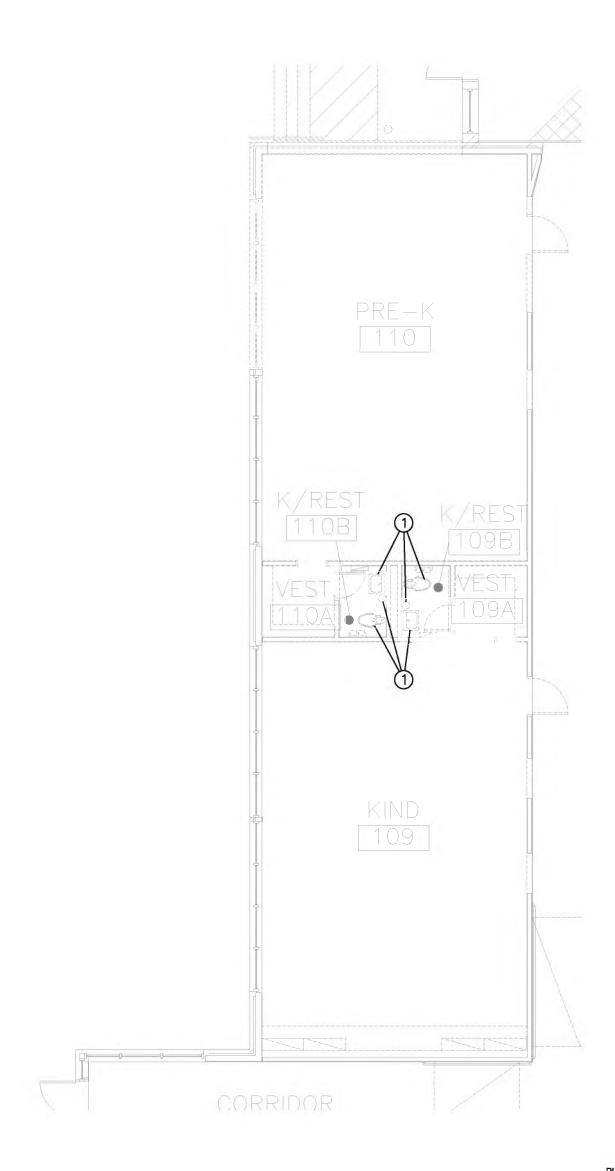




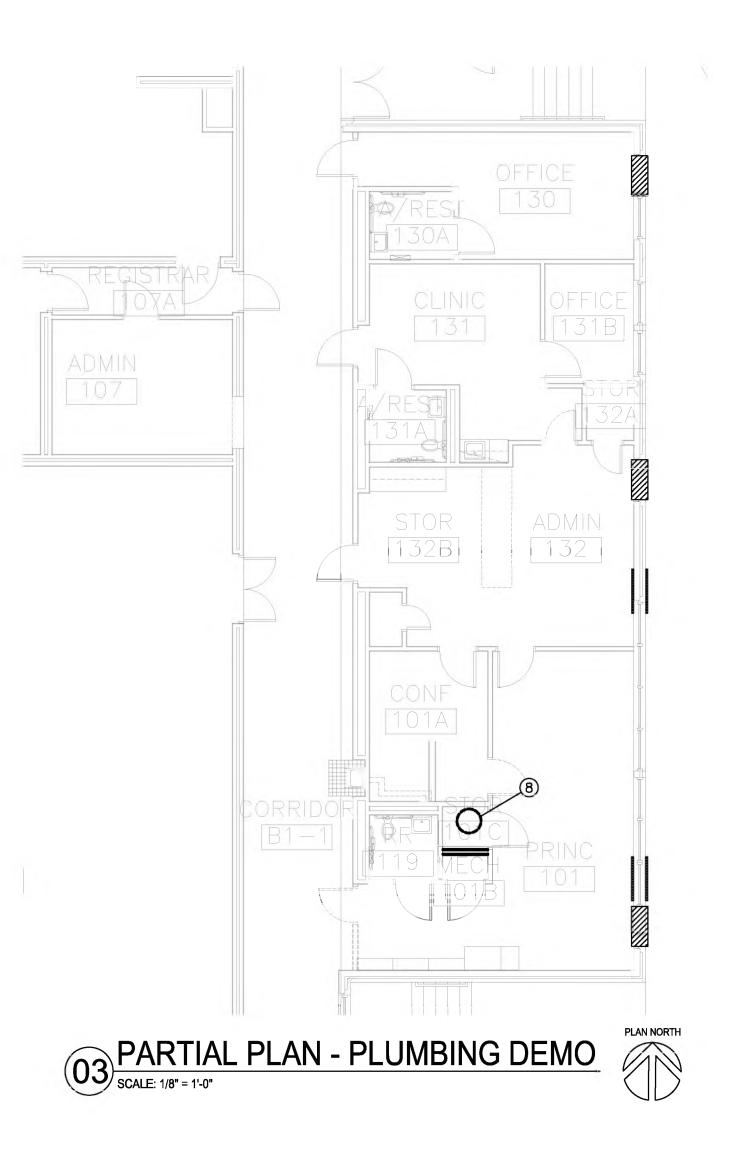


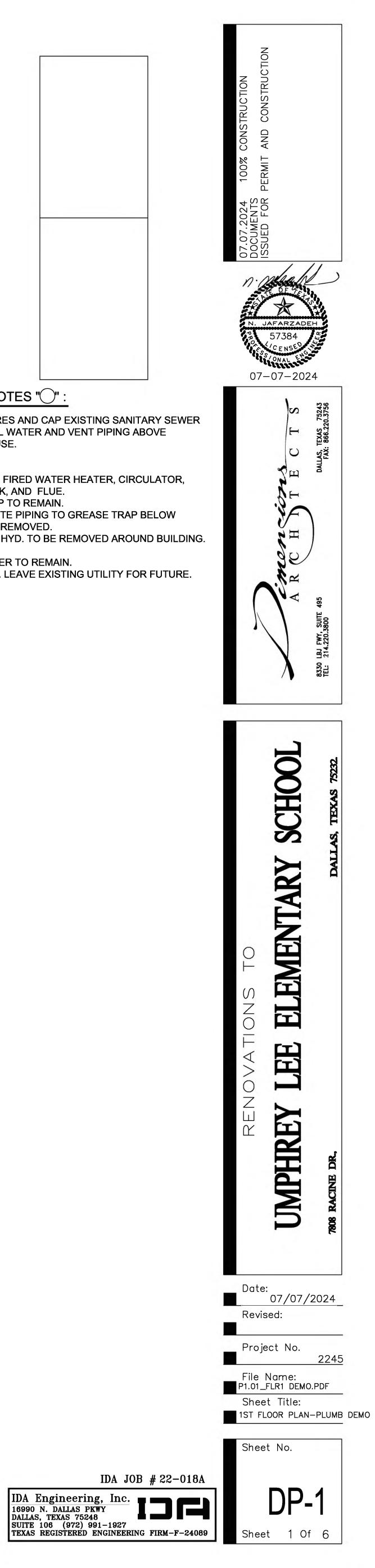






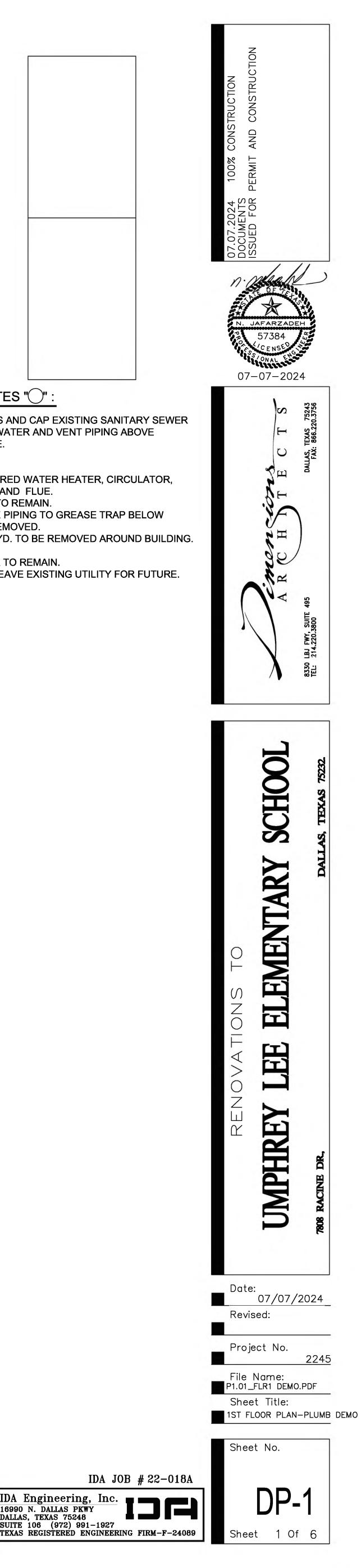
02 PARTIAL PLAN - PLUMBING DEMO



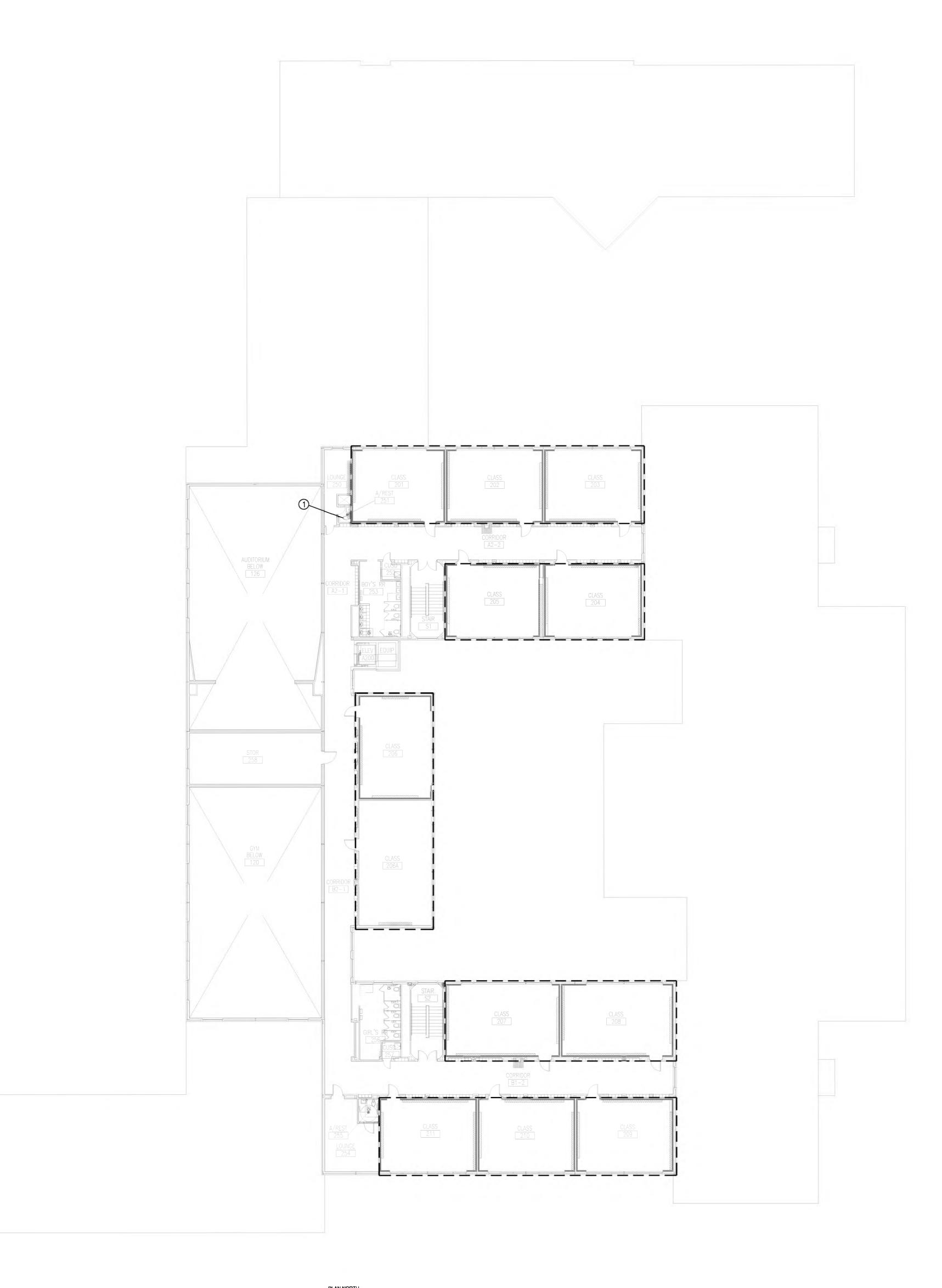


KEYED PLUMBING NOTES "O" :

- DEMO EXISTING FIXTURES AND CAP EXISTING SANITARY SEWER BELOW FLOOR. CAP ALL WATER AND VENT PIPING ABOVE CEILING FOR FUTURE USE. 2. NOT USED.
- 3. NOT USED. REMOVE EXISTING GAS FIRED WATER HEATER, CIRCULATOR, 4
- PUMP, EXPANSION TANK, AND FLUE.
 5. EXISTING GREASE TRAP TO REMAIN.
- 6. EXISTING GREASY WASTE PIPING TO GREASE TRAP BELOW KITCHEN FLOOR TO BE REMOVED. 7. EXISTING NON-FREEZE HYD. TO BE REMOVED AROUND BUILDING.
- (TYP. 7 PLACES) 8. ÈXISTING WATER HEATER TO REMAIN.
- 9. REMOVE EXISTING W.C. LEAVE EXISTING UTILITY FOR FUTURE.



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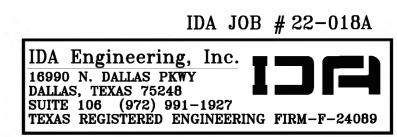
01 SECOND FLOOR PLAN - PLUMBING DEMO

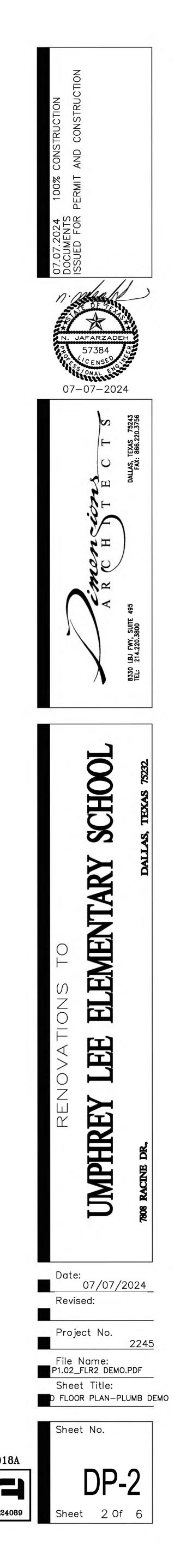


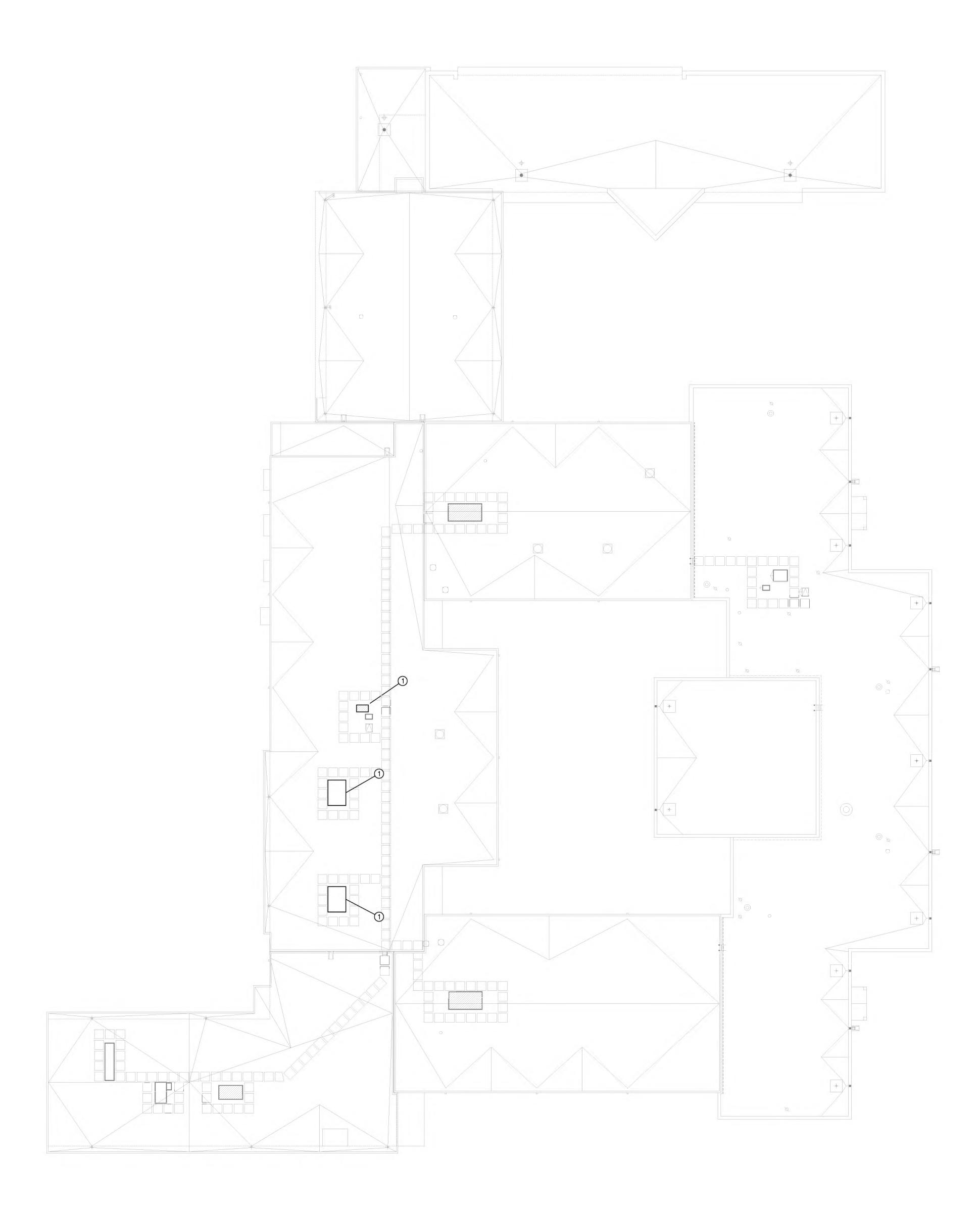
KEYED PLUMBING NOTES "()" :

1. REMOVE EXISTING PLUMBING FIXTURE (WC). LEAVE EXISTING PIPING FOR FUTURE.

FIRE PROTECTION NOTES EXISTING CLASS ROOMS INDICATED WITH HEAVY LINE AROUND WILL HAVE ALL SIDE WALL SPRINKLER HEADS REMOVED WITH PIPING SAVED FOR FUTURE SYSTEM





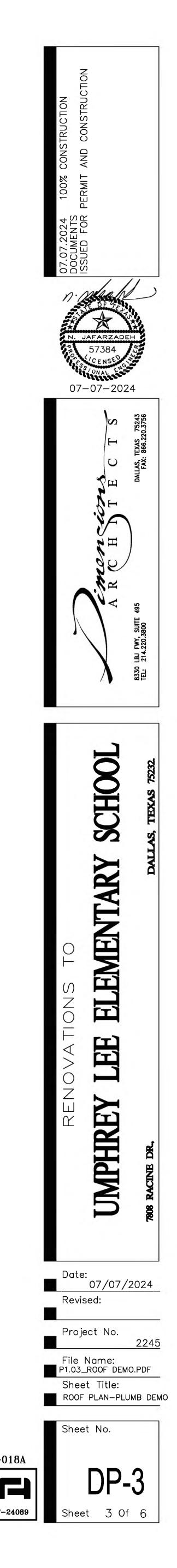


01 ROOF PLAN - PLUMBING DEMO

KEYED PLUMBING NOTES "O":

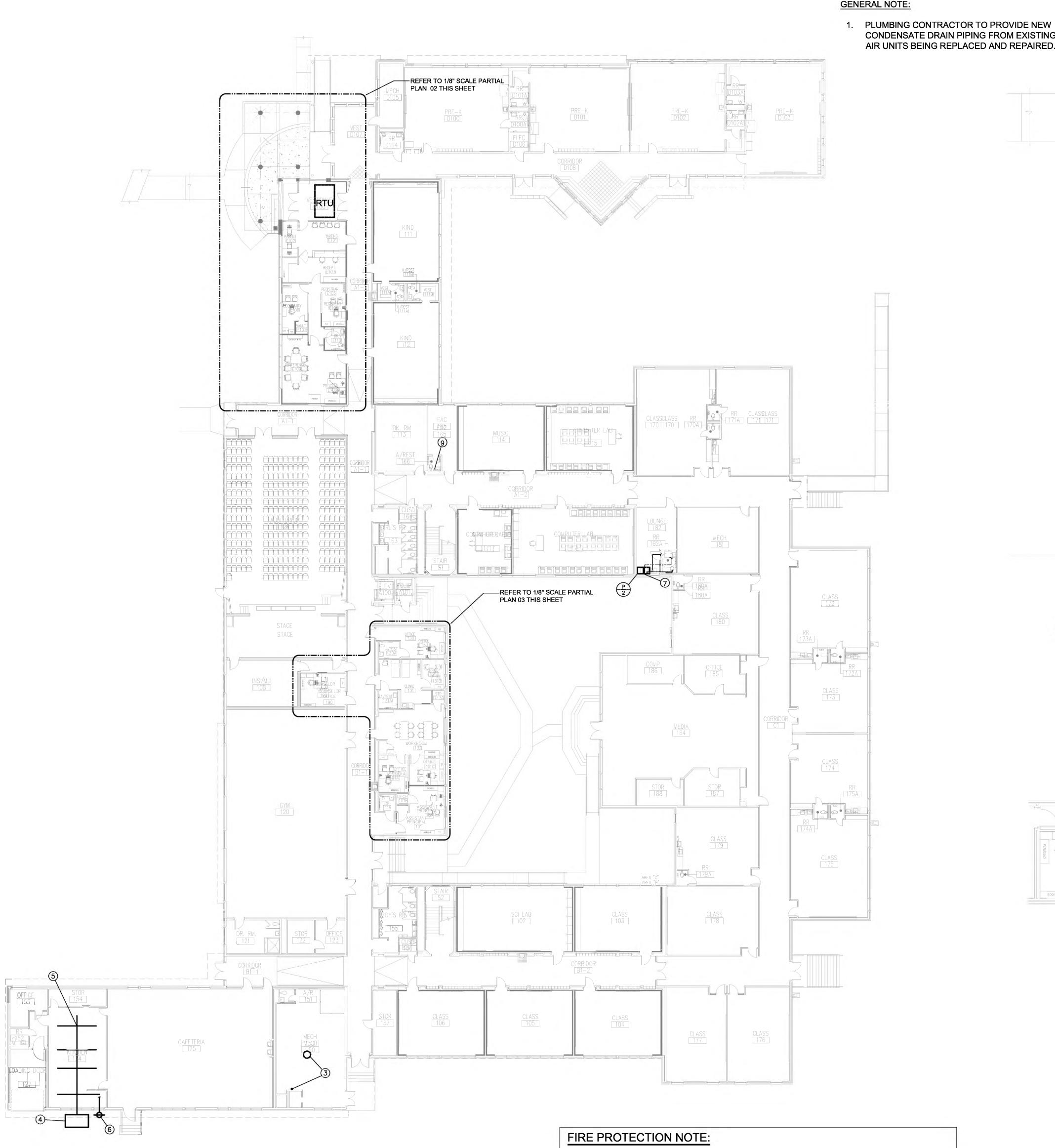
1. EXISTING RTU. DEMO CONDENSATE DRAIN.





FIRST FLOOR PLAN - PLUMBING SCALE: 1/16" = 1'-0"

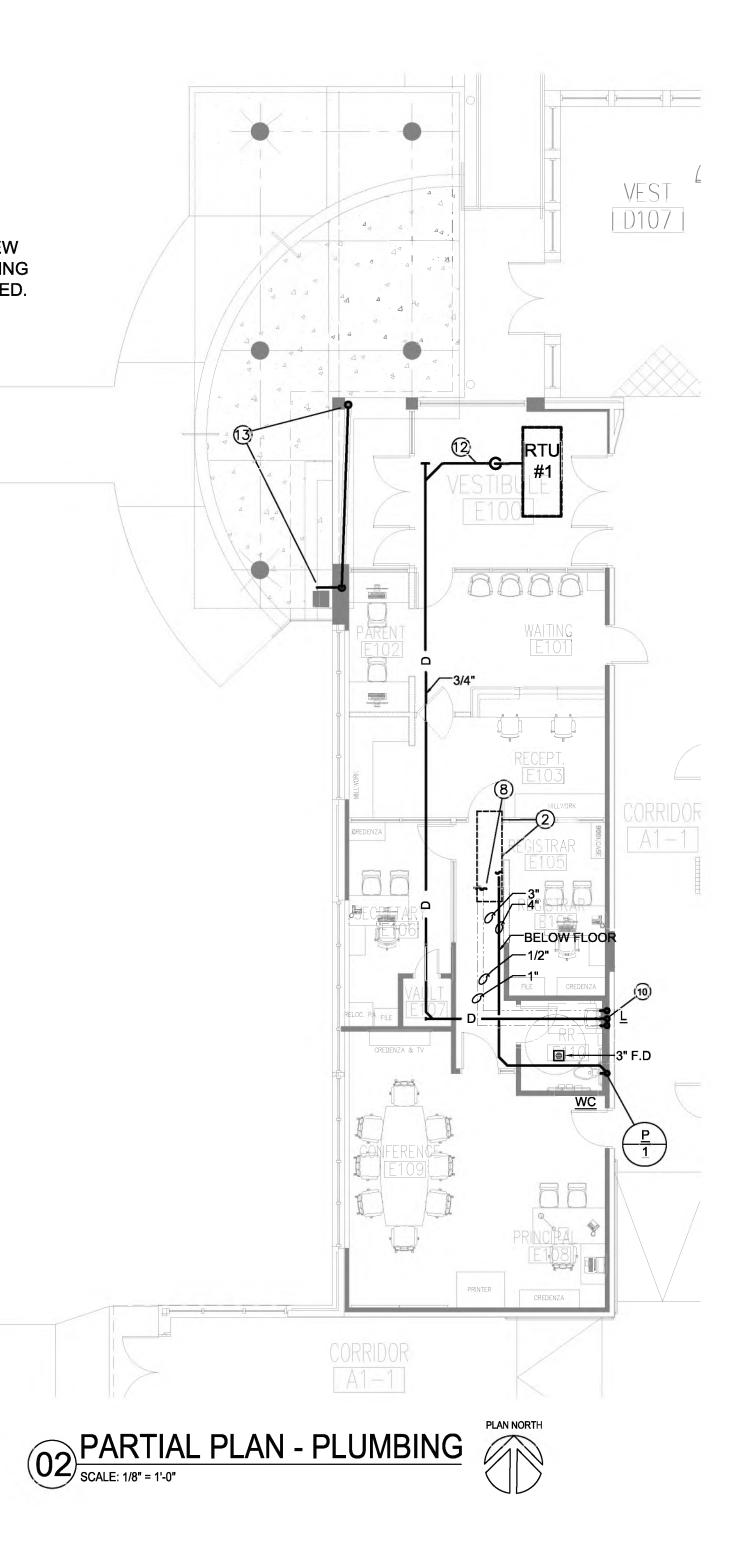


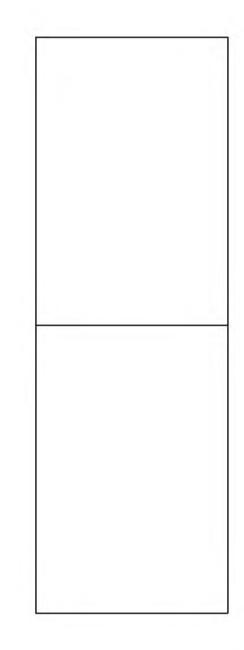


GENERAL NOTE:

CONDENSATE DRAIN PIPING FROM EXISTING AIR UNITS BEING REPLACED AND REPAIRED.

THE ENTIRE AREA OF THE FIRST & SECOND FLOORS THAT ARE GETTING NEW CEILING SHALL BE RECONFIGURED FOR SPRINKLER SYSTEM. PIPING AND SPRINKLER HEADS LOCATED IN THE NEW CEILING ACCORDING TO THE 2021 CITY OF DALLAS / FIRE CODES.





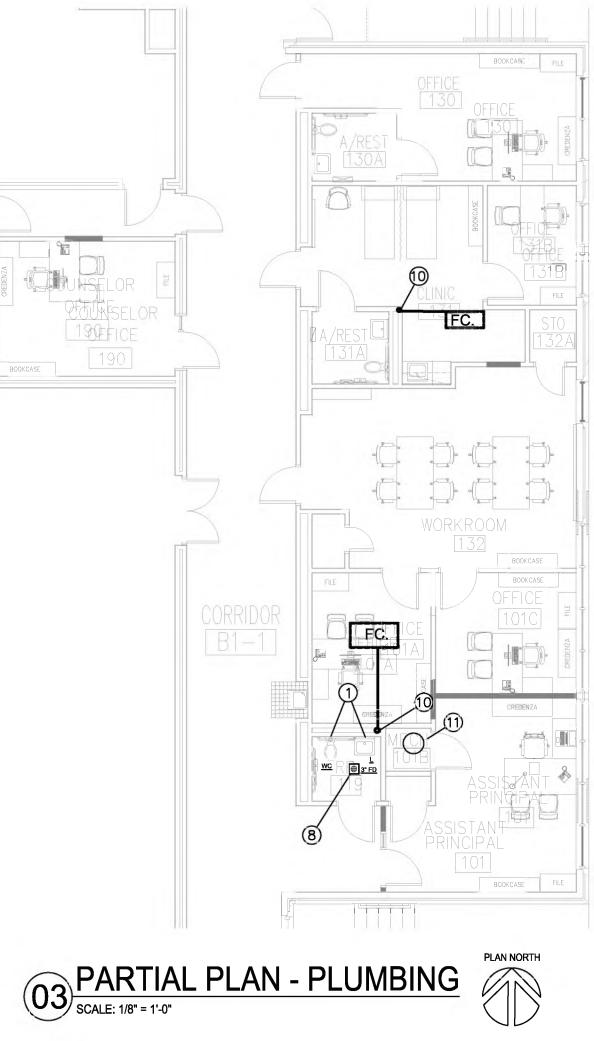
KEYED PLUMBING NOTES "()" :

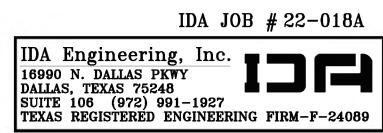
- PROVIDE NEW PLUMBING FIXTURE SEE FIXTURE SCHEDULE.
 EXISTING PLUMBING CHASE. CONNECT NEW UTILITIES TO EXISTING PIPING IN
- CHASE AREA. 3. NEW WATER HEATER CIRCULATOR PUMP AND EXPANSION TANK.
- CLEAN EXISTING GREASE TRAP.
 INSTALL ALL NEW SANITARY SEWAGE PIPING BELOW KITCHEN FLOOR CONNECT
- TO EXISTING FLOOR DRAINS AND FLOOR SINK. INSTALL NEW FREEZE PROOF WALL HYD (TYP. 7 PLACES)
- PROVIDE UTILITIES FOR NEW WASHER/DRYER 1/2 " H&CW. CONNECT TO EXISTING WATER PIPING ABOVE TOILET RM. 2" WASTE AND VENT. CONNECT EXISTING VENT AND WASTE BELOW FLOOR.
- 8. CONNECT TO EXISTING UTILITY 9. PROVIDE NEW (WC) AND CONNECT TO EXISTING UTILITIES. 10. PROVIDE NEW 3/4" CONDENSATE LINE FROM FC / RTU DN. IN CHASE TO LAV TAIL
- PIECE. 11. EXISTING WATER HEATER TO REMAIN.
- 12. PIPING ON 1ST FLOOR ROOF. 13. PLUMBING CONTRACTOR TO CONNECT TO EXISTING ROOF DRAIN AND OFFSET PIPING WITHIN THE PLENUM, THEN DOWN IN CHASE. DISCHARGE DOWN SPOUT AT EDGE OF THE NEW CONCRETE STEPS. COORDINATE WITH ARCH.

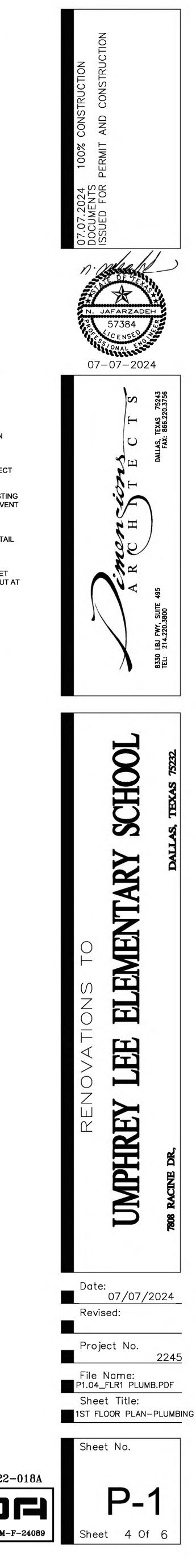
PLUMBING SYMBOL LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
-+	BALL VALVE		DOMESTIC COLD WATER
-N-	CHECK VALVE		DOMESTIC HOT WATER
	GATE VALVE		DOMESTIC HOT WATER RETURN
с	WALL CLEANOUT		SANITARY SEWER VENT
_0	FLOOR CLEANOUT		SANITARY WASTE LINE
-3	FLOOR SINK		GAS LINE
	FLOOR DRAIN		BRANCH - TOP CONNECTION
	ROOF DRAIN		PIPE RISER
	HUB DRAIN		PIPE DROP
	NON - FREEZE WALL HYDRANT	— D —	DRAIN LINE
B.F.F.	BELOW FINISHED FLOOR	U/F	UNDERFLOOR

NOTE: NOT ALL SYMBOLS MAY NOT BE USED ON THIS PROJECT.

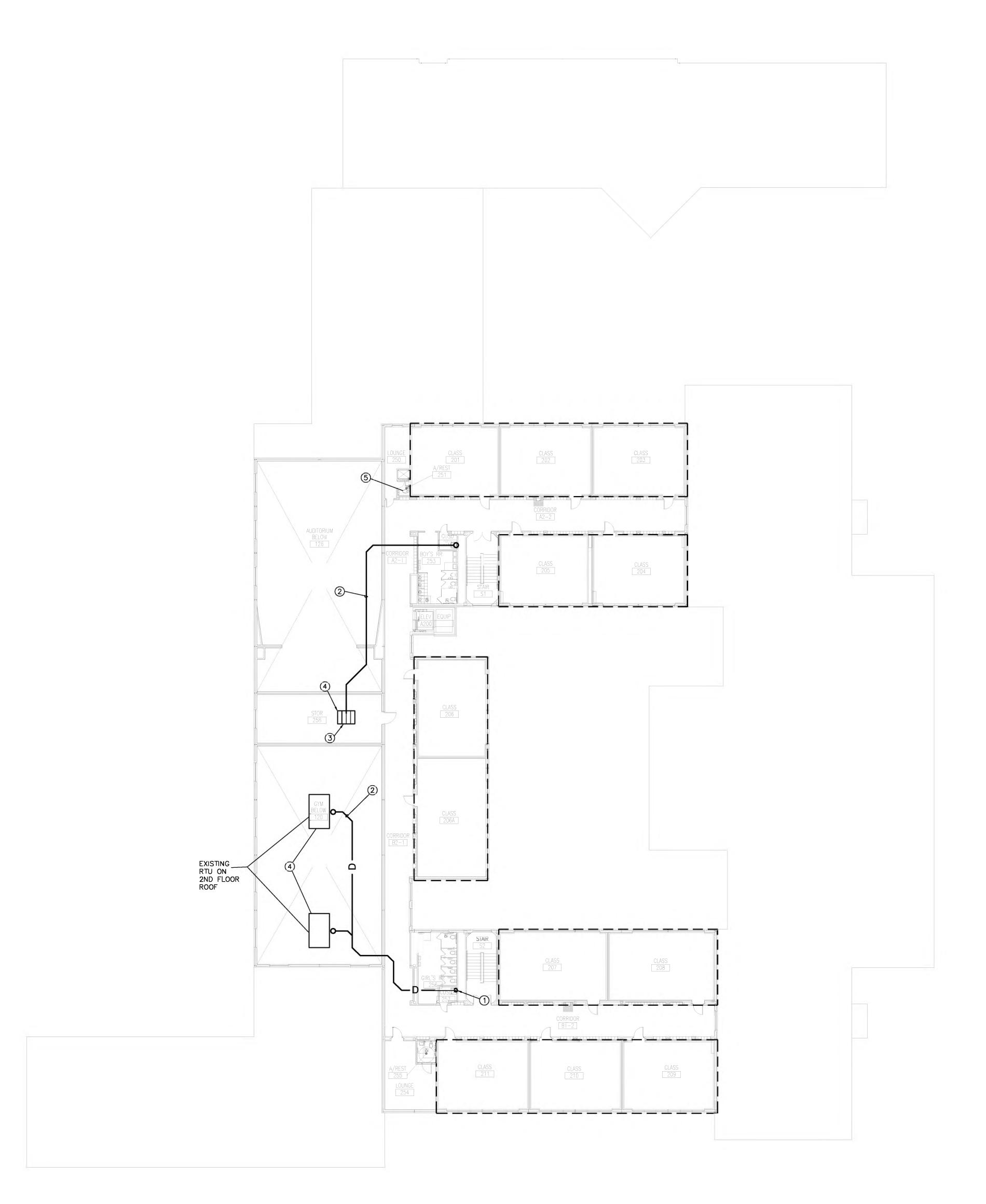


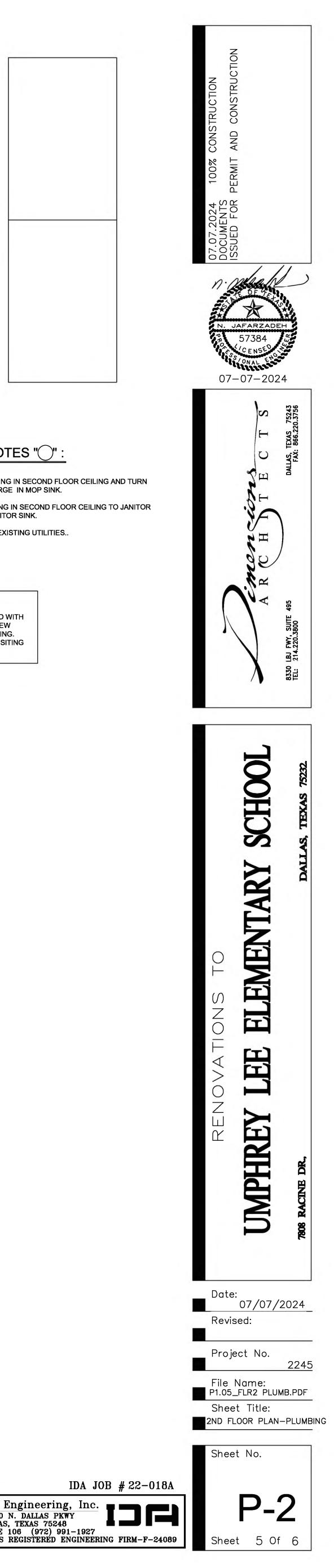




01 SECOND FLOOR PLAN - PLUMBING SCALE: 1/16" = 1'-0"



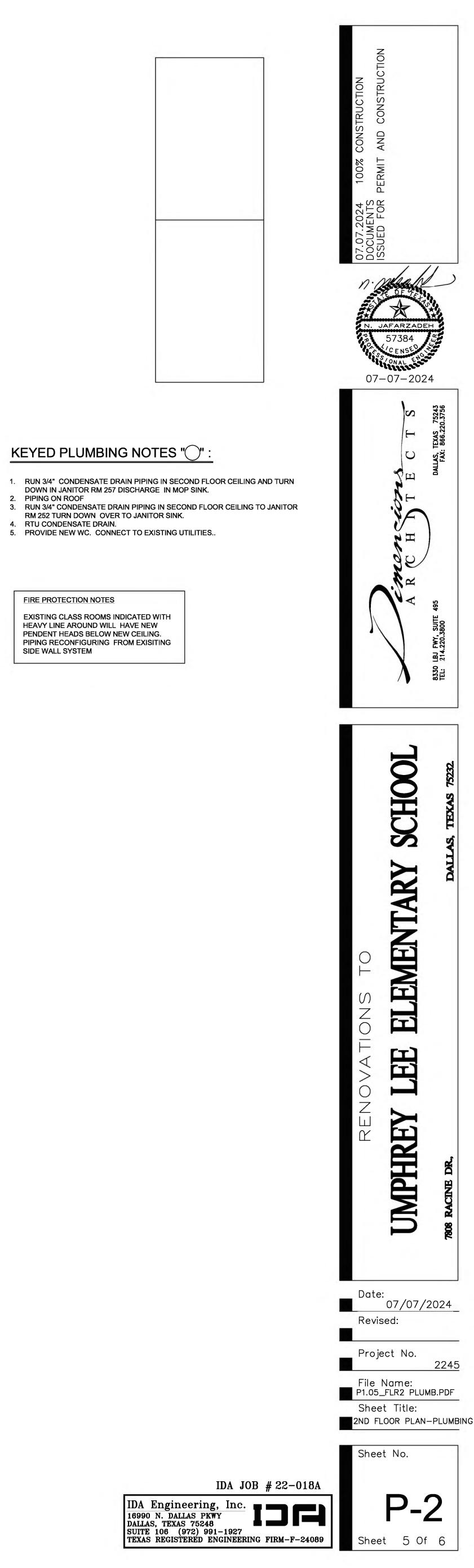




KEYED PLUMBING NOTES "()" :

- 2. PIPING ON ROOF
- 5. PROVIDE NEW WC. CONNECT TO EXISTING UTILITIES..

FIRE PROTECTION NOTES EXISTING CLASS ROOMS INDICATED WITH HEAVY LINE AROUND WILL HAVE NEW PENDENT HEADS BELOW NEW CEILING. PIPING RECONFIGURING FROM EXISITING SIDE WALL SYSTEM



DESCRIPTION	MANUFACTURER & MODEL
WATER CLOSET (ADA) WHITE VITREOUS CHINA, FLOOR MTG. FLUSH VALVE ELONGATED, 1.6 GPF	MODEL: AMER. STD 3461.128 SEAT: CHURCH 9500C FLUSH VALVE-SLOAN-111-1.28
LAVATORY (ADA) WHITE CHINA WALL HUNG REFER TO ARCHT. PLANS	AMER. STD # 0355.012 FAUCET: AMER. STD. 1480.115 TRAP: MCGUIRE 8872 DRAIN: AMERICAN STANDARD GRID 7716.020 SUPPLIES: MCGUIRE 167 CARRIER SUPPORT FLOOR MTG. JR SMITH 0710E
JOSAM-MEDIUM DUTY TOP SATIN FINISH NIKALOY TOP.	MODEL: 30000-5A-2 PROVIDE AND TRAP GUARD FOR EACH FLOOR DRAIN
WOODFORD WITH SIPHON VACUUM BREAKER. CHROME PLATED	MODEL: # 65
WASHER BOX	GUY GRAY MODEL B200
	WHITE VITREOUS CHINA, FLOOR MTG. FLUSH VALVE ELONGATED, 1.6 GPF LAVATORY (ADA) WHITE CHINA WALL HUNG REFER TO ARCHT. PLANS JOSAM-MEDIUM DUTY TOP SATIN FINISH NIKALOY TOP. WOODFORD WITH SIPHON VACUUM BREAKER. CHROME PLATED

BE INSTALLED WITHOUT AND/OR BEFORE APPROVAL FROM OWNER.

2. PROVIDE ALL CARRIERS AND SUPPORT MATERIALS REQUIRED FOR A SOLID, SECURE

INSTALLATION. 3. PROVIDE ALL DRAIN COVERS, ESCUTCHEONS, AND MISCELLANEOUS TRIM ITEMS FOR A NEAT APPEARANCE.

4. ALL MOUNTED HEIGHTS SHALL BE VERIFIED WITH THE ELEVATIONS SHOWN ON THE ARCHITECTURAL PLANS.

5. ALL SUPPLIES SHALL BE CHROME PLATED.

6. PROVIDE TRUEBRO LAV GUARD OR EQUAL UNDER ALL LAVATORIES. 6. ALL LAVATORY RECEIVING 120 DEGREE WATER SHALL HAVE A MIXING VALVE BY LEONARD #170-LF REGULATED TEMP. TO 100F

> _FLOOR DRAIN STRAINER FLUSH WITH FINISH FLOOR FINISHED FLOOR - SLOPE TO FLOOR DRAIN 1/4" CLAMP PAN TIGHTLY INTO DRAIN _____ - ROUGH FLOOR SLAB DEEP SEAL P-TRAP

03 TYPICAL FLOOR DRAIN DETAIL SCALE: NTS

P

 $\left(1 \right)$

18"x18" ACCESS PANEL

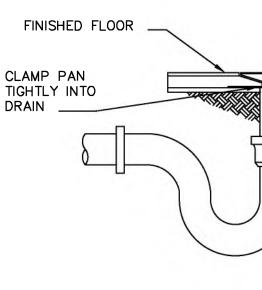
FLOOR

4"___

_ 4" V.T.R

<u>WC</u> 3" FD

4"__



1/2"

L_1/2"

4"-

ب____2"

	DESIGNATION			
GENERAL	SERVES ARE	A		
	STORAGE (G	ALLONS)	130	
CAPACITY				
	FIRST HR. D	ELIVERY 100^ F RISE:	471	
		INPUT (BTUH):	399,000	
	NATURAL GAS	OUTPUT (BTUH):	-	
HEATING		FLUE SIZE:	-	
	ELECTRICAL	KW:	-	
	RESISTANCE	# ELEMENTS:	-	
ELEC. DATA	SERVICE (V/	(0):	120/1	
	MFGR. & MC	DEL NO.	PVI 40L 130A-GCML	
	ACCESSORIE	S:	1,2,3	
MODEL	REMARKS:			
DELIVERED WATER TEMP.		VATER TEMP.	140^F & 110^F	
ACCESSORIE				

		ING FIXT	URE CO	ONNECTI	ON SCH	HEDUL	E
MARK	FIXTURE	SOIL OR WASTE	VENT		WATER		DEMADIZO
				TRAP	COLD	НОТ	REMARKS
WC	WATER CLO.	4"	2"	-	1"	1	FLOOR MTG
L	LAVATORY	1 1/2"	1 1/2"	1 1/4"	1/2"	1/2"	-
WB	WASHER BOX	2"	2"	2"	1/2"	1/2"	-

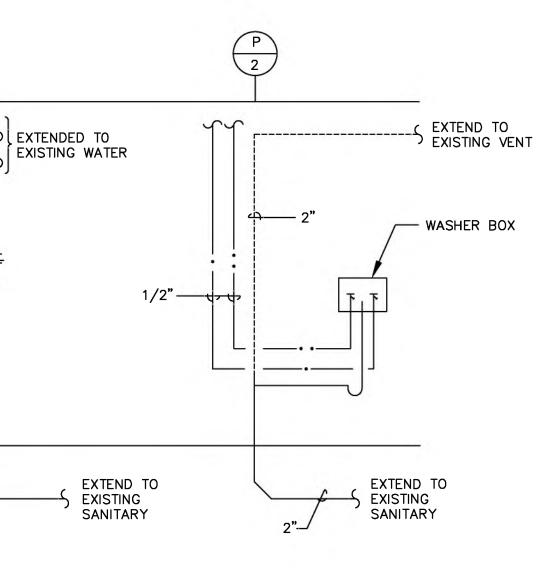
NOTE:

1. SIZE SHALL BE INDICATED ABOVE UNLESS NOTED OTHERWISE ON DRAWINGS. SIZE SHOWN ARE FOR ROUGH-IN/BRANCH SIZES AND CONNECTIONS ONLY.

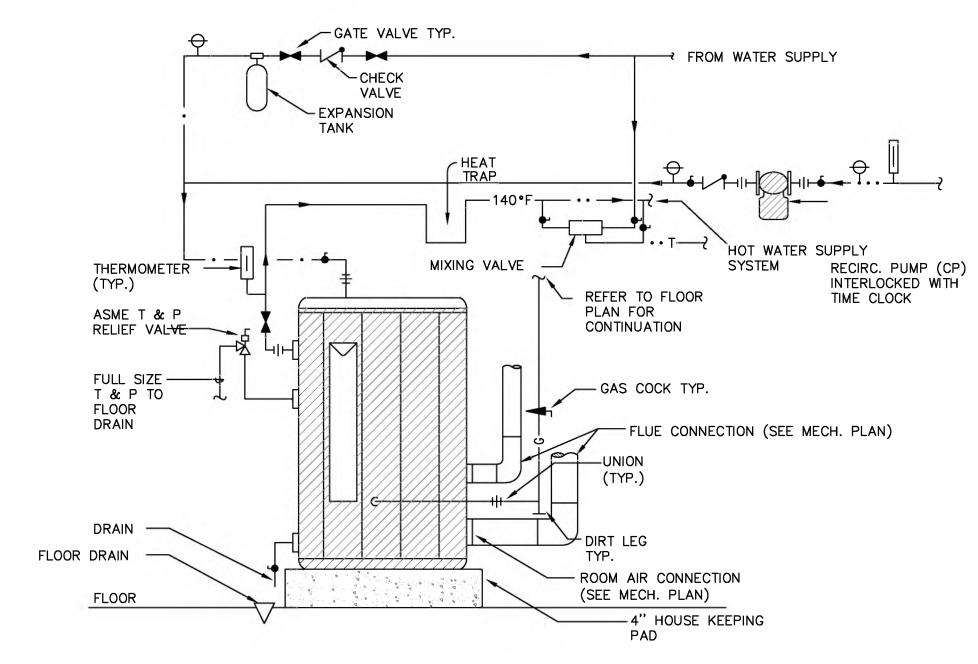
MAIN LINE SIZES ARE INDICATED ON DRAWINGS.

2. PLUMBING CONTRACTOR SHALL MAKE ALL FINAL CONNECTIONS AS REQUIRED FOR COMPLETE INSTALL SYSTEM. COORDINATE WITH GENERAL CONTRACTOR AND OTHER TRADES. 3. REFER TO PLUMBING FIXTURE SCHEDULE FOR MANUFACTURER, MODEL, SIZE, ETC.



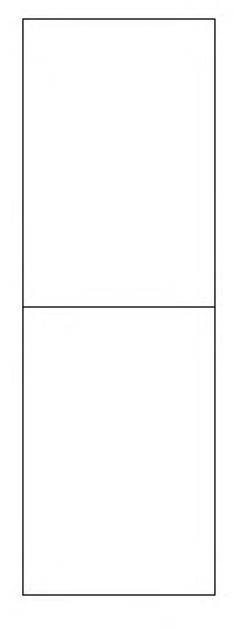


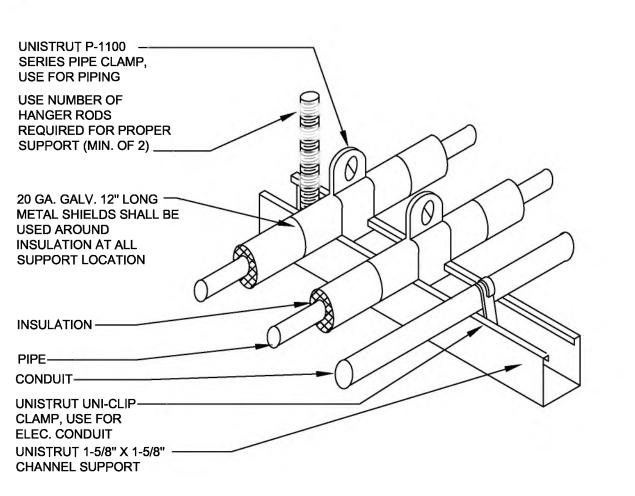






		SCHEDU	PUMP	F	5	05
MODEL No. REMARKS	MFGR. & MODEL No.	MOTOR DATA V / PH / HZ.	PRESS. FT. HD.	GPM	LOCATION	MARK
SSETT HD3	BELL & GOSSETT HD3	115V /10 / 60	20	25	BOILER ROOM	СР
		1137710700	20	23	BOILER ROOM	





<u>NOTES:</u> 1. ALL PIPE CONDUIT, ETC. OF ALL TRADES SHALL BE COMBINED ON SAME SUPPORT CHANNEL WHERE PRACTICAL. 2. SUPPORT CHANNEL LENGTH SHALL NOT BE DETERMINED UNTIL ALL PIPING, CONDUIT, ETC. TO BE SUPPORTED IS COORDINATED. 3. SUPPORT CHANNEL SPACING SHALL BE NO MORE THAN 10'-0".



02 WATER HEATER DETAIL SCALE: NTS

