

# UMPHREY LEE ELEMENTARY SCHOOL

## DALLAS INDEPENDENT SCHOOL DISTRICT

7808 RACINE DRIVE

DALLAS, TEXAS 75232

100% CONSTRUCTION DOCUMENTS  
ISSUED FOR PERMIT  
2020 BOND PROGRAM  
ORG. # 175



Program Manager  
**McKISSACK**  
**McKISSACK**



*Dimensions*  
ARCHITECTS  
8330 LBJ FWY, SUITE 495  
TEL: 214.220.3800  
DALLAS, TEXAS 75243

07/07/2024, 100% CONSTRUCTION DOCUMENTS -  
ISSUED FOR PERMIT AND CONSTRUCTION



*Dimensions*  
ARCHITECTS  
8330 LBJ FWY, SUITE 495  
TEL: 214.220.3800  
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RENOVATIONS TO  
**UMPHREY LEE ELEMENTARY SCHOOL**  
7808 RACINE DR.,  
DALLAS, TEXAS 75232

Date: 07/07/2024  
Revised:  
Project No. 2245  
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Sheet Title:  
COVER/GENERAL  
INFORMATON

Sheet No.  
**G0.00**  
Sheet 1 Of 45



**PROJECT TEAM:**

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 CONTACT: JEFF JAFARZADE, P.E.

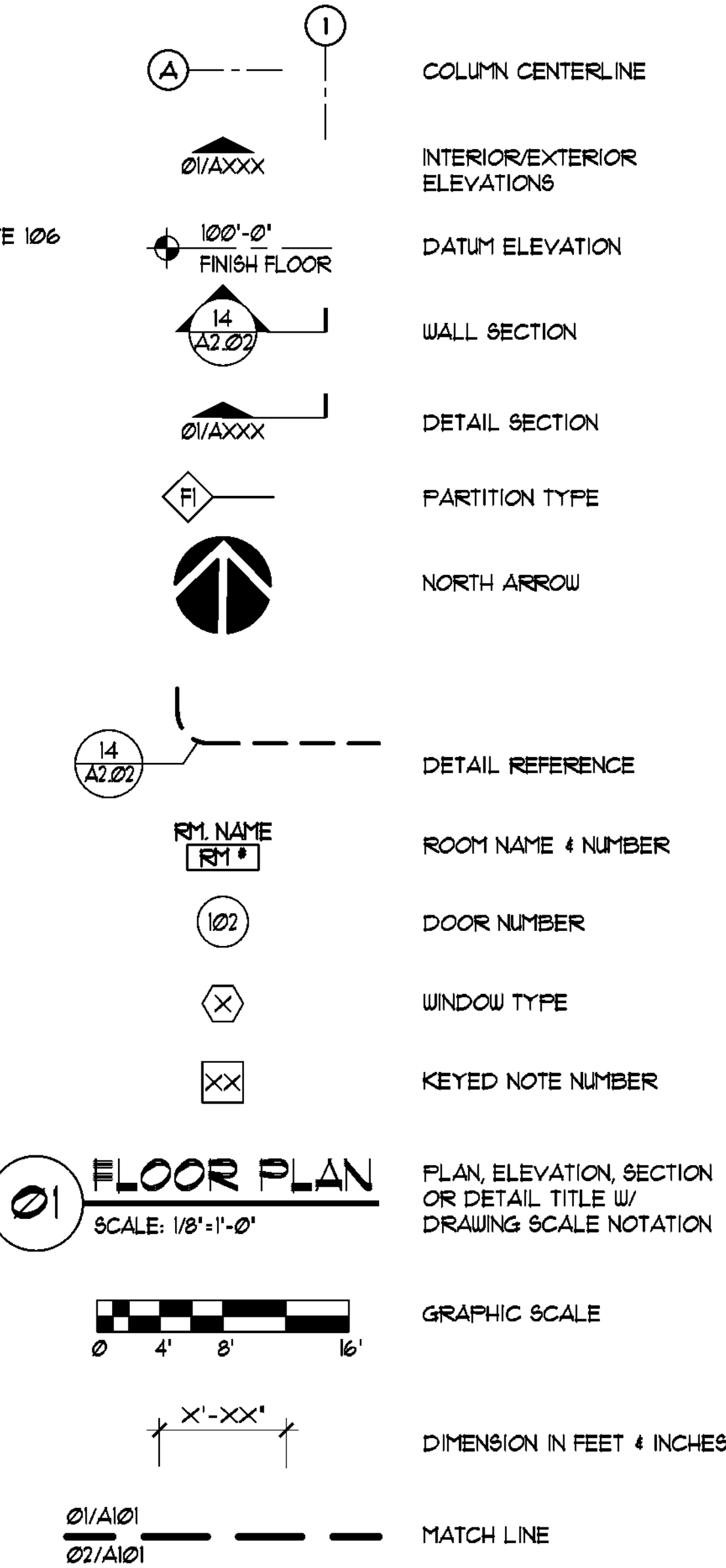
**ARCHITECT:** DIMENSIONS ARCHITECTS  
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 TEL: 214-340-1199  
 FAX: 214-340-8053  
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 1155 MARY DR  
 WEATHERFORD, TEXAS 76085

**SYMBOL LEGEND**



**SCHEDULE OF ABBREVIATIONS**

AFF.	ABOVE FINISHED FLOOR AND
ALUM.	ALUMINUM
BLDG.	BUILDING
C	CENTER LINE
CFM	CUBIC FEET PER MINUTE
CMU	CONCRETE MASONRY UNITS
COL.	COLUMN
CONC.	CONCRETE
CONT.	CONTINUOUS
CYL.	CYLINDER
Ø	DIAMETER
EACH	EACH
ELEV.	ELEVATION
E.S.C.	EXTERIOR SPECIAL COATING
FACE	FACE OF CURB/CONCRETE
F.O.M.	FACE OF MASONRY
FIN.	FINISHED
FLR.	FLOOR
FT.	FEET
FR-5	FIRE-RETARDANT WOOD TREATMENT
F.V.	FIELD VERIFY
G.A.	GAUGE
GALV.	GALVANIZED
GL.	GALVANIZED IRON OR STEEL
GL.	GLUE LAMINATED STRUCTURE MEMBER
GYP. BRD.	GYPSUM BOARD
H.M.	HOLLOW METAL
HT.	HEIGHT
HVAC	HEATING VENTILATING AND AIR CONDITIONING
I.D.	INSIDE DIMENSION
IN.	INCH
LBS.	POUNDS
MAX.	MAXIMUM
MFR.	MANUFACTURER
MIN.	MINIMUM
MISC.	MISCELLANEOUS
M.O.	MOUNTED
MTD.	NOT IN CONTRACT
N.C.	NUMBER
NO.	NOT TO SCALE
NTS	ON CENTER
O.C.	OUTSIDE DIMENSION
O.D.	OPPOSITE
OFF.	ORIENTED STRAND BOARD
O.S.B.	FOUND PER SQUARE FOOT
P.S.F.	FOUND PER SQUARE INCH
P.S.I.	REFER TO REFERENCE FROM REQUIRED
REQ'D	ROUGH OPENING
R.O.	SIMILAR
SIM.	SPECIFICATIONS
SQ.	SQUARE
STL.	STEEL
T & G	TONGUE & GROOVE
T.O.C.	TOP OF CURB/CONCRETE
T.D.	TOP OF DRAIN
TYP.	TYPICAL
W/	WITH
W/P.	WEATHERPROOF
W.W.F.	WELDED WIRE FABRIC

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**ARCHITECTURAL**

- A020 TAS STANDARDS  
 A030 TAS STANDARDS  
 A040 PHASING PLAN  
 A100 OVERALL SITE PLAN- DEMO  
 A110 OVERALL SITE PLAN- NEW  
 A111 ENLARGED SITE PLAN AND DETAILS  
 A112 FACADE REPAIRS FOR COURTYARD  
 A113 FACADE REPAIRS AT THE EXTERIOR PARAMETER  
 A120 EXITING PLAN-FIRST FLOOR  
 A121 EXITING PLAN-SECOND FLOOR  
 A200 OVERALL FIRST FLOOR-DEMO PLAN  
 A210 PARTIAL FIRST FLOOR-DEMO-AREA 'A'  
 A211 PARTIAL FIRST FLOOR-DEMO-AREA 'B'  
 A212 PARTIAL FIRST FLOOR-DEMO-AREA 'C'  
 A220 OVERALL FIRST FLOOR PLAN- NEW  
 A221 PARTIAL FIRST FLOOR-NEW-AREA 'A'  
 A222 PARTIAL FIRST FLOOR-NEW-AREA 'B'  
 A223 PARTIAL FIRST FLOOR-NEW-AREA 'C'  
 A224 PARTIAL ANNOTATED FIRST FLOOR PLAN  
 A225 PARTIAL DIMENSIONS FIRST FLOOR PLAN  
 A230 SECOND FLOOR PLAN- NEW  
 A240 FIRST FLOOR RCP- DEMO  
 A241 FIRST FLOOR RCP- NEW  
 A242 PARTIAL FIRST FLOOR-RCP- DEMO  
 A243 SECOND FLOOR RCP- NEW  
 A244 SECOND FLOOR RCP- NEW  
 A250 ROOF PLAN  
 A251 PARTIAL ROOF PLAN  
 A260 FIRST FLOOR FINISH PLAN - DEMO  
 A261 FIRST FLOOR FINISH PLAN - DEMO  
 A262 FIRST FLOOR FINISH PLAN - NEW  
 A263 SECOND FLOOR FINISH PLAN-NEW  
 A400 EXTERIOR ELEVATIONS-DEMO  
 A410 ENLARGED EXTERIOR ELEVATIONS- DEMO  
 A500 EXTERIOR ELEVATIONS- NEW  
 A510 ENLARGED EXTERIOR ELEVATIONS- NEW  
 A511 BUILDING & WALL SECTIONS- NEW  
 A520 DOOR AND FINISH SCHEDULE  
 A510 STOREFRONT TYPES  
 A120 DETAILS  
 A800 ENLARGED FLOOR PLAN & INT. ELEVATIONS  
 A810 ENLARGED FLOOR PLAN & INT. ELEVATIONS

**MECHANICAL**

- DM-1 FIRST FLOOR PLAN - HVAC DEMO  
 M-1 FIRST FLOOR PLAN - HVAC  
 M-2 ROOF PLAN - HVAC  
 M-3 SCHEDULES - DETAILS  
 M-4 SCHEDULES - DETAILS

**ELECTRICAL**

- SE-1 SITE PLAN - ELECTRICAL  
 DE-1 FIRST FLOOR PLAN - ELECTRICAL DEMO  
 DE-2 SECOND FLOOR PLAN - ELECTRICAL DEMO  
 DE-3 ROOF PLAN - ELECTRICAL DEMO  
 E-1 FIRST FLOOR PLAN - ELECTRICAL  
 E-2 FIRST FLOOR PLAN - LIGHTING  
 E-3 SECOND FLOOR PLAN - ELECTRICAL  
 E-4 ROOF PLAN - ELECTRICAL  
 E-5 SCHEDULES- DETAILS

**TECHNOLOGY**

- T-1 FIRST FLOOR PLAN - TECHNOLOGY  
 T-2 SECOND FLOOR PLAN - TECHNOLOGY

**PLUMBING**

- DP-1 FIRST FLOOR PLAN - PLUMBING DEMO  
 DP-2 SECOND FLOOR PLAN - PLUMBING DEMO  
 DP-3 ROOF PLAN - PLUMBING DEMO  
 P-1 FIRST FLOOR PLAN - PLUMBING  
 P-2 SECOND FLOOR PLAN - PLUMBING  
 P-3 DETAILS- PLUMBING

**PROJECT SCOPE**

NEW FRONT ENTRY CANOPY WITH SECURED VESTIBULE, LEADING INTO CONVERTED NEW ADMINISTRATION AREA. REMODEL OF INTERIOR SPACES CONSISTING OF NEW FLOORING, PAINT, CEILING, LIGHTING AND TEACHING SURFACES. SCHOOL WIDE WILL ALSO GET SECURITY UPGRADES TO INCLUDE CAMERAS, CARD READERS AND ACCESS CARD READERS. REPLACE EXTERIOR LIGHTING & CLEANING ALL EXTERIOR WALL SURFACE. NEW FIRE ALARM EXTERIOR LIGHTING. NEW GREASE WASTE PIPING AT CAFETERIA IS ALSO IN SCOPE. THE EXTERIOR GETS CLEANING OF WALLS AND A NEW LED READER MARQUEE SIGN.

**PROJECT DATA**

**PROJECT ADDRESS**  
 7808 RACINE DR, DALLAS TX 75232.

**SQUARE FOOTAGE**  
 EXIST. GROSS FLOOR AREA FIRST LEVEL = 54,303 SQ. FT.  
 EXIST. GROSS FLOOR AREA SECOND LEVEL = 15,073 SQ. FT.  
 TOTAL EXIST. GROSS FLOOR AREA = 69,376 SQ. FT.  
 NEW PORCH COVERED AREA = 716 SQ. FT.

**ZONING**  
 R-75(A)-SUP 15-40

**BUILDING TYPE**  
 MAIN OCCUPANCY: EDUCATIONAL  
 ACCESSORY OCCUPANCIES: ASSEMBLY AND BUSINESS  
 CONSTRUCTION TYPE: II B SPRINKLED

**CODE DATA**

- I. GENERAL SITE AND PROJECT INFORMATION**  
 A. THE EXISTING SCHOOL AND PORTION OF THE SITE SURROUNDING IT IS BEING RENOVATED.  
 B. THESE CONSTRUCTION DOCUMENTS INDICATE FOR ACCESSIBILITY TO BE MAINTAINED BY THE SCHOOL FROM THE PUBLIC WAY INTO, AND THROUGHOUT, THE BUILDING TO THE SPACE.
- II. GOVERNING CODES**  
**BUILDING:** 2021 IBC (EXISTING BUILDING) WITH DALLAS AMENDMENTS  
**MECHANICAL:** 2021 IMC WITH DALLAS AMENDMENTS  
**ELECTRICAL:** 2021 NEC WITH DALLAS AMENDMENTS  
**PLUMBING:** 2021 IPC WITH DALLAS AMENDMENTS  
**FIRE CODE:** 2021 IFC WITH DALLAS AMENDMENTS  
**LIFE SAFETY:** 2021 CURRENT NFPA LIFE SAFETY  
**ACCESSIBILITY:** 2012 TEXAS ACCESSIBILITY STANDARDS  
**ENERGY:** 2021 IECC INTERNATIONAL ENERGY CONSERVATION CODE

- III. USE AND OCCUPANCY CLASSIFICATION**  
 A. SEC. 2031- THIS PROJECT IS AN EDUCATIONAL SPACE CLASSIFIED AS ASSEMBLY USE GROUP E

- IV. TYPE OF CONSTRUCTION**  
 A. TAB. 601- CONSTRUCTION TYPE II-B SPRINKLED REQUIRES NO FIRE RESISTANCE RATINGS FOR STRUCTURAL FRAMING, BEARING WALLS, FLOOR CONSTRUCTION, OR FOR ROOF CONSTRUCTION.

- V. INTERIOR FINISHES**  
 A. TAB. 803.5- INTERIOR WALL AND CEILING FINISHES FOR OCCUPANCY GROUP E SPRINKLED, ARE CLASS B FOR EXIT ENCLOSURES AND EXIT PASSAGEWAYS, CLASS C FOR EXIT ACCESS CORRIDORS AND OTHER EXITWAYS, AND CLASS C FOR ROOMS AND ENCLOSED SPACES.

- VI. MEANS OF EGRESS**  
 NO ADDITIONS OR CHANGES IN OCCUPANCY ASSOCIATED WITH THIS PROJECT. ALL MEANS OF EGRESS TO REMAIN IN PLACE AND NO CHANGES TO EXISTING EGRESS PLAN PROPOSED.

- VII. DOOR REQUIREMENTS**  
 A. SEC. 1020.12- EGRESS DOORS SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL. OPENING FORCE FOR INTERIOR SIDE SWINGING DOORS WITHOUT CLOSERS SHALL NOT EXCEED A 5 LB. FORCE. FOR OTHER DOORS THE LATCH SHALL RELEASE WHEN SUBJECTED TO A 15 LB. FORCE. THE DOOR SHALL BE SET IN MOTION WHEN SUBJECTED TO A 30 LB. FORCE AND SHALL SWING TO A FULL OPEN POSITION WHEN SUBJECTED TO A 15 LB. FORCE. ALL FORCES SHALL BE APPLIED TO LATCH SIDE.  
 B. SEC. 1020.18.3- EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. LOCKS AND LATCHES SHALL BE PERMITTED TO PREVENT OPERATION OF DOORS WHERE ANY OF THE FOLLOWING EXISTS:  
 1. PLACES OF DETENTION OR RESTRAINT  
 2. WHERE EGRESS DOORS ARE USED IN PAIRS, APPROVED AUTOMATIC FLUSH BOLTS SHALL BE PERMITTED TO BE USED, PROVIDED THAT THE DOOR LEAF HAVING THE AUTOMATIC FLUSH BOLTS HAS NO DOORKNOB OR SURFACE-MOUNTED HARDWARE.

- VIII. EXIT QUANTITIES AND LOCATIONS**  
 A. VALUES ARE FROM SEC. 1004.1, TAB. 101.1, TAB. 101.2, AND ACTUAL PLAN LAYOUT CONTAINED IN THESE CONSTRUCTION DOCUMENTS. MINIMUM OF 2 EXITS REQUIRED FOR 1-500 OCCUPANTS, 3 PROVIDED.  
 B. SEC. 1013.2- EGRESS FROM A ROOM OR SPACE SHALL NOT PASS THROUGH ADJOINING OR INTERVENING ROOMS OR AREAS, EXCEPT WHERE SUCH ADJOINING ROOMS OR AREAS ARE ACCESSORY TO THE AREA SERVED, ARE NOT A HIGH-HAZARD OCCUPANCY, AND PROVIDE A DISCERNIBLE PATH OF EGRESS TRAVEL TO AN EXIT. EGRESS SHALL NOT PASS THROUGH STORE ROOMS, OR SPACES USED FOR A SIMILAR PURPOSE. EXCEPTION: UP TO ONE HALF THE REQUIRED EXIT ACCESS MAY PASS THROUGH THE WORK ROOM WHEN A 44" WIDE DEMARCATED AISLE WITH PARTIAL HEIGHT FIXED WALLS SEPARATES THE AISLE FROM THE WORKROOM. THIS IS ALLOWABLE DUE TO HAZARD CLASSIFICATION EQUAL TO OR LESSER THAN THE SALES AREA, AND USE OF NON-LOCKING WORKROOM DOOR HARDWARE.  
 C. TAB. 1015.1- MAXIMUM EXIT ACCESS TRAVEL DISTANCE, MEASURED ALONG THE EXIT PATH, SHALL NOT EXCEED 200 FEET FOR UNSPRINKLERED BUILDINGS OF OCCUPANCY GROUP A. TRAVEL DISTANCES MAY NOT EXCEED 750 FEET WHEN THE BUILDING IS SPRINKLERED.

- IX. ACCESS COMPONENTS**  
 A. SEC. 1013.42- EGRESS FROM A ROOM OR SPACE SHALL NOT PASS THROUGH ADJOINING OR INTERVENING ROOMS OR AREAS, EXCEPT WHERE SUCH ADJOINING ROOMS OR AREAS ARE ACCESSORY TO THE AREAS SERVED, ARE NOT A HIGH-HAZARD OCCUPANCY AND PROVIDE A DISCERNIBLE PATH OF EGRESS TRAVEL TO AN EXIT. EGRESS SHALL NOT PASS THROUGH KITCHENS, STORAGE ROOMS, CLOSETS OR SPACES USED FOR SIMILAR PURPOSES. AN EXIT ACCESS SHALL NOT PASS THROUGH A ROOM THAT CAN BE LOCKED TO PREVENT EGRESS.

- X. ACCESSIBILITY**  
 A. SEC. 1109.2- TOILET ROOMS ARE REQUIRED TO BE ACCESSIBLE.  
 B. SEC. 1109.3- WHERE SINKS ARE PROVIDED, AT LEAST 5%, BUT NOT LESS THAN ONE, PROVIDED IN ACCESSIBLE SPACES SHALL COMPLY WITH ICC A117.1 MOP AND SERVICE SINKS ARE NOT REQUIRED TO BE ACCESSIBLE.  
 C. SEC. 1109.5- AT LEAST 50 PERCENT OF PROVIDED DRINKING FOUNTAINS SHALL BE ACCESSIBLE.  
 D. SEC. 1109.8.2- SELF-SERVICE SHELVES AND DISPLAY UNITS SHALL BE LOCATED ON AN ACCESSIBLE ROUTE. SUCH SHELVING AND SHELVING UNITS SHALL NOT BE REQUIRED TO COMPLY WITH REACH-RANGE PROVISIONS.  
 E. SEC. 1109.11- WHERE SEATING OR STANDING SPACE AT FIXED OR BUILT-IN TABLES, COUNTERS OR WORK SURFACES IS PROVIDED IN ACCESSIBLE SPACES, AT LEAST 5% OF THE SEATING AND STANDING SPACES, BUT NOT LESS THAN ONE, SHALL BE ACCESSIBLE.  
 F. SEC. 1109.13- CONTROLS OPERATING MECHANISMS AND HARDWARE INTENDED FOR OPERATION BY THE OCCUPANT, INCLUDING SWITCHES THAT CONTROL LIGHTING AND VENTILATION, AND ELECTRICAL CONVENIENCE OUTLETS, IN ACCESSIBLE SPACES, ALONG ACCESSIBLE ROUTES OR AS PARTS OF ACCESSIBLE ELEMENTS SHALL BE ACCESSIBLE.

- XI. MINIMUM PLUMBING FACILITIES**  
 A. SEC. 2302.2- WHERE PLUMBING FIXTURES ARE REQUIRED, SEPERATE FACILITIES SHALL BE PROVIDED FOR EACH SEX.  
 B. TAB. 2302.1- GROUP E OCCUPANCIES REQUIRE 1 WATER CLOSET PER EACH 50 PERSONS, 1 LAVATORY PER EACH 50 PERSONS, 1 DRINKING FOUNTAIN PER EACH 100 PERSONS, AND 1 SERVICE SINK.  
 C. SEC. 2302.6.3- A LEGIBLE SIGN DESIGNATING THE SEX SHALL BE PROVIDED IN A READILY VISIBLE LOCATION NEAR THE ENTRANCE TO EACH TOILET FACILITY. SIGNS FOR ACCESSIBLE TOILET FACILITIES SHALL COMPLY WITH ICC A117

CONTRACTOR SHALL PROVIDE MOVING OF ALL FURNITURE/EQUIPMENT AS REQUIRED TO PERFORM THE WORK.

ASBESTOS ABATEMENT (IF ANY, REFER TO ASBESTOS REPORT)

**PROJECT GENERAL NOTES:**

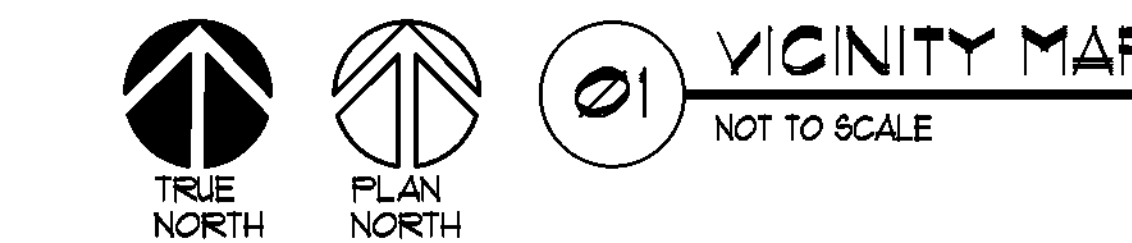
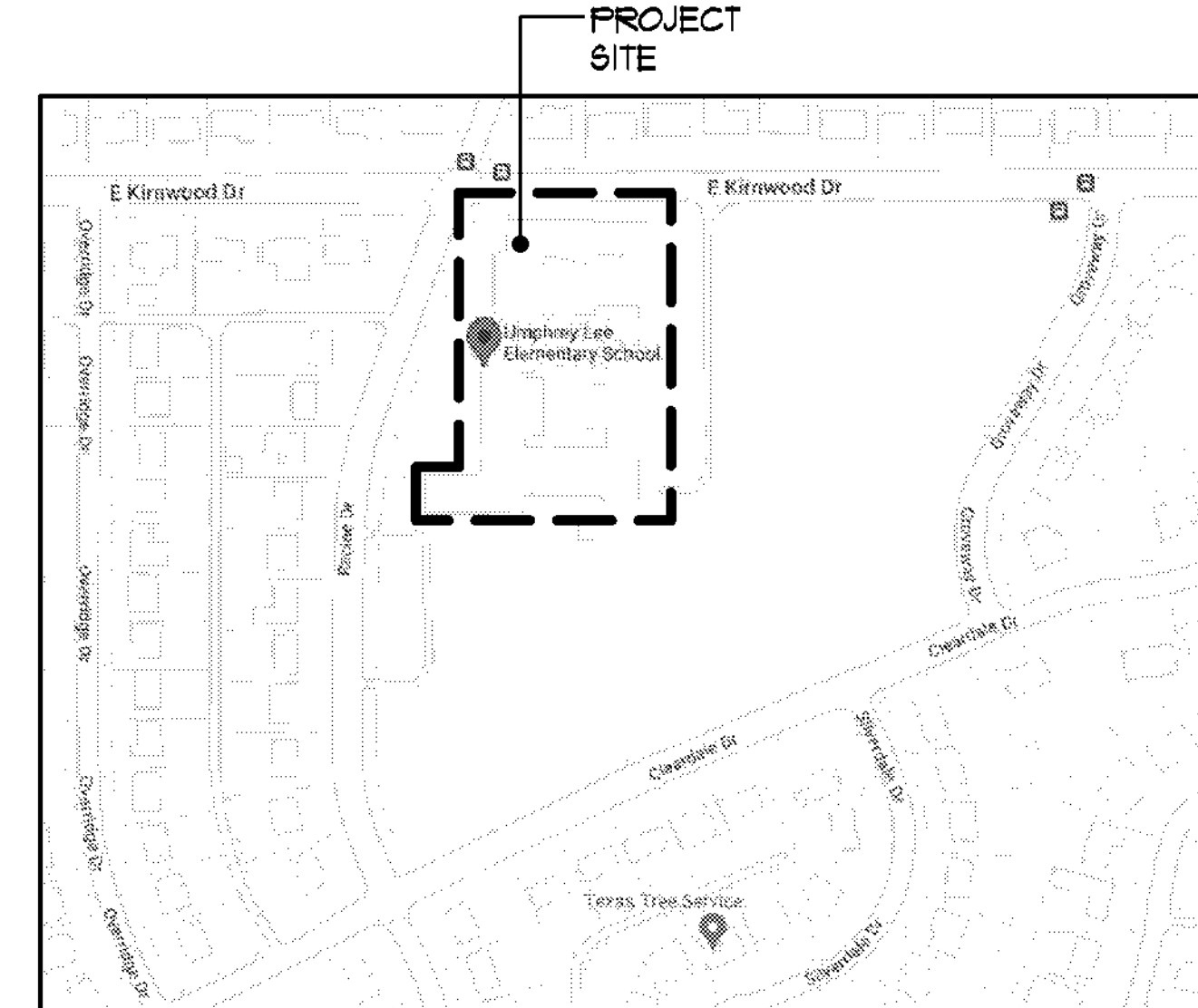
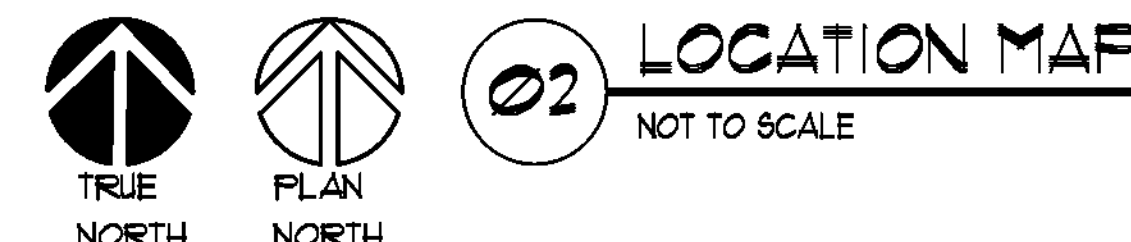
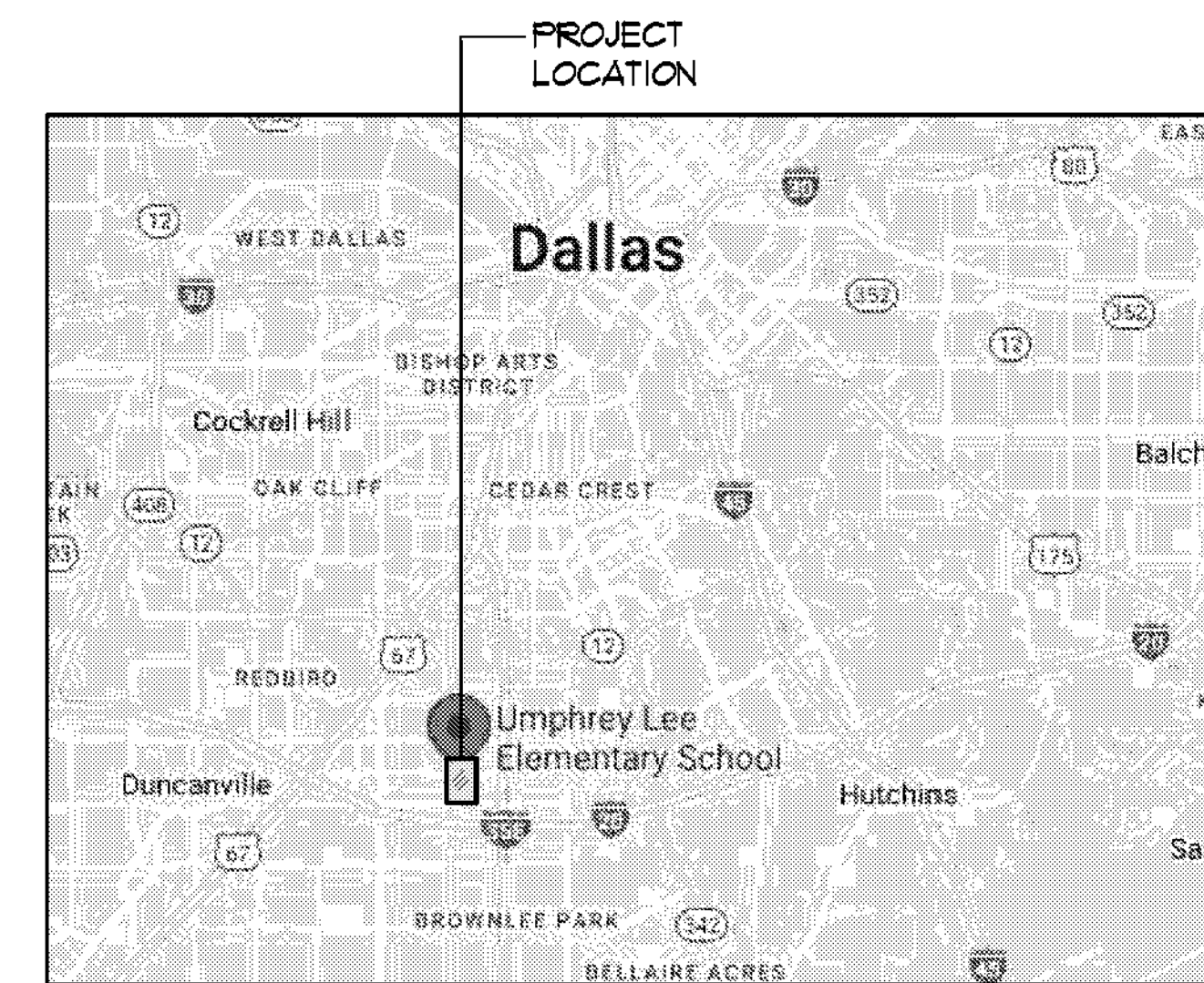
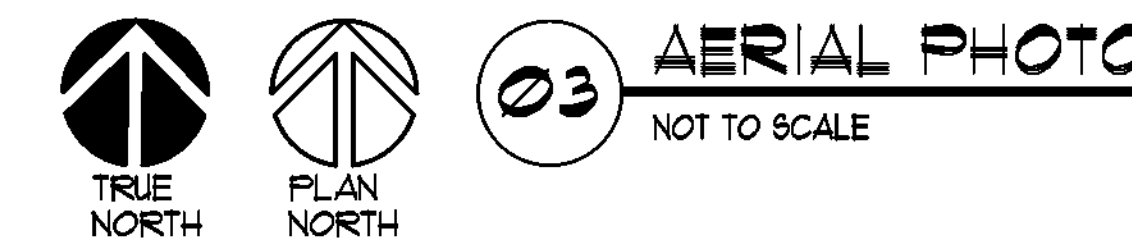
- PROJECT GENERAL NOTES PROVIDE INFORMATION CONCERNING THE WORK OF THE ENTIRE PROJECT AND ARE NOT LIMITED TO ANY INDIVIDUAL DRAWING OR SHEET.
- MAKE THE NECESSARY ARRANGEMENTS WITH THE OWNER TO VISIT THE SITE PRIOR TO SUBMITTING PROPOSAL. EXAMINE THE EXISTING SITE AND CONSTRUCTION FIELD. VERIFY ALL CONDITIONS. SUBMISSION OF A PROPOSAL SHALL BE TAKEN AS EVIDENCE THAT THE CONTRACTOR HAS PHYSICALLY INSPECTED THE SITE AND MADE HIM OR HERSELF FAMILIAR WITH AND UNDERSTANDS THE REQUIRED SCOPE OF WORK.
  - ACTUAL FIELD CONDITIONS FOUND TO BE AT VARIANCE WITH THE INTENT OF THE CONSTRUCTION DOCUMENTS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR HIS CONSIDERATE BEING PROCEEDING WITH THE WORK.
  - ALL DIMENSIONS ARE NOMINAL AND REQUIRE FIELD VERIFICATION AND COORDINATION DIMENSIONS ARE TO FACE OF CONCRETE, FACE OF GYPSUM BOARD OR FACE OF CMU, UNLESS NOTED OTHERWISE, DO NOT SCALE DRAWINGS.
  - LOCATE EXISTING UTILITIES PRIOR TO CONSTRUCTION AND COORDINATE ALL WORK WITH RESPECTIVE UTILITY OWNERS.
  - GENERAL DATA SHOWN ON ONE PART OF THE DRAWINGS SHALL APPLY TO ALL SIMILAR CONDITIONS.
  - ALL FINISHES & TEXTURES NOT SPECIFIED ON PLANS, SHOULD BE ASKED TO ARCHITECT PRIOR TO APPLICATION OR ORDERING OF MATERIALS.
  - REFER TO PROJECT SPECIFICATIONS (FRONT ENDS SPECS) FOR DALLAS ISD SAFETY REQUIREMENTS. CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION MUST COMPLY WITH ALL GOVERNING REGULATIONS CONCERNING SAFETY AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
  - REPORT ALL DISCREPANCIES TO THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
  - ALL TEMPORARY UTILITIES SHALL BE PAID BY THE CONTRACTOR.
  - THE BUILDING PERMIT AND INSPECTIONS IF REQUIRED FOR THIS PROJECT SHALL BE OBTAINED AND PAID BY THE GENERAL CONTRACTOR, EXCLUDING SPECIAL INSPECTIONS.
  - THE CONTRACTOR WILL COORDINATE THE PHASING OF THE WORK WITH THE ARCHITECT AND THE OWNER PRIOR TO BEGINNING THE WORK.
  - CONTRACTOR SHALL PATCH AND REPAIR AREAS AFFECTED BY THE WORK AND SHALL FINISH AREA TO MATCH EXISTING.
  - CONTRACTOR SHALL RELOCATE ANY ELECTRICAL OUTLETS/CONDUITS/ DEVICES ON WALLS OR CEILING (BELOW OR ABOVE) THAT MAY INTERFERE WITH NEW CONSTRUCTION WORK.
  - CONTRACTOR SHALL PATCH AND REPAIR ANY SURFACE THAT IS DAMAGED AFTER REPLACING / INSTALLING ANY FIRE ALARM, FA AND/OR SECURITY SYSTEM DEVICES.
  - CONTRACTOR SHALL SCHEDULE A MAXIMUM OF 3 CLASSROOMS AS SWING SPACE FOR RENOVATION WORK.

**DEMOLITION GENERAL NOTES:**

- DISCONNECT UTILITIES PRIOR TO ANY DEMOLITION OR EXCAVATION. PRIOR TO SHUTTING DOWN OR DISCONNECTING ANY UTILITIES CONFIRM DALLAS ISD REQUIREMENTS ARE BEING FOLLOWED AND APPLIED. COORDINATE WITH REGULATING AUTHORITIES AND APPROPRIATE UTILITY COMPANIES ONLY IF REQ'D.
- ANY DEMOLITION AND REMOVAL OF EXISTING CONSTRUCTION AND EQUIPMENT SHOULD BE COORDINATED WITH PHASING PLAN.
- COORDINATE DEMOLITION OF EXISTING CONSTRUCTION WITH MECHANICAL, PLUMBING, ELECTRICAL AND CIVIL DEMOLITION PLANS. IF THERE ARE ANY DISCREPANCIES CONTACT THE ARCHITECT IMMEDIATELY.
- PROVIDE AND MAINTAIN TEMPORARY PROTECTION OF EXISTING STRUCTURE. PERFORM DEMOLITION REQUIRED WITH CARE AND SAFETY OF PERSONNEL, PUBLIC AND PROPERTY. PROVIDE ADEQUATE SHORING, BRACING AND SUPPORT OF EXISTING AND NEW CONSTRUCTION AT ALL TIMES.
- CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF ALL PRECAUTIONS, SUCH AS EXPLOSIONS OR PROBES NECESSARY BEFORE DEMOLITION.
- KEEP CONSTRUCTION SITE FREE OF ACCUMULATION OF DEBRIS AND RUBBISH. THERE WILL BE NO STOCK PILING OF MATERIALS. CONTRACTOR SHALL COORDINATE AND RECEIVE PRIOR APPROVAL FOR STAGING AREA FROM DALLAS ISD.
- THE USE OF EXPLOSIVES WILL NOT BE PERMITTED AT ANY TIME.
- THE SALE OF ITEMS ON THE SITE WILL NOT BE PERMITTED.
- EXCAVATION SHOULD BE DONE ACCORDING TO STRUCTURAL AND CIVIL DRAWINGS, NOTES AND SPECIFICATIONS.
- NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY FOR CLARIFICATION, BEFORE CONTINUING WORK.
- INTENT OF DEMOLITION IS TO PREPARE EXISTING BUILDING FOR NEW IMPROVEMENTS. CONTRACTOR SHOULD EXECUTE ALL DEMOLITION WITH CARE. ANY AREAS DAMAGED AND NOT SCHEDULED TO BE DEMOLISHED WILL BE REPAIRED WITH NO ADDITIONAL COST TO THE OWNER.
- COORDINATE WITH SCHOOL STAFF FOR TEMPORARY REMOVAL AND REINSTALLATION OF ANY WALL MOUNTED OR CEILING MOUNTED EQUIPMENT/GRAPHICS/DISPLAY BOARDS, ETC. DURING DEMOLITION.
- GC SHALL COORDINATE WITH DISD IT CONSULTANT FOR ANY DEMOLITION/REMOVAL OF EXISTING IT CABLES/WIRES/EQUIPMENT.

**SPRINKLER SYSTEM NOTES:**

- MODIFY EXISTING SPRINKLER SYSTEM AS REQUIRED BY NEW CONSTRUCTION WORK. FULL COMPLIANCE WITH LOCAL FIRE CODE.



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RENOVATIONS TO  
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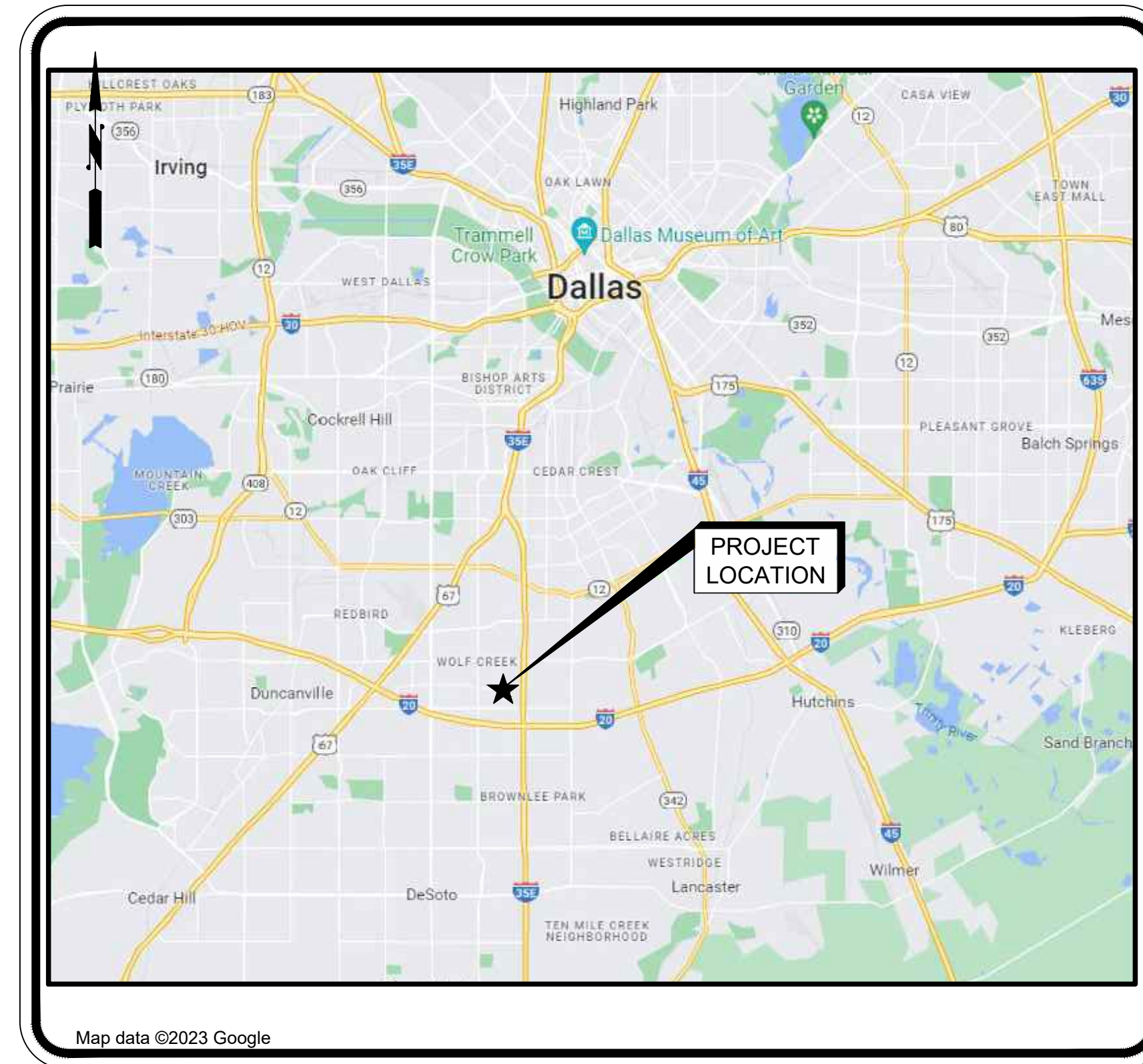


# PLANS FOR CONSTRUCTION OF PAVEMENT AND GRADING IMPROVMENTS TO SERVE UMPHREY LEE ELEMENTARY SCHOOL 7808 RACINE DR. DALLAS, TX 75232

JUNE 2023



VICINITY MAP  
SCALE: N.T.S.



LOCATION MAP  
SCALE: N.T.S.  
ZIP CODE 75232

SHEET INDEX	
SHEET NO	SHEET TITLE
C01.01	COVER SHEET
C03.01	GENERAL NOTES
C04.01	DEMOLITION PLAN
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C06.50	PAVING DETAILS
C07.01	GRADING PLAN
C11.01	EROSION CONTROL PLAN
C11.50	EROSION CONTROL DETAILS

**OWNER**  
DALLAS INDEPENDENT SCHOOL DISTRICT  
9400 N. CENTRAL EXPRESSWAY  
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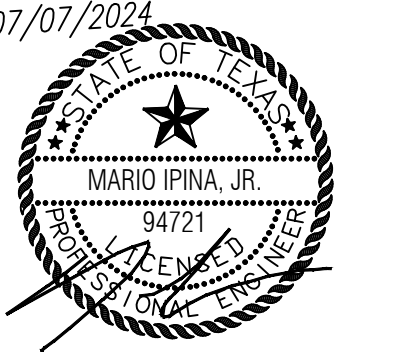
**ENGINEER**  
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PROJECT NUMBER: DIMEN2229-100

07/07/2024 100% CONSTRUCTION DOCUMENTS ISSUED FOR PERMIT AND CONSTRUCTION



**Dimensions ARCHITECTS**  
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RENOVATIONS TO  
**UMPHREY LEE ELEMENTARY SCHOOL**  
7808 RACINE DR., DALLAS, TEXAS 75232

Date: 07/07/2024  
Revised:  
Project No. 2245  
File Name:  
Sheet Title: COVER SHEET

Sheet No.  
**C01.01**  
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GENERAL NOTES

- 1. CONTRACTOR IS RESPONSIBLE FOR, AND MUST OBTAIN PRIOR TO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION PERMITS REQUIRED BY THE CITY OF DALLAS.
2. ALL MATERIALS AND WORKMANSHIP FOR CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR NORTH CENTRAL TEXAS, LATEST EDITION, THE CITY OF DALLAS REQUIREMENTS AND THE DALLAS INDEPENDENT SCHOOL DISTRICT TECHNICAL DESIGN GUIDELINES.
3. THE CONTRACTOR SHALL ABIDE BY ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS GOVERNING EXCAVATION...
4. EXISTING UTILITY LOCATIONS SHOWN ARE TAKEN FROM AVAILABLE RECORDS PROVIDED BY THE UTILITY OWNER AND FIELD LOCATIONS OF SURFACE APPURTENANCES...
5. CONTRACTOR SHALL LOCATE AND ADJUST EXISTING UTILITY MANHOLE LIDS, CLEANOUTS, WATER VALVES AND OTHER SURFACE APPURTENANCES AS REQUIRED FOR THE CONSTRUCTION...
6. THE CONTRACTOR SHALL PROTECT EXISTING PROPERTY MONUMENTATION AND PRIMARY CONTROL...
7. BARRICADING AND TRAFFIC CONTROL DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR...
8. ONSITE PLANIMETRIC AND TOPOGRAPHIC MAPPING TAKEN FROM DATA PROVIDED BY GONZALEZ & SCHNEEBERG DATED FEBRUARY 2010...
9. ANY DAMAGES THAT MAY OCCUR TO REAL PROPERTY OR EXISTING IMPROVEMENTS SHALL BE RESTORED BY THE CONTRACTOR...
10. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO: A. PREVENT ANY DAMAGE TO PRIVATE PROPERTY AND PROPERTY OWNER'S POLES, FENCES, SHRUBS, ETC.
11. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AT ALL TIME DURING CONSTRUCTION...
12. CONTRACTOR SHALL MAINTAIN EXISTING SANITARY SEWER AND WATER SERVICE AT ALL TIMES DURING CONSTRUCTION...
13. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH UTILITY COMPANIES AND ADJUSTMENT OF EXISTING SANITARY SEWER CLEANOUTS, WATER METERS AND ANY OTHER APPURTENANCES TO NEW GRADE AS REQUIRED...
14. PAVEMENT REMOVAL AND REPAIR SHALL CONFORM TO THE CITY OF DALLAS REQUIREMENTS...
15. NO TRAFFIC LANE OR SIDEWALK ALONG ANY PUBLIC STREET OR ALLEY IS TO BE CLOSED WITHOUT FIRST OBTAINING THE APPROPRIATE PERMIT(S) FROM THE FOLLOWING TRAFFIC SAFETY COORDINATORS:
A. MR. GARY HUGHES (NW DALLAS) - 469-559-4538
B. MS. BETH ADAMS (NE DALLAS) - 214-304-8522
C. MR. ROWDY HORN (SOUTH DALLAS) - 214-670-1380
CLOSURE OF ANY TRAFFIC LANE MUST BE RESTRICTED TO THE HOURS OF 9:00 A.M. TO 3:30 P.M. WORKDAYS.

DEMOLITION NOTES

- 1. FOR ADDITIONAL EXTENTS OF DEMOLITION, REFER TO GRADING, STORM DRAINAGE, PAVING AND DIMENSION CONTROL, WATER AND SANITARY SEWER PLANS.
2. INFORMATION PROVIDED ON THIS PLAN DOES NOT DELINEATE ANY UNDERGROUND FOUNDATIONS OR OBJECTS THAT CURRENTLY MAY BE COVERED.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER REMOVAL AND DISPOSAL OF MATERIALS AS REQUIRED BY THE OWNER OR OWNER'S REPRESENTATIVE.

PAVING NOTES

- 1. CONTRACTOR'S WORK SHALL INCLUDE PAVEMENT REMOVAL AND DISPOSAL, REQUIRED FOR NEW WALK, DRIVE, CURB, GUTTER AND OTHER PAVING FEATURES. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION, INSPECTION AND TESTING REQUIRED BY THE OWNER AND/OR THE CITY OF DALLAS.
2. ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF BUILDING AND ARE PERPENDICULAR TO PROPERTY LINE. THESE DIMENSIONS ARE PROVIDED TO THE THE ARCHITECT'S SITE PLAN TO THE PROPERTY LINES.
3. CONTRACTOR'S WORK SHALL INCLUDE PAVEMENT REMOVAL AND DISPOSAL, REQUIRED FOR NEW WALK, DRIVE, CURB, GUTTER AND OTHER GRADING FEATURES. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION, INSPECTION AND TESTING REQUIRED BY THE OWNER AND/OR THE CITY OF DALLAS.

SIDEWALK, BARRIER FREE RAMPS AND CURB AND GUTTER NOTES

- 1. CLASS TEST STRENGTH FOR SIDEWALK IS 3,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS AFTER PLACEMENT.
2. CLASS TEST STRENGTH FOR PUBLIC CURB AND GUTTER IS 4,500 PSI COMPRESSIVE STRENGTH AT 28 DAYS AFTER PLACEMENT.
3. STANDARD SUBGRADE COMPACTION FOR SIDEWALKS IS MINIMUM 95% OF STANDARD PROCTOR DENSITY WITHIN MINUS 2% TO PLUS 4% OF OPTIMUM MOISTURE CONTENT.
4. SIDEWALKS REQUIRE MINIMUM #3 BARS SPACED ON 24" CENTERS.
5. ALL CURBS WITHIN CITY RIGHT-OF-WAY MUST BE REINFORCED WITH #4 BARS.
6. CURB AND GUTTER MUST BE DESIGNED AND CONSTRUCTED TO PROVIDE POSITIVE DRAINAGE.
7. SEPARATE CONCRETE CURB & GUTTER SHALL BE MARKED 3/8" DEEP WITH AN APPROVED TOOL (SAW CUT) IN 15 FOOT SECTIONS. INSTALL #4 'L-SHAPED' REBAR DOWELS (12" INTO EXISTING PAVEMENT), EVERY 18", EPOXIED IN.
8. 1" REDWOOD EXPANSION JOINTS ARE REQUIRED AT ALL ABRUPT CHANGES IN ALIGNMENT OR WIDTH, RADI POINTS, OR EVERY 80 FEET, BEGINNING AT THE CURB RETURN.
9. IF SIDEWALK IS LOCATED AT THE BACK-OF-CURB, REDWOOD JOINTS SHOULD MATCH WITH EXISTING REDWOOD JOINTS IN THE STREET.
10. AT ALL EXPANSION JOINTS, 24" LONG, #6 (3/4") SMOOTH DOWEL IS REQUIRED EVERY 24" ON CENTER.
11. 1" FOOTINGS ARE REQUIRED AT ALL EXPANSION JOINTS AND THE PAVEMENT DEPTH TRANSITIONS FROM 4" TO 5" THICK, OVER THE LENGTH OF PAVEMENT.
12. 8" FOOTING IS REQUIRED FOR SIDEWALKS LOCATED AT BACK-OF-CURB, WITH A 6" DOWEL.
13. SIDEWALK MUST BE MINIMUM 5' WIDE IF LOCATED AT BACK-OF-CURB.

TRAFFIC CONTROL PLAN NOTES

- 1. A TRAFFIC CONTROL PLAN (TCP) MUST BE SUBMITTED TO THE DEPARTMENT OF TRANSPORTATION FOR REVIEW AND APPROVAL BY THE TRAFFIC SAFETY COORDINATORS PRIOR TO CONSTRUCTION. NO TRAFFIC LANE OR SIDEWALK ALONG ANY PUBLIC STREET OR ALLEY IS TO BE CLOSED WITHOUT FIRST OBTAINING THE APPROPRIATE PERMIT(S), CLOSURE OF ANY TRAFFIC LANE MUST BE RESTRICTED TO THE HOURS OF 9:00 A.M. TO 3:30 P.M. WORKDAYS. CONTRACTOR MUST CALL (214) 670-6904 TO OBTAIN A PERMIT.
2. DURING THE CONSTRUCTION OF THESE IMPROVEMENTS, ANY INTERPRETATION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR NORTH CENTRAL TEXAS, AND ANY MATTER WHICH REQUIRES THE APPROVAL OF THE OWNER, MUST BE APPROVED BY THE APPROPRIATE GOVERNMENTAL OFFICIAL BEFORE ANY CONSTRUCTION INVOLVING THAT DECISION COMMENCES. ASSUMPTIONS ABOUT WHAT THESE DECISIONS MIGHT BE WHICH ARE MADE DURING THE BIDDING PHASE WILL HAVE NO BEARING ON THE DECISION.
3. EMBEDMENT MATERIAL FOR ALL PUBLIC STORM DRAIN LINES IS 1" CRUSHED LIMESTONE, FROM 6" BELOW THE PIPE TO HALF WAY UP THE PIPE OR TO THE SPRING LINE.
4. HAND FINISH CLASS - TEST STRENGTH IS 4,500 PSI COMPRESSIVE STRENGTH AT 28 DAYS AFTER PLACEMENT.
5. MANHOLE COVERS ON INLET BOXES SHOULD BE LOCATED AT THE SAME END OF THE INLET BOX AS THE LATERAL DRAINING THE INLET.
6. A MANHOLE OR JUNCTION STRUCTURE MUST BE PROVIDED WHEN CONNECTING TO AN EXISTING STORM DRAIN LINE EXCEPT WHEN THE DIAMETER OF THE MAIN LINE IS MORE THAN TWICE AS GREAT AS THE DIAMETER OF THE LARGEST ADJOINING LATERAL.
7. THE MINIMUM MANHOLE INSIDE DIMENSION IS 4 FEET.
8. CYLINDRICAL MANHOLES ARE NOT ALLOWED.
9. STEPS ARE REQUIRED IN ANY MANHOLE THAT IS AT LEAST 5' IN DEPTH. MANHOLE LID/RISER SHOULD BE LOCATED TOWARD THE SIDE OF THE STRUCTURE (OFFSET) SUCH THAT THE STEPS DESCENDING INTO THE STRUCTURE ARE ALIGNED VERTICALLY. THE FIRST STEP MUST NOT EXCEED 15" FROM TOP OF PAVEMENT. BASS & HAYES PLASTIC COATED STEEL, NEOPRENE COATED STEEL STEPS OR EQUAL SHALL BE PLACED SECURELY INTO MANHOLE WALLS ON 15" CENTERS VERTICALLY AND STAGGERED ON 12" CENTERS HORIZONTALLY, PER 251D-1 STANDARD CONSTRUCTION DETAILS, SHEET 2008.
10. ALL MANHOLE STRUCTURES IN PAVEMENT SHALL BE BLOCKED-OUT IN 1" REDWOOD (DIAMOND SHAPE).
11. A MINIMUM OUTSIDE CLEARANCE OF 1' SHALL BE PROVIDED BETWEEN PIPES WHEN CONNECTING INTO A MANHOLE.
12. ALL STORM DRAIN LINES MUST BE VIDEOED BY THE CONTRACTOR AFTER THE PAVING WORK ABOVE THE PIPE IS COMPLETE AND CONFIRM THAT THERE IS ADEQUATE ACCESS.

GRADING NOTES

- 1. ALL SITE WORK DETAILS SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR NORTH CENTRAL TEXAS, LATEST EDITION, AND CONFORM TO THE REQUIREMENTS OF THE PLANS AND CONTRACT DOCUMENTS.
2. THE CONTRACTOR SHALL ADMINISTER SPRINKLERS FOR DUST CONTROL, EARTHWORK OR BASE CONSTRUCTION AS REQUIRED OR AS DIRECTED BY THE ENGINEER IN ACCORDANCE WITH THE CITY OF DALLAS STANDARDS.
3. CONTRACTOR'S WORK SHALL INCLUDE PAVEMENT REMOVAL AND DISPOSAL, REQUIRED FOR NEW WALK, DRIVE, CURB, GUTTER AND OTHER GRADING FEATURES. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION, INSPECTION AND TESTING REQUIRED BY THE OWNER AND/OR THE CITY OF DALLAS.
4. ALL SIDEWALKS SHALL MAINTAIN 2% CROSS SLOPE MAXIMUM.
5. 4:1 IS THE MAXIMUM ALLOWABLE SLOPE WITHIN THE EARTHEN AREAS.
6. ALL AREAS WITHIN THE PROJECT LIMITS SHALL BE CLEARED OF ALL STUMPS, ROOTS, DEBRIS, AND ANY ABOVE SURFACE GROWTH.
7. PRIOR TO GRADING, GRASS VEGETATION SHALL BE MOWED AND RAKED. AFTER MOWING AND RAKING, EXISTING SOIL SHALL BE PLOWED AND DISCED TO A DEPTH OF SIX (6) INCHES PRIOR TO GRADING.
8. A QUANTITY OF TOPSOIL SUFFICIENT FOR PLACING SIX (6) INCHES OF TOPSOIL ON PROPOSED LANDSCAPE AREAS SHALL BE STRIPPED AND STOCKPILED.
9. PRIOR TO FILL PLACEMENT, EXISTING SUBGRADE SHALL BE SCARIFIED AND RECOMPACTED TO THE SAME REQUIRED DENSITY AND MOISTURE CONTENT AS PROPOSED FILL.
10. SELECT FILL IS DEFINED AS UNIFORMLY BLENDED SANDY CLAY TO CLAYEY SAND WITH A LIQUID LIMIT (LL) OF LESS THAN 35 PERCENT, AND WITH A PLASTICITY INDEX (PI) OF BETWEEN 6 AND 15. FILL MATERIAL SHALL BE PLACED IN LIFTS NOT EXCEEDING NINE (9) INCHES IN LOOSE THICKNESS.
11. FILL MATERIAL SHALL BE COMPACTED BETWEEN 92 AND 98 PERCENT OF MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR TEST, ASTM D 698, IN CONJUNCTION WITH THE COMPACTING OPERATION. FILL MATERIAL SHALL BE BROUGHT TO A MOISTURE CONTENT AT A MINIMUM OF (+4) PERCENTAGE POINTS ABOVE OPTIMUM.
12. THE CONTRACTOR SHALL HIRE A MATERIALS TESTING COMPANY TO PERFORM COMPACTION TESTS AT A RATE OF ONE (1) PER LIFT PER 500 CUBIC YARDS OF FILL.
13. A SITE EROSION CONTROL PLAN AND STORMWATER POLLUTION PREVENTION PLAN SHALL BE PREPARED AND PROVIDED TO THE CITY OF DALLAS BY OTHERS PRIOR TO START OF CONSTRUCTION. THESE PLANS SHALL CONFORM TO FEDERAL, STATE, AND LOCAL REQUIREMENTS.

DRAINAGE NOTES

- 1. ALL MATERIALS AND WORKMANSHIP FOR STORM DRAIN CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR NORTH CENTRAL TEXAS, LATEST EDITION, AND THE CITY OF DALLAS REQUIREMENTS.
2. DURING THE CONSTRUCTION OF THESE IMPROVEMENTS, ANY INTERPRETATION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR NORTH CENTRAL TEXAS, AND ANY MATTER WHICH REQUIRES THE APPROVAL OF THE OWNER, MUST BE APPROVED BY THE APPROPRIATE GOVERNMENTAL OFFICIAL BEFORE ANY CONSTRUCTION INVOLVING THAT DECISION COMMENCES. ASSUMPTIONS ABOUT WHAT THESE DECISIONS MIGHT BE WHICH ARE MADE DURING THE BIDDING PHASE WILL HAVE NO BEARING ON THE DECISION.
3. EMBEDMENT MATERIAL FOR ALL PUBLIC STORM DRAIN LINES IS 1" CRUSHED LIMESTONE, FROM 6" BELOW THE PIPE TO HALF WAY UP THE PIPE OR TO THE SPRING LINE.
4. HAND FINISH CLASS - TEST STRENGTH IS 4,500 PSI COMPRESSIVE STRENGTH AT 28 DAYS AFTER PLACEMENT.
5. MANHOLE COVERS ON INLET BOXES SHOULD BE LOCATED AT THE SAME END OF THE INLET BOX AS THE LATERAL DRAINING THE INLET.
6. A MANHOLE OR JUNCTION STRUCTURE MUST BE PROVIDED WHEN CONNECTING TO AN EXISTING STORM DRAIN LINE EXCEPT WHEN THE DIAMETER OF THE MAIN LINE IS MORE THAN TWICE AS GREAT AS THE DIAMETER OF THE LARGEST ADJOINING LATERAL.
7. THE MINIMUM MANHOLE INSIDE DIMENSION IS 4 FEET.
8. CYLINDRICAL MANHOLES ARE NOT ALLOWED.
9. STEPS ARE REQUIRED IN ANY MANHOLE THAT IS AT LEAST 5' IN DEPTH. MANHOLE LID/RISER SHOULD BE LOCATED TOWARD THE SIDE OF THE STRUCTURE (OFFSET) SUCH THAT THE STEPS DESCENDING INTO THE STRUCTURE ARE ALIGNED VERTICALLY. THE FIRST STEP MUST NOT EXCEED 15" FROM TOP OF PAVEMENT. BASS & HAYES PLASTIC COATED STEEL, NEOPRENE COATED STEEL STEPS OR EQUAL SHALL BE PLACED SECURELY INTO MANHOLE WALLS ON 15" CENTERS VERTICALLY AND STAGGERED ON 12" CENTERS HORIZONTALLY, PER 251D-1 STANDARD CONSTRUCTION DETAILS, SHEET 2008.
10. ALL MANHOLE STRUCTURES IN PAVEMENT SHALL BE BLOCKED-OUT IN 1" REDWOOD (DIAMOND SHAPE).
11. A MINIMUM OUTSIDE CLEARANCE OF 1' SHALL BE PROVIDED BETWEEN PIPES WHEN CONNECTING INTO A MANHOLE.
12. ALL STORM DRAIN LINES MUST BE VIDEOED BY THE CONTRACTOR AFTER THE PAVING WORK ABOVE THE PIPE IS COMPLETE AND CONFIRM THAT THERE IS ADEQUATE ACCESS.

CITY OF DALLAS INFRASTRUCTURE NOTES

- 1. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR NORTH CENTRAL TEXAS, LATEST EDITION, AND THE CITY OF DALLAS DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION ADDENDUM AND PAVEMENT CUT AND REPAIR STANDARD MANUAL OF PUBLIC WORKS AND TRANSPORTATION DATED OCTOBER 2003.
2. DURING THE CONSTRUCTION OF THESE IMPROVEMENTS, ANY INTERPRETATION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR NORTH CENTRAL TEXAS, AND ANY MATTER WHICH REQUIRES THE APPROVAL OF THE OWNER, MUST BE APPROVED BY THE DIRECTOR OF PUBLIC WORKS AND TRANSPORTATION OR HIS DESIGNEE BEFORE ANY CONSTRUCTION INVOLVING THAT DECISION COMMENCES. ASSUMPTIONS ABOUT WHAT THESE DECISIONS MIGHT BE WHICH ARE MADE DURING THE BIDDING PHASE WILL HAVE NO BEARING ON THE DECISION.
3. FOR ADJUSTMENT OF DALLAS WATER UTILITIES APPURTENANCES OR TO VERIFY LOCATIONS OF EXISTING WATER AND WASTEWATER MAINS IN AREAS, CALL (214) 670-1770 AT LEAST (3) WORKING DAYS PRIOR TO CONSTRUCTION.
4. STREETS, ALLEYS, SIDEWALKS, DRIVEWAYS, AND STORM DRAINAGE FACILITIES IN THE PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE CITY OF DALLAS, STANDARD CONSTRUCTION DETAILS, FILE 251D-1, LATEST EDITION.
5. ALL CONCRETE FOR PUBLIC PAVEMENT SHALL BE 4,000 PSI FOR MACHINE FINISH AND 4,500 PSI IF IT IS NECESSARY FOR HAND FINISH.

EROSION CONTROL NOTES

- 1. THE CONTRACTOR IS RESPONSIBLE FOR PREPARING AND IMPLEMENTING A STORM WATER POLLUTION PREVENTION PLAN (SWP3) IN ACCORDANCE WITH TCEQ TEXAS POLLUTANT DISCHARGE ELIMINATION SYSTEM (TPDES) PERMIT NO. TXR10000 (PERMIT). THE DETAILS SHOWN ON THIS SHEET REPRESENT TYPICAL METHODS FOR CONTROLLING EROSION DURING CONSTRUCTION AND ARE INTENDED FOR THE CONTRACTOR'S GUIDANCE IN PREPARING HIS STORM WATER POLLUTION PREVENTION PLAN. THE CONTRACTOR'S PLAN SHALL COMPLY WITH THE PERMIT AND FEDERAL, STATE AND LOCAL REQUIREMENTS. THE CONTRACTOR'S PLAN SHALL INCLUDE, BUT NOT BE LIMITED TO, PREPARATION AND SUBMITTAL OF A NOTICE OF INTENT (NOI) TO THE TCEQ IF THE PROJECT IS 5 ACRES OR LARGER, AND PREPARATION OF ALL PLANS AND DOCUMENTATION AS REQUIRED BY THE PERMIT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL MEASURES DURING CONSTRUCTION AND FOR OBTAINING ANY REQUIRED CONSTRUCTION RELATED DRAINAGE PERMITS, OR MAKING ANY CONSTRUCTION RELATED NOTIFICATIONS. AN INSPECTION REPORT THAT SUMMARIZES INSPECTION ACTIVITIES AND IMPLEMENTATION OF THE SWP3 SHALL BE PERFORMED AS REQUIRED BY THE PERMIT AND RETAINED BY THE CONTRACTOR AND MADE A PART OF THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL PROVIDE COPIES OF ALL SWP3 DOCUMENTS INCLUDING, BUT NOT LIMITED TO, INSPECTION RECORDS, ORIGINAL PLANS, AND MODIFIED PLANS TO THE OWNER AT CONTACT CLOSE-OUT. DURING CONSTRUCTION THE CONTRACTOR SHALL PROVIDE COPIES OF THE INSPECTION REPORTS TO THE OWNER ON A MONTHLY BASIS.
3. TEMPORARY STORM DRAINAGE AND/OR EROSION CONTROL MATERIALS SHALL BE INSTALLED FOR THIS PROJECT AND SHALL BE INSTALLED WITH THE PROPER TECHNIQUES BY THE CONTRACTOR AS REQUIRED BY NCTCOG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. TEMPORARY STORM DRAINAGE AND/OR EROSION CONTROL MATERIALS SHALL BE REMOVED BY THE CONTRACTOR, IN ADDITION TO ANY EXCAVATIONS BACKFILLED BY THE CONTRACTOR, IN ACCORDANCE WITH NCTCOG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION WHEN TEMPORARY EROSION CONTROL DEVICES ARE NO LONGER NEEDED AS SPECIFIED IN THE PERMIT. MAINTENANCE OF THE PERMANENT EROSION CONTROL MEASURES AT THE SITE WILL BE ASSUMED BY THE OWNER AT CONTACT CLOSE-OUT AND ACCEPTANCE OF THE WORK.
4. IT IS THE INTENT OF THE INFORMATION PROVIDED ON THESE DOCUMENTS TO BE USED AS THE GENERAL GUIDELINES FOR THE CONTRACTOR. THE SWP3 TO BE PREPARED BY THE CONTRACTOR SHALL MEET THE CURRENT REQUIREMENTS SET FORTH IN THE TCEQ'S TPDES GENERAL PERMIT FOR STORM WATER DISTURBANCE CONSTRUCTION SITES AS WELL AS ANY LOCAL REQUIREMENTS.
5. THE STORM WATER POLLUTION PREVENTION PLAN (SWP3) SHALL ADDRESS THREE GOALS: 1) DIVERSION OF UP SLOPE WATER AROUND DISTURBED AREAS OF THE SITE; 2) LIMIT THE EXPOSURE OF DISTURBED AREAS TO THE SHORTEST DURATION POSSIBLE; AND, 3) REMOVAL OF SEDIMENT FROM STORM WATER BEFORE IT LEAVES THE SITE.
6. THE CONTRACTOR SHALL MAINTAIN HIS SWP3 IN ACCORDANCE WITH THE PERMIT AND MAKE HIS SWP3 AVAILABLE, UPON REQUEST, TO THE TCEQ, OTHER GOVERNMENTAL AGENCIES, AND/OR THE OWNER.
7. THE CONTRACTOR MUST AMEND HIS SWP3 WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE OF THE PROJECT OR WHEN THE EXISTING SWP3 PROVES INEFFECTIVE. MODIFICATIONS SHALL NOT COMPROMISE THE INTENT OF THE REQUIREMENTS OF THE PERMIT. MODIFICATIONS INCLUDING DESIGN AND CONSTRUCTION MATERIALS AND WORK SHALL BE ACCOMPLISHED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
8. THE CONTRACTOR SHALL INSPECT STABILIZATION AND EROSION CONTROL MEASURES AT A MINIMUM OF ONCE EVERY 14 DAYS, AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN 0.5 INCHES OF RAINFALL EVERY 7 DAYS IN ACCORDANCE WITH THE PERMIT. THE CONTRACTOR SHALL REPAIR INADEQUACIES REVEALED BY THE INSPECTION BEFORE THE NEXT STORM EVENT AND HE SHALL MODIFY HIS SWP3 WITHIN 7 DAYS OF THE INSPECTION.
9. ALL CONTRACTORS AND SUBCONTRACTORS IDENTIFIED IN THE PLAN MUST CERTIFY AS TO AN UNDERSTANDING OF THE TPDES GENERAL PERMIT BEFORE CONDUCTING ANY ACTIVITY IDENTIFIED IN THE POLLUTION PREVENTION PLAN.
10. THE CONTRACTOR SHALL ADOPT APPROPRIATE CONSTRUCTION SITE MANAGEMENT PRACTICES TO PREVENT THE DISCHARGE OF OILS, GREASE, PAINTS, GASOLINE, AND OTHER POLLUTANTS TO STORM WATER. APPROPRIATE PRACTICES SHALL INCLUDE, BUT NOT BE LIMITED TO: DESIGNING AND USING EQUIPMENT MAINTENANCE AND REPAIR, COLLECTING WASTES PERIODICALLY, MAINTAINING CONVENIENTLY LOCATED WASTE RECEPTACLES; AND DESIGNATING AND CONTROLLING EQUIPMENT WASH DOWN.
11. BORROW AREAS, IF EXCAVATED, SHALL BE PROTECTED AND STABILIZED BY THE CONTRACTOR IN A MANNER ACCEPTABLE TO THE OWNER AND IN ACCORDANCE WITH PERMIT REQUIREMENTS.
12. ALL NON-PAVED AREAS SHALL BE SEEDED AND MULCHED WITH EROSION PROTECTION GRASS BY THE CONTRACTOR IMMEDIATELY UPON COMPLETION OF FINAL GRADING. THIS INCLUDES ALL DITCHES AND EMBANKMENTS. THE CONTRACTOR SHALL MAINTAIN FINAL GRADING AND KEEP SEEDING AREAS WATERED UNTIL FULLY ESTABLISHED AND ACCEPTED BY OWNER.
13. THE CONTRACTOR SHALL CONSTRUCT A SILT FENCE AT ALL LOCATIONS SHOWN ON PLANS, AND ALL BORROW AND STOCK PILE AREAS. THE SILT FENCE SHALL BE CONSTRUCTED AS DETAILED ON THIS PLAN. THE CONTRACTOR SHALL REMOVE ACCUMULATED SILT WHEN IT REACHES A DEPTH OF 6 INCHES. THE CONTRACTOR SHALL DISPOSE OF THE REMOVED SILT IN A LOCATION APPROVED BY THE OWNER AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO EROSION AND SEDIMENTATION. THE CONTRACTOR SHALL REMOVE THE SILT FENCE WHEN THE SITE IS COMPLETELY STABILIZED AND APPROVED BY THE OWNER SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
14. THE CONTRACTOR SHALL DESIGNATE MATERIAL AND EQUIPMENT STORAGE AREAS MUTUALLY AGREED TO BY THE OWNER. THE STORAGE AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE, AND THE SURFACE STABILIZED BY THE CONTRACTOR WITH A MINIMUM OF 2 INCHES OF COMPACTED FLEX BASE ON 6-INCHES OF SCARIFIED AND RECOMPACTED SUBGRADE. A SILT FENCE SHALL BE INSTALLED BY THE CONTRACTOR AROUND THE STORAGE AREAS TO PREVENT ERODED MATERIALS FROM LEAVING THE SITE.
15. ALL INLETS (ONSITE AND OFFSITE) RECEIVING DRAINAGE WATER FROM DISTURBED AREAS SHALL BE PROTECTED BY THE CONTRACTOR AS PER DETAILS SHOWN, OR OTHER OWNER APPROVED METHODS, TO PREVENT ERODED MATERIAL FROM BEING TRANSPORTED INTO INLETS. THE INLET PROTECTION SHALL BE CONSTRUCTED AS SHOWN ON THESE PLANS.
16. ROCK RIP-RAP USED IN AND AROUND DRAINAGE STRUCTURES SHALL CONFORM TO THE (TXDOT OR NCTCOG) WITH REGARD TO MATERIALS AND CONSTRUCTION METHODS. UNLESS DENOTED OTHERWISE ON THE PLANS, ROCK RIP-RAP SHALL BE WELL GRADED DRY STONE, TYPE R, AND SHALL BE PLACED IN A LAYER WITH A DEPTH OF AT LEAST TWO (2) THE CONTRACTOR SHALL PLACE NON-WOVEN FILTER FABRIC UNDER THE ROCK RIP-RAP. THE NON-WOVEN FILTER FABRIC SHALL BE MIRAFI, INC. 1100N OR AN OWNER APPROVED EQUAL.
17. THE SPECIFIC PLANT MATERIALS PROPOSED TO PROTECT FILL AND EXCAVATED SLOPES SHALL BE AS INDICATED ON THE PLANS. PLANT MATERIALS MUST BE SUITABLE FOR USE UNDER LOCAL CLIMATE AND SOIL CONDITIONS. IN GENERAL, HYDRO SEEDING OR SODDING BERMUDA GRASS IS ACCEPTABLE DURING THE SUMMER MONTHS (MAY 1 TO AUGUST 30), WINTER RYE OR FESCUE GRASS MAY BE PLANTED DURING TIMES OTHER THAN SUMMER MONTHS AS A TEMPORARY MEASURE UNTIL SUCH TIME AS THE PERMANENT PLANTING CAN BE MADE.
18. PRIOR TO COMMENCING ANY CONSTRUCTION, A CONSTRUCTION ENTRANCE AND PERIMETER SILT FENCE SHALL BE INSTALLED AT THE LOCATION(S) SHOWN.
19. AS INLETS ARE COMPLETED, TEMPORARY SEDIMENT BARRIERS SHALL BE INSTALLED.
20. AT THE COMPLETION OF THE PAVING AND FINAL GRADING, THE DISTURBED AREA(S) SHALL BE REVEGETATED IN ACCORDANCE WITH THE PLANS.
21. SILT FENCE AND INLET SEDIMENT BARRIERS SHALL REMAIN IN PLACE UNTIL REVEGETATION HAS BEEN COMPLETED.
22. DISTURBED AREAS THAT ARE SEEDED OR SODDED SHALL BE CHECKED PERIODICALLY TO SEE THAT GRASS COVERAGE IS PROPERLY MAINTAINED. DISTURBED AREAS SHALL BE WATERED, FERTILIZED, AND RESEEDED OR RESODDED, IF NECESSARY.

07/07/2024 100% CONSTRUCTION DOCUMENTS ISSUED FOR PERMIT AND CONSTRUCTION



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RENOVATIONS TO
UMPHREY LEE ELEMENTARY SCHOOL
7808 RACINE DR. DALLAS, TEXAS 75238

Date: 07/07/2024

Revised:

Project No. 2245

File Name:

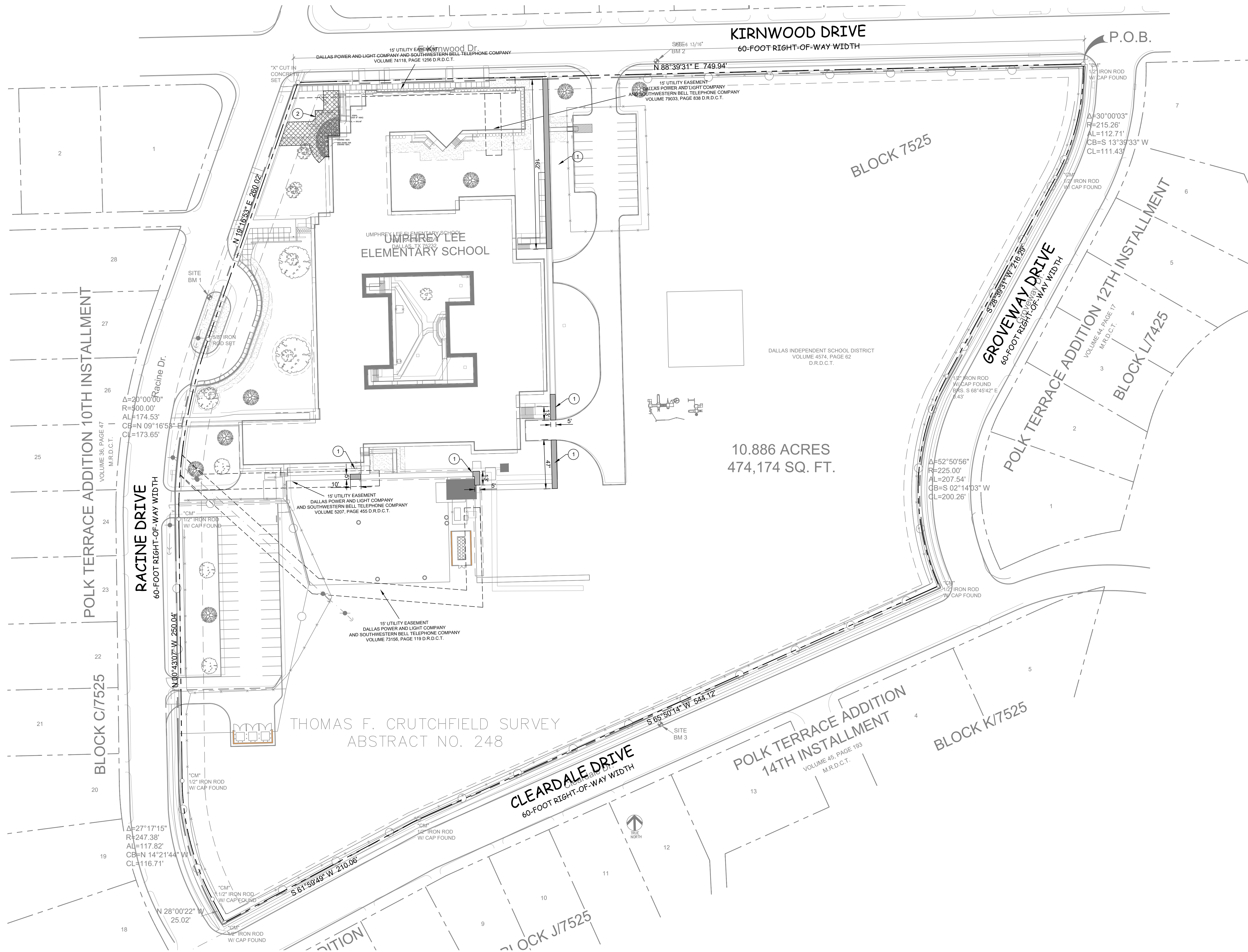
Sheet Title: GENERAL NOTES

Sheet No.

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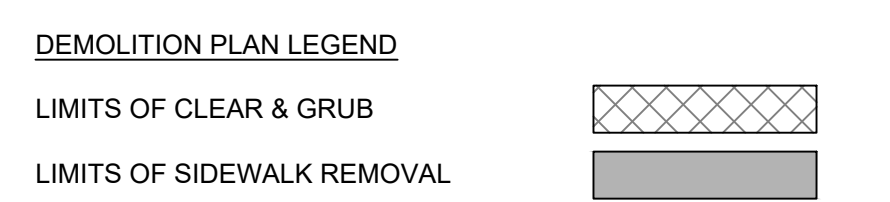




10.886 ACRES  
474,174 SQ. FT.

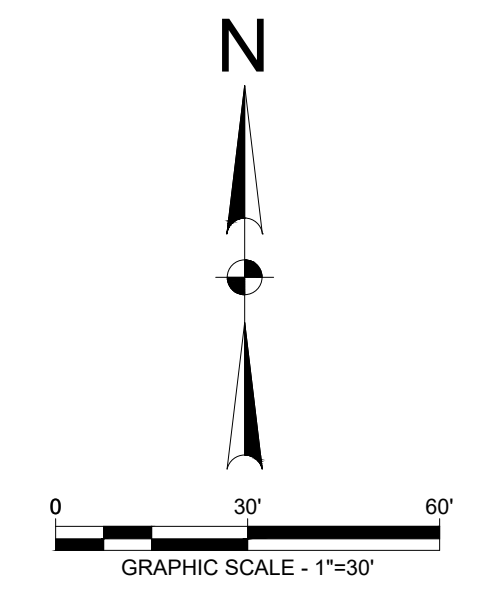
THOMAS F. CRUTCHFIELD SURVEY  
ABSTRACT NO. 248

- KEYED DEMOLITION NOTES**
- 1 REMOVE EX. CONCRETE SIDEWALK
  - 2 CLEAR & GRUB EXTENTS FOR NEW SIDEWALK ADDITION



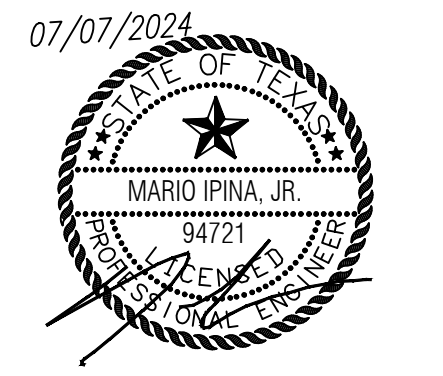
- NOTES:**  
IT IS THE INTENT THAT ALL EXISTING IMPROVEMENTS, UNLESS NOTED OTHERWISE, ON THIS PROPERTY ARE TO BE REMOVED TO MAKE THIS PROPERTY SUITABLE FOR THE PROPOSED IMPROVEMENTS.
- DEMOLITION NOTES**
- THE CONTRACTOR WILL BE REQUIRED TO REMOVE ALL PAVEMENT MATERIALS AND SUCH ITEMS SHALL BECOME THE PROPERTY OF THE CONTRACTOR. ALL ITEMS SHALL BE PROPERLY DISPOSED OF AT AN OFF-SITE LOCATION.
  - IF AT ANY TIME PRIOR TO OR DURING THE DEMOLITION WORK, HAZARDOUS MATERIAL IS ENCOUNTERED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DEVELOPMENT MANAGER.
  - THE CONTRACTOR SHALL NOTIFY ADJACENT OWNERS OF WORK WHICH MAY AFFECT THEIR PROPERTY, SUCH AS POTENTIAL NOISE, UTILITY OUTAGES OR DISRUPTIONS. SUCH OPERATIONS SHALL BE CONDUCTED BY THE CONTRACTOR WITH MINIMUM INTERFERENCE TO ADJACENT OWNERS. ADJACENT EGRESS AND ACCESS SHALL BE PROPERLY MAINTAINED AT ALL TIMES. DO NOT CLOSE OR OBSTRUCT ANY ROADWAYS, PARKING OR SIDEWALKS WITHOUT PERMISSION FROM THE ADJACENT OWNERS AND/OR THE CITY OF DALLAS.
  - PRIOR TO THE COMMENCEMENT OF DEMOLITION/GRADING OPERATIONS, ALL OVERHEAD AND UNDERGROUND UTILITIES SHALL BE LOCATED. ALL REMOVAL AND/OR RELOCATION OF UTILITIES SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY COMPANIES.
  - ALL UTILITIES, UTILITY POLES, AND TRAFFIC SIGNALS WITHIN PUBLIC R.O.W. SHALL REMAIN.

- UTILITY NOTES**
- UNLESS OTHERWISE NOTED, ALL UTILITY ADJUSTMENTS WILL BE PERFORMED BY THE UTILITY OWNERS OR ITS REPRESENTATIVE. THE CONTRACTOR AND UTILITY OWNERS WILL BE REQUIRED TO COOPERATE WITH EACH OTHER TO EXPEDITE THE WORK REQUIRED BY THIS CONTRACT.
  - THE CONTRACTOR WILL PROVIDE ALL NECESSARY PROTECTIVE MEASURES TO SAFEGUARD EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION OF THIS PROJECT. IN THE EVENT THAT SPECIAL EQUIPMENT IS REQUIRED TO WORK OVER OR AROUND THE UTILITIES, THE CONTRACTOR WILL BE REQUIRED TO FURNISH SUCH EQUIPMENT. THE COST OF PROTECTING UTILITIES FROM DAMAGE AND FURNISHING SPECIAL EQUIPMENT WILL BE INCLUDED IN THE BID PRICE FOR OTHER ITEMS OF CONSTRUCTION.
  - THE CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR CONTACTING ALL AFFECTED UTILITIES PRIOR TO SUBMITTING HIS BID TO DETERMINE THE EXTENT TO WHICH UTILITY DISCONNECTIONS AND/OR ADJUSTMENTS WILL HAVE UPON THE SCHEDULE OF THE WORK FOR THE PROJECT. SOME UTILITY FACILITIES MAY NEED TO BE ADJUSTED CONCURRENTLY WITH THE CONTRACTOR'S OPERATIONS, WHILE SOME WORK MAY BE REQUIRED AROUND UTILITY FACILITIES THAT WILL REMAIN IN PLACE. IT IS UNDERSTOOD AND AGREED THAT THE CONTRACTOR WILL RECEIVE NO ADDITIONAL COMPENSATION FOR DELAYS OR INCONVENIENCE CAUSED BY THE UTILITY ADJUSTMENT.
  - THE CONTRACTOR SHALL NOTIFY EACH INDIVIDUAL UTILITY OWNER OF HIS PLAN OF OPERATIONS IN THE AREA OF THE UTILITIES. PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL CONTACT THE UTILITY OWNERS AND REQUEST THEM TO PROPERLY LOCATE THEIR RESPECTIVE UTILITY ON THE GROUND.



**NOTES:**  
ANY TRAFFIC CONTROL PLAN (TCP) MUST BE SUBMITTED TO THE DEPARTMENT OF PUBLIC WORKS FOR REVIEW AND APPROVAL BY TRAFFIC SAFETY COORDINATORS PRIOR TO START OF CONSTRUCTION. NO TRAFFIC LANE OR SIDEWALK ALONG ANY PUBLIC STREET OR ALLEY IS TO BE CLOSED WITHOUT FIRST OBTAINING THE APPROPRIATE PERMIT(S). CLOSURE OF ANY TRAFFIC LANE MUST BE RESTRICTED TO THE HOURS OF 9:30 A.M. TO 3:30 P.M. WORKDAYS (HOURS MAY DIFFER IN SCHOOL ZONES). CONTRACTOR MUST CALL (214) 948-4290 TO REQUEST APPROVAL OF TCP AND TO OBTAIN A RIGHT-OF-WAY PERMIT.

07/07/2024  
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**Dimensions ARCHITECTS**  
DALLAS, TEXAS 75248  
TEL: 214.270.3800  
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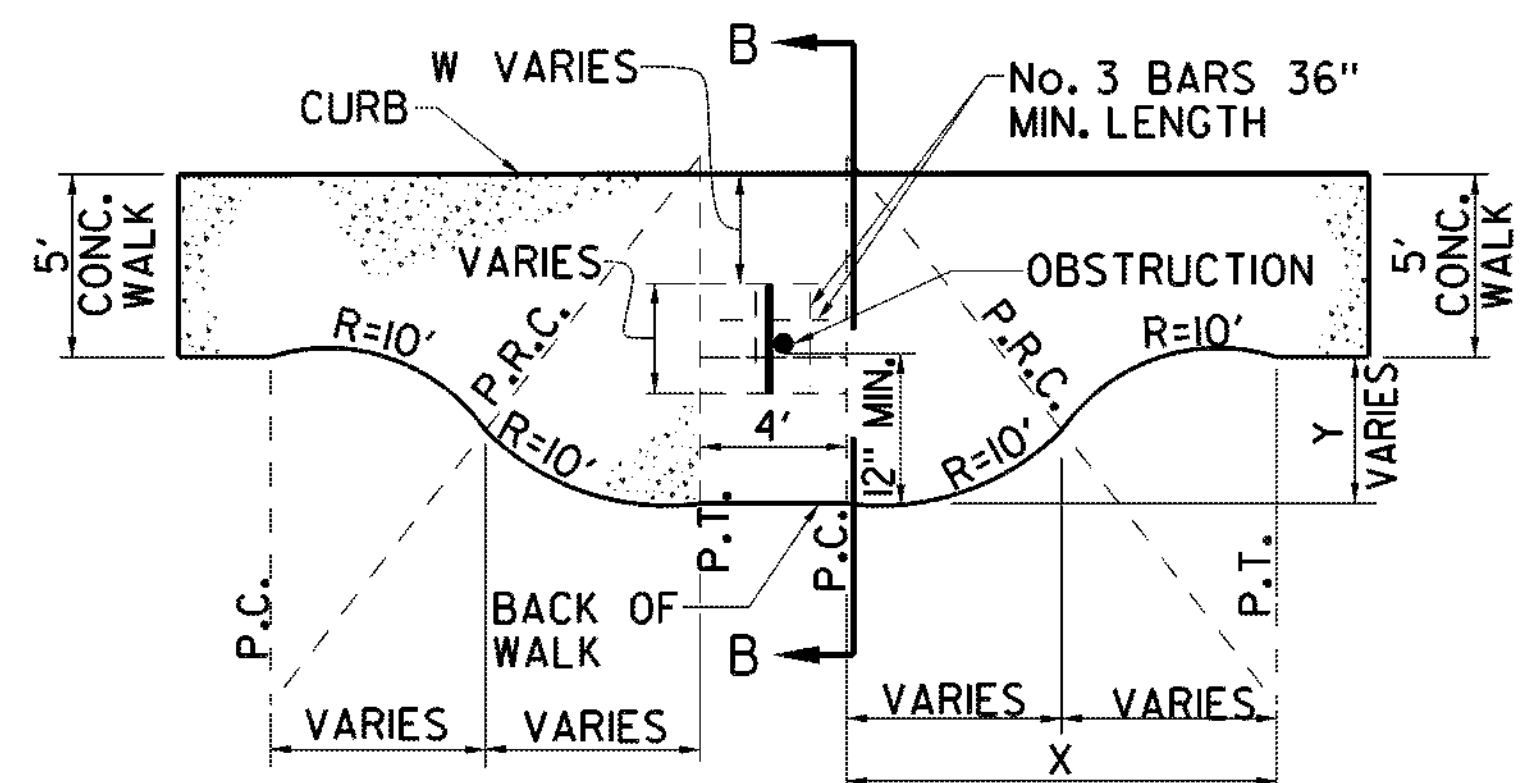
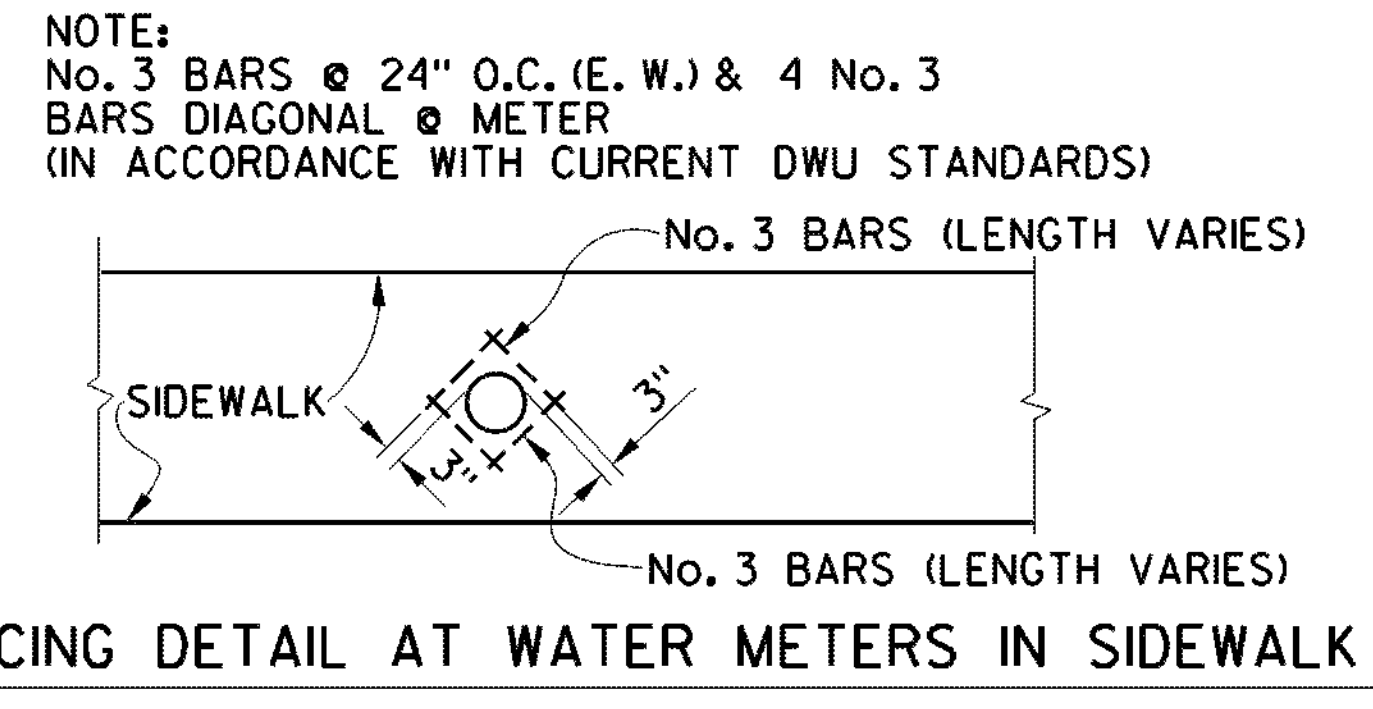
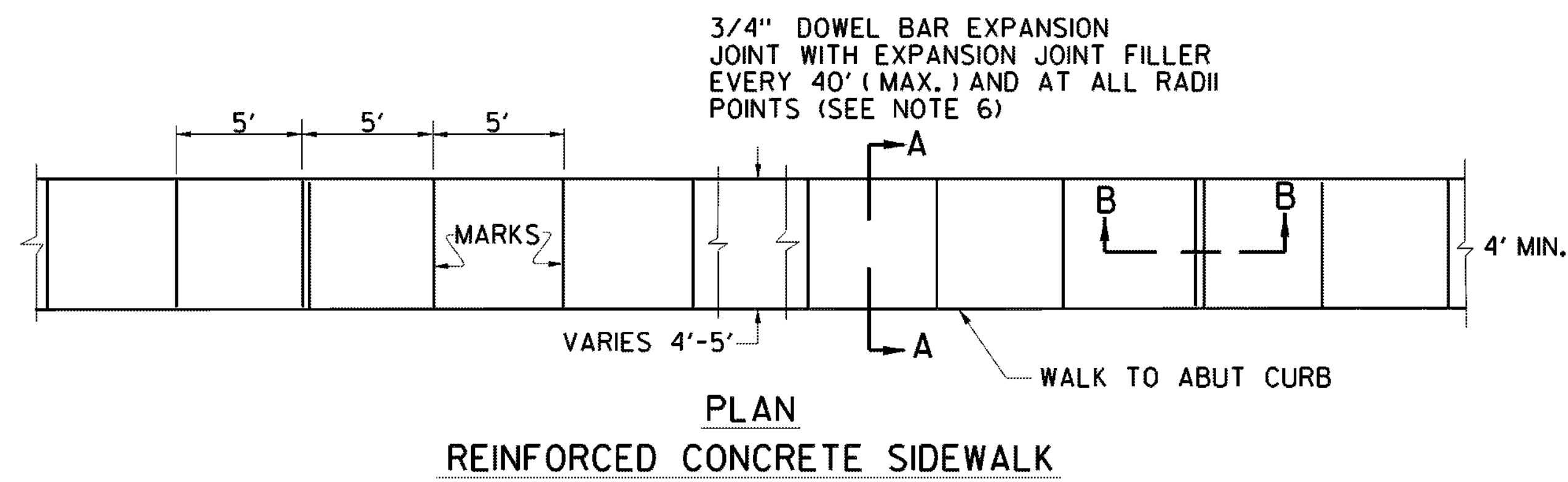
RENOVATIONS TO  
**UMPHREY LEE ELEMENTARY SCHOOL**  
7808 RACINE DR., DALLAS, TEXAS 75232

Date: 07/07/2024  
Revised:  
Project No. 2245  
File Name:  
Sheet Title: DEMOLITION PLAN  
Sheet No.  
**C04.01**  
Sheet Of



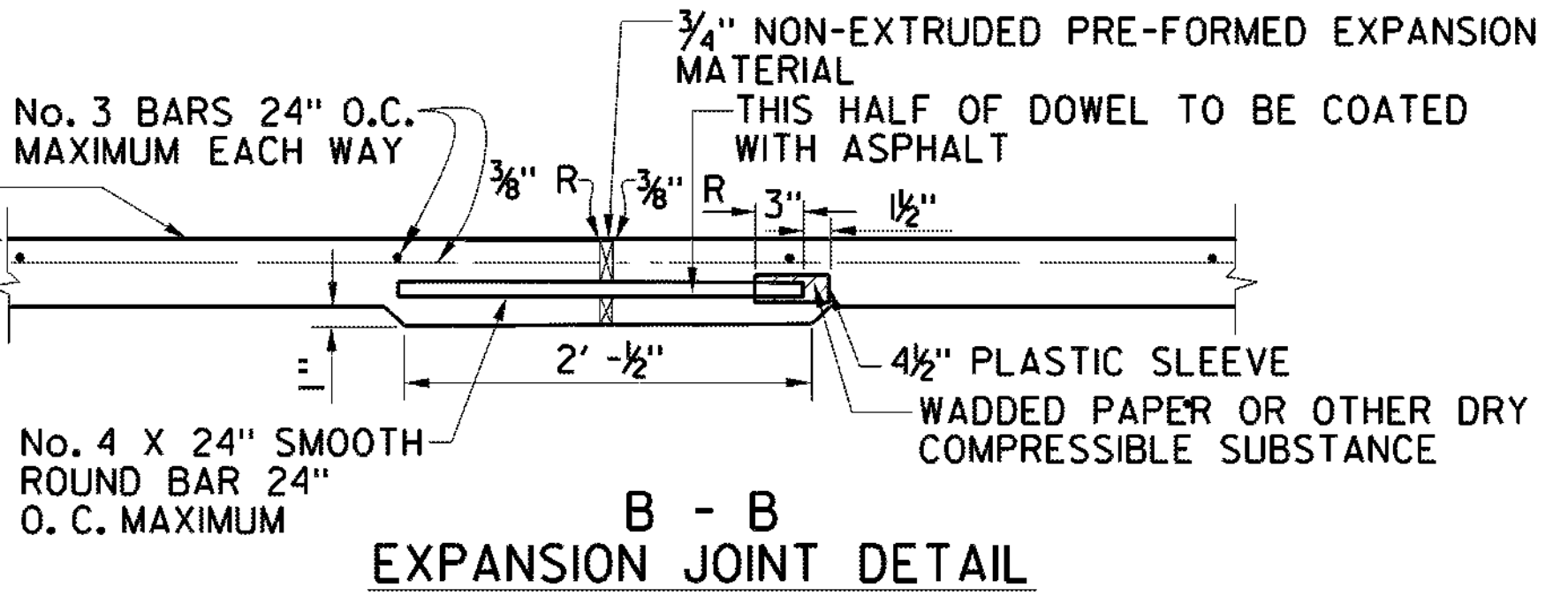
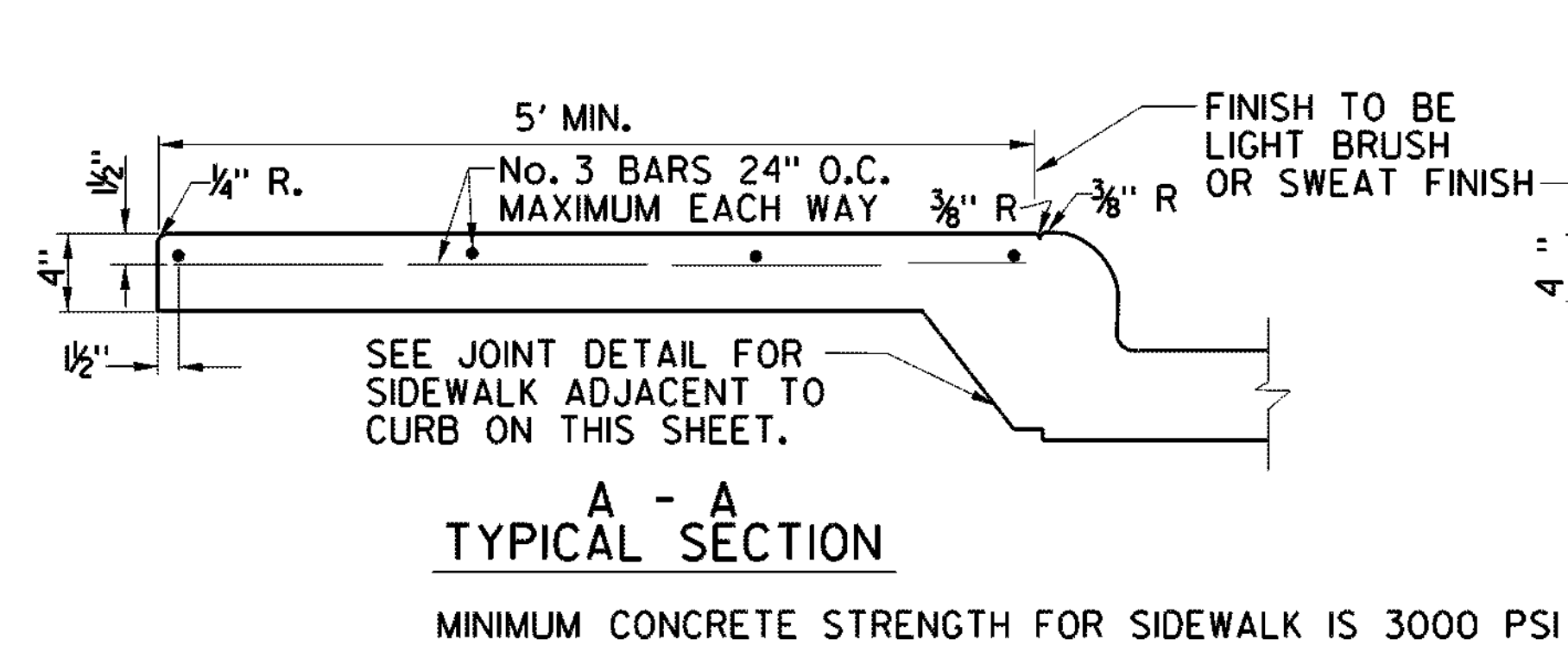




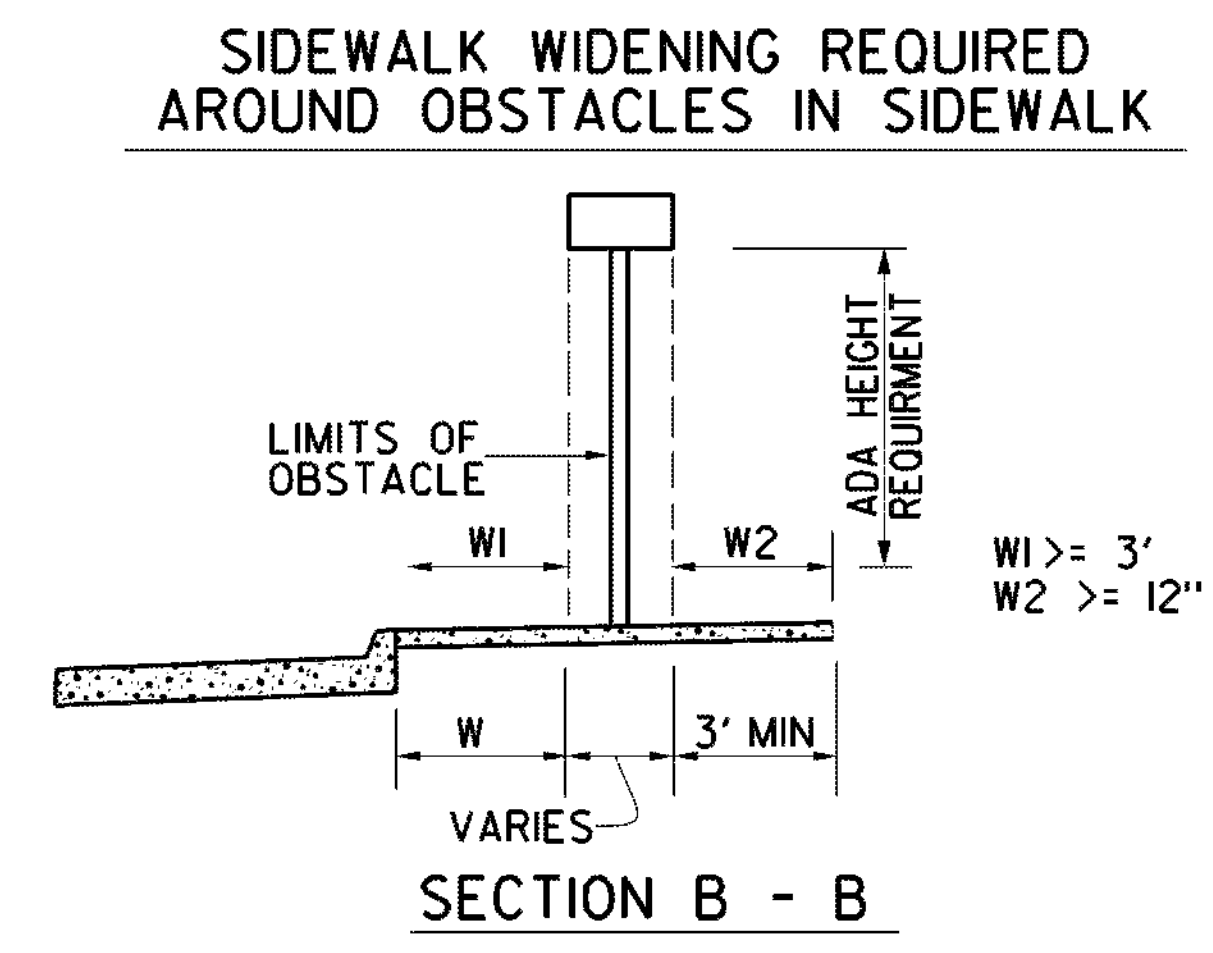
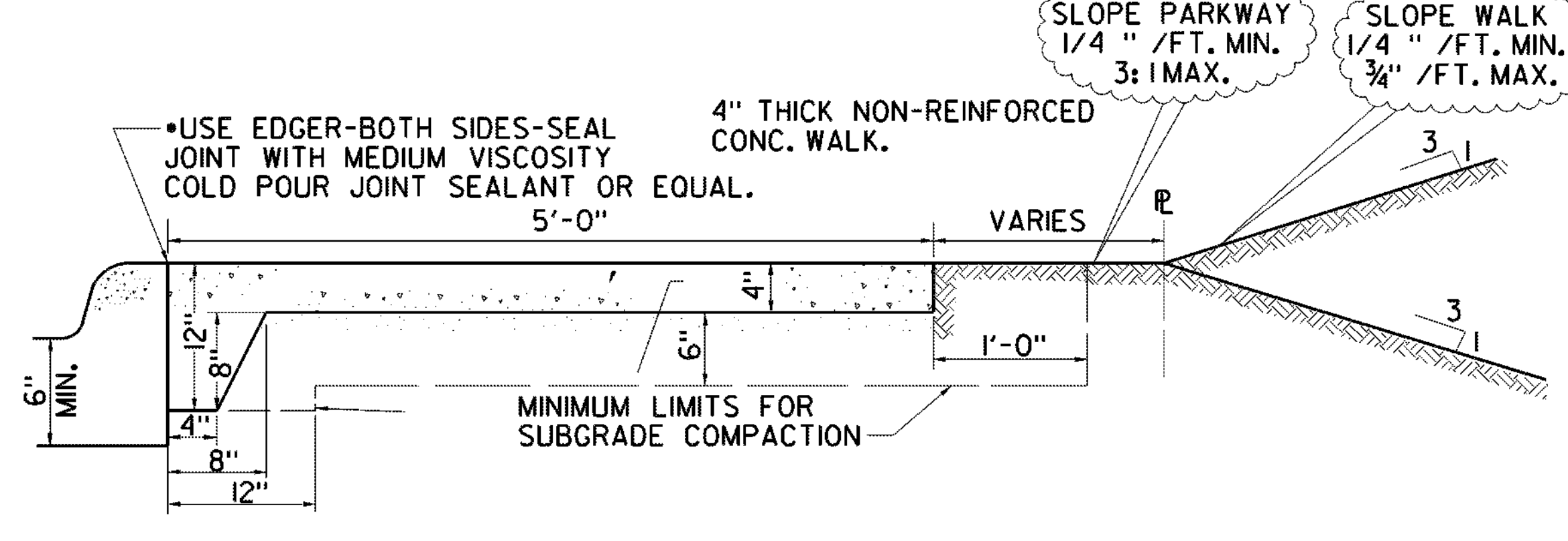


\* EXPANSION MATERIAL MUST BE PLACED ADJACENT TO THE BUILDING, STRUCTURE, WALL OR POLE WHEN SIDEWALK IS POURED ADJACENT TO THESE ITEMS.

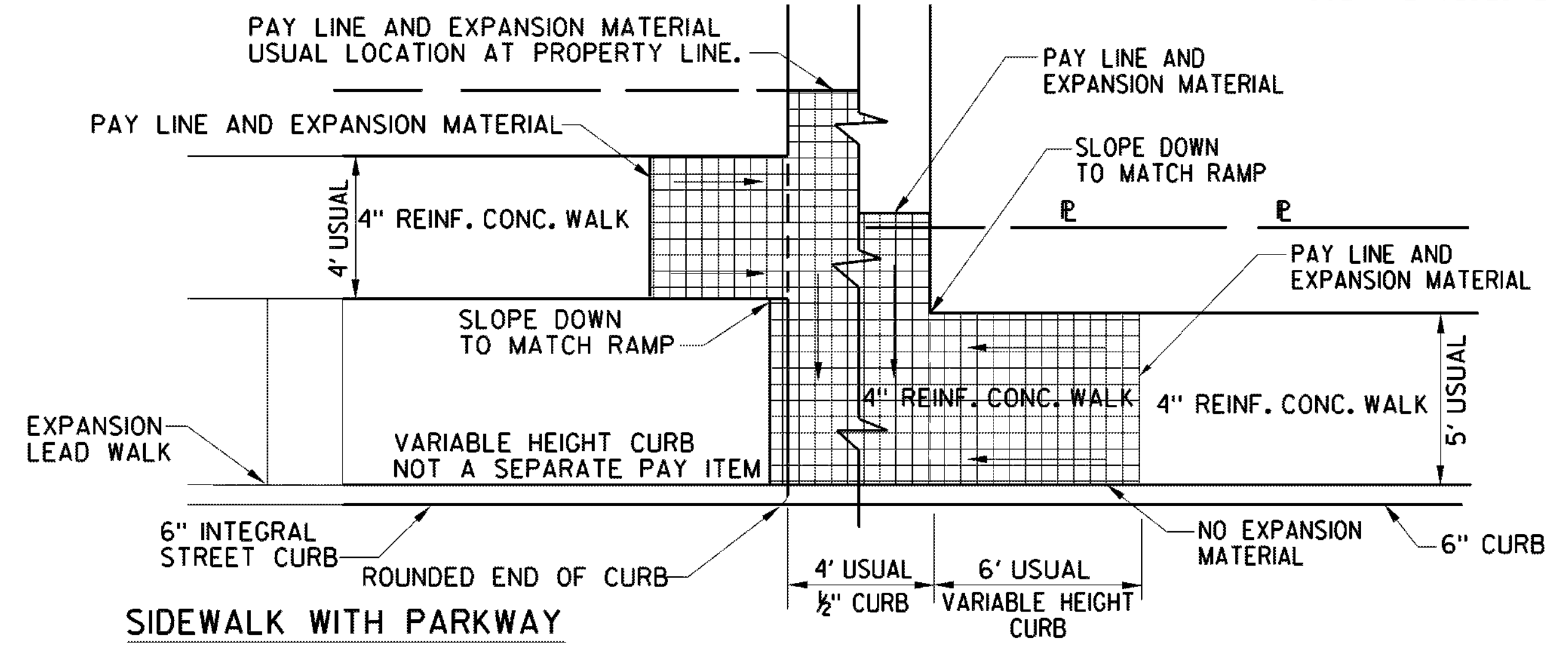
- NOTES:
- IF "W" > MEETS ADA NO WIDENING NECESSARY EXCEPT POSSIBLY TO OBTAIN MINIMUM DISTANCE OF 1' TO EDGE OF SIDEWALK.
  - SAME WIDENING PLAN WILL BE USED FOR WALK NOT ABUTTING CURB.
- |      |           |
|------|-----------|
| Y=1' | X= 6.24'  |
| Y=2' | X= 8.72'  |
| Y=3' | X= 10.54' |
| Y=4' | X= 12.00' |
| Y=5' | X= 13.23' |



- MINIMUM CONCRETE STRENGTH FOR SIDEWALK IS 3000 PSI
- NOTES:
- ALL HONEYCOMB IN BACK OF CURB TO BE TROWEL- PLASTERED BEFORE POURING SIDEWALK.
  - FOR SIDEWALKS AGAINST EXISTING CURB, KEYWAY SHALL BE REPLACED WITH 12" LONG NO. 3 DEFORMED BARS DRILLED 4" INTO EXISTING BACK CURB AND EPOXY GROUTED ON 24" CENTERS.
  - PAYMENT FOR KEYWAY SUBSIDIARY TO SIDEWALK LUG PAY ITEM.
  - PAYMENT FOR EXCAVATION, BORROW AND COMPACTION IS SUBSIDIARY TO CONCRETE SIDEWALK PAY ITEM.
  - ALL BACKFILL SHALL BE COMPACTED IN LIFTS NOT TO EXCEED 6 INCHES TO 95% DENSITY WITH A MOISTURE WITHIN -2% TO -4% OF OPTIMUM MOISTURE.
  - 3/4" EXPANSION JOINTS SHALL BE PROVIDED AT STREET EXPANSION JOINTS AND AT A MAXIMUM 40 FOOT SPACING IN LINE WITH STREET SAW JOINTS; A TOOL MARKED GROOVE SHALL BE PROVIDED IN LINE WITH INTERMEDIATE STREET SAW JOINTS.
  - FOR SIDEWALK WIDTH, REFER TO CITY OF DALLAS STREET DESIGN MANUAL.
  - MINIMUM CONCRETE STRENGTH FOR SIDEWALK IS 3000 PSI.



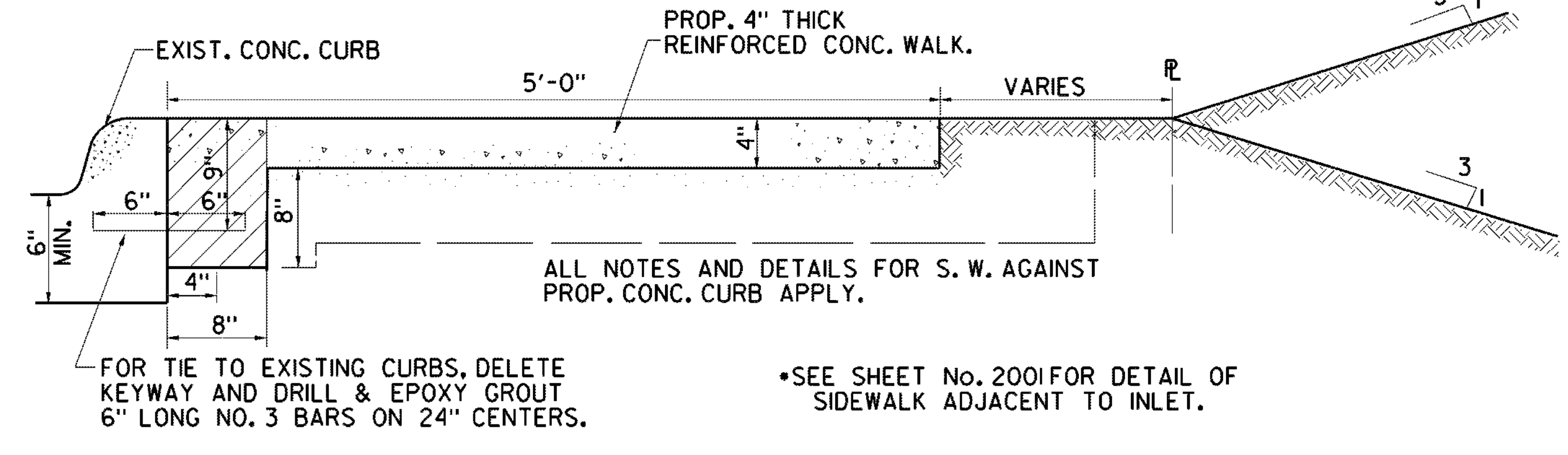
**BARRIER FREE RAMPS AT LEAD WALKS**



- NOTES:
- NO SLOPE TO EXCEED 1" PER 1'
  - ACTUAL LOCATIONS OF RAMP LIMITS WILL BE DETERMINED BY SLOPE OF RAMP AND GRADE OF STREET.
  - WALK REINFORCEMENT WILL BE NO. 3 BARS SPACED 24" O.C. MAX. EACH WAY
  - BROOM FINISH NEEDED.

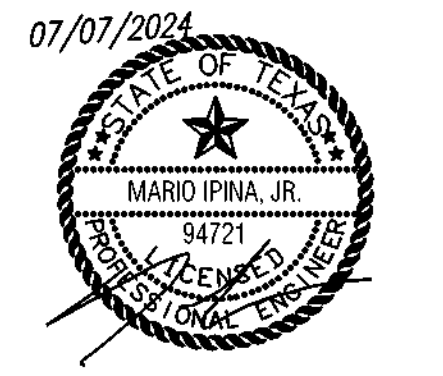
**JOINT DETAIL FOR SIDEWALK ADJACENT TO CURB**

SAME DETAIL FOR MEDIAN PAVEMENT- USE PREMOLDED EXPANSION JOINT

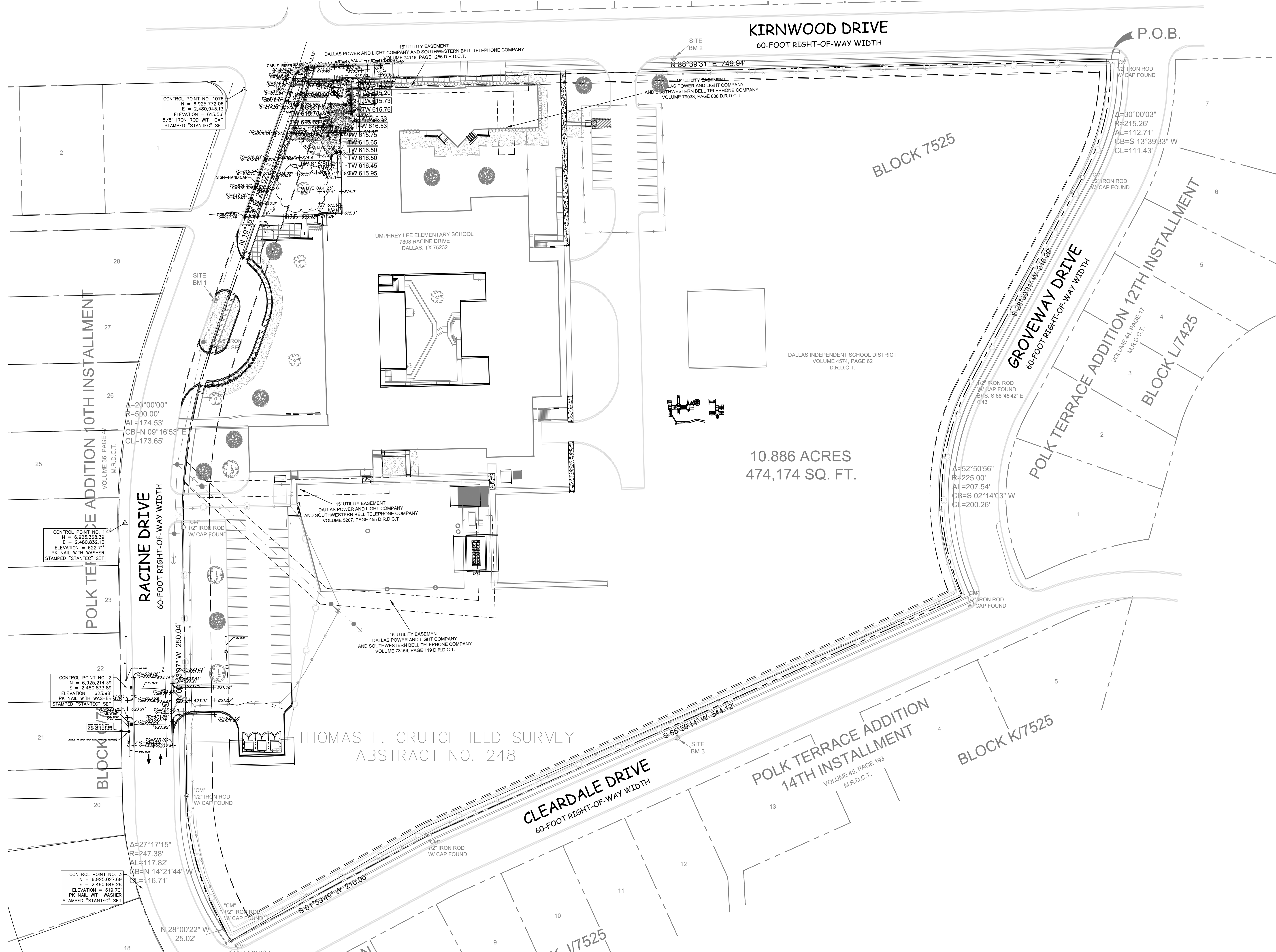


NOTE: FOR ANY SPECIAL RAMP FOR EXISTING CONDITION DESIGN ENGINEER MUST INCLUDE DESIGN OF RAMP

PAVING DETAILS	
REINFORCED SIDEWALKS	
DEPARTMENT OF PUBLIC WORKS CITY OF DALLAS, TEXAS	
DRAWINGS NOT TO SCALE REVISED: DECEMBER 2021	SHEET No. 1015





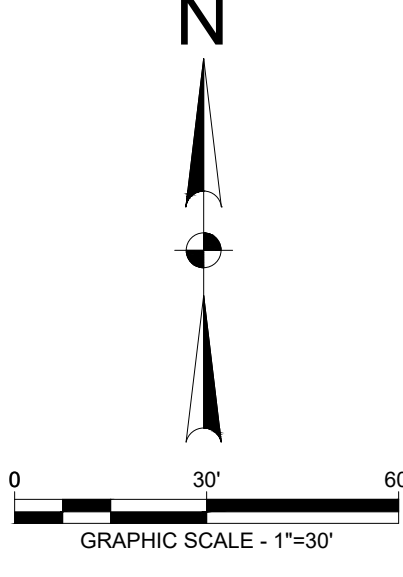


10.886 ACRES  
474,174 SQ. FT.

**NOTES:**  
CONTRACTOR TO APPLY FOR ROW PERMIT AT  
[HTTPS://ROWMANAGEMENT.DALLASCITYHALL.COM](https://rowmanagement.dallascityhall.com).  
CALL STREETS AT (214)670-5311 TO SET DRIVEWAY GRADES.  
CALL BUILDING INSPECTION AT (214)948-4480 FOR DRIVEWAY INSPECTIONS.

**NOTES:**  
ANY TRAFFIC CONTROL PLAN (TOP) MUST BE SUBMITTED TO THE DEPARTMENT OF PUBLIC WORKS FOR REVIEW AND APPROVAL BY TRAFFIC SAFETY COORDINATORS PRIOR TO START OF CONSTRUCTION. NO TRAFFIC LANE OR SIDEWALK ALONG ANY PUBLIC STREET OR ALLEY IS TO BE CLOSED WITHOUT FIRST OBTAINING THE APPROPRIATE PERMIT(S). CLOSURE OF ANY TRAFFIC LANE MUST BE RESTRICTED TO THE HOURS OF 9:30 A.M. TO 3:30 P.M. WORKDAYS (HOURS MAY DIFFER IN SCHOOL ZONES). CONTRACTOR MUST CALL (214) 948-4290 TO REQUEST APPROVAL OF TOP AND TO OBTAIN A RIGHT-OF-WAY PERMIT.

- GENERAL NOTES**
- ALL UNDERGROUND UTILITIES SHOWN ARE BASED ON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY EXACT UTILITY LOCATIONS PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL CALL TEXAS ONE CALL AT 1.800.344.8377 PRIOR TO ANY EXCAVATION.
  - IF ANY CONFLICT OR DISCREPANCY FROM THE PLANS IS FOUND, NOTIFY THE ENGINEER BEFORE CONTINUING WITH ANY FURTHER CONSTRUCTION.
  - VERIFY LOCATION OF GAS, ELECTRIC OR TELEPHONE CABLE PRIOR TO START OF ANY CONSTRUCTION.
  - NEW FINISH CONTOURS AND SPOT ELEVATIONS SHOWN ARE TO THE TOP OF PROPOSED PAVEMENT AND TOP OF FINISHED GRADE UNLESS OTHERWISE INDICATED. ADD 0.50 FEET FOR TOP OF CURB ELEVATIONS.
  - HAND EXCAVATE AS NECESSARY TO LOCATE EXISTING UTILITY CONFLICTS.
  - CONTRACTOR TO ENSURE PROPOSED PAVEMENT MAINTAINS POSITIVE DRAINAGE AWAY FROM BUILDINGS.



07/07/2024 100% CONSTRUCTION DOCUMENTS ISSUED FOR PERMIT AND CONSTRUCTION

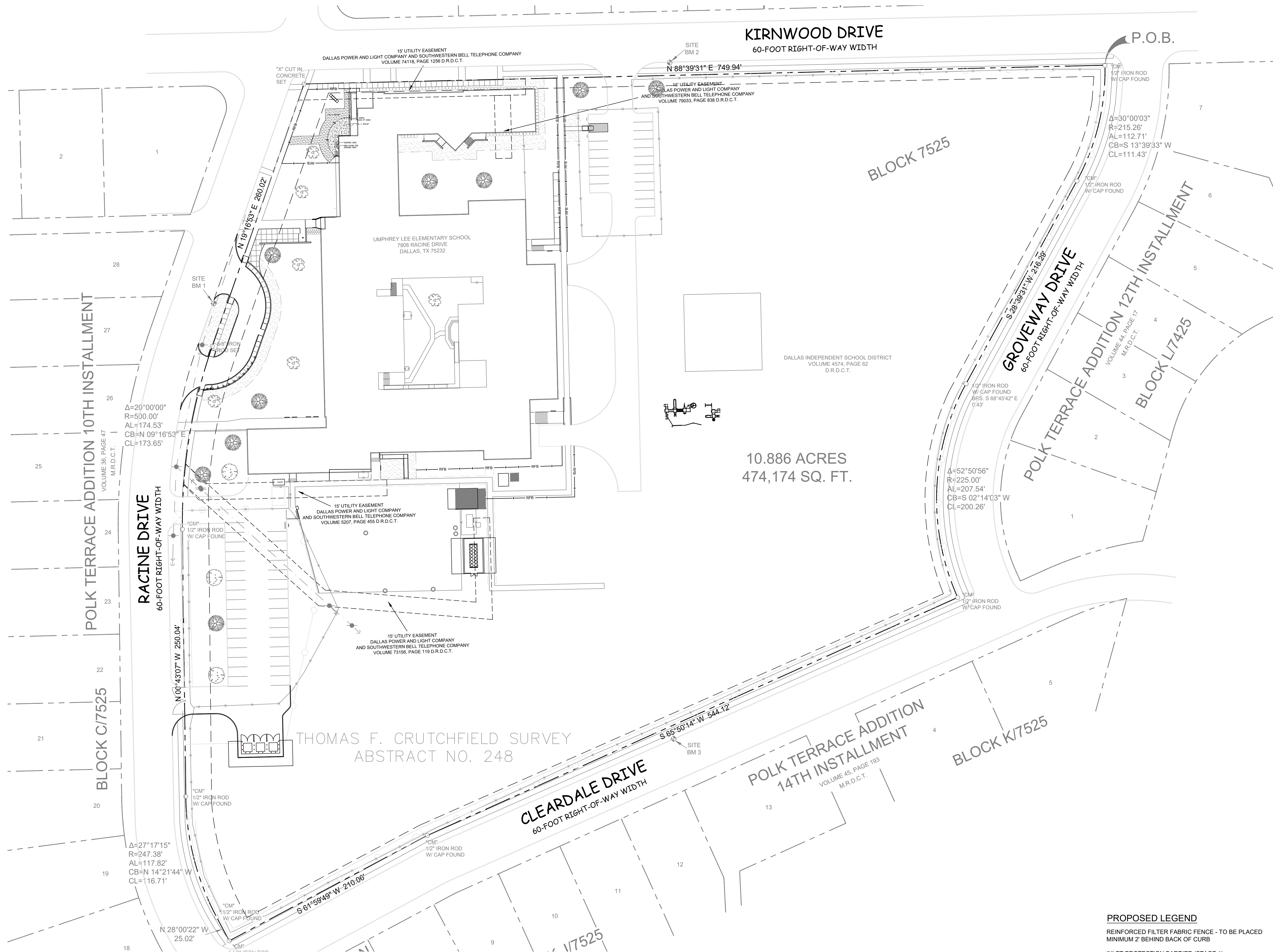


**Dimensions ARCHITECTS**  
DALLAS, TEXAS 75248  
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RENOVATIONS TO  
**UMPHREY LEE ELEMENTARY SCHOOL**  
7808 RACINE DR., DALLAS, TEXAS 75232

Date: 07/07/2024  
Revised:  
Project No. 2245  
File Name:  
Sheet Title: GRADING PLAN  
Sheet No. C07.01  
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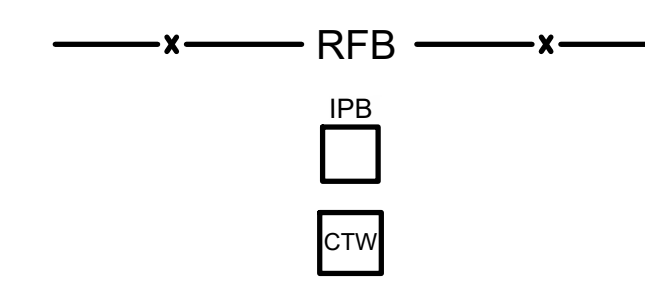


10.886 ACRES  
474,174 SQ. FT.

THOMAS F. CRUTCHFIELD SURVEY  
ABSTRACT NO. 248

**PROPOSED LEGEND**

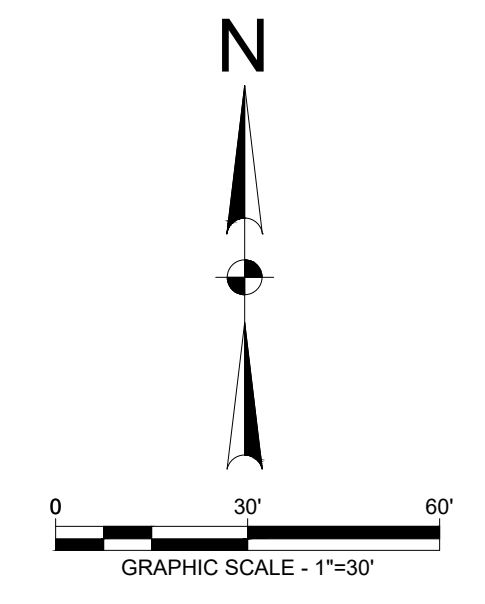
	REINFORCED FILTER FABRIC FENCE - TO BE PLACED MINIMUM 2' BEHIND BACK OF CURB
	INLET PROTECTION BARRIER (STAGE 1)
	CONCRETE WASHOUT



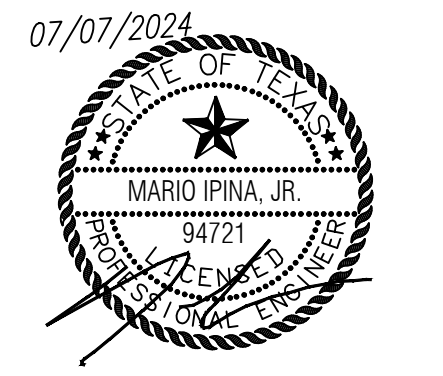
**SWPPP CONSTRUCTION NOTES:**

- CONTRACTOR SHALL IMPLEMENT INLET PROTECTION DEVICES AND REINFORCED FILTER FABRIC BARRIER ALONG ROAD AND SIDE DITCHES AT LOCATIONS SHOWN ON THE TYPICAL STORM WATER POLLUTION PREVENTION (SWPPP) PLANS TO KEEP SILT AND/OR EXCAVATED MATERIALS FROM ENTERING INTO THE STORM WATER INLETS AND DITCHES EVENTUALLY POLLUTING THE RECEIVING STORM.
- DURING THE EXCAVATION PHASE OF THE PROJECT, CONTRACTOR SHALL SCHEDULE THE WORK IN SHORT SEGMENTS SO THAT EXCAVATED MATERIAL CAN BE QUICKLY HAULED AWAY FROM THE SITE AND TO PREVENT IT FROM STAYING UNCOLLECTED ON THE EXISTING PAVEMENT. ANY LOOSE EXCAVATED MATERIAL WHICH FALL ON PAVEMENTS OR DRIVEWAYS SHALL BE SWEEPED BACK INTO THE EXCAVATED AREA.
- CONTRACTOR SHALL CLEAN UP THE EXISTING STREET INTERSECTIONS AND DRIVEWAYS DAILY, AS NECESSARY, TO REMOVE ANY EXCESS MUD, SILT OR ROCK TRACKED FROM THE EXCAVATED AREA.
- CONTRACTOR SHALL FOLLOW GOOD HOUSEKEEPING PRACTICES DURING THE CONSTRUCTION OF THE PROJECT. ALWAYS CLEANING UP DIRT AND LOOSE MATERIAL AS CONSTRUCTION PROGRESSES.

- NOTES:**
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  - CONTRACTOR TO BE RESPONSIBLE TO MAINTAIN EXISTING DITCHES AND/OR CULVERTS FOR UNOBSTRUCTED DRAINAGE AT ALL TIMES. WHERE SODDING IS DISTURBED BY EXCAVATION ON BACKFILLING OPERATIONS, SUCH AREAS SHALL BE REPLACED BY SEEDING OR SODDING. SLOPES 4:1 OR STEEPER SHALL BE REPLACED BY BLOCK SODDING.



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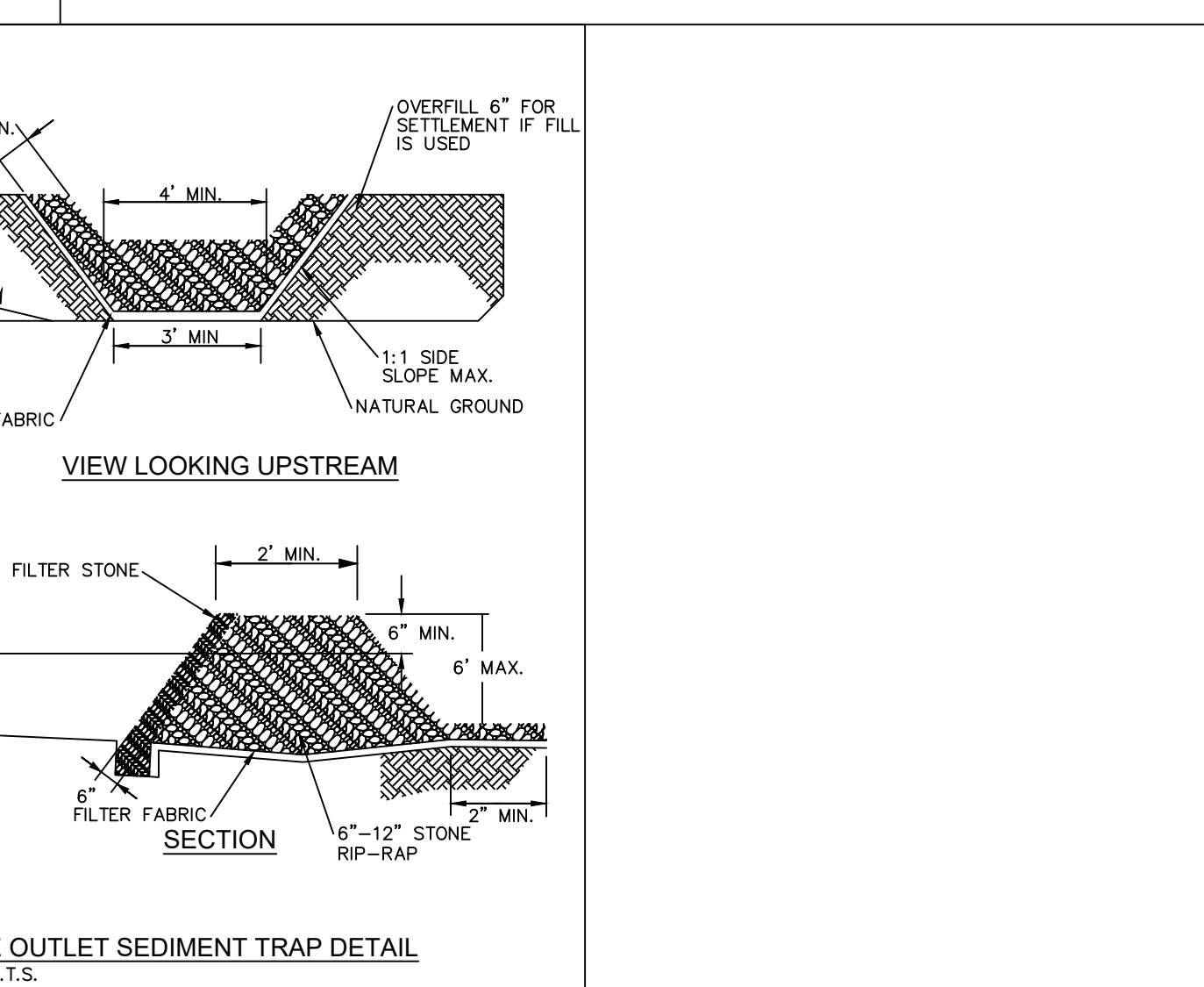
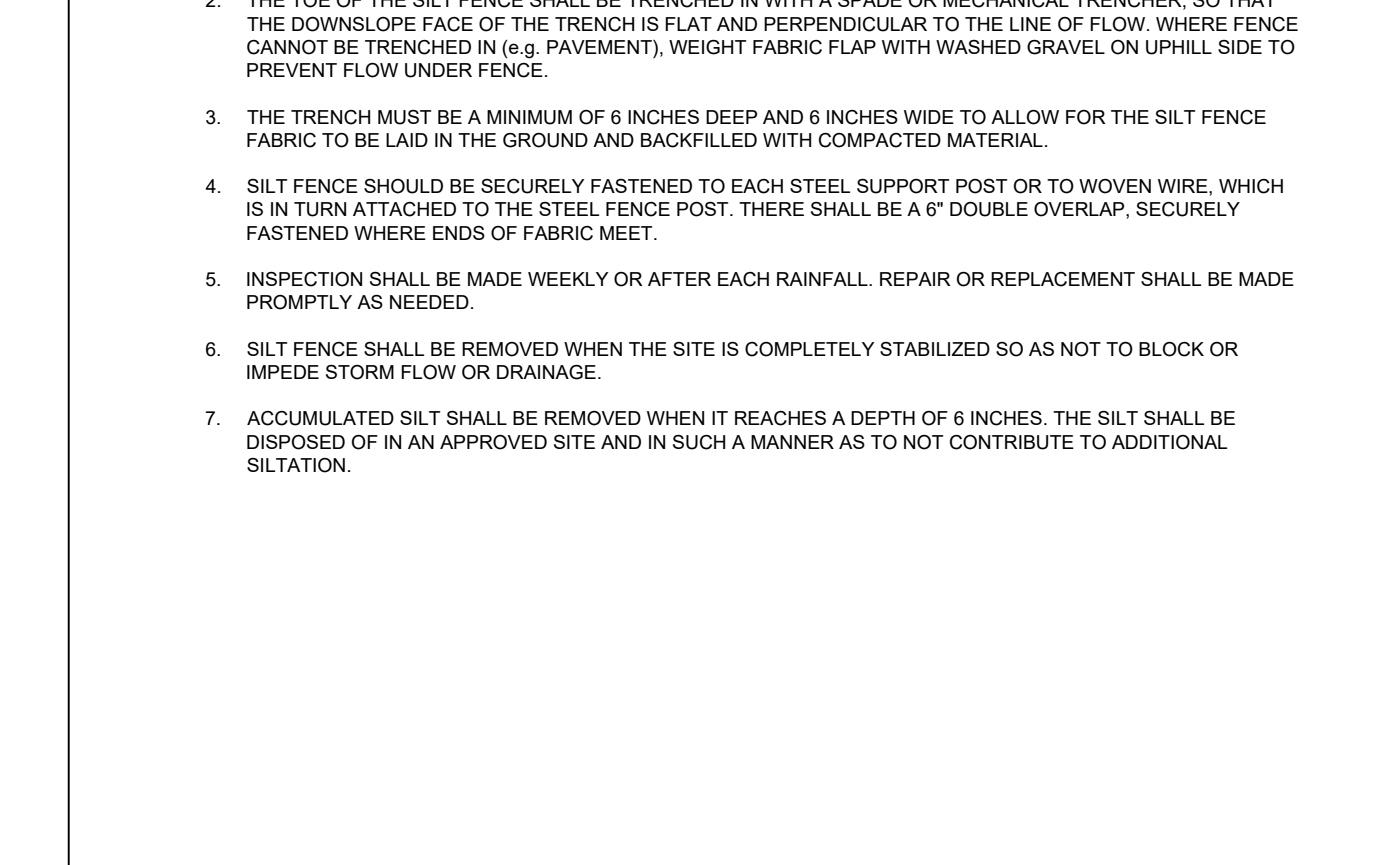
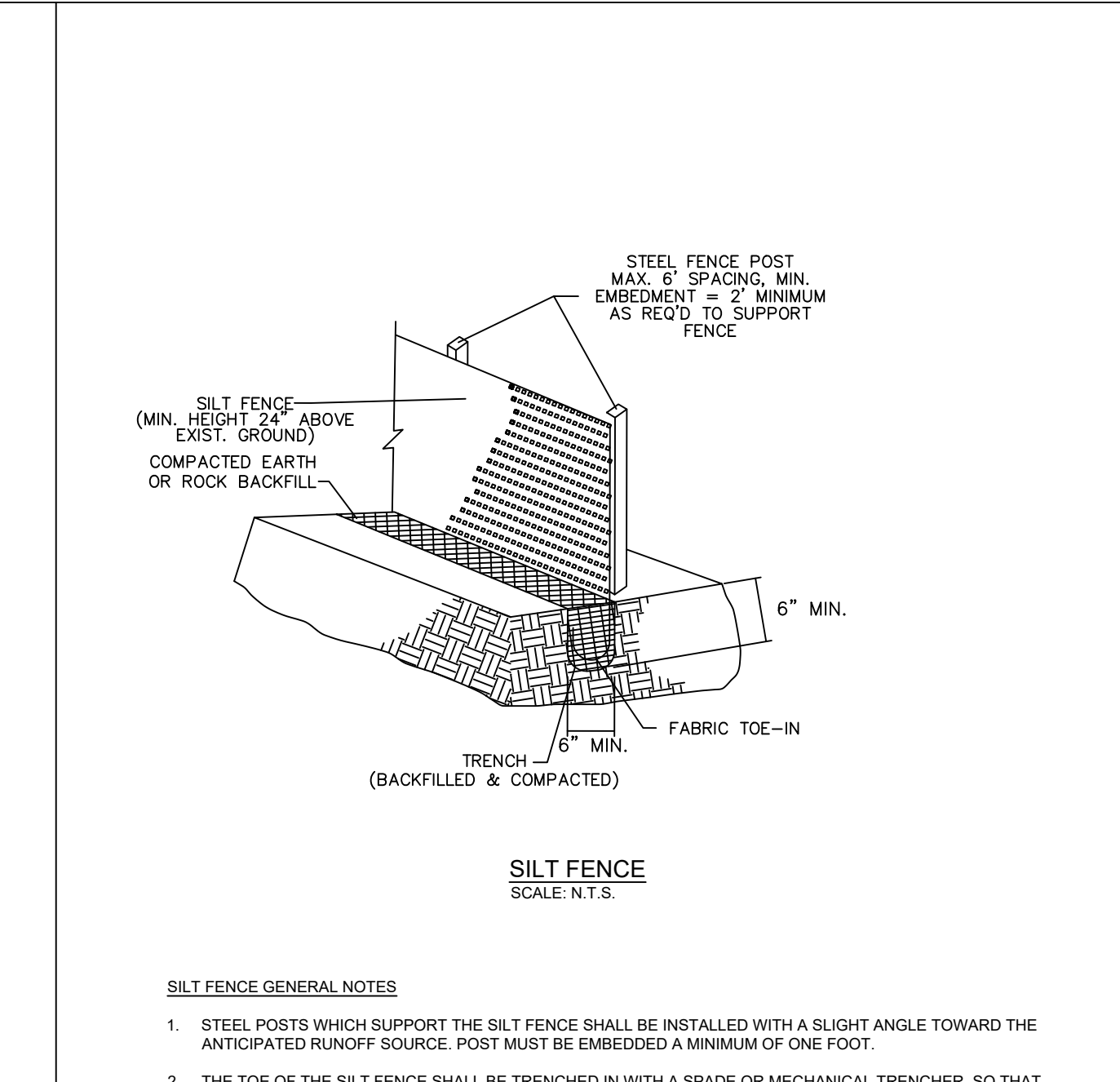
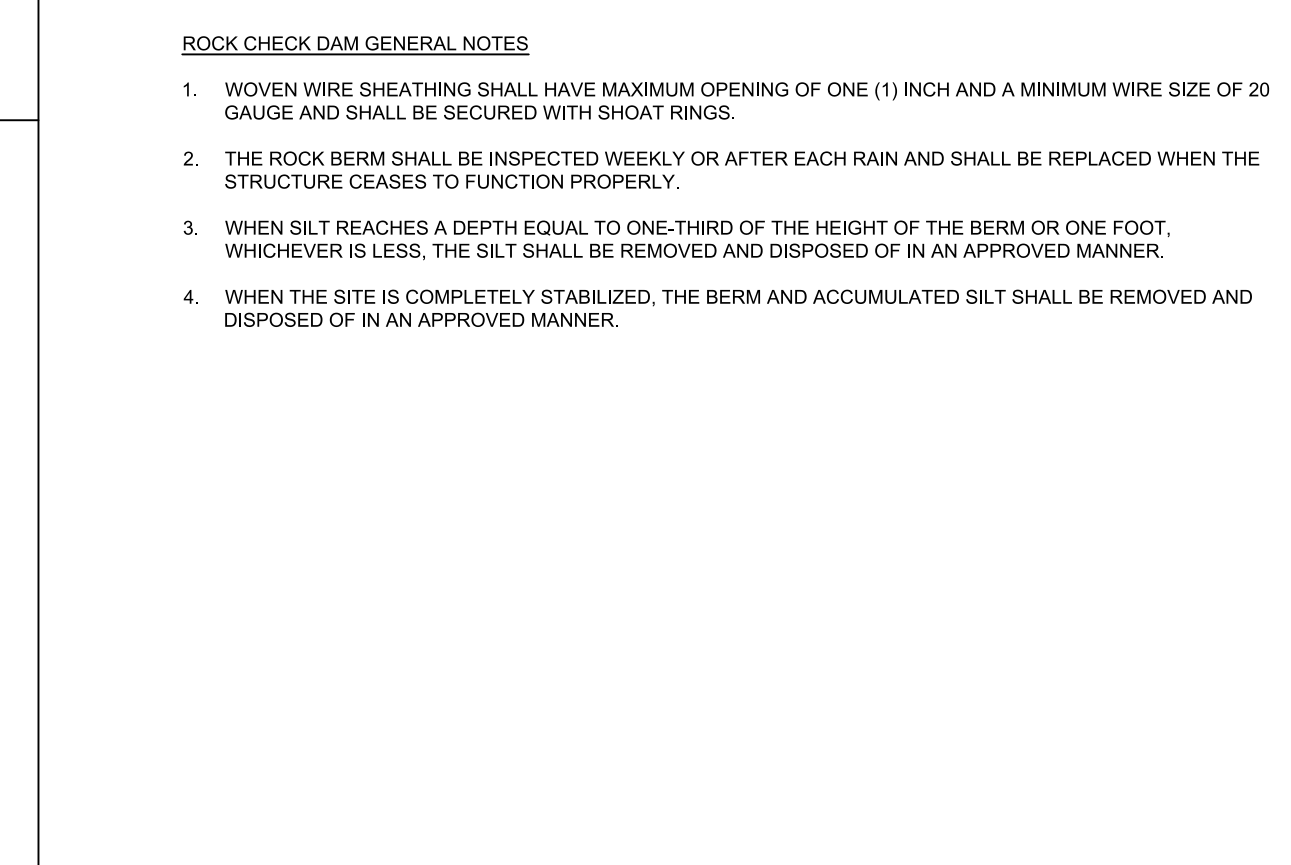
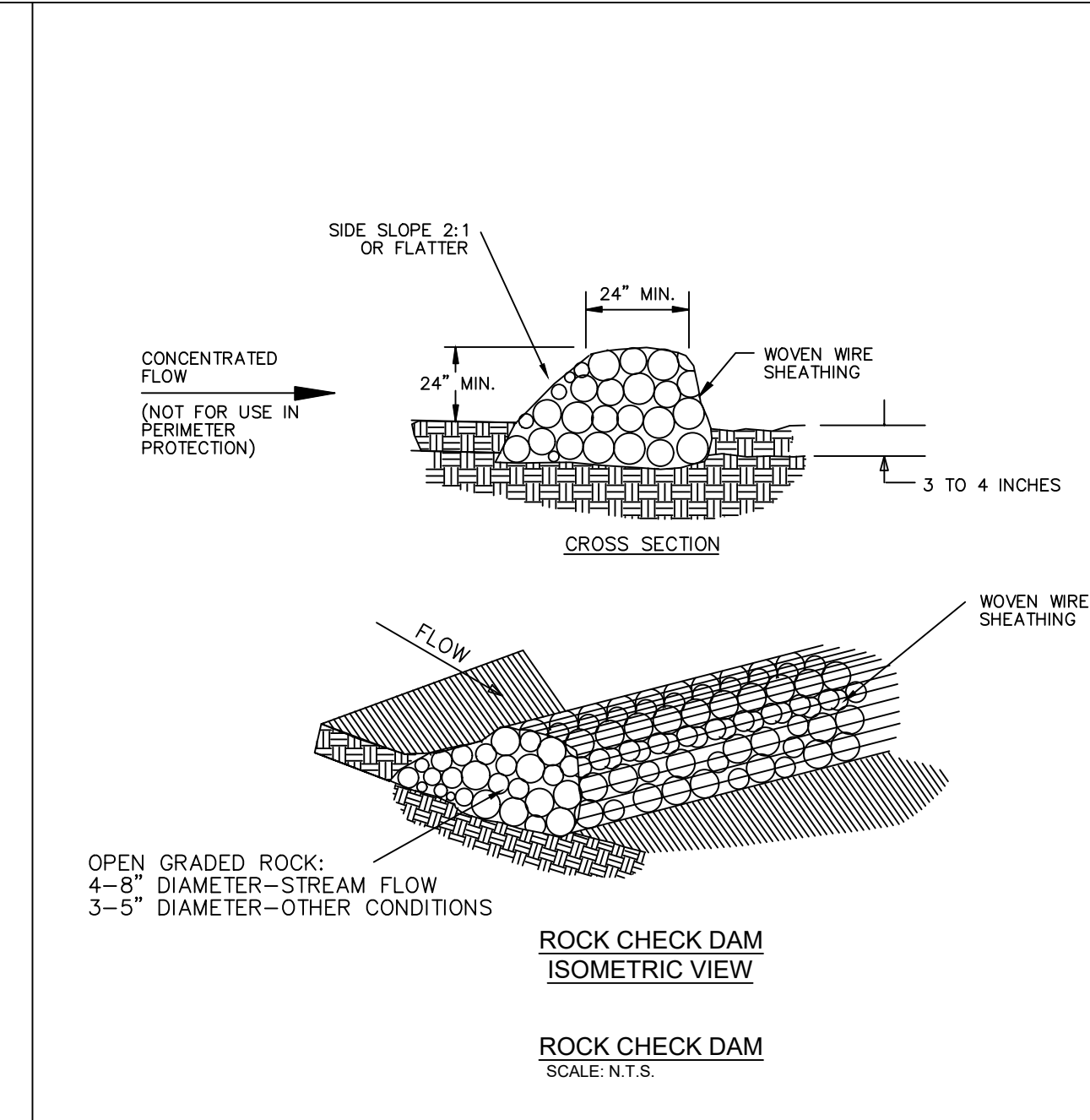
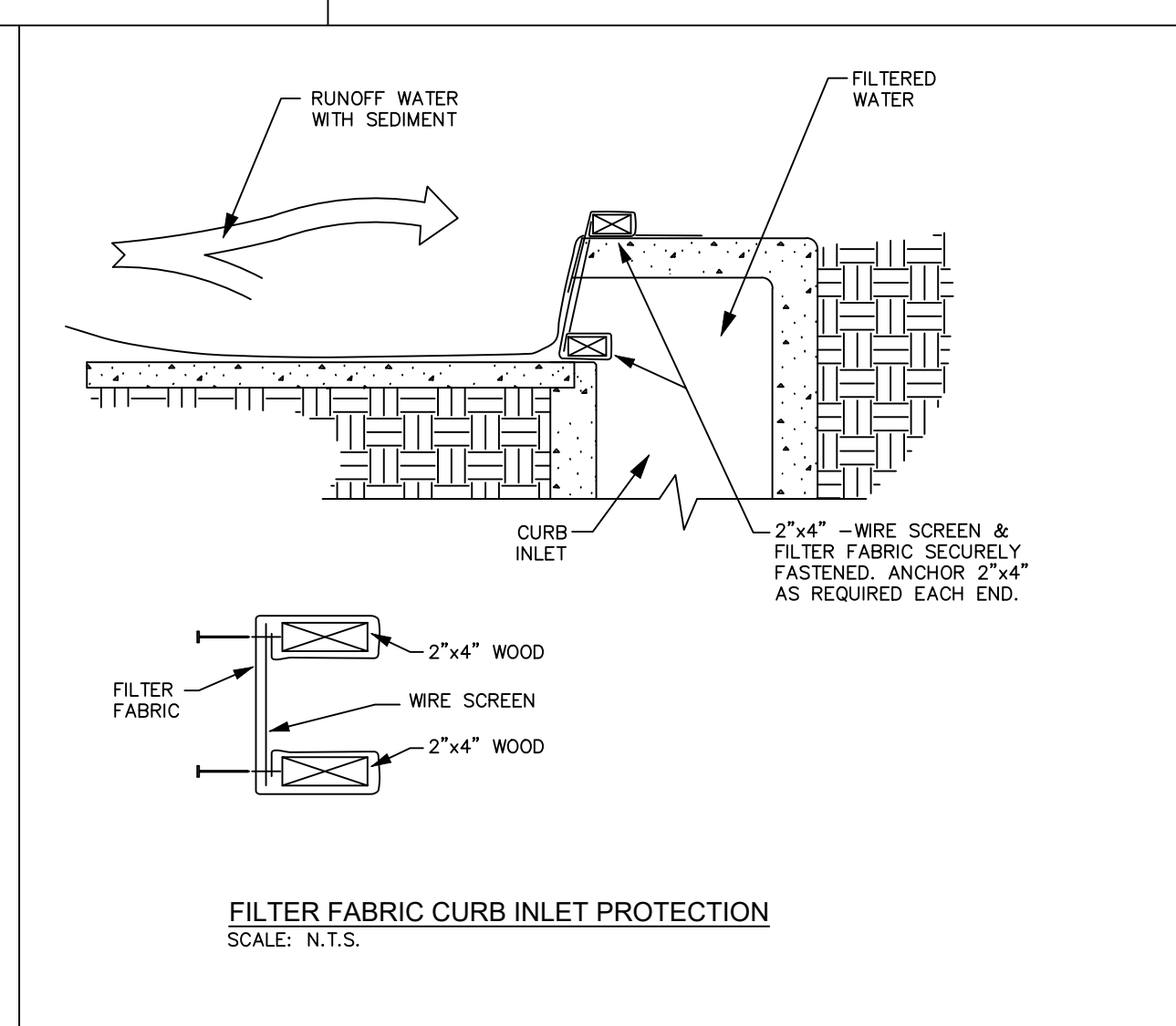
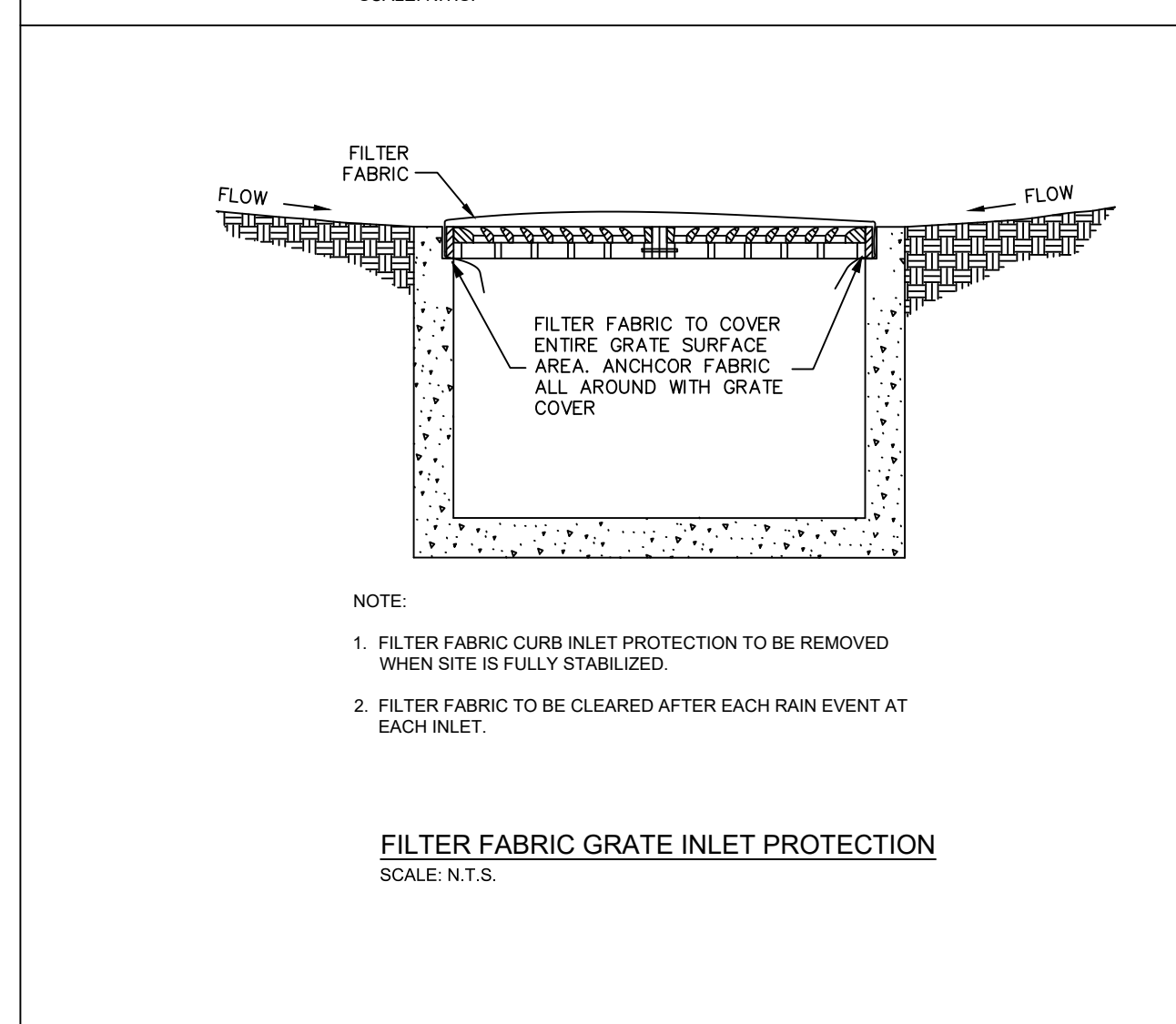
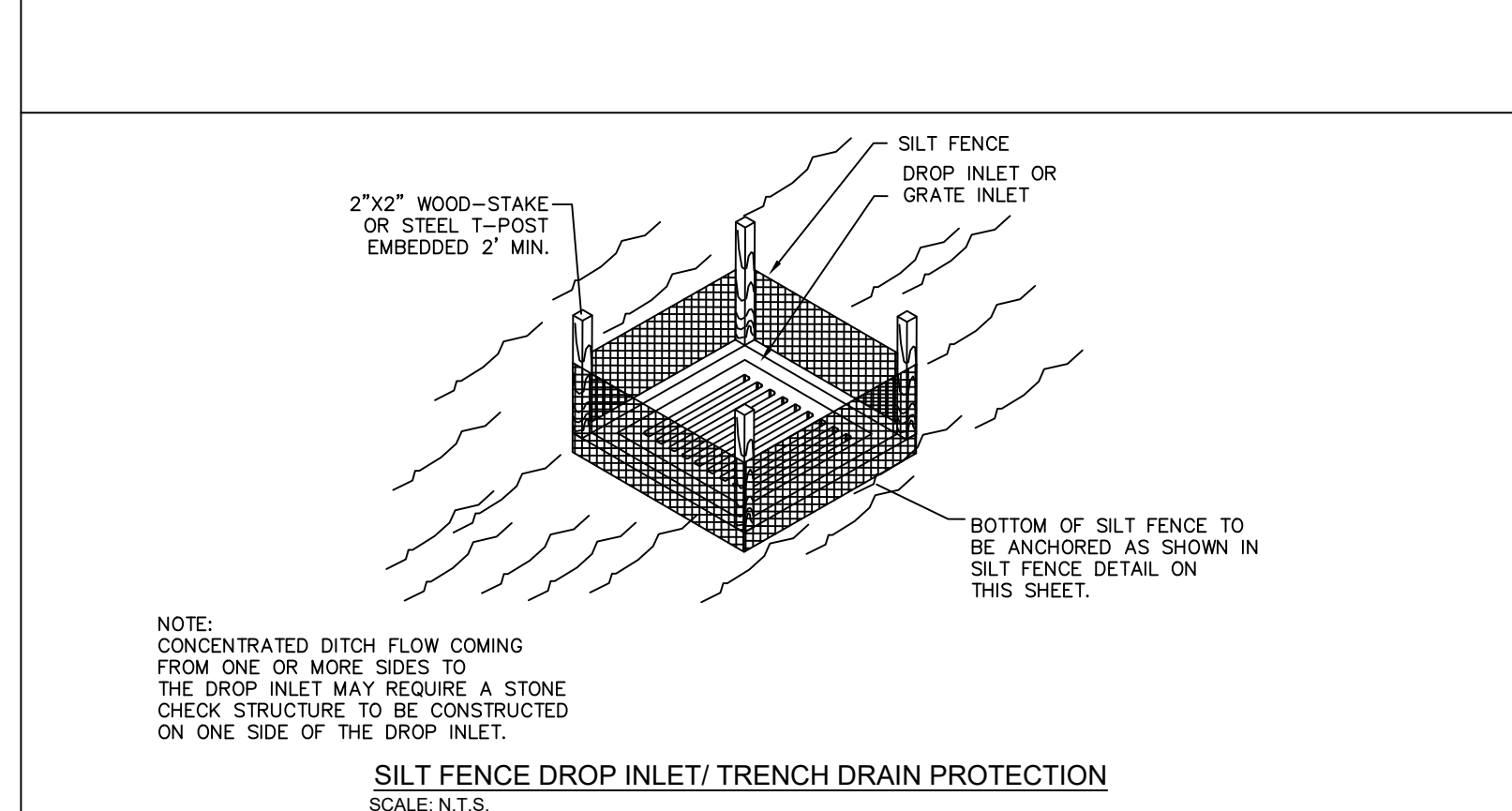
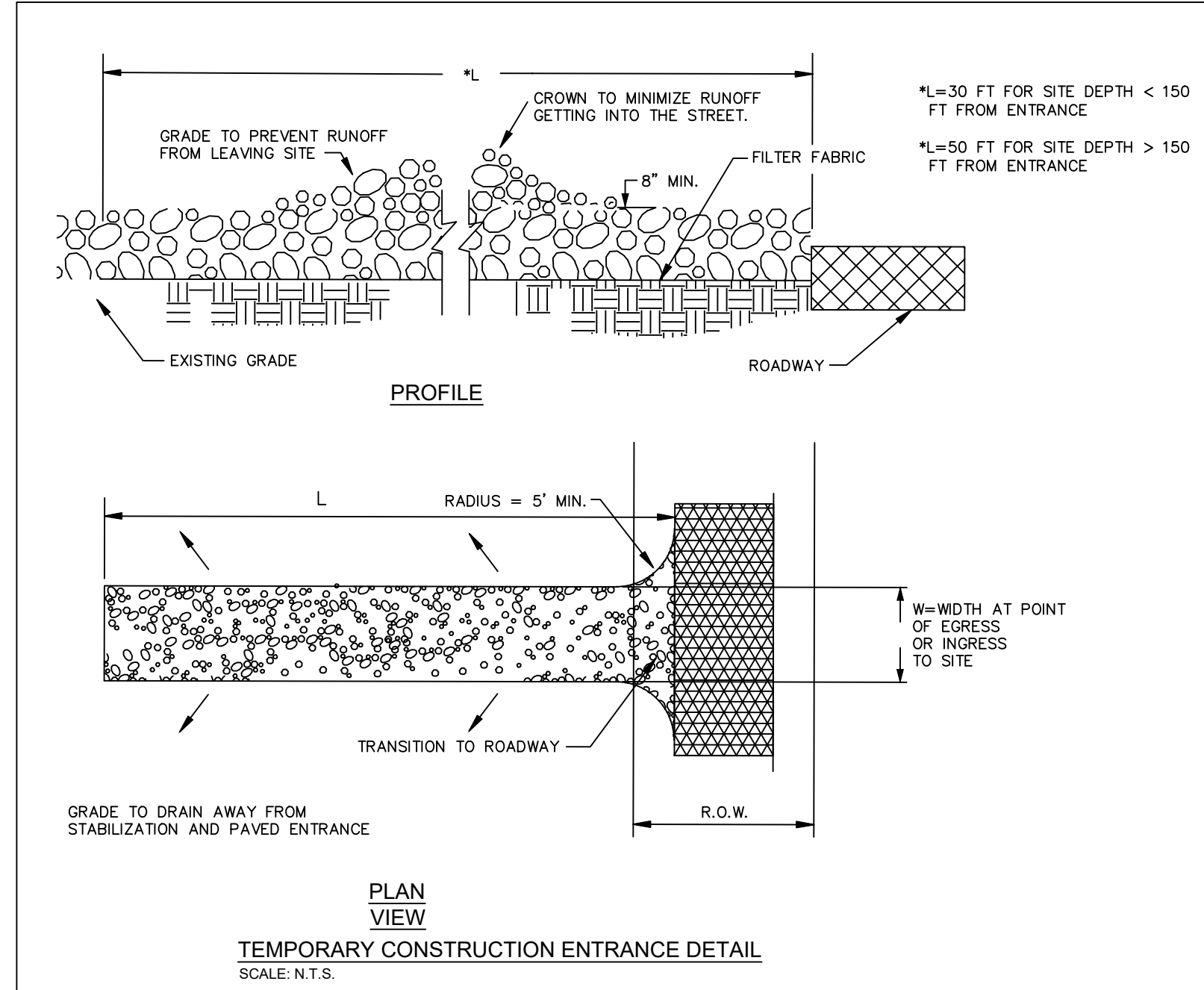
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File Name:  
Sheet Title: EROSION CONTROL PLAN

Sheet No.  
**C11.01**  
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**EROSION CONTROL NOTES**

1. THE CONTRACTOR IS RESPONSIBLE FOR PREPARING AND IMPLEMENTING A STORM WATER POLLUTION PREVENTION PLAN (SWPP3) IN ACCORDANCE WITH TCEQ TEXAS POLLUTANT DISCHARGE ELIMINATION SYSTEM (TPDES) PERMIT NO. TXR150000 (PERMIT). THE DETAILS SHOWN ON THIS SHEET REPRESENT TYPICAL METHODS FOR CONTROLLING EROSION DURING CONSTRUCTION AND ARE INTENDED FOR THE CONTRACTORS GUIDANCE IN PREPARING HIS POLLUTION PREVENTION PLAN. THE CONTRACTORS PLAN SHALL COMPLY WITH THE PERMIT AND FEDERAL, STATE AND LOCAL REQUIREMENTS.
2. THE CONTRACTORS PLAN SHALL INCLUDE, BUT NOT BE LIMITED TO, PREPARATION AND SUBMITTAL OF A NOTICE OF INTENT (NOI) TO THE TCEQ. IF THE PROJECT IS 5 ACRES OR LARGER AND PREPARATION OF ALL PLANS AND DOCUMENTATION AS REQUIRED BY THE PERMIT.
3. IT IS THE INTENT OF THE INFORMATION PROVIDED ON THESE DOCUMENTS TO BE USED AS A GENERAL GUIDELINE FOR THE CONTRACTOR. THE SWPP3 TO BE PREPARED BY THE CONTRACTOR SHALL MEET THE CURRENT REQUIREMENTS SET FORTH IN THE TCEQS TPDES GENERAL PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION SITES AS WELL AS ANY LOCAL REQUIREMENTS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL DURING CONSTRUCTION AND FOR OBTAINING ANY REQUIRED CONSTRUCTION RELATED DRAINAGE PERMITS, OR MAKING ANY CONSTRUCTION RELATED NOTIFICATIONS. AN INSPECTION REPORT THAT SUMMARIZES INSPECTION ACTIVITIES AND IMPLEMENTATION OF THE SWPP3 SHALL BE PERFORMED AS REQUIRED BY THE PERMIT AND RETAINED BY THE CONTRACTOR AND MADE A PART OF THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL PROVIDE COPIES OF ALL SWPP3 DOCUMENTS INCLUDING, BUT NOT LIMITED TO, INSPECTION RECORDS, ORIGINAL PLANS, AND MODIFIED PLANS TO THE OWNER AT CONTRACT CLOSE-OUT. DURING CONSTRUCTION THE CONTRACTOR SHALL PROVIDE COPIES OF THE INSPECTION REPORTS TO THE OWNER ON A MONTHLY BASIS.
5. TEMPORARY STORM DRAINAGE AND/OR EROSION CONTROL MATERIAL SHALL BE SUITABLE FOR THIS APPLICATION AND SHALL BE INSTALLED WITH THE PROPER TECHNIQUES BY THE CONTRACTOR AS REQUIRED BY NCTCOG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. TEMPORARY STORM DRAINAGE AND/OR EROSION CONTROL MATERIAL SHALL BE REMOVED BY THE CONTRACTOR. IN ADDITION TO ANY EXCAVATIONS BACKFILLED BY THE CONTRACTOR, IN ACCORDANCE WITH NCTCOG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION WHEN TEMPORARY EROSION CONTROL DEVICES ARE NO LONGER NEEDED AS SPECIFIED IN THE PERMIT. MAINTENANCE OF THE PERMANENT EROSION CONTROL MEASURES AT THE SITE WILL BE ASSUMED BY THE OWNER AT CONTRACT CLOSE OUT AND ACCEPTANCE OF THE WORK.
6. THE CONTRACTOR SHALL MAINTAIN HIS SWPP3 IN ACCORDANCE WITH THE TCEQ PERMIT AND MAKE HIS SWPP3 AVAILABLE, UPON REQUEST, TO THE TCEQ, AND/OR CITY.
7. THE CONTRACTOR MUST AMEND HIS SWPP3 WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE OF THE SWPP3, OR WHEN THE EXISTING SWPP3 PROVES INEFFECTIVE.
8. MODIFICATIONS SHALL NOT COMPROMISE THE INTENT OF THE REQUIREMENTS OF THE PERMIT. MODIFICATIONS INCLUDING DESIGN AND ALL ADDITIONAL MATERIALS AND WORK SHALL BE ACCOMPLISHED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
9. THE CONTRACTOR SHALL INSPECT HIS STABILIZATION AND EROSION CONTROL MEASURES AT A MINIMUM OF ONCE EVERY 14 DAYS, AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN 0.5 INCHES, OR ONCE EVERY 7 DAYS. THE CONTRACTOR SHALL REPAIR INADEQUACIES REVEALED BY THE INSPECTION BEFORE THE NEXT STORM EVENT AND HE SHALL MODIFY HIS SWPP3 WITHIN 7 DAYS OF THE INSPECTION.
10. THE CONTRACTOR SHALL ADOPT AND IMPLEMENT APPROPRIATE CONSTRUCTION SITE MANAGEMENT PRACTICES TO PREVENT THE DISCHARGE OF OILS, GREASE, PAINTS, GASOLINE, AND OTHER POLLUTANTS TO STORM APPROPRIATE PRACTICES SHALL INCLUDE, BUT NOT BE LIMITED DESIGNATING AREAS FOR EQUIPMENT MAINTENANCE AND REPAIR; COLLECTING WASTES PERIODICALLY; MAINTAINING CONVENIENTLY LOCATED WASTE RECEPTACLES, AND DESIGNATING AND CONTROLLING EQUIPMENT WASHDOWN.
11. BORROW AREAS, IF EXCAVATED, SHALL BE PROTECTED AND STABILIZED BY THE CONTRACTOR IN A MANNER ACCEPTABLE TO THE OWNER AND IN ACCORDANCE WITH PERMIT REQUIREMENTS.
12. ALL NON-PAVED AREAS SHALL BE SEEDED AND MULCHED WITH EROSION PROTECTION GRASS BY THE CONTRACTOR IMMEDIATELY UPON COMPLETION OF FINAL GRADING. THIS INCLUDES ALL DITCHES AND EMBANKMENTS. THE CONTRACTOR SHALL MAINTAIN FINAL GRADING, AND KEEP SEEDED AREAS WATERED UNTIL FULLY ESTABLISHED AND ACCEPTED BY OWNER.
13. THE CONTRACTOR SHALL CONSTRUCT A SILT FENCE AT LOCATIONS SUGGESTED ON PLANS AS APPROPRIATE OR AS MODIFIED IN HIS SWPP3 TO FIT SITE CONDITIONS AT THE TIME OF PLACEMENT, AND ALL BORROW AND STOCK PILE AREAS. THE SILT FENCE SHALL BE CONSTRUCTED AS DETAILED ON THIS PLAN. THE CONTRACTOR SHALL REMOVE ACCUMULATED SILT WHEN IT REACHES A DEPTH OF 1/4 THE HEIGHT OF THE SILT FENCE. THE CONTRACTOR SHALL DISPOSE OF THE REMOVED SILT IN A LOCATION APPROVED BY THE OWNER AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO EROSION AND SEDIMENTATION. THE CONTRACTOR SHALL REMOVE THE SILT FENCE WHEN THE SITE IS COMPLETELY STABILIZED IN ACCORDANCE WITH THE PERMIT.
14. THE CONTRACTOR SHALL DESIGNATE MATERIAL AND EQUIPMENT STORAGE AREAS MUTUALLY AGREED TO BY THE OWNER. THE STORAGE AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE, AND THE SURFACE STABILIZED WITH A MINIMUM OF 2 INCHES OF COMPACTED FLEX BASE OR 6 INCHES OF SCARIFIED AND RECOMPACTED SUBGRADE BY THE CONTRACTOR. A SILT FENCE SHALL BE INSTALLED BY THE CONTRACTOR AROUND THE STORAGE AREAS TO PREVENT ERODED MATERIAL FROM LEAVING THE SITE.
15. ALL INLETS (ONSITE AND OFFSITE) RECEIVING DRAINAGE WATER FROM DISTURBED AREAS SHALL BE PROTECTED BY THE CONTRACTOR AS PER DETAILS SHOWN OR OTHER OWNER APPROVED METHODS TO PREVENT ERODED MATERIAL FROM BEING TRANSPORTED INTO INLETS. THE INLET PROTECTION SHALL BE CONSTRUCTED AS SHOWN ON THESE PLANS.
16. THE NOTES AND DETAILS CONTAINED HEREIN DO NOT RELIEVE THE CONTRACTOR AND OWNER OF MEETING AND IMPLEMENTING THE REQUIREMENTS OF THE PERMIT.



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DOCUMENTS  
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**Dimension**  
ARCHITECTS  
6005 151<sup>ST</sup> HWY. SUITE 495  
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FAX: 214.271.3758

RENOVATIONS TO  
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Date: 07/07/2024  
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EROSION CONTROL DETAILS

Sheet No.  
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Sheet Of



STRUCTURAL ABBREVIATIONS

Table of structural abbreviations including A.B., A/C, A/E, A.F.F., ADDN'L, ADJ., AHU, ALT., ALUM., APPROX., ARCH., ARCH'L., B.F.F., B.L., B.P., BAL., B.L.D., BLK., BLKG., BM., BOT., BRDG., BRG., BRKT., BSMT., BTWN., C. OR COMP., C.I.P., C.J., C.L. OR k, CANT'L, CLG., CLR., COL., CMU, CON(S), CONSTR., CONT., CONTR., CTR., D.L., DBL., DEG. OR n, DET., DIA. OR c, DIAG., DIM(S), DN, DWG(S), DWL(S), E.E., E.F., E.G., E.S., E.W., E.W.B., E.W.T., E.W.T.B., EA., EL., ELEC., EMBD., EQ., EQUIP., EXIST., EXP., EXT., F. TO F., F.D., F.P., F.S., FDN., FIN. FL., FL., FLG., FT., FTG., G.C., GA., GALV., GEN., GB., H.P., H.S., HK., H.I.F., H.O.F., HT., HVAC, I.D., I.F., IN., INFO., INSUL., INT., INTERM., JST(S), JT., K, K.L.F., K.S.F., L.L., LLH, LLV, L.P., L.W., L.W.B., L.W.T., L.W.T.B., LB., LG., LONG., LWGT.

DESIGN LOADS

- 1. GRAVITY LOADS: A. DESIGN UNIFORM LIVE LOADS ARE AS LISTED BELOW... B. DESIGN UNIFORM SUPERIMPOSED DEAD LOADS ARE IN ADDITION TO THE WEIGHT OF THE BUILDING STRUCTURE... C. DESIGN CONCENTRATED LIVE LOADS ARE NOT COMBINED WITH UNIFORM LIVE LOADS... D. UNIFORM LIVE LOADS... E. UNIFORM SUPERIMPOSED DEAD LOADS... F. CONCENTRATED LIVE LOADS... G. CONCENTRATED FLOOR LOAD APPLIED OVER AREA OF 2'-6" x 2'-6"... 2. SNOW LOAD... 3. WIND LOADS... 4. SEISMIC LOADS

FOUNDATION

- 1. THESE NOTES APPLY TO ALL FOUNDATIONS AND SLABS ON GRADE DETAILED ON THE STRUCTURAL DRAWINGS... 2. FOUNDATION DESIGN IS BASED ON THE SOILS REPORT PREPARED BY "ALPHA, TESTING" REPORT NO. G231067, DATED JULY 17, 2023... 3. DESIGN END BEARING PRESSURE IS 20 KSF FOR DRILLED STRAIGHT-SHAFT PIERS WITH AT LEAST 3'-0" PENETRATION INTO TAN SHALY LIMESTONE... 4. CAST CONCRETE WITHIN 8 HOURS OF DRILLING PIER SHAFT INTO BEARING STRATUM... 5. SUBGRADE PREPARATION UNDER BUILDING SLAB ON GROUND... 6. PROVIDE 12" CARTON FORMS UNDER ALL GRADE BEAMS AND THE BUILDING SLAB... 7. ALL GRADE BEAMS SHALL BE FORMED ON BOTH SIDES... 8. NO UNDERGROUND WATER WAS ENCOUNTERED ABOVE THE DEPTH OF 28 FEET... 9. IF TEMPORARY CASINGS ARE NECESSARY, EXTRACTION OF THE CASINGS SHALL BE DONE IN A MANNER THAT MAINTAINS A POSITIVE HEAD OF PLASTIC CONCRETE...

CAST IN PLACE REINFORCED CONCRETE

- 1. ALL STRUCTURAL CONCRETE SHALL BE OF NORMAL WEIGHT AGGREGATE WITH SPECIFIED PROPERTIES AS FOLLOWS: GRADE BEAMS, PIERS, SLABS, OTHER CONCRETE... 2. REINFORCING STEEL SHALL CONFORM TO ASTM A-615, GRADE 60... 3. REINFORCING STEEL SPECIFICALLY NOTED TO BE SHOP OR FIELD WELDED REINFORCING STEEL IS NOT PERMITTED... 4. ALL REINFORCING SHALL LAP 48 BAR DIAMETERS AT SPLICES UNLESS NOTED OTHERWISE... 5. WELDED WIRE FABRIC SHALL BE SUPPLIED IN FLAT SHEETS, NOT ROLLS... 6. DETAILING OF CONCRETE REINFORCING AND ACCESSORIES SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ACI PUBLICATION 315... 7. UNLESS NOTED OTHERWISE, CONCRETE PROTECTION FOR REINFORCING SHALL BE AS FOLLOWS: PIERS, SLABS ON CARTON FORM, FORMED BEAMS AND WALLS... 8. NO HORIZONTAL JOINTS WILL BE PERMITTED IN CONCRETE, EXCEPT WHERE VERTICAL JOINTS OCCUR AT OR NEAR THE CENTER OF SPANS... 9. PROVIDE 5% (+/- 1.5%) AIR ENTRAINMENT IN CONCRETE PERMANENTLY EXPOSED TO WEATHER... 10. PLACE 6" P.V.C. WATERSTOPS IN ALL EXTERIOR CONSTRUCTION JOINTS BELOW GRADE AND ELSEWHERE AS CALLED FOR... 11. SEE SPECIFICATIONS FOR FORMWORK AND RESHORING GUIDELINES.

HOLLOW CONCRETE MASONRY

- 1. MASONRY WALL DESIGN IS BASED ON QUALITY ASSURANCE AS PRESCRIBED IN IBC 2021 SECTION 2105 BASED ON DESIGN FOR FULL STRESSES, AND AS PRESCRIBED IN ACI-530.1 SECTION 1.14... 2. ALL HOLLOW CONCRETE BLOCK SHALL CONFORM WITH ASTM C90, TYPE N-1, AND SHALL HAVE A COMPRESSIVE STRENGTH, BASED ON THE NET AREA AND AN AVERAGE OF 3 UNITS, OF 1,900 PSI... 3. MORTAR FOR REINFORCED HOLLOW CONCRETE MASONRY SHALL BE TYPE S WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 1800 PSI... 4. GROUT FOR REINFORCED HOLLOW CONCRETE MASONRY SHALL HAVE THE FOLLOWING PROPERTIES: MINIMUM STRENGTH = 2500 PSI AT 28 DAYS... 5. PROVIDE HORIZONTAL JOINT REINFORCEMENT AT EVERY SECOND BLOCK COURSE UNLESS NOTED IN THE SPECIFICATION... 6. U.N.O. REINFORCE BOND BEAMS WITH 2-#5 CONTINUOUS, AND EXTEND BOND BEAM REINFORCING CONTINUOUS THROUGH CONTROL JOINTS... 7. U.N.O. ON PLANS PROVIDE VERTICAL REINFORCEMENT AS FOLLOWS: A. 12" CONCRETE BLOCK = #6 AT 24" O.C.E.F. B. 1-#5 EACH END OF WALL C. 1-#5 EACH CORNER OR INTERSECTION IN WALL D. 1-#5 EACH SIDE OF OPENING IN WALL E. 1-#5 EACH OF THREE CELLS UNDER STEEL BEAM SUPPORT ON WALL F. 1-#5 EACH CELL IN COLUMN

GENERAL

- 1. ALL MEMBERS AND MATERIALS COVERED UNDER THESE GENERAL NOTES AND THE CONSTRUCTION DOCUMENTS SHALL AS A MINIMUM BE INSPECTED IN ACCORDANCE WITH THE IBC 2015 CODE CHAPTER 17 : STRUCTURAL TESTS AND SPECIAL INSPECTIONS... 2. SEE MECHANICAL DRAWINGS FOR EXACT LOCATION AND SIZES OF SMALL MECHANICAL OPENINGS, SLEEVES, ETC. NOT SHOWN ON THE STRUCTURAL DRAWINGS... 3. REFER TO ARCHITECTURAL DRAWINGS FOR ALL FINISHES, DIMENSIONS OF SLAB DROPS, CHAMFERS, ETC... 4. THE USE OF REPRODUCTIONS OF THE DESIGN STRUCTURAL DRAWINGS FOR SHOP DRAWING PURPOSES IS NOT ACCEPTABLE... 5. THE CONTRACTOR SHALL VERIFY, PRIOR TO CONSTRUCTION, THAT THE NEW STRUCTURE WILL NOT CONFLICT WITH ANY EXISTING UTILITIES... 6. ALL VERTICAL REINFORCING STEEL SHALL BE CENTERED IN CELLS UNLESS NOTED OTHERWISE... 7. PROVIDE VERTICAL DOWELS TO MATCH SIZE AND LOCATIONS OF VERTICAL BAR LAP WITH VERTICAL REINFORCING AS NOTED BELOW... 8. LAP SPLICES IN MASONRY REINFORCEMENT: A. #3 BARS LAP 15" B. #4 BARS LAP 24" C. #5 BARS LAP 30" D. #6 BARS LAP 36" 9. ALL HORIZONTAL REINFORCING BARS IN LINTEL BEAMS SHALL BE CONTINUOUS BARS WITH NO SPLICES... 10. VERTICAL REINFORCEMENT SHALL BE MADE CONTINUOUS AT THE BASE OF ALL PARAPETS... 11. HORIZONTAL REINFORCEMENT SHALL BE MADE CONTINUOUS AT THE FACE OF ALL CANTILEVERS...

STRUCTURAL STEEL

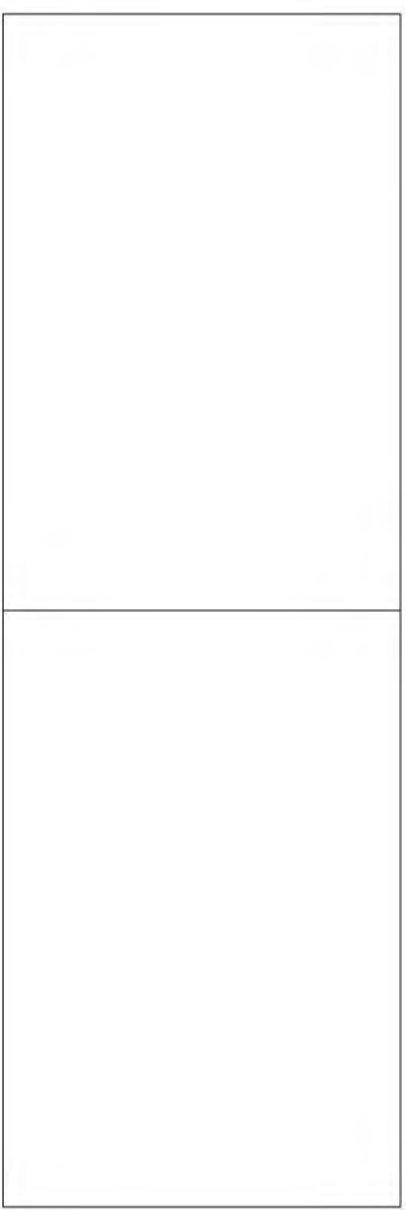
- 1. STRUCTURAL SHAPES AND PLATES SHALL CONFORM TO THE FOLLOWING, UNLESS NOTED OTHERWISE ON THE DRAWINGS: A. ALL WIDE FLANGE & WT SECTIONS - ASTM A992, GRADE 50 B. ALL HSS MEMBERS - ASTM A500, GRADE B, 46 KSI FOR RECT. SHAPES, 42 KSI FOR ROUND SHAPES C. ALL PIPE MEMBERS - ASTM A53 (E OR S), GRADE B D. ALL ANCHOR BOLTS - ASTM F1554, GRADE 36 E. ALL OTHER SHAPES AND PLATES - ASTM A36... 2. ALL CONNECTION BOLTS FOR STRUCTURAL STEEL MEMBERS SHALL BE 3/4 IN. CONFORMING TO ASTM A-325... 3. ALL WELDING SHALL BE DONE IN ACCORDANCE WITH A.W.S. CODE... 4. SEE SPECIFICATIONS FOR PRIMER SURFACE PREPARATION REQUIREMENTS... 5. PROVIDE STIFFENERS AT ALL LOCATIONS SHOWN ON DETAILS... 6. ALL COLUMN BASE PLATES SHALL BE FULLY GROUTED... 7. SEE SPECIFICATIONS FOR EXPOSED STEEL REQUIREMENTS.

METAL ROOF DECK

- 1. THE METAL ROOF DECK IS REQUIRED TO ACT AS A STRUCTURAL DIAPHRAGM AND SHALL BE FASTENED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS... 2. THE METAL ROOF DECK SHALL BE FASTENED TO SUPPORTS AND PERIMETER USING 5/8" DIAMETER FULL FUSION PUDDLE WELDS... 3. MAXIMUM SPACING OF CONNECTIONS SHALL BE AS FOLLOWS: A. AT SUPPORTS: ALTERNATE FLUTES B. AT SIDELAPS: 18" C. PERIMETER: 12" 4. THE METAL ROOF DECK SHALL BE CONTINUOUS OVER THREE OR MORE SPANS.

EXISTING CONDITIONS

- 1. ALL EXISTING STRUCTURAL ELEMENTS (SLABS, BEAMS, COLUMNS, ETC.) SHALL REMAIN INTACT... 2. INFORMATION PROVIDED ON THESE DRAWINGS RELATED TO EXISTING CONDITIONS IS BASED ON AVAILABLE DESIGN DOCUMENTS... 3. CAUTION SHALL BE USED DURING THE EXISTING CLADDING REMOVING OPERATION... 4. CORE DRILLS REQUIRED BY MECHANICAL OR ELECTRICAL TRADES... 5. EXISTING CONCRETE SURFACE PREPARATION: INTENTIONALLY ROUGHEN EXISTING CONCRETE SURFACES...



07.07.2024 100% CONSTRUCTION DOCUMENTS ISSUED FOR PERMIT AND CONSTRUCTION



RENOVATIONS TO UMPHREY LEE ELEMENTARY SCHOOL 7808 RACINE DR. DALLAS, TEXAS 75232

Date: 07/07/2024

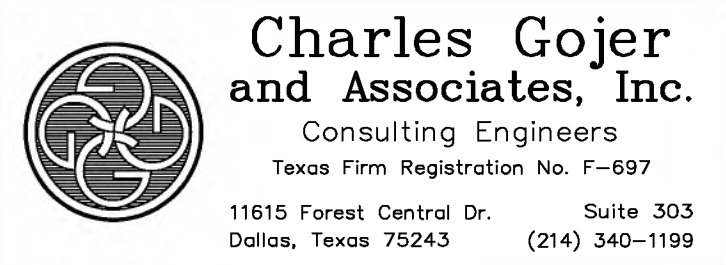
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File Name:

Sheet Title: STRUCTURAL ABBREVIATIONS AND GENERAL NOTES

Sheet No.



\$1.1 Sheet Of

JOB NO. 20 - 104



REQUIRED SPECIAL INSPECTIONS

NOTES

- THE OWNER SHALL EMPLOY QUALIFIED SPECIAL INSPECTORS TO PERFORM INSPECTIONS IN ACCORDANCE WITH THE 2021 INTERNATIONAL BUILDING CODE. INSPECTORS SHALL PERFORM ALL DUTIES AND RESPONSIBILITIES AS REQUIRED BY THE BUILDING CODE. JOB SITE VISITS BY THE STRUCTURAL ENGINEER DO NOT CONSTITUTE AND ARE NOT A SUBSTITUTE FOR SPECIAL INSPECTIONS.
- THE FOLLOWING SCHEDULE CONTAINS A LIST OF THE SPECIAL INSPECTION ACTIVITIES RELATED TO THE QUALITY ASSURANCE PLAN REQUIRED BY THE 2021 INTERNATIONAL BUILDING CODE (IBC CHAPTER 17) FOR THE FABRICATION, ERECTION AND CONSTRUCTION OF THE STRUCTURAL SYSTEMS AS DESCRIBED IN THE SPECIFICATION AND DRAWINGS FOR THE PROJECT. ALL INSPECTORS SHALL BE QUALIFIED BY TRAINING AND EXPERIENCE FOR THE REQUIRED INSPECTIONS AND TEST PROCEDURES. REFER TO IBC CHAPTER 17 "STRUCTURAL TESTS AND SPECIAL INSPECTIONS", AND SPECIFICATION SECTION 01 45 23 "TESTS AND INSPECTIONS", FOR SPECIFIC TEST PROCEDURES.
- TESTING AND INSPECTION REPORTS SHALL BE PREPARED FOR EACH INSPECTION ITEM ON A DAILY BASIS WHENEVER INSPECTIONS ARE MADE ON THAT ITEM. REPORTS SHALL BE DISTRIBUTED TO THE OWNER, CONTRACTOR, ARCHITECT, STRUCTURAL ENGINEER, AND BUILDING OFFICIAL (IF REQUESTED), FOR THEIR REVIEW, COMMENT, AND ACTION, AS NEEDED.
- ARCHITECTURAL, MECHANICAL AND ELECTRICAL COMPONENTS REQUIRING SPECIAL INSPECTIONS PER SECTION 1705 OF THE 2021 IBC HAVE NOT BEEN LISTED HERE. REFER TO ARCH/MEP FOR SPECIAL INSPECTION REQUIREMENTS FOR THESE COMPONENTS.
- IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO ENSURE THESE TESTS AND INSPECTIONS ARE PERFORMED.

STRUCTURAL STEEL				CONCRETE AND REINFORCING STEEL				MASONRY CONSTRUCTION (REF TABLE 1.18.3 ACI 530)							
REQUIRED VERIFICATION AND INSPECTION OF STRUCTURAL STEEL (REF TABLE 1705.3 OF IBC)				GENERAL				VERIFICATION AND INSPECTION							
VERIFICATION AND INSPECTION	CONTINUOUS	PERIODIC	REFERENCED STANDARD	IBC REFERENCE	INSPECTION ITEM REQUIRED	CONTINUOUS	PERIODIC	REFERENCED STANDARD	IBC REFERENCE	CONTINUOUS	PERIODIC	REFERENCED STANDARD	IBC REFERENCE		
1. MATERIAL VERIFICATION OF HIGH-STRENGTH BOLTS, NUTS AND WASHERS				TAKE CONCRETE SPECIMENS FOR STRENGTH TESTS TO BE PERFORMED IN LAB. A MINIMUM OF FIVE (5) CYLINDERS SHALL BE MADE. TEST 1. TWO AT SEVEN DAYS, TWO AT 28 DAYS. THE FIFTH CYLINDER SHALL BE TESTED AT 28 DAYS IF ONE OR BOTH OF THE 28-DAY CYLINDER RESULTS ARE BELOW STRENGTH, IN ACCORDANCE WITH ACI 214.				1. PROPORTIONS OF SITE MIXED MORTAR & GROUT							
A. IDENTIFICATION MARKINGS TO CONFORM TO ASTM STANDARDS SPECIFIED IN THE APPROVED CONSTRUCTION DOCUMENTS.	-	X	APPLICABLE ASTM MATERIAL STANDARDS; AISC 360, SECTION A3.3	-	2. PERFORM CONCRETE STRENGTH TESTING IN LAB	X	-	-	-	-	X	ACI 530: 1.18	1705.4		
B. MANUFACTURER'S CERTIFICATE OF COMPLIANCE REQUIRED.	-	X	-	-	3. MAINTAIN A SPREADSHEET SHOWING THE DATE, SEQUENTIAL ORDER OF STRENGTH TEST RESULTS AND INDICATE THE RUNNING AVERAGE	X	-	-	-	X	-	ACI 530: 1.18	1705.4		
C. VERIFY CORRECT STRUCTURAL STEEL MATERIAL DELIVERED TO JOBSITE.	-	X	-	-	4. OBSERVE FOR PROPER CONCRETE PLACEMENT	X	-	-	-	X	-	ACI 530: 1.18	1705.4		
2. INSPECTION OF HIGH-STRENGTH BOLTING				REQUIRED VERIFICATION AND INSPECTION OF CONCRETE CONSTRUCTION (REF TABLE 1705.4 OF IBC 2021)				COMPLIANCE OF PREPARATION, CONSTRUCTION, AND PROTECTION OF MASONRY DURING COLD WEATHER (TEMPERATURE BELOW 40 DEGREES F.) OR HOT WEATHER (TEMPERATURE ABOVE 90 DEGREE F.)							
A. SNUG-TIGHT JOINTS.	-	X	-	-	VERIFICATION AND INSPECTION				CONTINUOUS	PERIODIC	REFERENCED STANDARD	IBC REFERENCE			
B. PRETENSIONED AND SLIP-CRITICAL JOINTS USING TURN-OF-NUT WITH MATCHMARKINGS, TWIST-OFF BOLT OR DIRECT TENSION INDICATOR METHODS OF INSTALLATION.	-	X	AISC 360, SECTION M2.5	1705.3.3	1. INSPECT PLACEMENT OF REINFORCING STEEL, INCLUDING PRESTRESSING TENDONS PRIOR TO THE CLOSING OF THE FORMS AND ARRIVAL OF CONCRETE ONSITE.	-	X	ACI 318: 3.5, 7.1-7.7	1910.4	-	X	ACI 530: 1.18	1705.4		
C. PRETENSIONED AND SLIP-CRITICAL JOINTS USING TURN-OF-NUT WITHOUT MATCHMARKING OR CALIBRATED WRENCH METHODS OF INSTALLATION.	X	-	-	-	2. INSPECTION OF REINFORCING STEEL WELDING IN ACCORDANCE WITH TABLE 1704.3, ITEM 5b.	X	-	AWS D1.4 ACI 318: 3.5.2	-	X	-	ACI 530: 1.18	1705.4		
D. VERIFY CORRECT MATERIAL USED FOR HIGH-STRENGTH BOLTS, NUTS AND WASHERS	-	X	-	-	3. INSPECT BOLTS AND RODS TO BE INSTALLED IN CONCRETE PRIOR TO AND DURING PLACEMENT OF CONCRETE	X	-	ACI 318: 8.1.3, 21.2.8	1908.5, 1909.1	X	-	ACI 530: 1.18	1705.4		
3. MATERIAL VERIFICATION OF STRUCTURAL STEEL AND COLD-FORMED STEEL DECK:				4. INSPECTION OF ANCHORS INSTALLED IN HARDENED CONCRETE.				-	X	ACI 318: 3.8.6, 8.1.3, 21.2.8	-	X	ACI 530: 1.18	1705.4	
A. FOR STRUCTURAL STEEL, IDENTIFICATION MARKINGS TO CONFORM TO AISC 360.	-	X	AISC 360 SECT. M5.5	-	5. VERIFYING USE OF REQUIRED DESIGN MIX.	X	-	ACI 318: CH. 4, 5.2-5.4	1904.2.2, 1910.2, 1910.3	X	-	ACI 530: 1.18	1705.4		
B. FOR OTHER STEEL, IDENTIFICATION MARKINGS TO CONFORM TO ASTM STANDARDS SPECIFIED IN THE APPROVED CONSTRUCTION DOCUMENTS.	-	X	APPLICABLE ASTM STANDARDS	-	6. AT TIME FRESH CONCRETE IS SAMPLED TO FABRICATE SPECIMENS FOR STRENGTH TESTS, PERFORM SLUMP AND AIR CONTENT TESTS AND DETERMINE THE TEMPERATURE OF THE CONCRETE.	X	-	ASTM C 172 ASTM C 31 ACI 318: 5.6, 5.8	1910.10	X	-	ACI 530: 1.18	1705.4		
C. MANUFACTURER'S CERTIFIED TEST REPORTS.	-	X	-	-	7. INSPECTION OF CONCRETE AND SHOTCRETE PLACEMENT FOR PROPER APPLICATION TECHNIQUES.	X	-	ACI 318: 5.9, 5.10	1910.6, 1910.8	-	X	ACI 530: 1.18	1705.4		
4. MATERIAL VERIFICATION OF WELD FILLER MATERIALS:				8. INSPECTION FOR MAINTENANCE OF SPECIFIED CURING TEMPERATURE AND TECHNIQUES.				-	X	ACI 318: 5.11-5.13	1910.9	-	X	ACI 530: 1.18	1705.4
A. IDENTIFICATION MARKINGS TO CONFORM TO AWS SPECIFICATION IN THE APPROVED CONSTRUCTION DOCUMENTS.	-	X	AISC 360, SECTION A3.5 AND APPLICABLE AWS A5 DOCUMENTS	-	9. ERECTION OF PRECAST CONCRETE MEMBERS.	-	X	ACI 318: CH. 16	-	X	-	ACI 530: 1.18	1705.4		
B. MANUFACTURER'S CERTIFICATE OF COMPLIANCE REQUIRED.	-	X	-	-	10. VERIFICATION OF IN-SITU CONCRETE STRENGTH, PRIOR TO STRESSING OF TENDONS IN POST TENSIONED CONCRETE AND PRIOR TO REMOVAL OF SHORES AND FORMS FROM BEAMS AND STRUCTURAL SLABS.	-	X	ACI 318: 6.2	-	X	-	ACI 530: 1.18	1705.4		
C. VERIFY CORRECT FILLER MATERIAL USED IN WELDS	-	X	-	-	11. INSPECT FORMWORK FOR SHAPE, LOCATION AND DIMENSIONS OF THE CONCRETE MEMBER BEING FORMED.	-	X	ACI 318: 6.1.1	-	X	-	ACI 530: 1.18	1705.4		
5. INSPECTION OF WELDING:				REQUIRED VERIFICATION AND INSPECTION OF SOILS (REF TABLE 1705.7 OF IBC 2021)				VERIFICATION AND INSPECTION							
A. STRUCTURAL STEEL AND COLD-FORMED STEEL DECK:					VERIFICATION AND INSPECTION				CONTINUOUS	PERIODIC	REFERENCED STANDARD	IBC REFERENCE			
1) ULTRASONIC OR MAGNETIC PARTICLE TESTING ON ALL FULL PENETRATION WELDS	X	-	-	-	1. VERIFY MATERIALS BELOW SHALLOW FOOTINGS ARE ADEQUATE TO ACHIEVE THE DESIGN BEARING CAPACITY.	-	X	-	-	-	-	-	-		
2) PARTIAL JOINT PENETRATION GROOVE WELDS	X	-	-	-	2. VERIFY EXCAVATIONS ARE EXTENDED TO PROPER DEPTH AND HAVE REACHED PROPER MATERIAL.	-	X	-	-	-	-	-	-		
a) PERFORM LIQUID DYE PENETRATION TESTING ON 20% OF PARTIAL PENETRATION GROOVE WELDS	-	X	-	-	3. PERFORM CLASSIFICATIONS AND TESTING OF CONTROLLED FILL MATERIALS.	-	X	-	-	-	-	1705.7	-		
3) MULTIPASS FILLET WELDS.	X	-	AWS D1.1	1705.3.1	4. VERIFY USE OF PROPER MATERIALS, DENSITIES AND LIFT THICKNESSES DURING PLACEMENT OF COMPACTION OF CONTROLLED FILL.	X	-	-	-	-	-	-	-		
a) PERFORM LIQUID DYE PENETRATION TESTING ON 20% OF MULTIPASS FILLET WELDS	-	X	-	-	5. PRIOR TO PLACEMENT OF CONTROLLED FILL, OBSERVE SUBGRADE AND VERIFY THAT SITE HAS BEEN PREPARED PROPERLY.	-	X	-	-	-	-	-	-		
4) SINGLE-PASS FILLET WELDS > 9/16"	X	-	-	-	REQUIRED VERIFICATION AND INSPECTION OF SPRAY FIRE PROTECTION MATERIAL				VERIFICATION AND INSPECTION						
5) PLUG AND SLOT WELDS.	X	-	-	-	VERIFICATION AND INSPECTION				CONTINUOUS DURING TASK LISTED	PERIODICALLY DURING TASK LISTED					
6) SINGLE-PASS FILLET WELDS < = 9/16"	-	X	-	-	1. INSPECT SURFACE PREPARATION OF MEMBERS	-	X	-	-	-	-	-	-		
7) FLOOR AND ROOF DECK WELDS.	-	X	AWS D1.3	-	2. INSPECT APPLICATION CONDITIONS AND APPLIED THICKNESS	-	X	-	-	-	-	-	-		
B. REINFORCING STEEL:					3. TEST DENSITY AND BONDING STRENGTH & THICKNESS AT 10% OF ALL BEAMS, COLUMNS & BRACES	-	-	-	-	-	-	-	X		
1) VERIFICATION OF WELDABILITY OF REINFORCING STEEL OTHER THAN ASTM A 706.	X	-	AWS D1.4 ACI 318: 3.5.2	-	REQUIRED VERIFICATION AND INSPECTION OF CAST-IN-PLACE DEEP FOUNDATION ELEMENTS (REF TABLE 1705.8 OF IBC 2021)				VERIFICATION AND INSPECTION						
2) SHEAR REINFORCEMENT.	X	-	-	-	VERIFICATION AND INSPECTION				CONTINUOUS DURING TASK LISTED	PERIODICALLY DURING TASK LISTED					
3) OTHER REINFORCING STEEL	-	X	-	-	1. OBSERVE DRILLING OPERATIONS AND MAINTAIN COMPLETE AND ACCURATE RECORDS FOR EACH ELEMENT.	-	X	-	-	-	-	-	-		
C. VISUALLY INSPECT ALL WELDS	-	X	-	-	2. VERIFY PLACEMENT LOCATIONS AND PLUMBNESS, CONFIRM ELEMENT DIAMETERS, BELL DIAMETERS (IF APPLICABLE), LENGTHS, EMBEDMENT INTO BEDROCK (IF APPLICABLE) AND ADEQUATE END-BEARINGS STRATA CAPACITY. RECORD CONCRETE OR GROUT VOLUMES.	-	X	-	-	-	-	-	-		
D. VERIFY JOINT WELD PROCEDURES IN ACCORDANCE WITH AWS	-	X	AWS D1.1	-	3. FOR CONCRETE ELEMENTS, PERFORM ADDITIONAL INSPECTIONS IN ACCORDANCE WITH SECTION 1704.4	-	-	-	-	-	-	-	X		
E. VERIFY CONTRACTOR'S RECEIPT OF WELDER CERTIFICATES	-	X	-	-	REQUIRED VERIFICATION AND INSPECTION OF STRUCTURAL LOAD-BEARING MEMBERS AND ASSEMBLIES IS BEING CONDUCTED ON THE PREMISES OF A FABRICATOR'S SHOP. SPECIAL INSPECTION OF THE FABRICATED ITEMS SHALL CONFORM TO THE SPECIAL INSPECTION REQUIREMENTS OF IBC SECTION 1704, AS SUMMARIZED ABOVE, UNLESS THE FABRICATOR HAS BEEN APPROVED IN ACCORDANCE WITH IBC SECTION 1704.2.2.				OBSERVE AND TEST FIELD APPLIED HEADED STUDS						
6. INSPECTION OF STEEL FRAME JOINT DETAILS FOR COMPLIANCE:				OBSERVE AND TEST FIELD APPLIED HEADED STUDS				VERIFY FABRICATOR CERTIFICATION							
A. DETAILS SUCH AS BRACING AND STIFFENING.	-	X	-	-	OBSERVE AND TEST FIELD APPLIED HEADED STUDS				VERIFY FABRICATOR CERTIFICATION						
B. MEMBER LOCATIONS.	-	X	-	-	OBSERVE AND TEST FIELD APPLIED HEADED STUDS				VERIFY FABRICATOR CERTIFICATION						
C. APPLICATION OF JOINT DETAILS AT EACH LOCATION.	-	X	-	-	OBSERVE AND TEST FIELD APPLIED HEADED STUDS				VERIFY FABRICATOR CERTIFICATION						

07.07.2024 100% CONSTRUCTION DOCUMENTS ISSUED FOR PERMIT AND CONSTRUCTION

DAN BADALUTA  
98489  
LICENSED PROFESSIONAL ENGINEER  
06.28.2024

Renovations to ARCHITECTS  
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8330 LBJ Fwy, Suite 405  
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RENOVATIONS TO  
UMPHREY LEE ELEMENTARY SCHOOL  
7808 RACINE DR.  
DALLAS, TEXAS 75224

Date: 07/07/2024  
Revised:  
Project No. 2245  
File Name:  
Sheet Title: REQUIRED SPECIAL INSPECTIONS  
Sheet No.

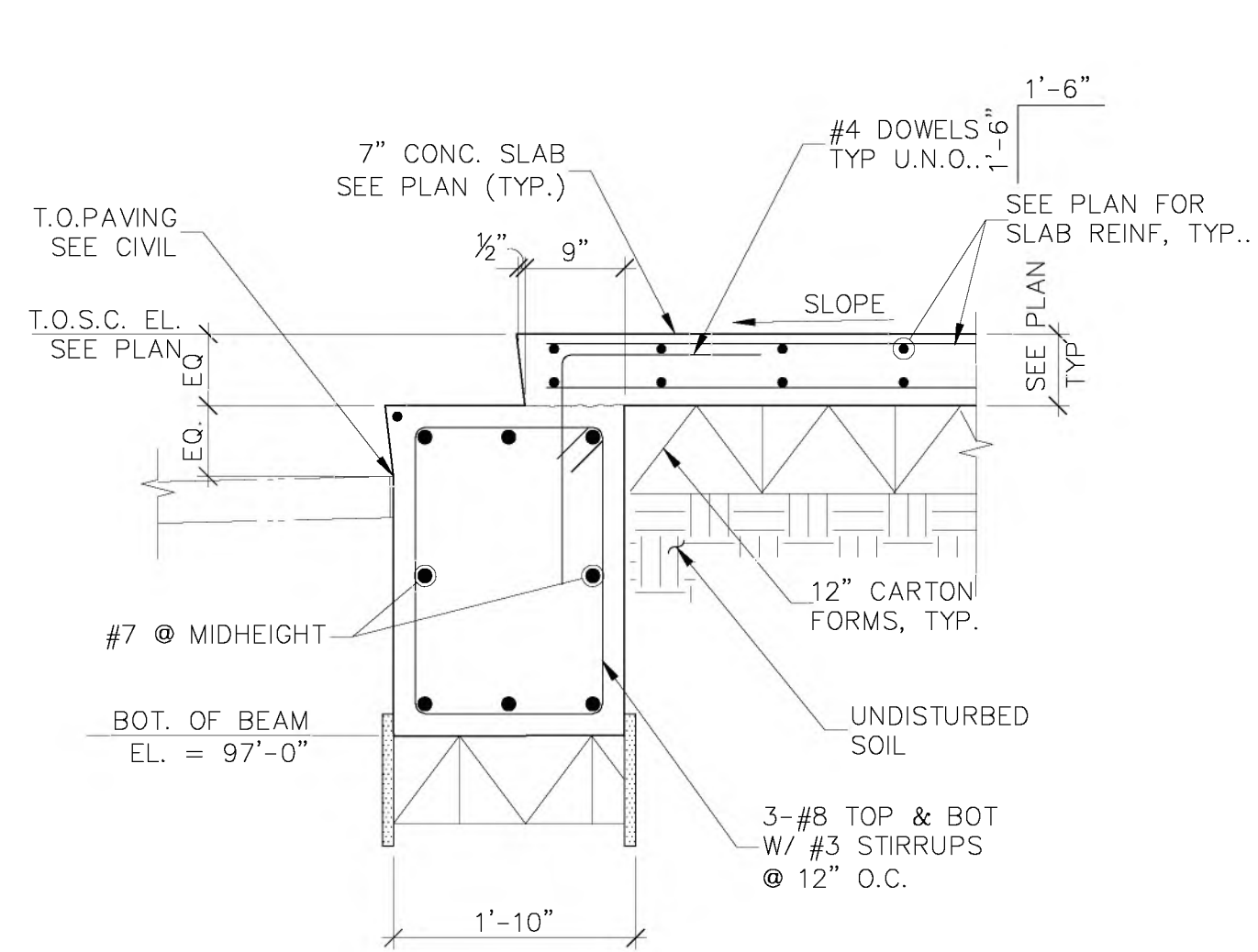
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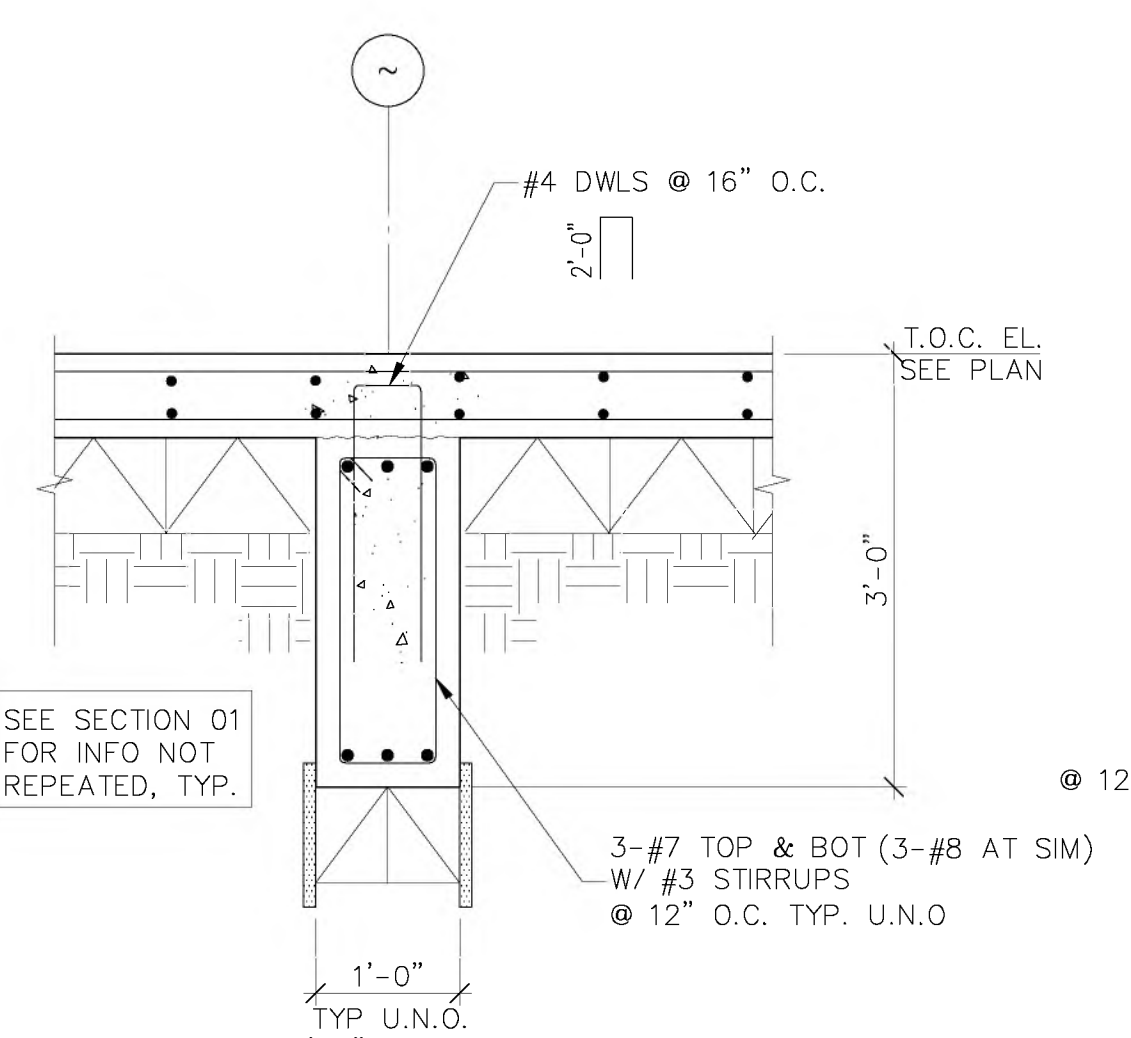




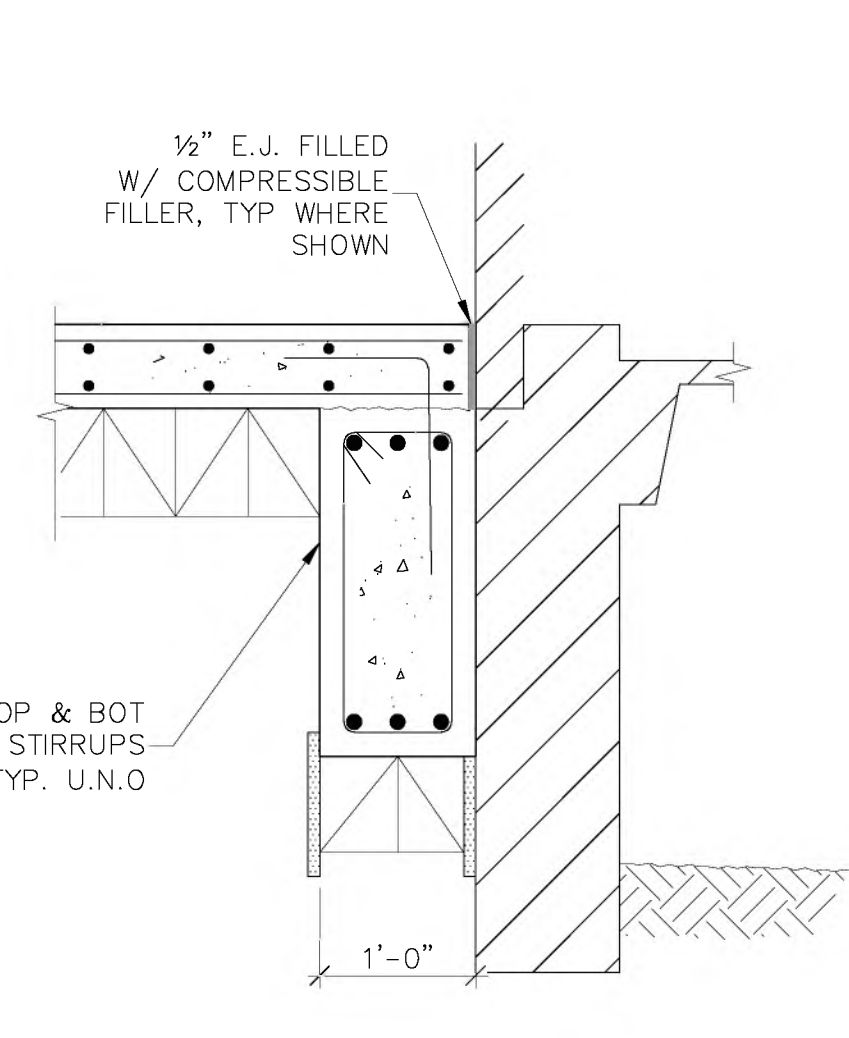




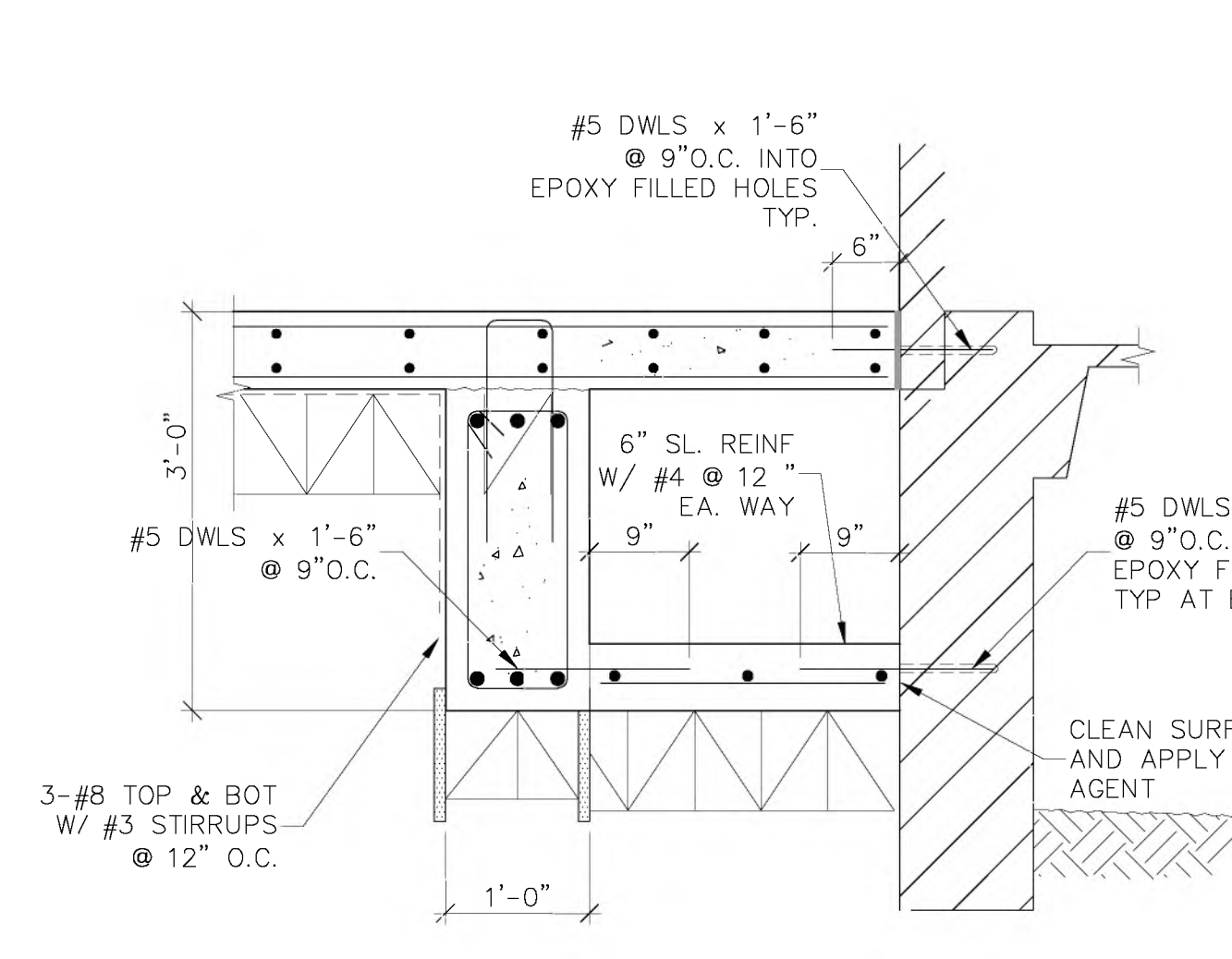
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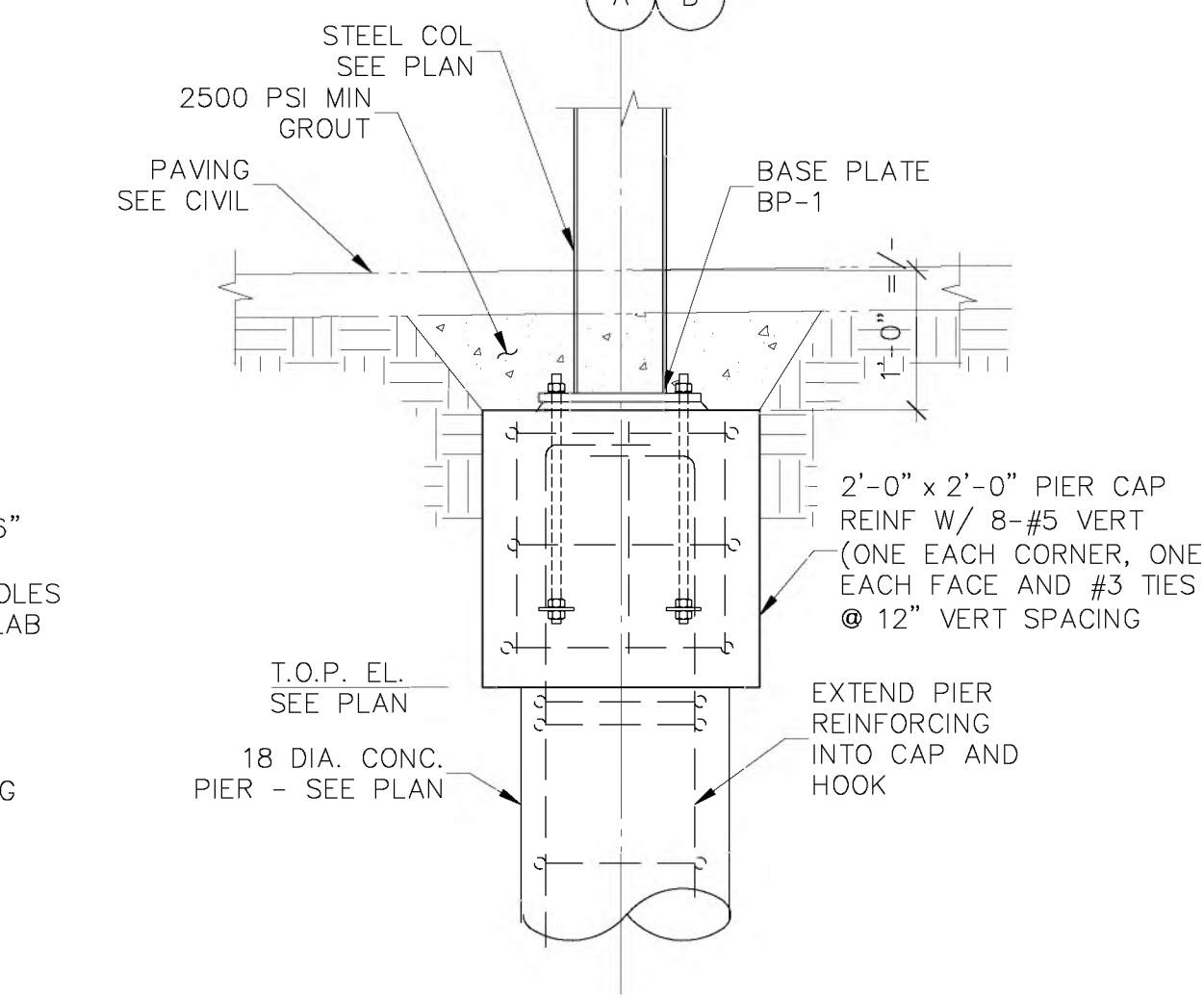
**02 SECTION**  
SCALE: 3/4"=1'-0"



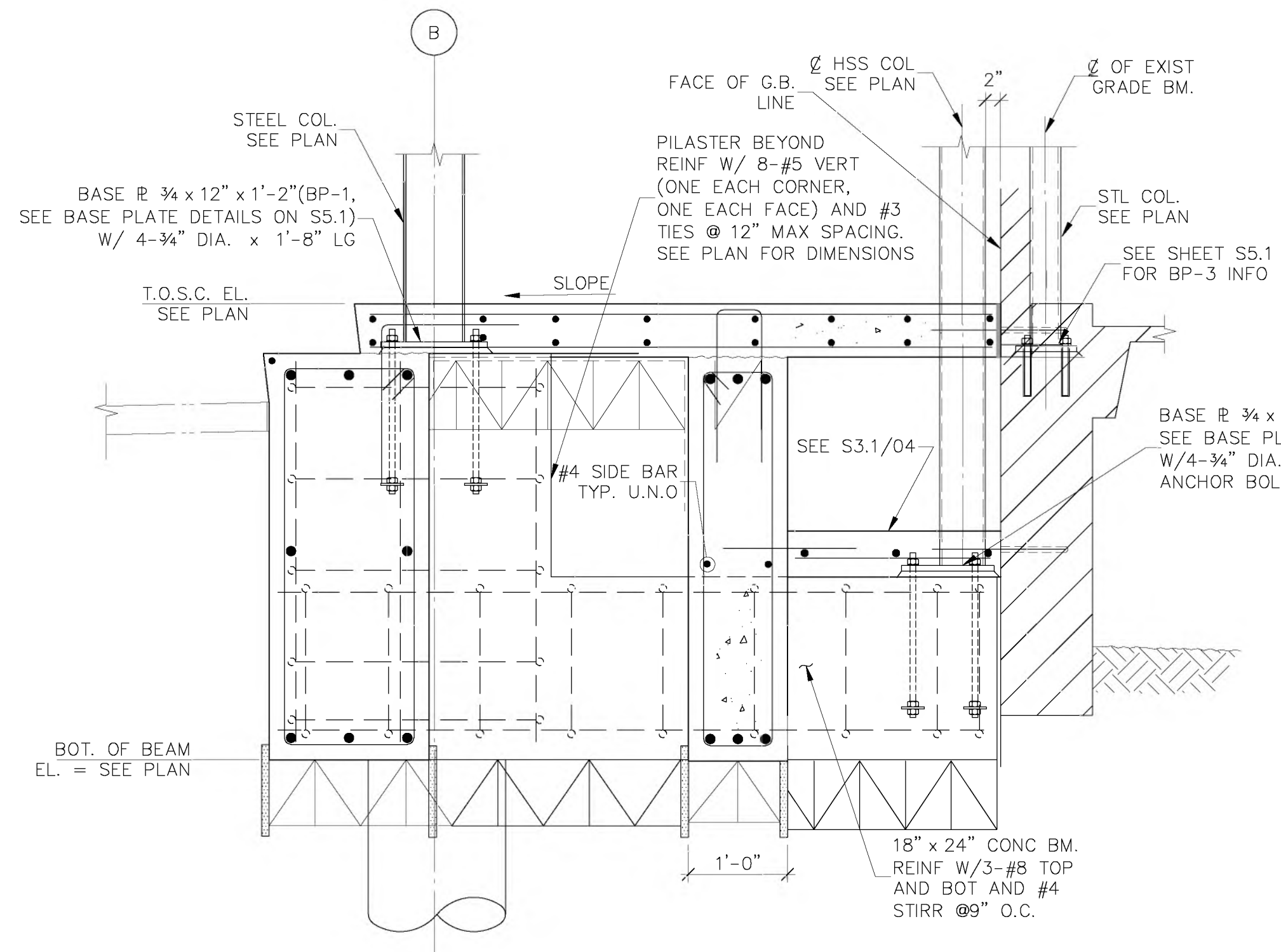
**03 SECTION**  
SCALE: 3/4"=1'-0"



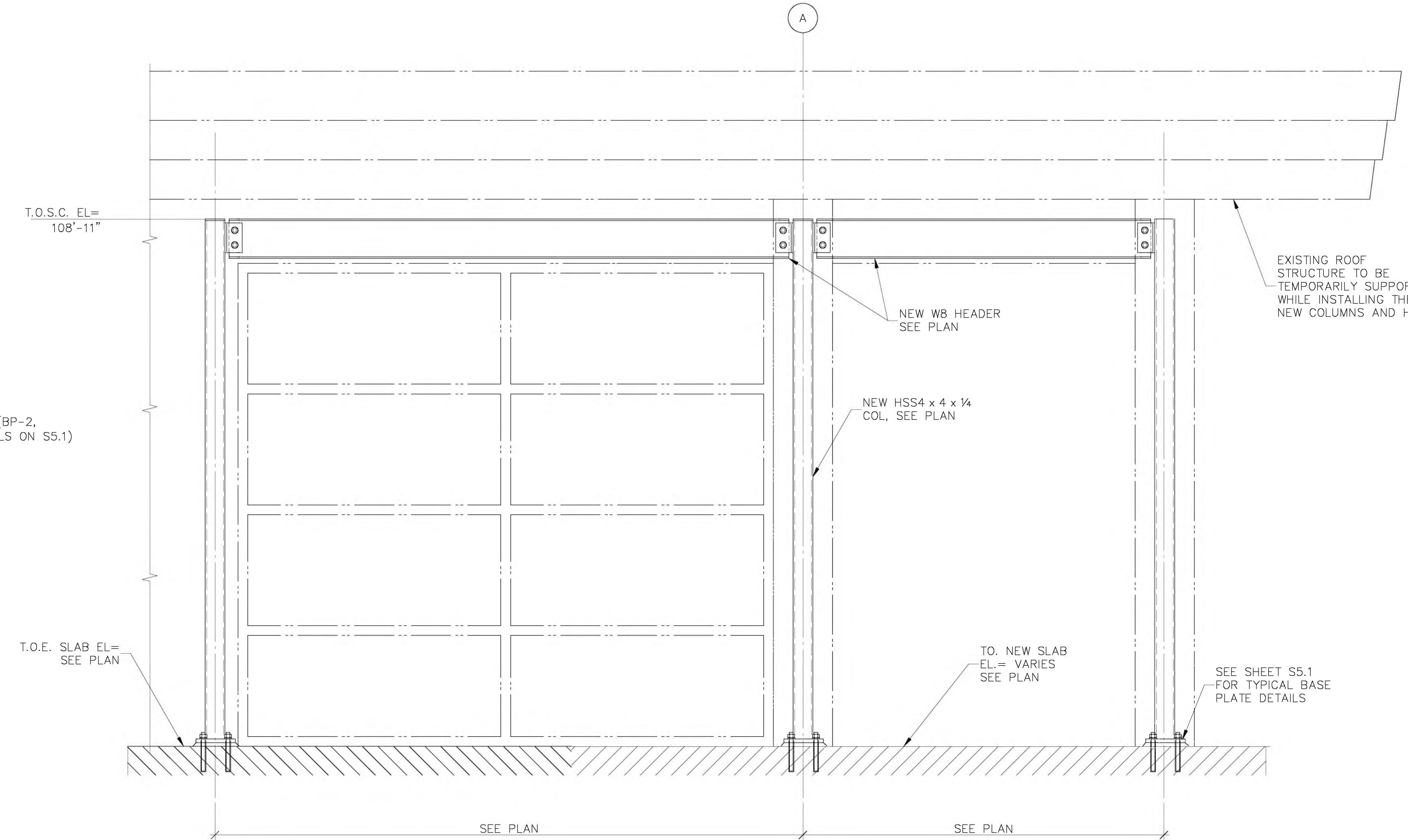
**04 SECTION**  
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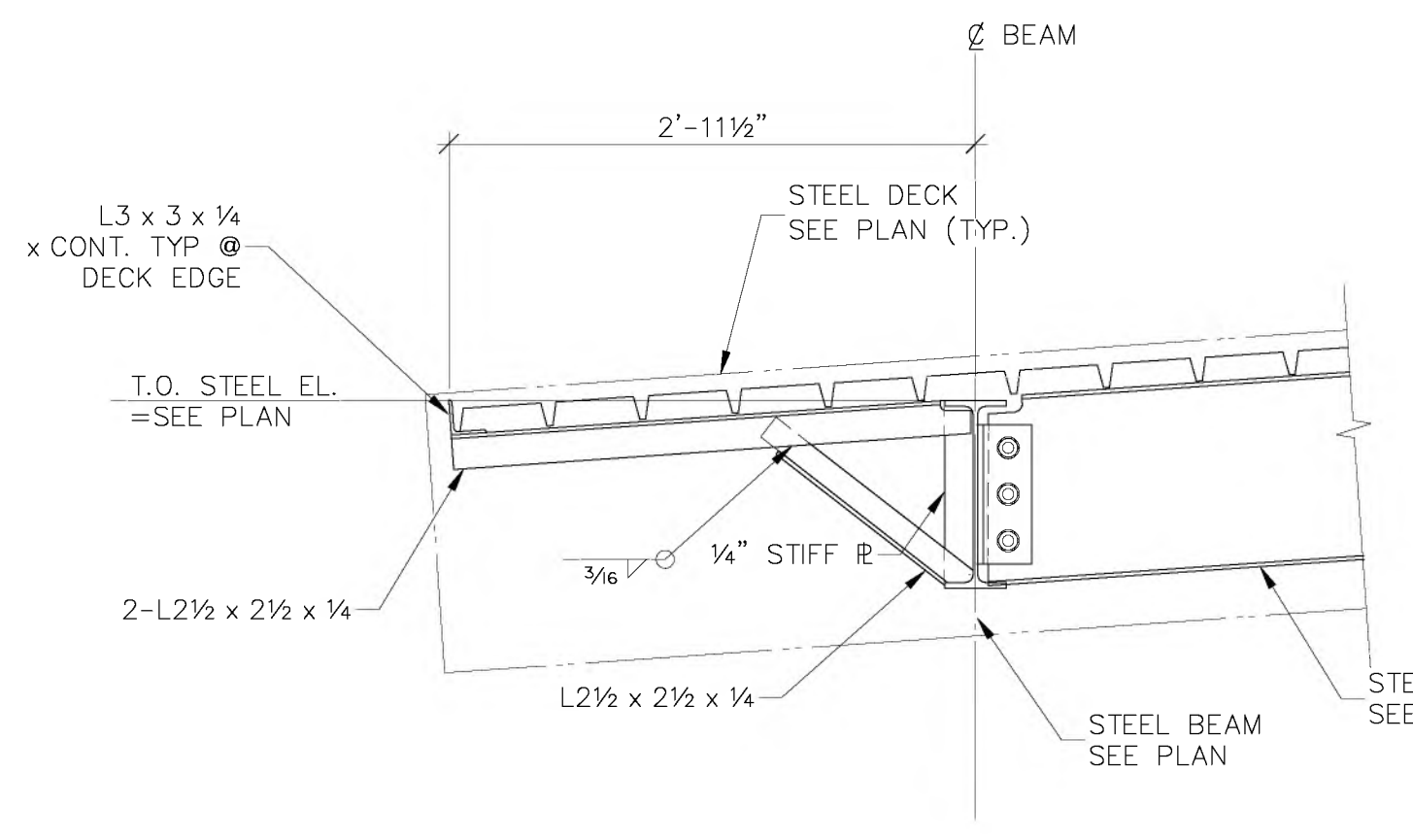
**05 SECTION**  
SCALE: 3/4"=1'-0"



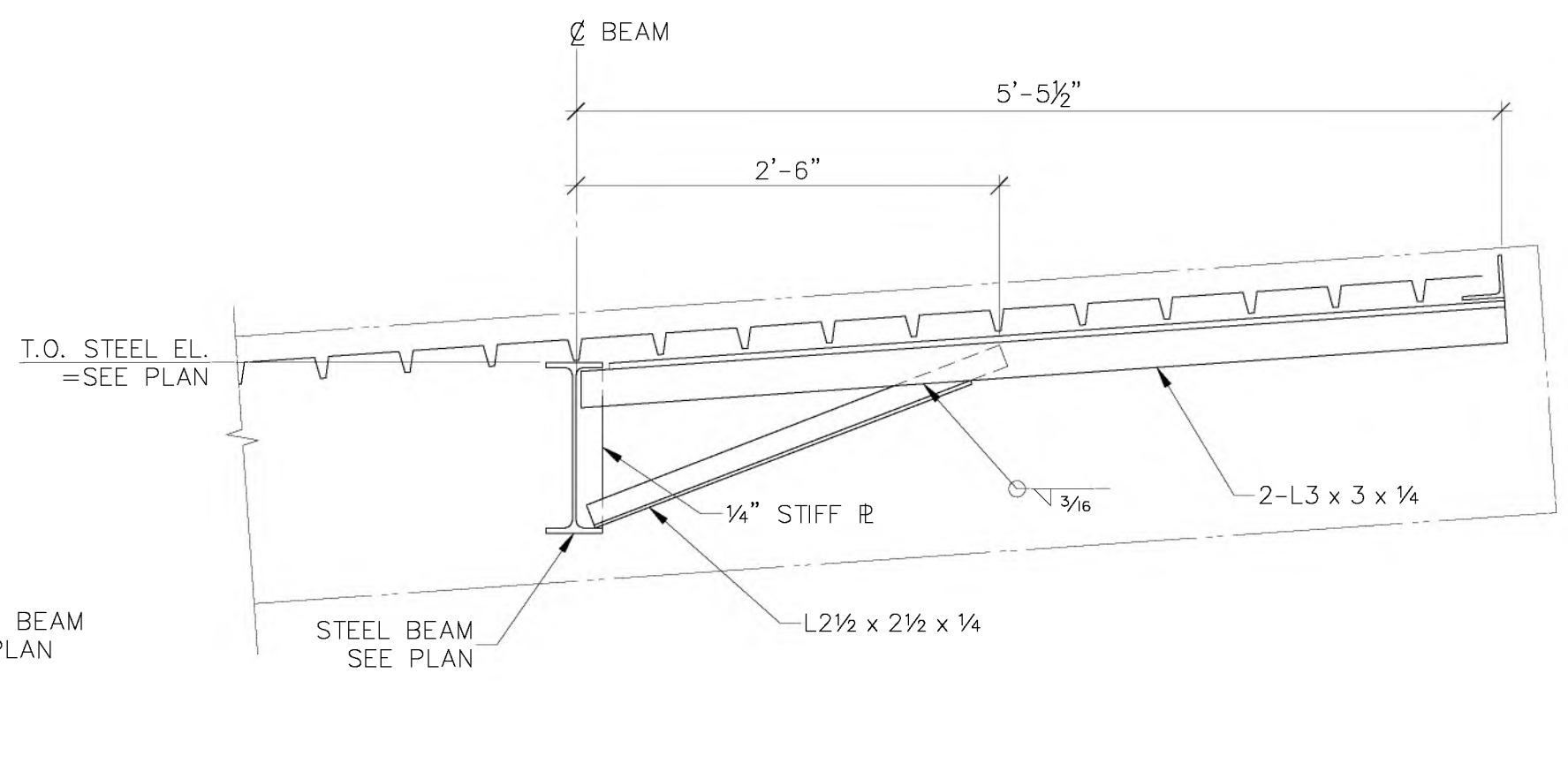
**05 SECTION**  
SCALE: 3/4"=1'-0"



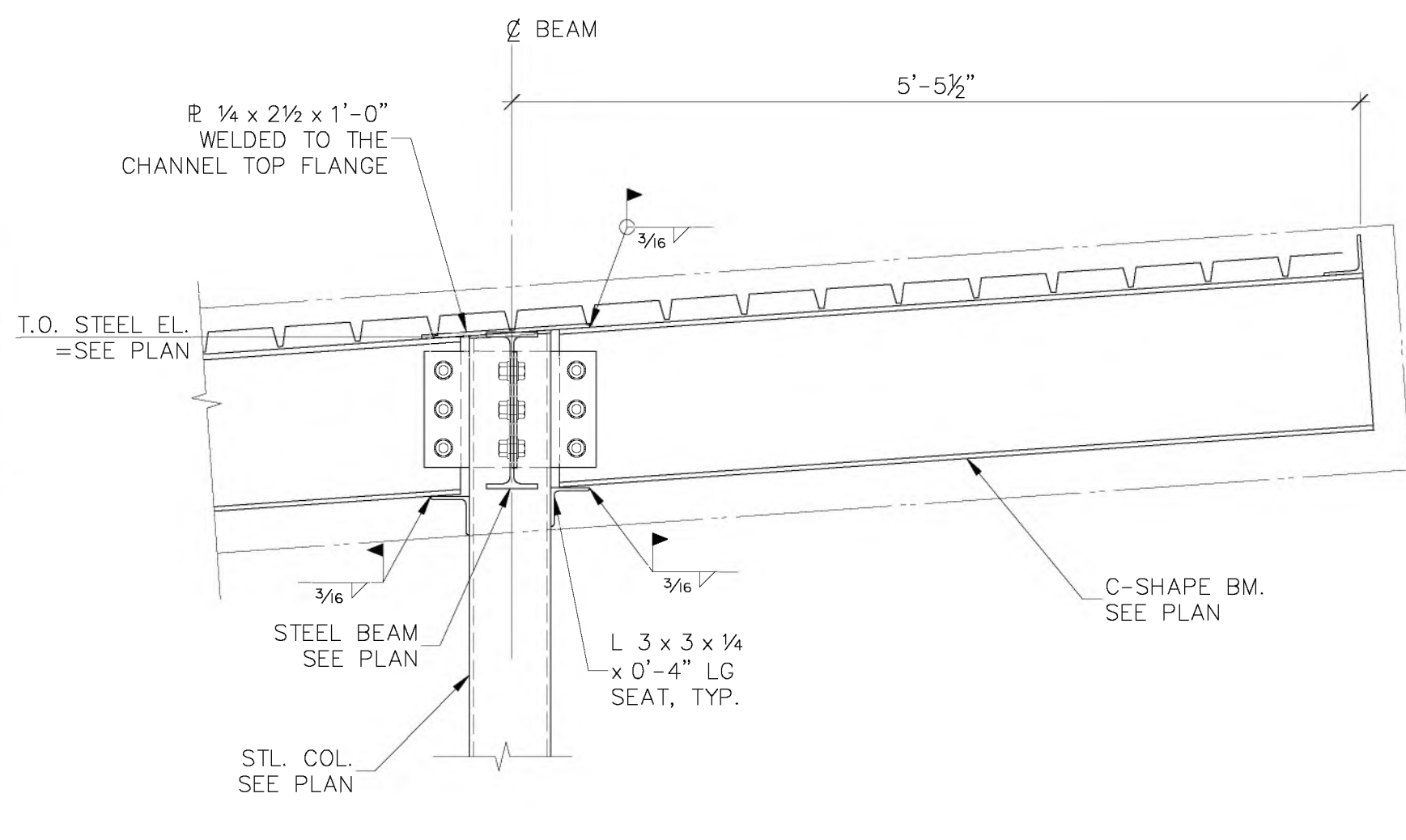
**06 NEW STOREFRONT - ELEVATION**  
SCALE: 3/4"=1'-0"



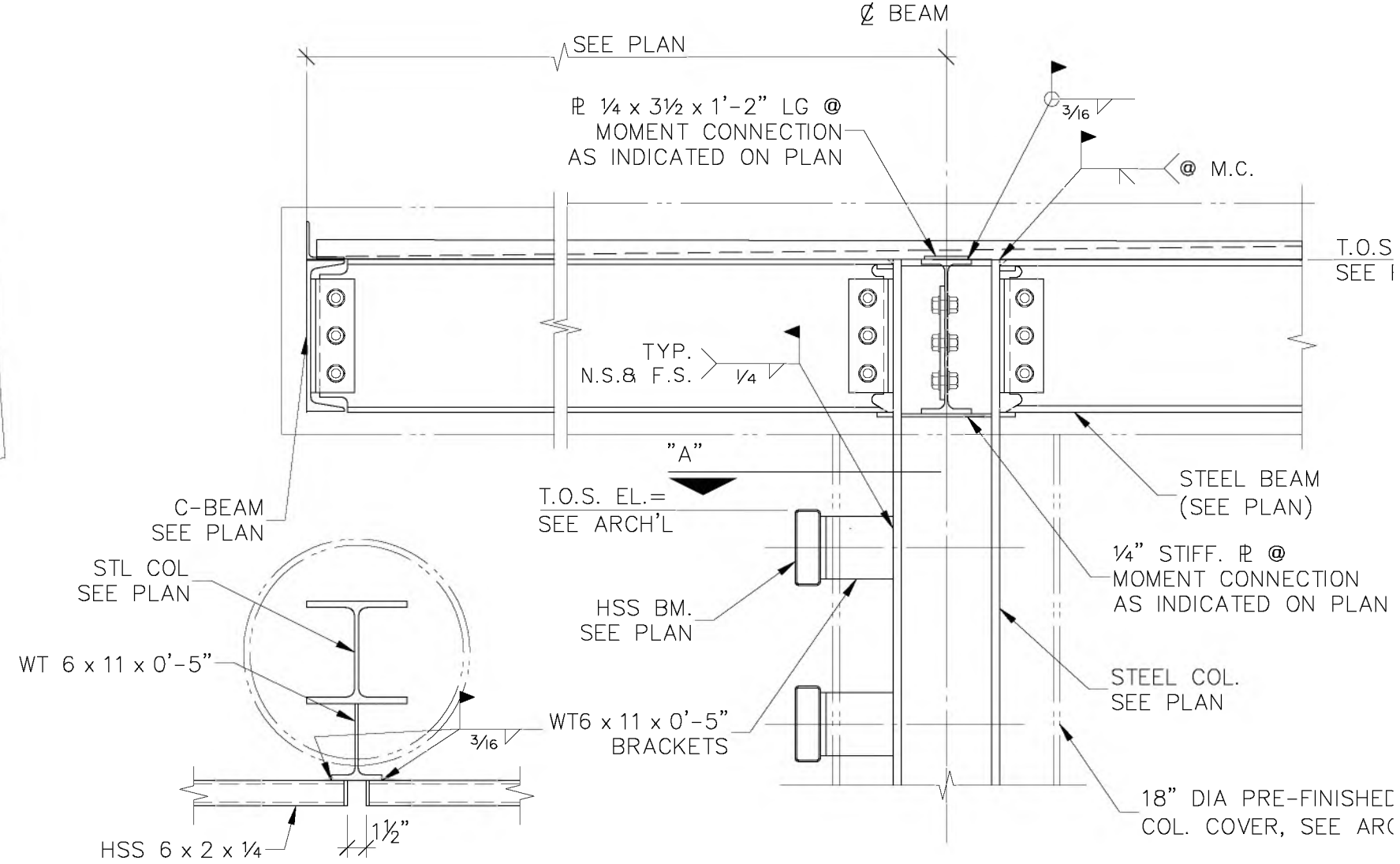
**07 SECTION**  
SCALE: 1"=1'-0"



**08 SECTION**  
SCALE: 1"=1'-0"



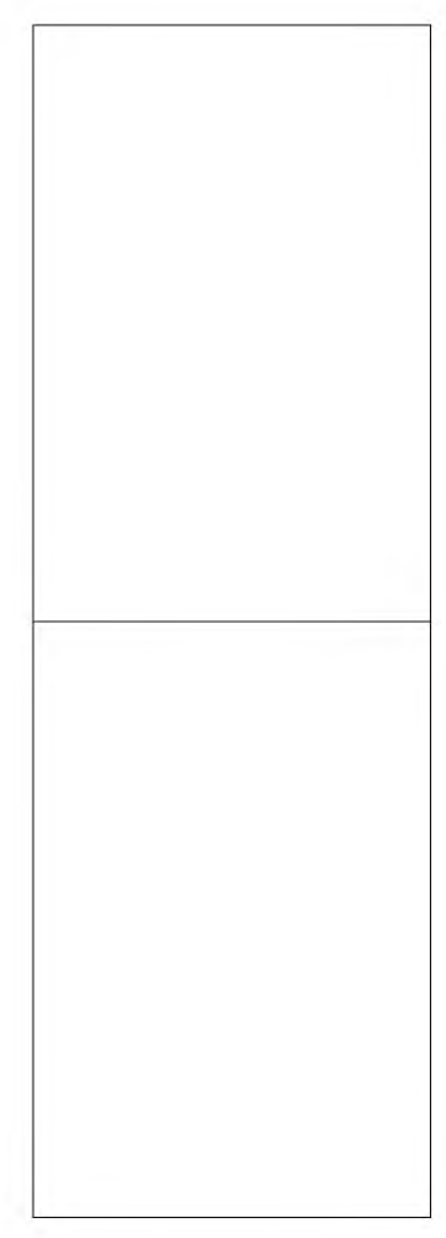
**09 SECTION**  
SCALE: 3/4"=1'-0"



**10 SECTION**  
SCALE: 3/4"=1'-0"

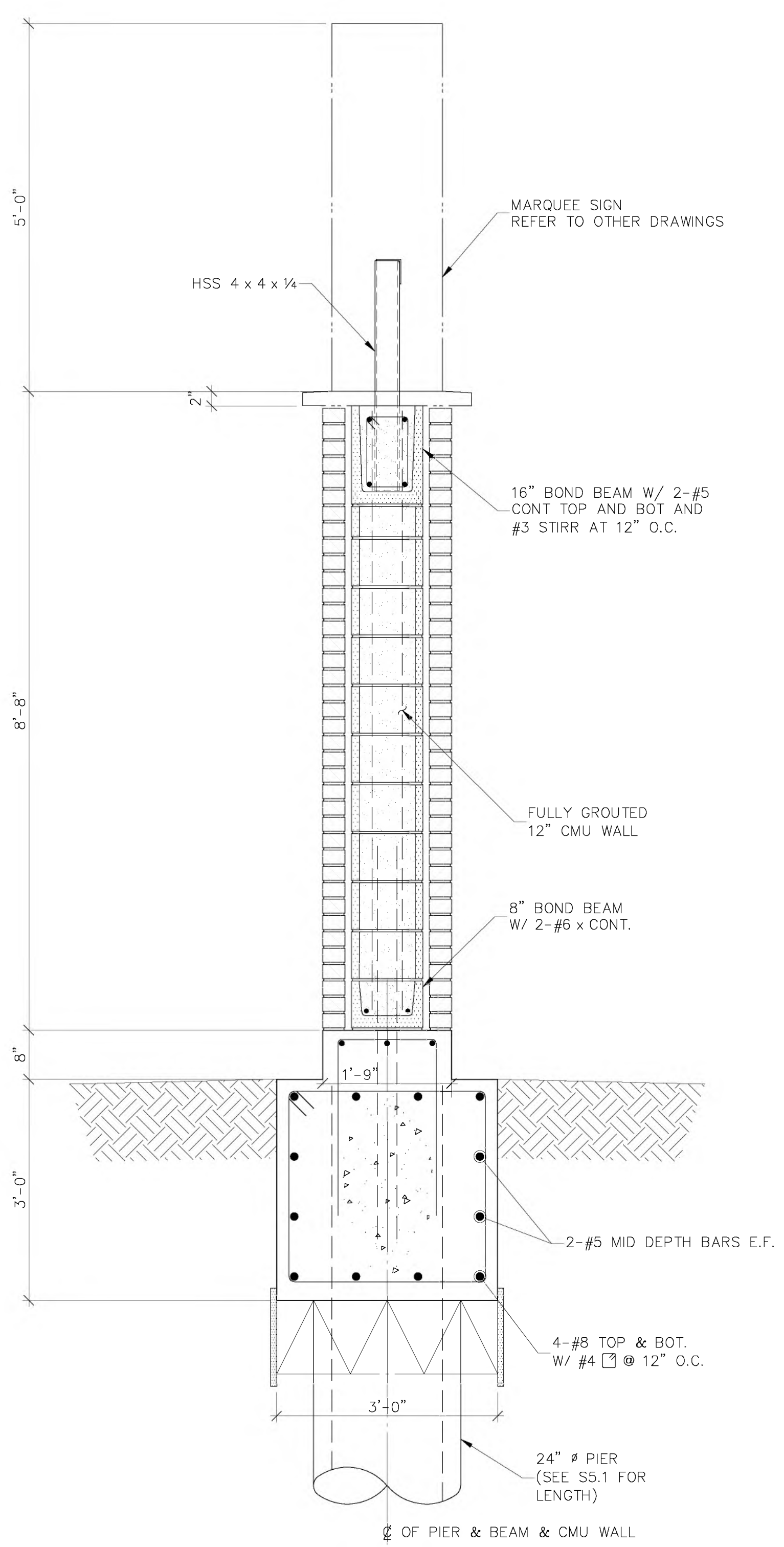
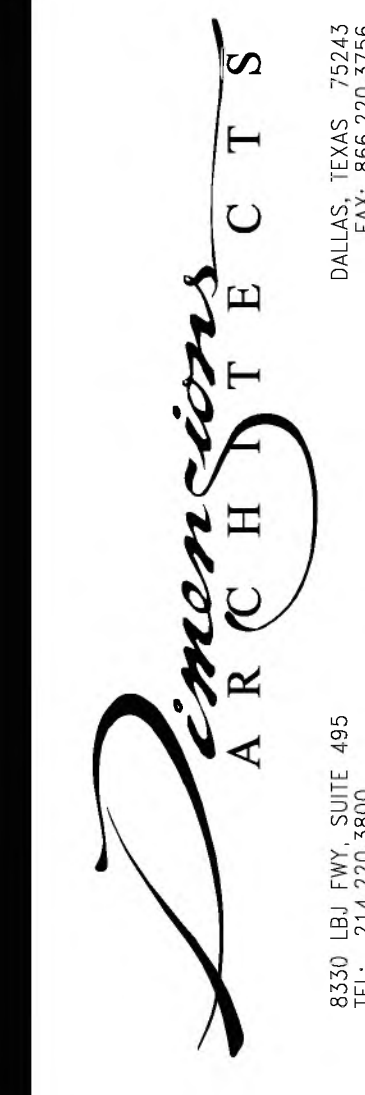


**SECTION "A"**  
SCALE: 3/4"=1'-0"



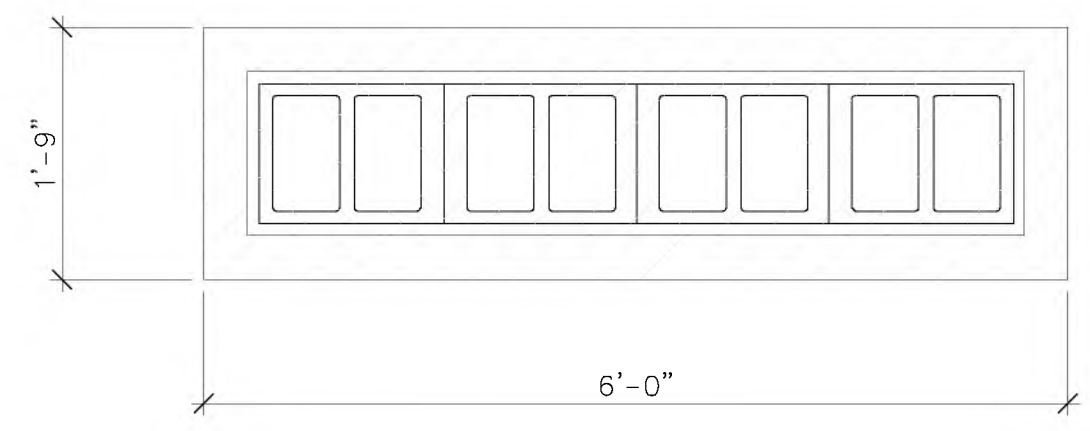
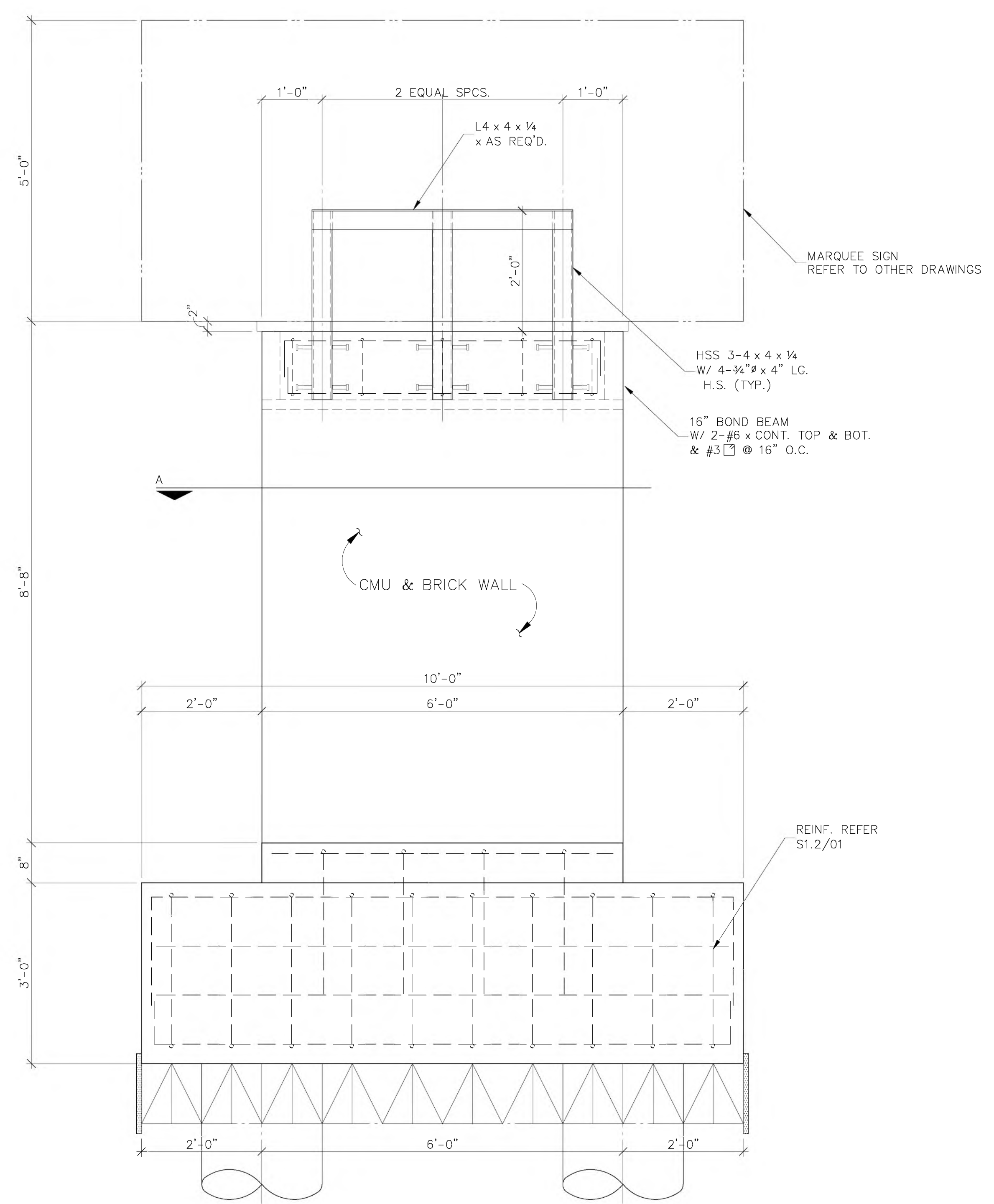
22-150A\STRUCT\22150531.DWG / 3/4"=1'-0" / MAY 29, 2024 / 4:32 PM / DANB / S31\_XREF\_01\_221505XREF



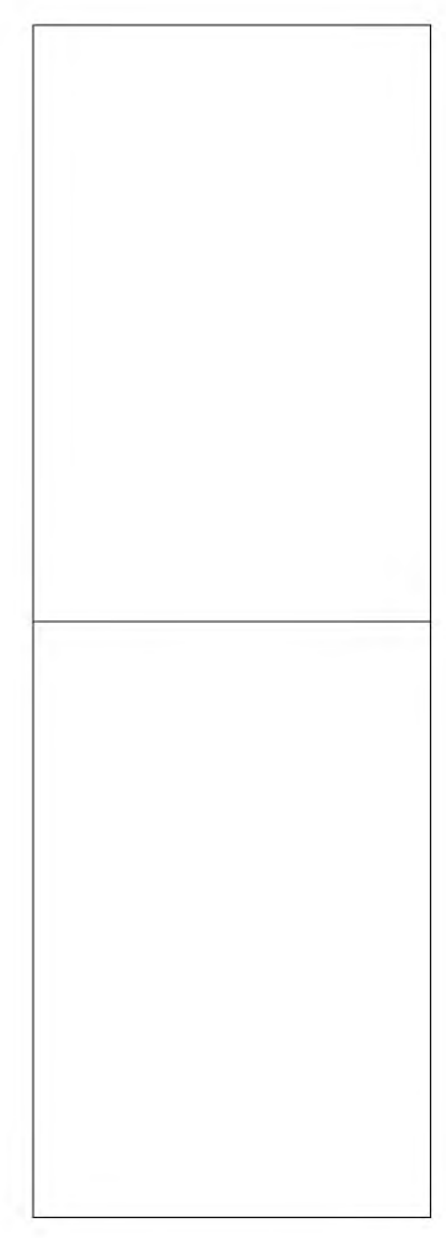


- NOTES:**
- REFER TO CIVIL SITE PLAN DRAWING FOR THE NEW MARQUEE SIGN LOCATION.
  - REFER TO THE CIVIL AND ARCHITECTURAL DRAWINGS FOR ANY REQUIRED DEMOLITION AT THE SITE OF THE NEW MARQUEE SIGN AND FOR ANY CONFLICT WITH EXISTING UTILITIES, BOTH ABOVE AND BELOW GROUND.

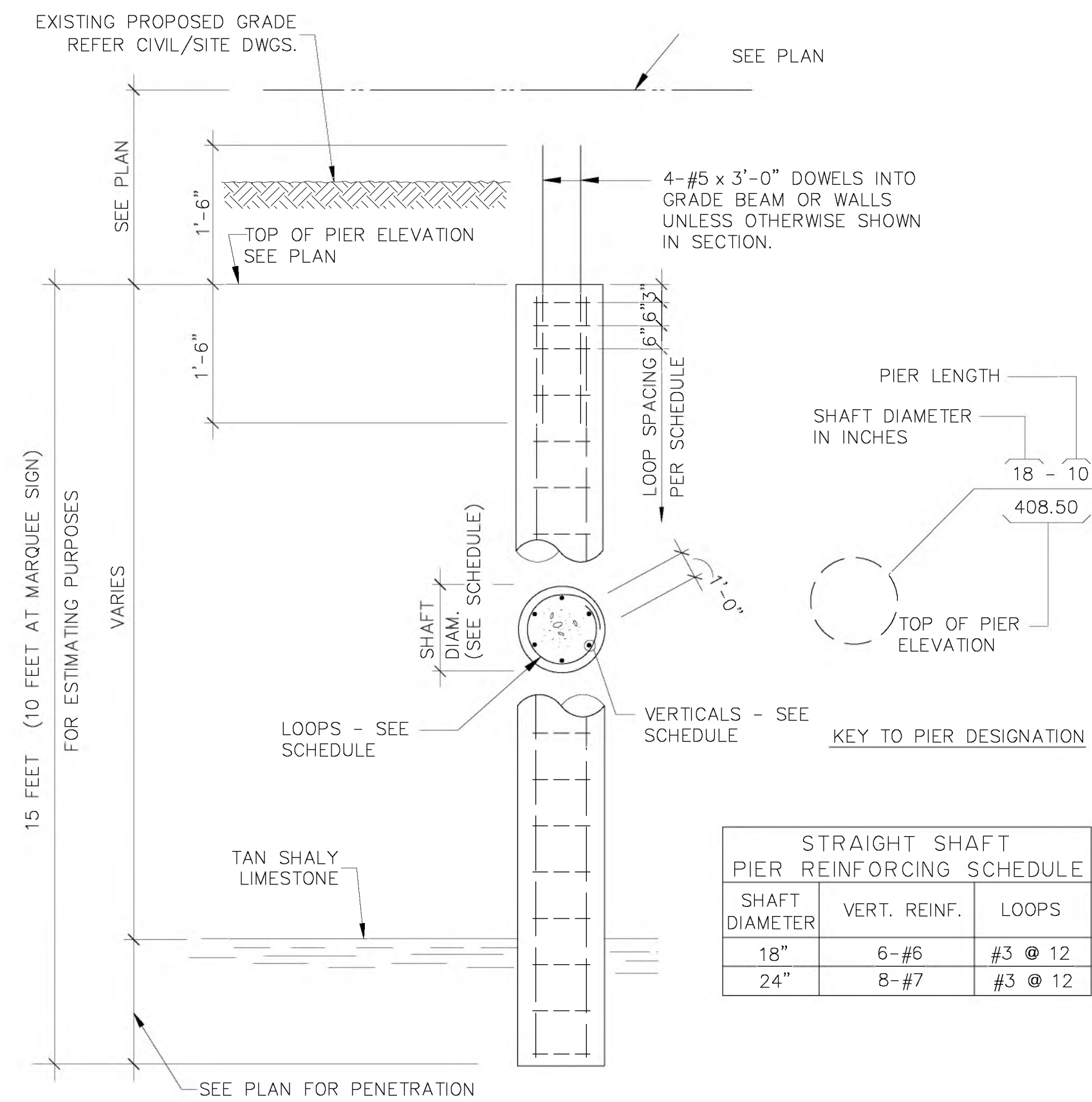
**01** MARQUEE SIGN SECTION  
SCALE: 3/4"=1'-0"



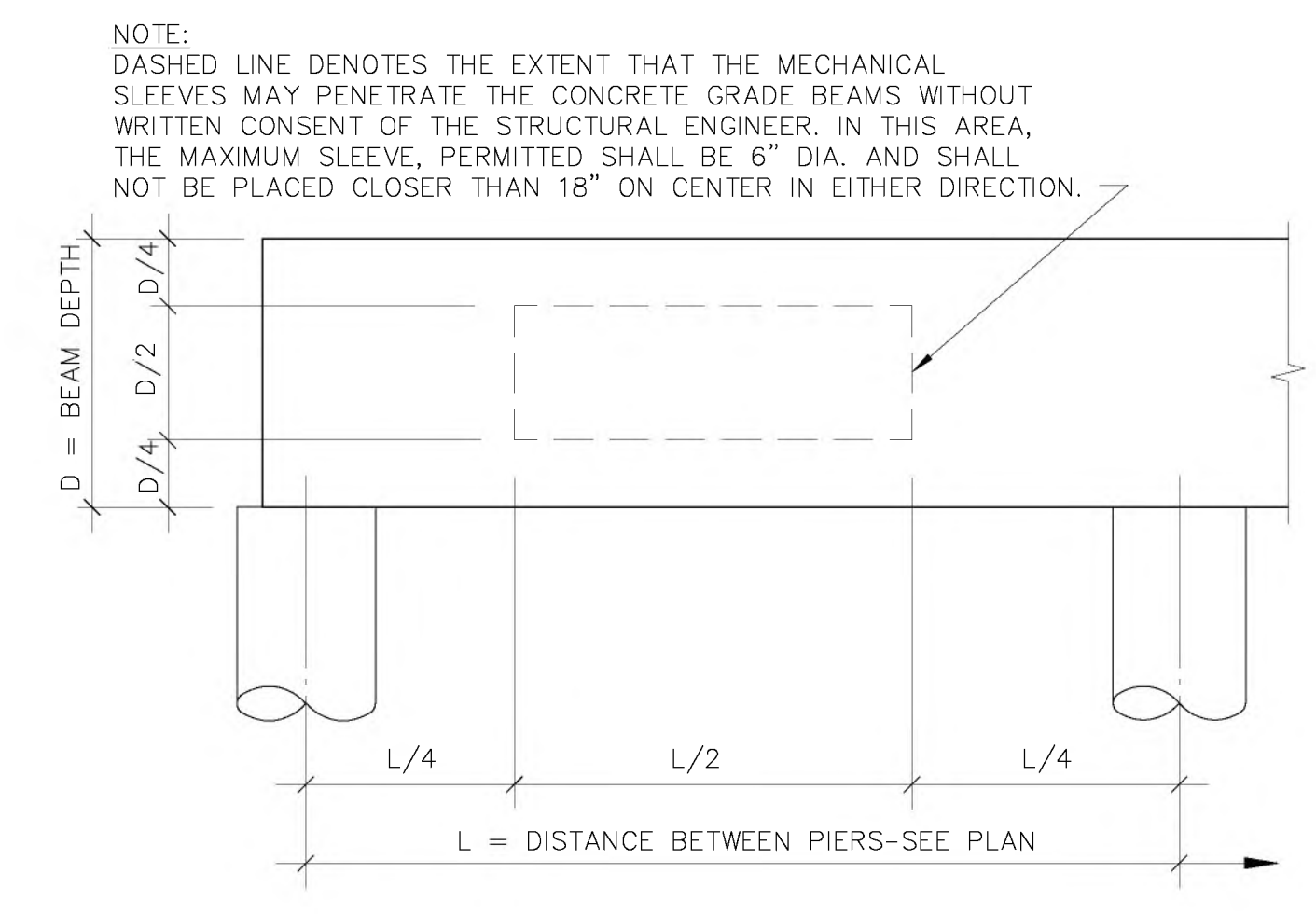
**02** MARQUEE SIGN ELEVATION  
SCALE: 3/4"=1'-0"



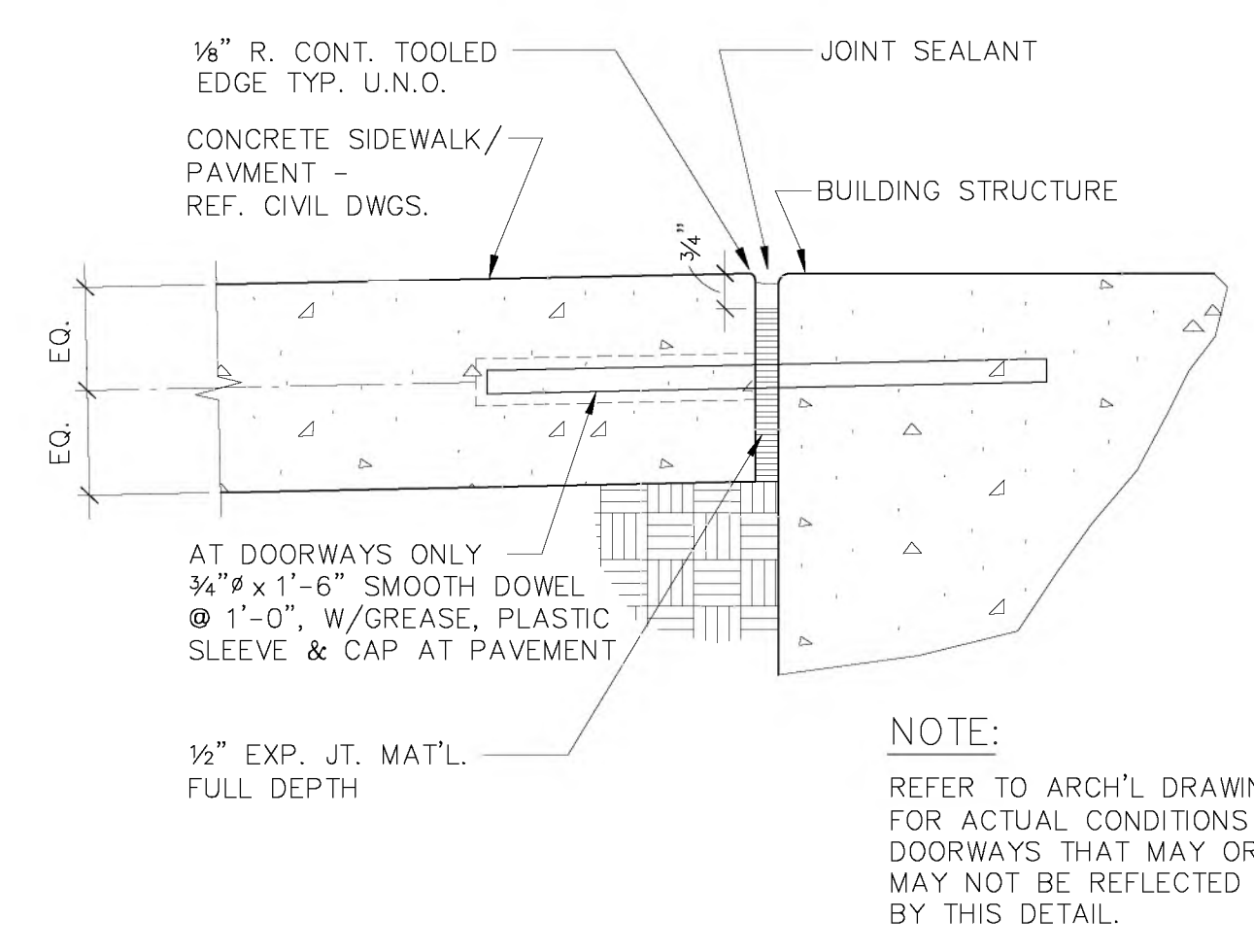




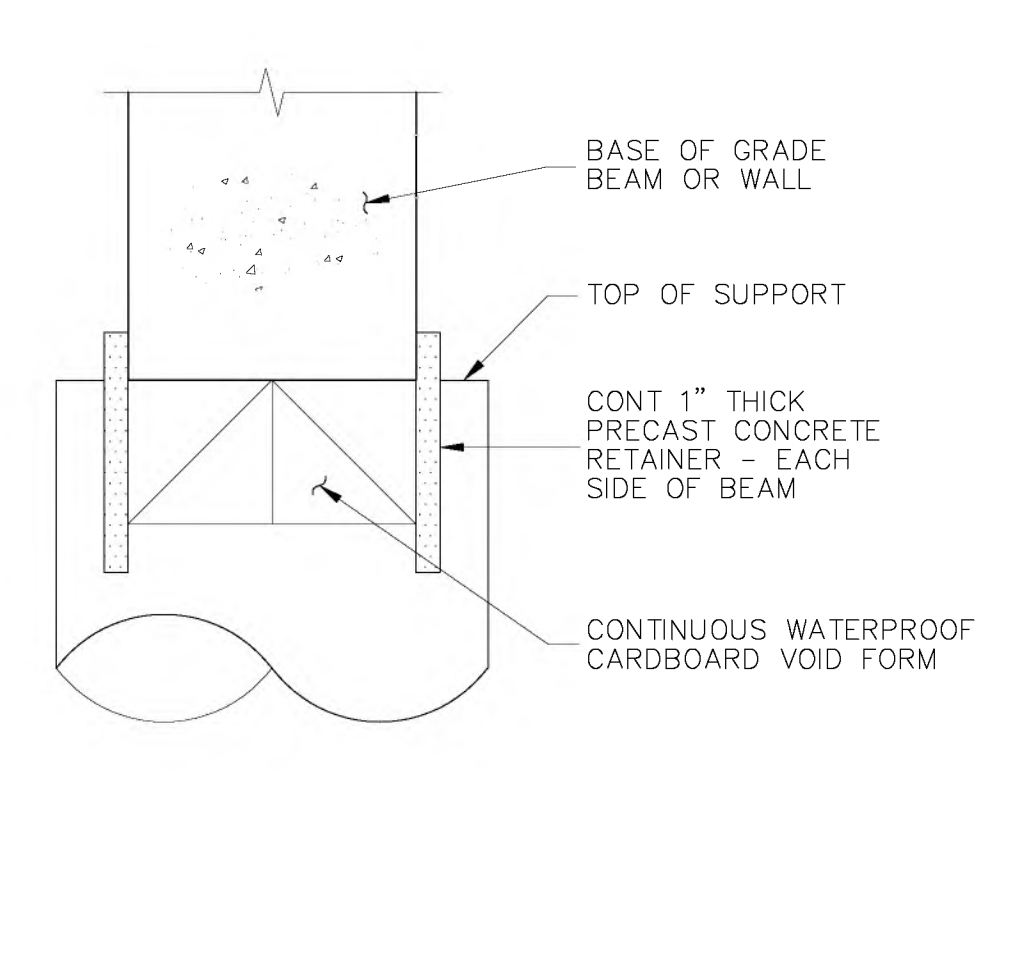
**01** TYPICAL STRAIGHT SHAFT DRILLED PIER  
SCALE: NO SCALE



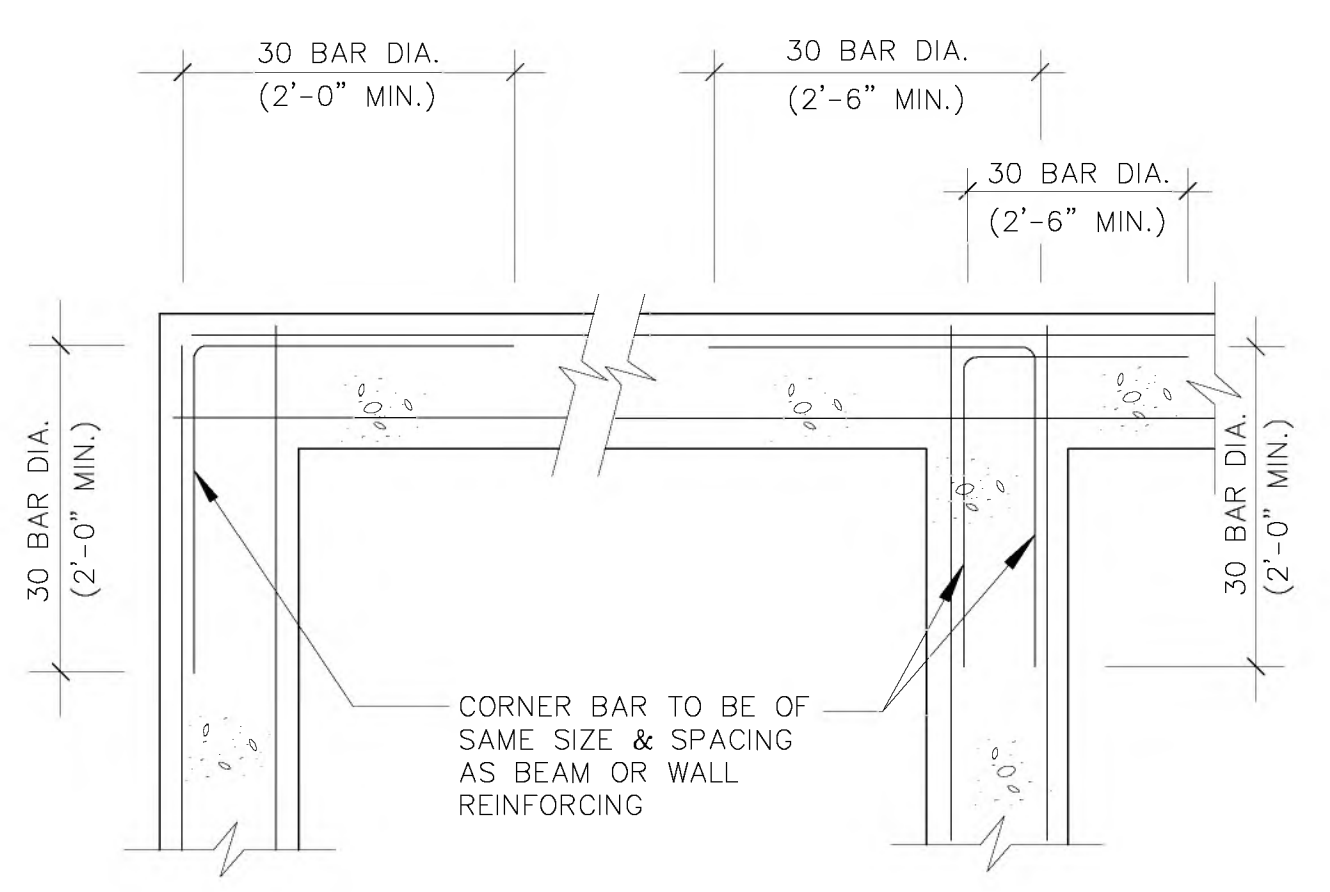
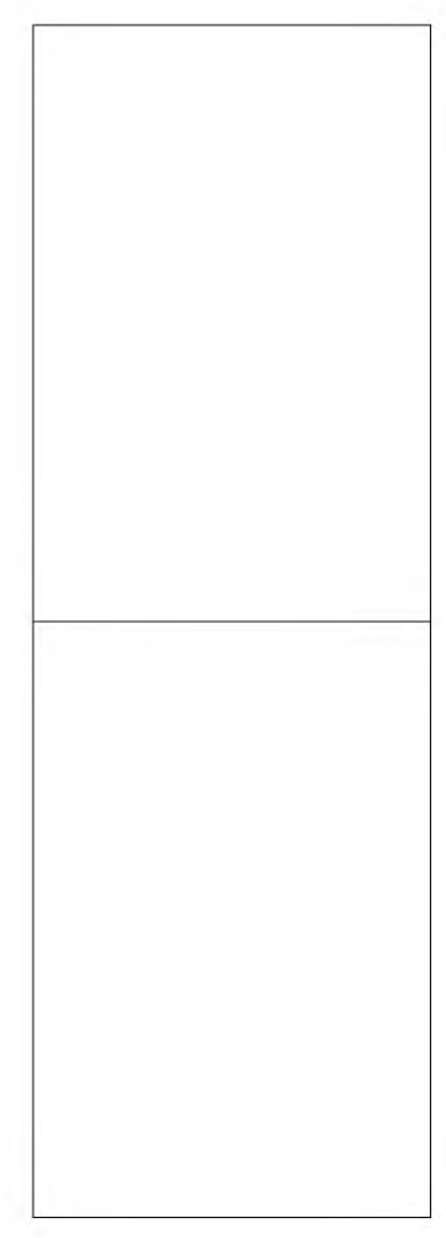
**02** TYPICAL DETAIL  
SCALE: NO SCALE



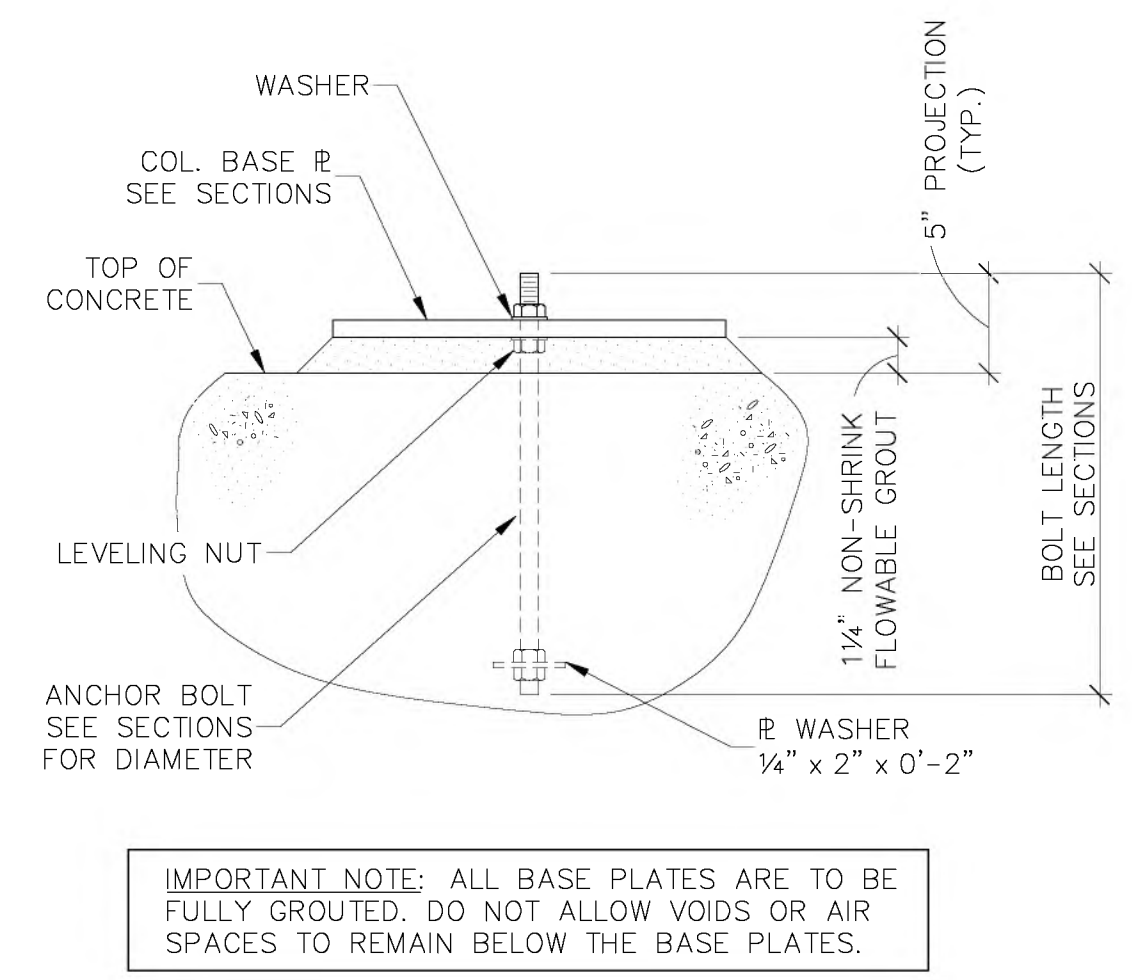
**03** TYPICAL DETAIL  
SCALE: NO SCALE



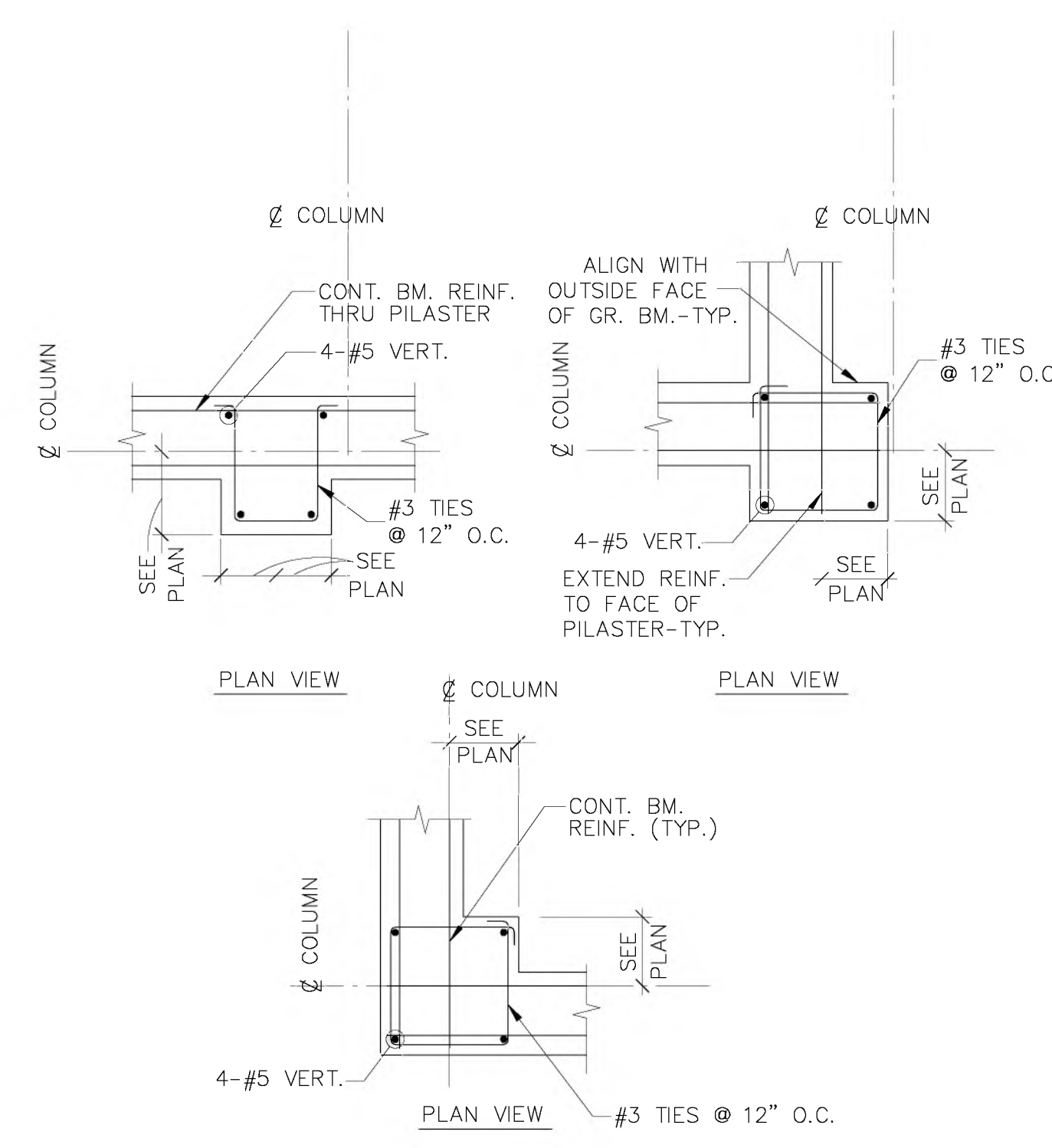
**04** TYPICAL DETAIL  
SCALE: NO SCALE



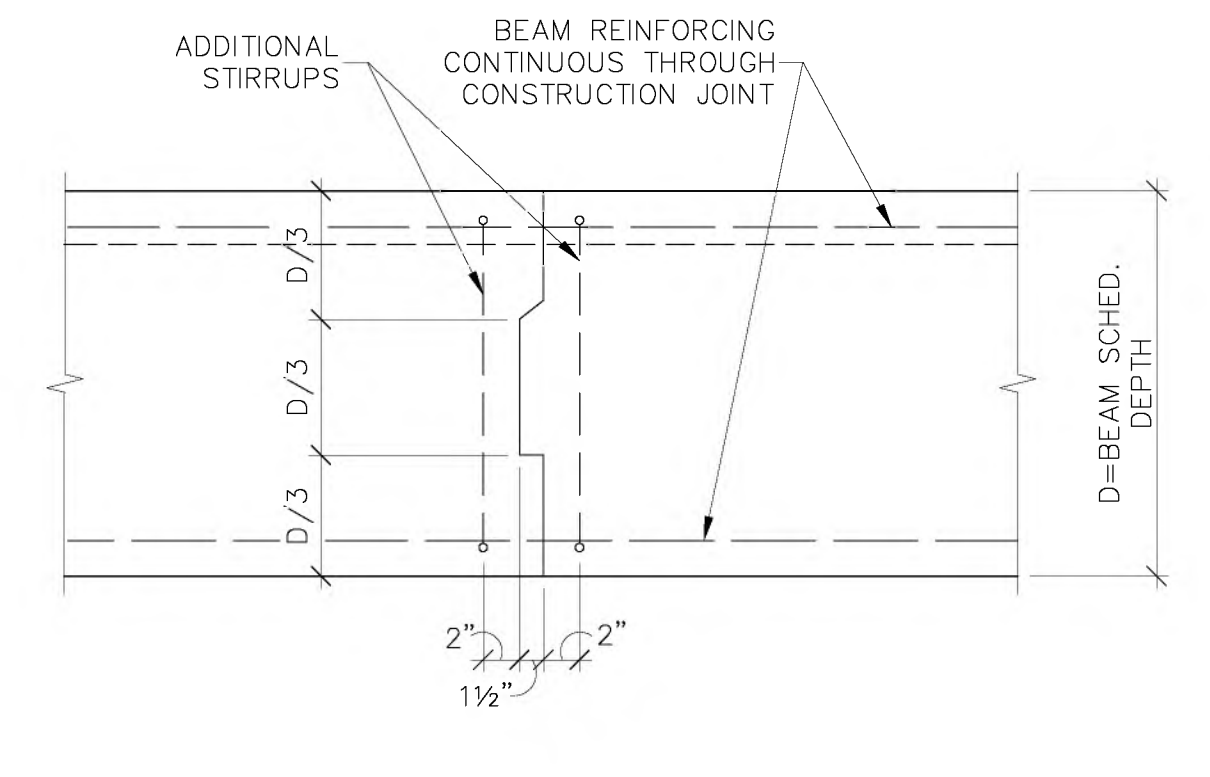
**05** TYPICAL DETAIL  
SCALE: N/A



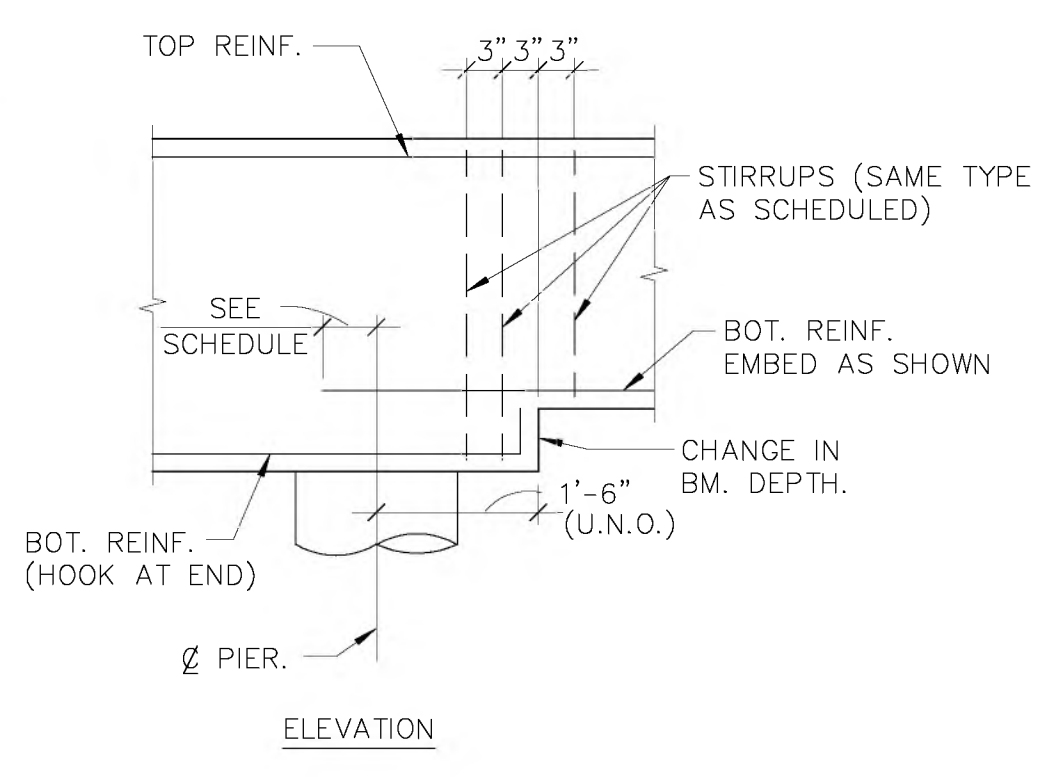
**06** TYPICAL DETAIL  
SCALE: NO SCALE



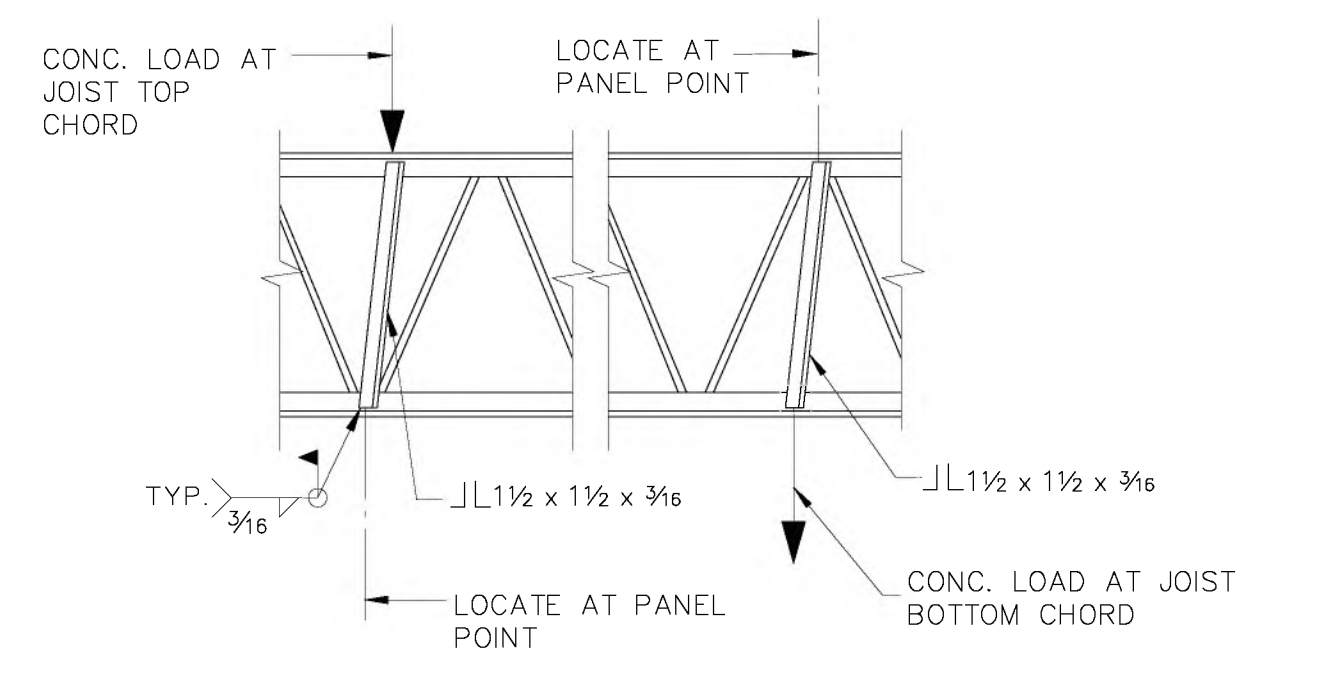
**07** TYPICAL DETAIL  
SCALE: N/A



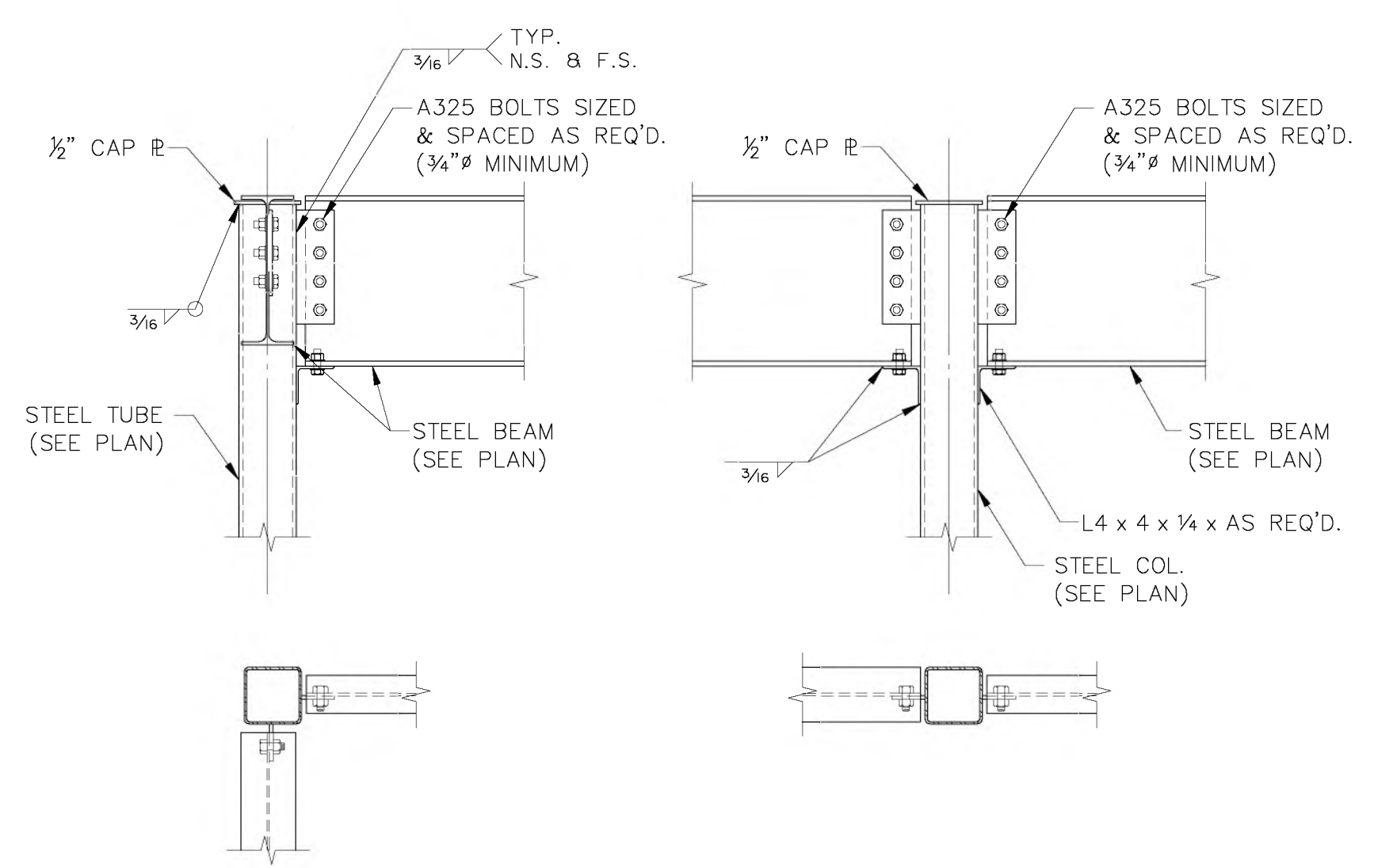
**08** TYPICAL DETAIL  
SCALE: N/A



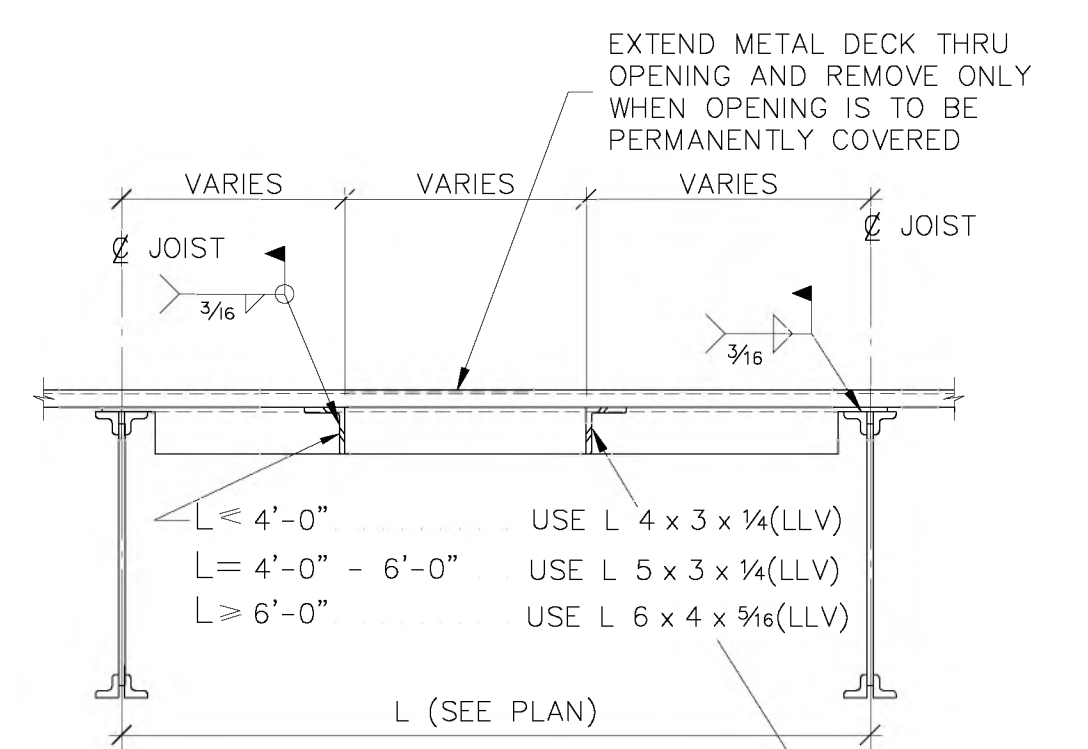
**09** TYPICAL DETAIL  
SCALE: NO SCALE



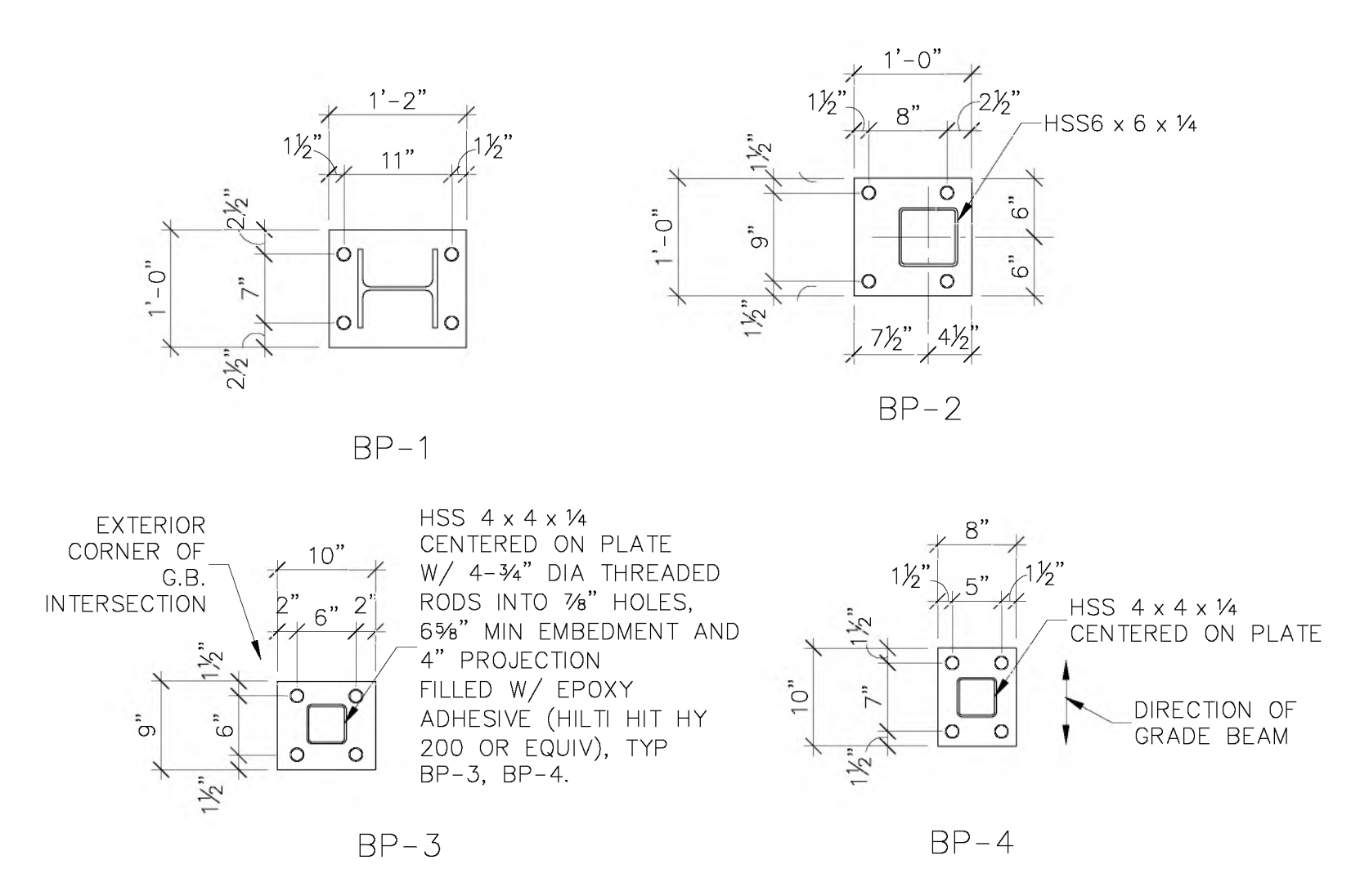
**10** TYPICAL DETAIL  
SCALE: NO SCALE



**11** TYPICAL DETAIL  
SCALE: NO SCALE



**12** TYPICAL DETAIL  
SCALE: NO SCALE



**13** TYPICAL DETAIL  
SCALE: NO SCALE



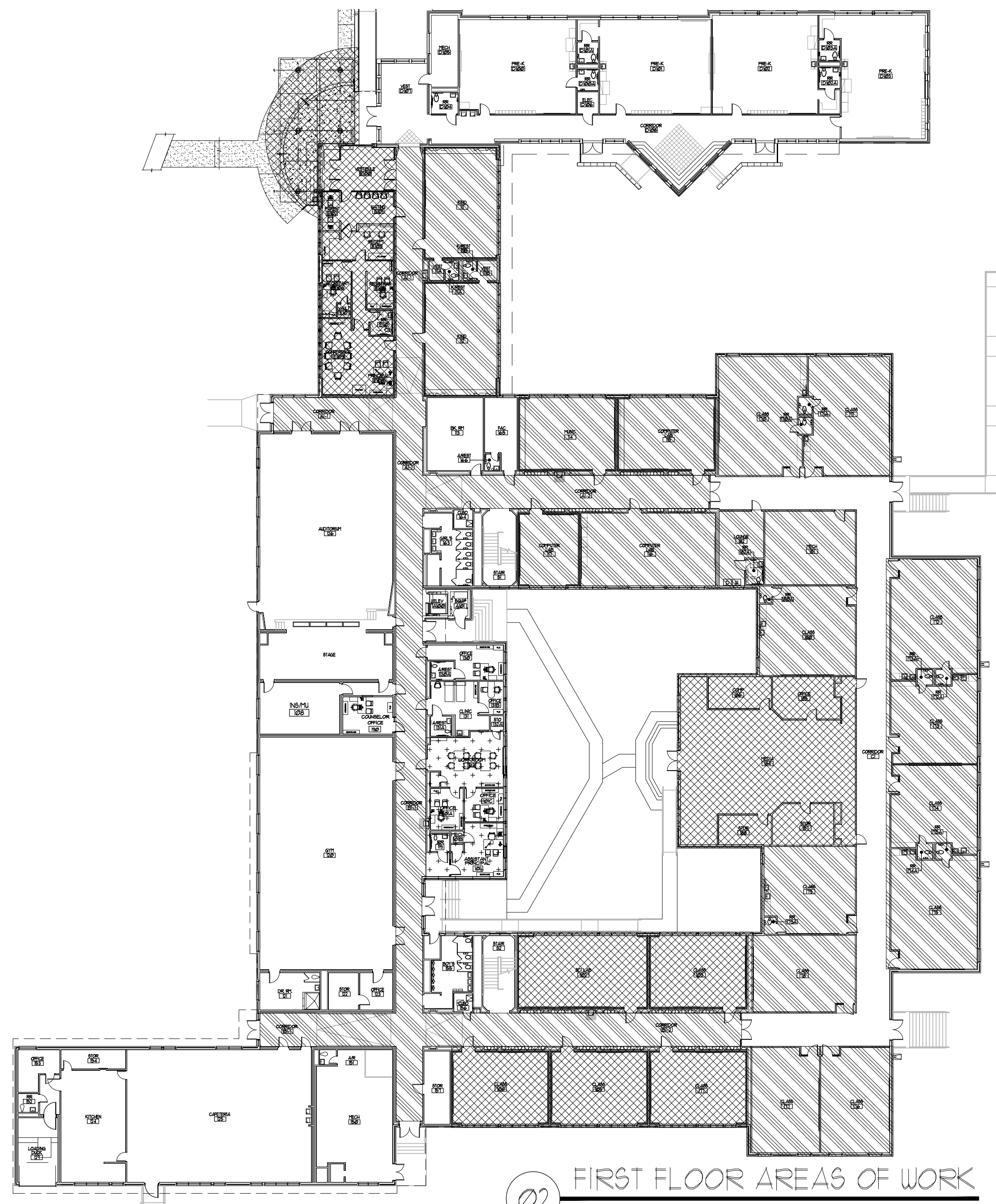




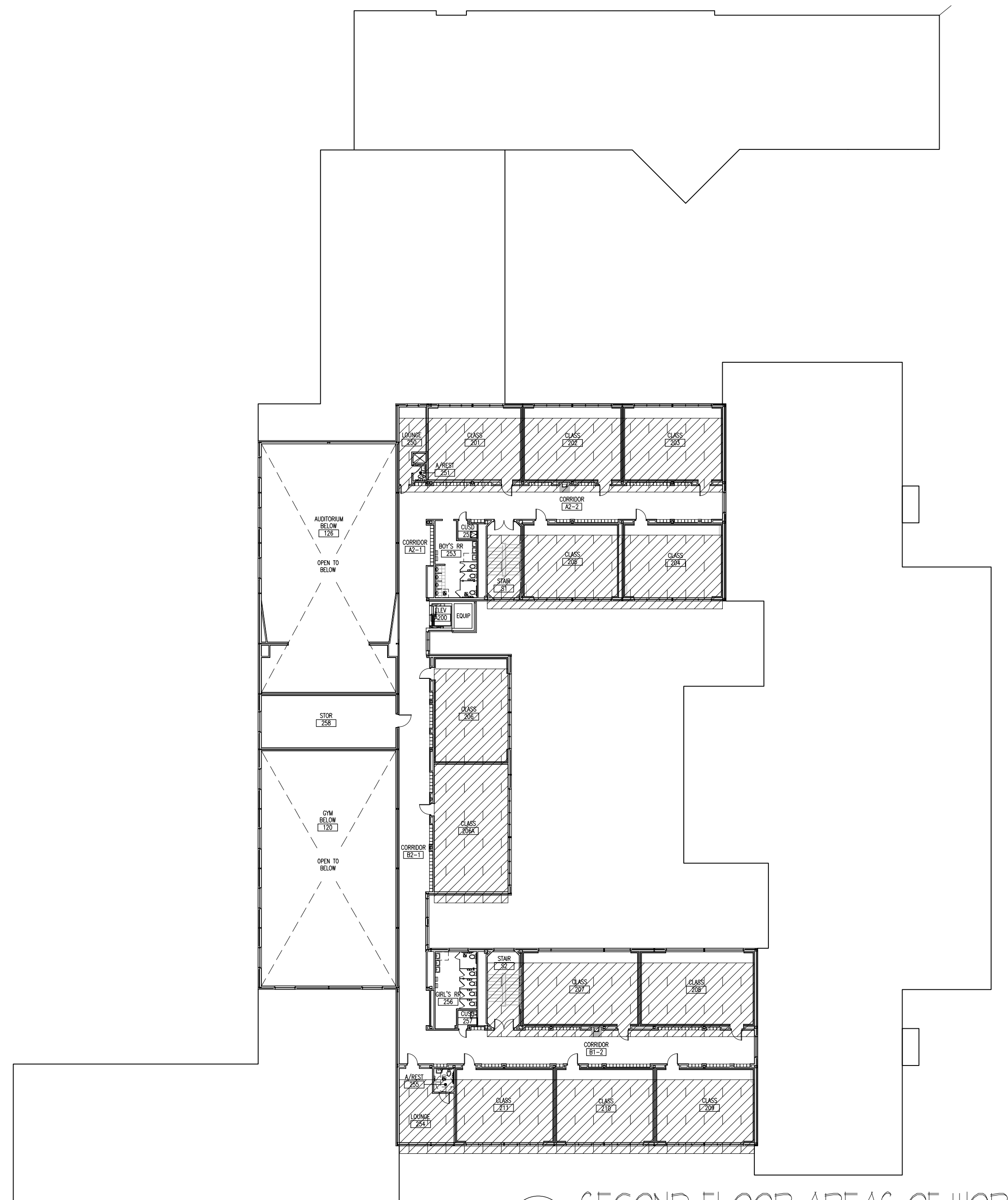




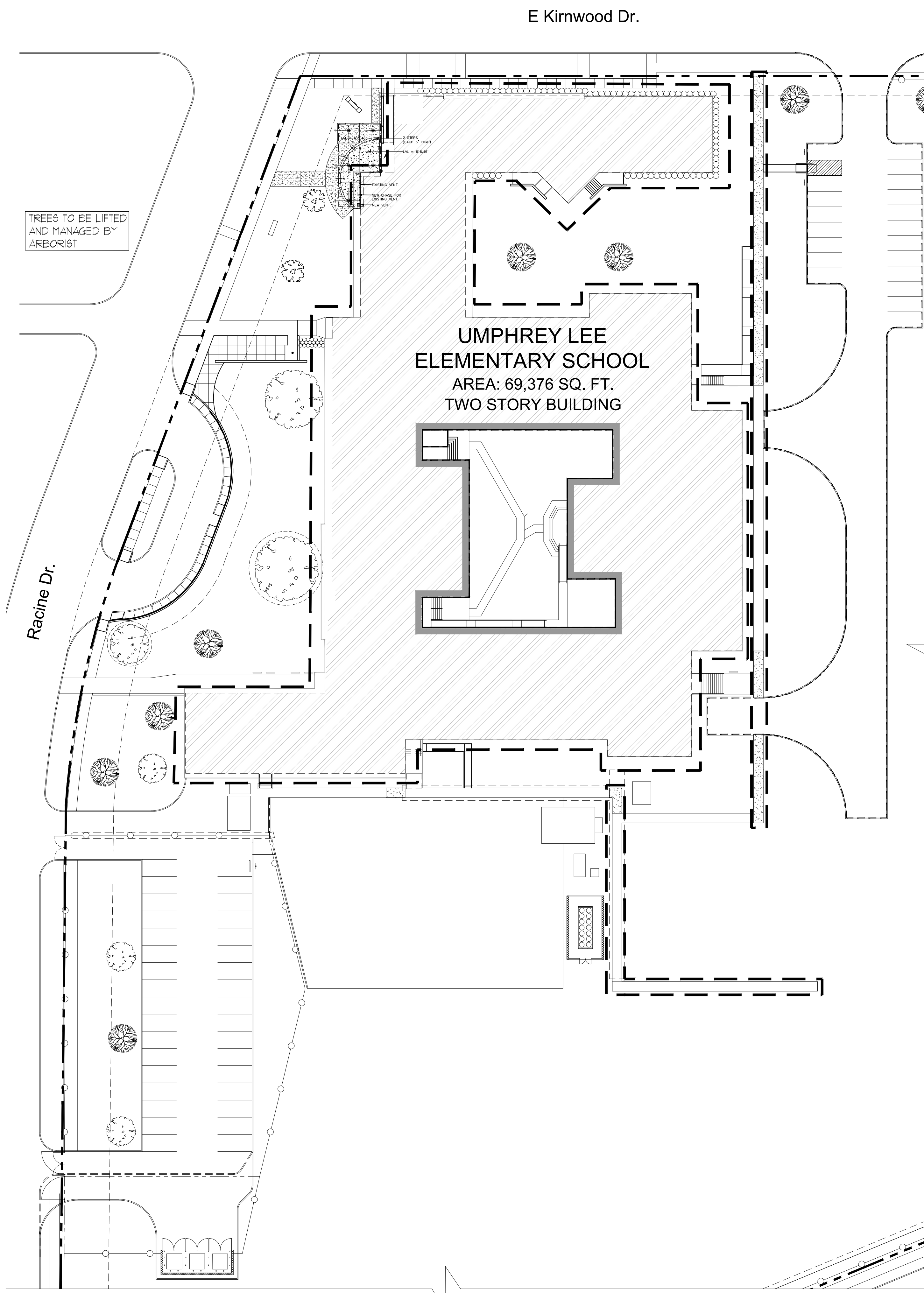




02 FIRST FLOOR AREAS OF WORK  
SCALE: N.T.S.



03 SECOND FLOOR AREAS OF WORK  
SCALE: N.T.S.



UMPHREY LEE  
ELEMENTARY SCHOOL  
AREA: 69,376 SQ. FT.  
TWO STORY BUILDING

TREES TO BE LIFTED  
AND MANAGED BY  
ARBORIST

LEGEND/ WORK SCHEDULE:

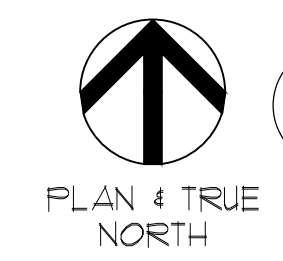
	AREA I: POSSIBLE CONCREMENT WITH PHASE II	REMODEL AND CONVERSION OF THE EXISTING CLASSROOMS INTO NEW ADMIN AREA, NEW ENTRY VESTIBULE AND CANOPY, REMODEL OF FIVE CLASSROOMS AND MEDIA CENTER.
	AREA II: POSSIBLE CONCREMENT WITH PHASE IV	NEW CEILING, FLOORING, LIGHTING, ADD TEACHING SURFACES, PAINT SURFACES SECOND FLOOR.
	AREA III:	REMODEL OF EXISTING ADMIN. AREA, RESTROOM AND TEACHERS WORKROOM
	AREA IV:	NEW CEILING, FLOORING, LIGHTING, ADD TEACHING SURFACES, PAINT SURFACES FIRST FLOOR.
	AREA V: POSSIBLE CONCREMENT WITH PHASE I	CLEANING OF EXTERIOR FACADE, REPAIR EXTERIOR WALLS, PAINT EXTERIOR SURFACES, NEW CONCRETE SIDEWALKS, HVAC SCOPE AND NEW FIRE ALARM SYSTEM.

NOTE:

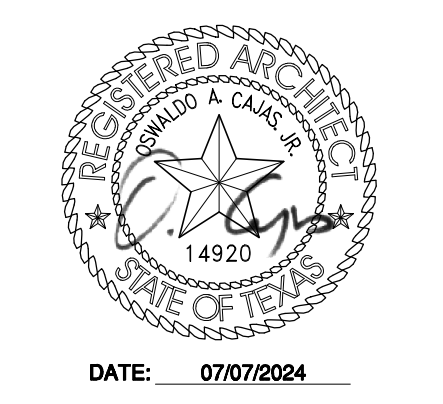
THE SHOWN WORK PLAN IS DESIGN TEAM RECOMMENDATION. GENERAL CONTRACTOR TO EVALUATE THIS AND REVISE AS NECESSARY.

WORK PLAN NOTES:

1. ASBESTOS ABATEMENT (IF ANY) IS BY GENERAL CONTRACTOR. REFER TO ASBESTOS SURVEY REPORT IN DIVISION 0 OF THE SPECIFICATIONS MANUAL. CONTRACTOR SHOULD CONSIDER & INCORPORATE TIMING FOR THIS IN THEIR SCHEDULE. ABATEMENT WORK MUST HAPPEN OVER THANKSGIVING, CHRISTMAS, SPRING BREAK, SUMMER VACATION, OR AFTER HOURS AT THE DISCRETION OF THE OWNER AND ABATEMENT CONSULTANT.
2. THE CONTRACTOR TO PERFORM ALL WORK IN EVENING HOURS, WEEKENDS AND / OR HOLIDAYS. NO INDOOR WORK ALLOWED DURING SCHOOL HOURS.
3. THE OUTDOOR WORK COULD BE ALLOWED DURING SCHOOL HOURS IF OK BY DSD SAFETY AND SCHOOL MANAGEMENT.
4. CONTRACTOR MUST TEST EXISTING SECURITY, PUBLIC ADDRESS & FIRE ALARM SYSTEMS PRIOR TO START OF ANY WORK. IF ANY DEFICIENCY FOUND, BRING IT TO AECOM BY ATTENTION IN WRITING. IF CONTRACTOR CHOOSE TO START THE WORK WITHOUT TESTING THESE EXISTING SYSTEMS, THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTAINING THESE SYSTEMS AT NO COST TO THE OWNER.
5. CONTRACTOR MUST TAKE SCREEN SHOT OF EXISTING HVAC CONTROL SYSTEM PRIOR TO START OF ANY WORK. IF ANY EQUIPMENT / CONTROL FOUND TO BE NOT WORKING, NOTIFY AECOM PROJECT MANAGER IN WRITING. IF CONTRACTOR CHOOSE TO START THE WORK WITHOUT CHECKING THE EXISTING HVAC CONTROL SYSTEMS, THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTAINING THE SYSTEM AT NO COST TO THE OWNER.
6. THE EXISTING SYSTEMS (PA, FA, SECURITY, HVAC, CONTROL) MUST STAY OPERATIONAL THROUGHOUT THE CONSTRUCTION PHASE UNTIL THE NEW SYSTEMS ARE ACTIVATED. AFTER SWITCHING OVER TO THE NEW SYSTEM (PA, FA, SECURITY), THE CONTRACTOR TO REMOVE THE OLD SYSTEM DEVICES IN ITS ENTIRETY INCLUDING ALL RELATED COMPONENTS. CONTRACTOR TO PATCH / PAINT ALL DAMAGED AREAS AFTER THE REMOVAL OF THE EXISTING DEVICES INCLUDING CONDUITS.



01 AREAS OF WORK PLAN  
SCALE: N.T.S.



RENOVATIONS TO  
UMPHREY LEE ELEMENTARY SCHOOL  
7808 RACINE DR., DALLAS, TEXAS 75232.

Date: 07/07/2024  
Revised:  
Project No. 2245  
File Name:  
Sheet Title: WORK AREA PLAN

Sheet No. A0.40  
Sheet 5 Of 45





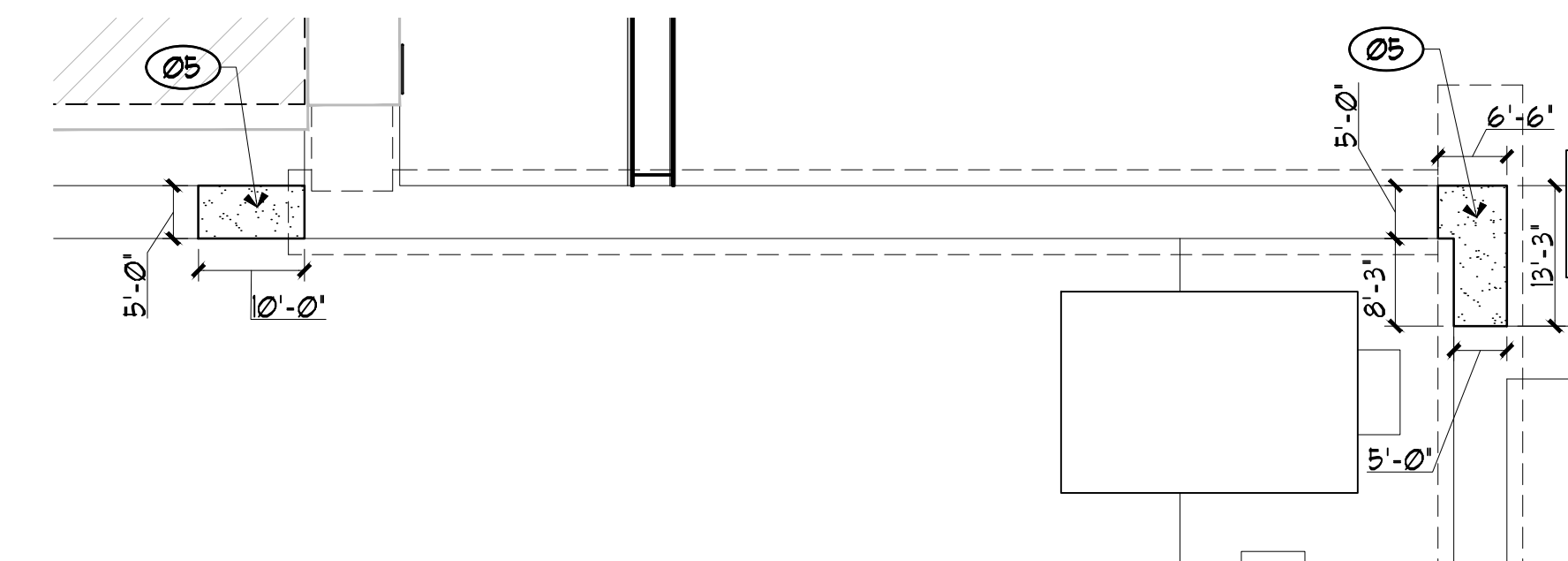




RENOVATIONS TO  
**UMPHREY LEE ELEMENTARY SCHOOL**  
7808 RACINE DR., DALLAS, TEXAS 75232

Date: 07/07/2024  
Revised:  
Project No. 2245  
File Name:  
Sheet Title: OVERALL SITE PLAN-NEW

Sheet No.  
**A1.10**  
Sheet 7 Of 45

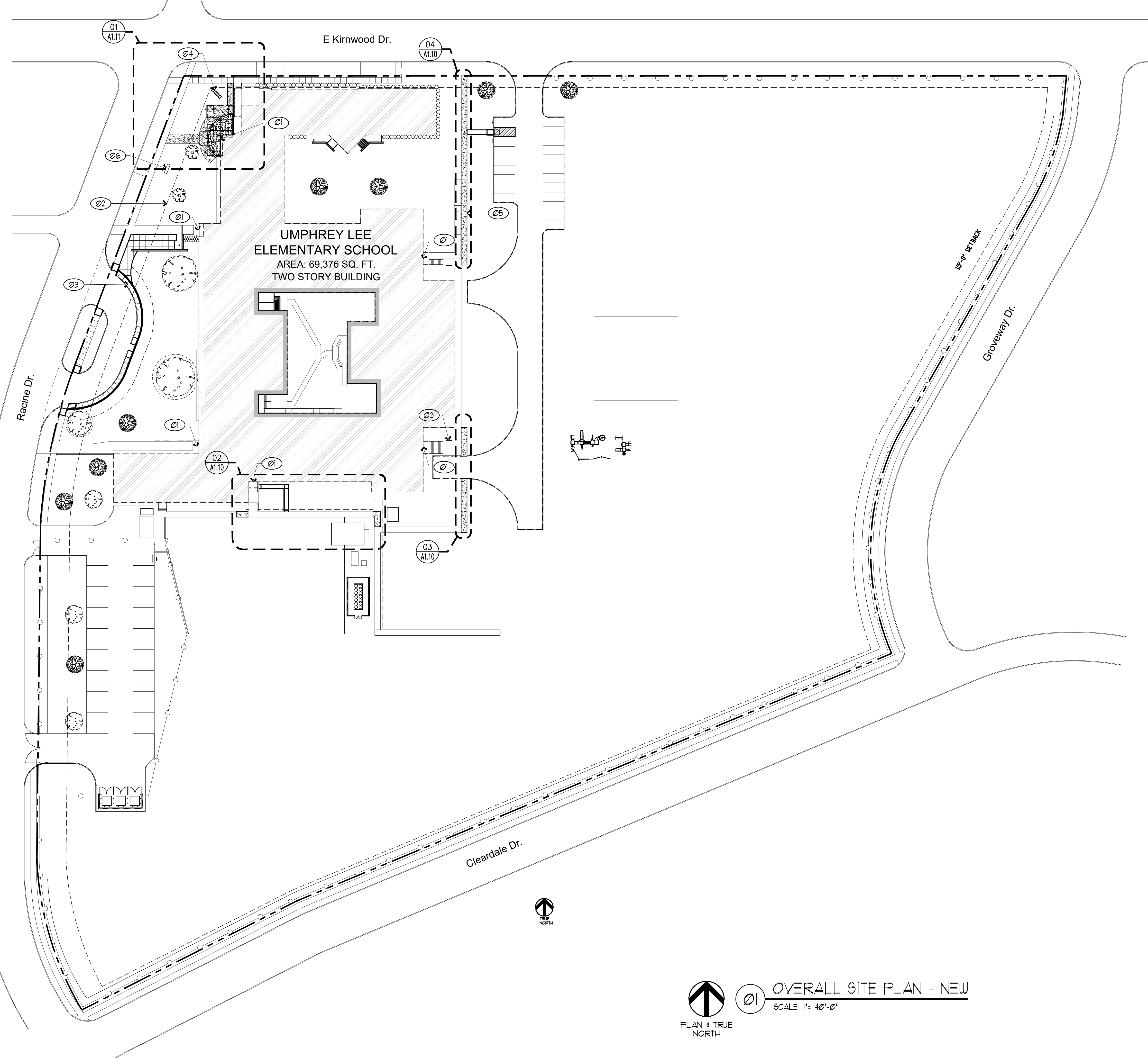


**02 ENLARGED SITE PLAN**  
SCALE: 1/16" = 1'-0"  
PLAN & TRUE

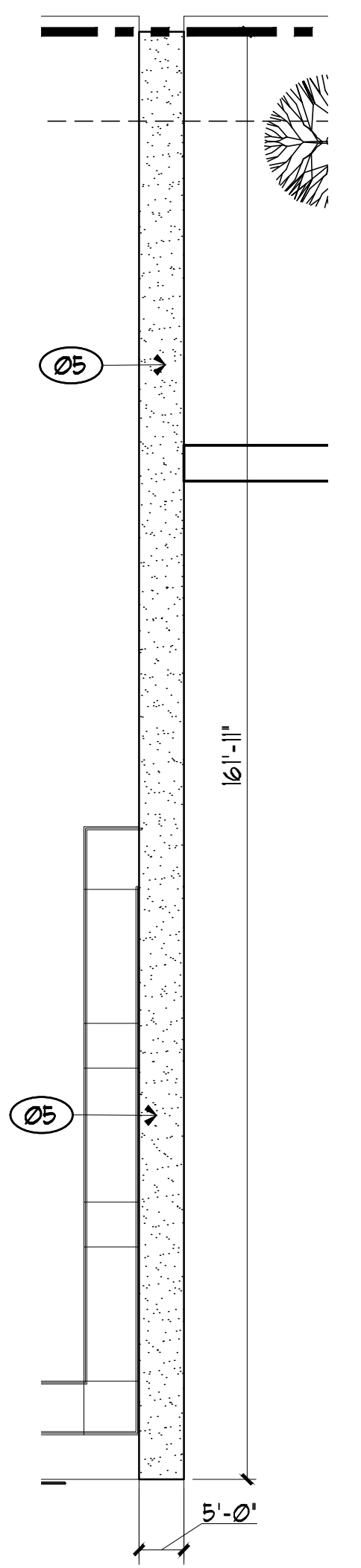
- LEGEND:**
- NEW CONCRETE SIDEWALK
  - NEW CONCRETE STEPS AND LANDING

- GENERAL NOTES:**
1. REFER TO CIVIL DRAWINGS FOR PAVING DETAILS, AND ADDITIONAL NOTES.
  2. REFER TO STRUCTURAL DRAWINGS FOR MARQUEE SIGN STRUCTURAL DETAILS.
  3. ALL DIMENSIONS AND CONDITIONS TO BE FIELD VERIFIED AND CONFIRMED BY CONTRACTOR PRIOR TO START OF DEMOLITION.

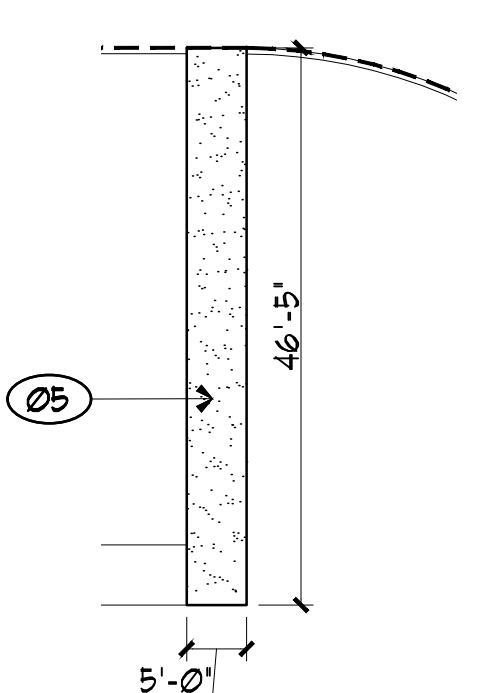
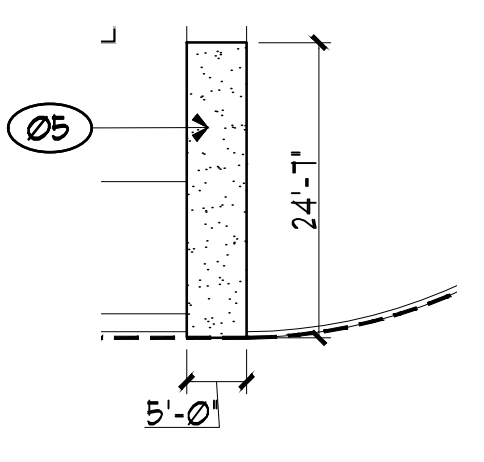
- SITE PLAN NEW WORK KEY NOTES:**
- 01** PROVIDE INFRASTRUCTURE FOR NEW SECURITY UPDATES INCLUDING CARD ACCESS READERS, AND DOOR CONTACTS.
  - 02** 25 FT. UTILITY EASEMENT
  - 03** REPAIR DAMAGED PAVE STONE WALL, REFER CIVIL.
  - 04** NEW MARQUEE SIGN WITH NEW FOUNDATION, REFER SHEET 04/A1.11 AND STRUCTURE DRAWINGS FOR DETAILS.
  - 05** REPLACE SIDEWALK WITH NEW CONCRETE SIDEWALK. (REFER CIVIL DRAWINGS) MAKE A.D.A. COMPLIANT WHERE NEEDED.
  - 06** TEMPORARY SIGN WITH DISC CONSTRUCTION BOND DETAILS SPECS. PER DISD.



**01 OVERALL SITE PLAN - NEW**  
SCALE: 1" = 40'-0"  
PLAN & TRUE NORTH



**04 ENLARGED SITE PLAN**  
SCALE: 1/16" = 1'-0"  
PLAN & TRUE

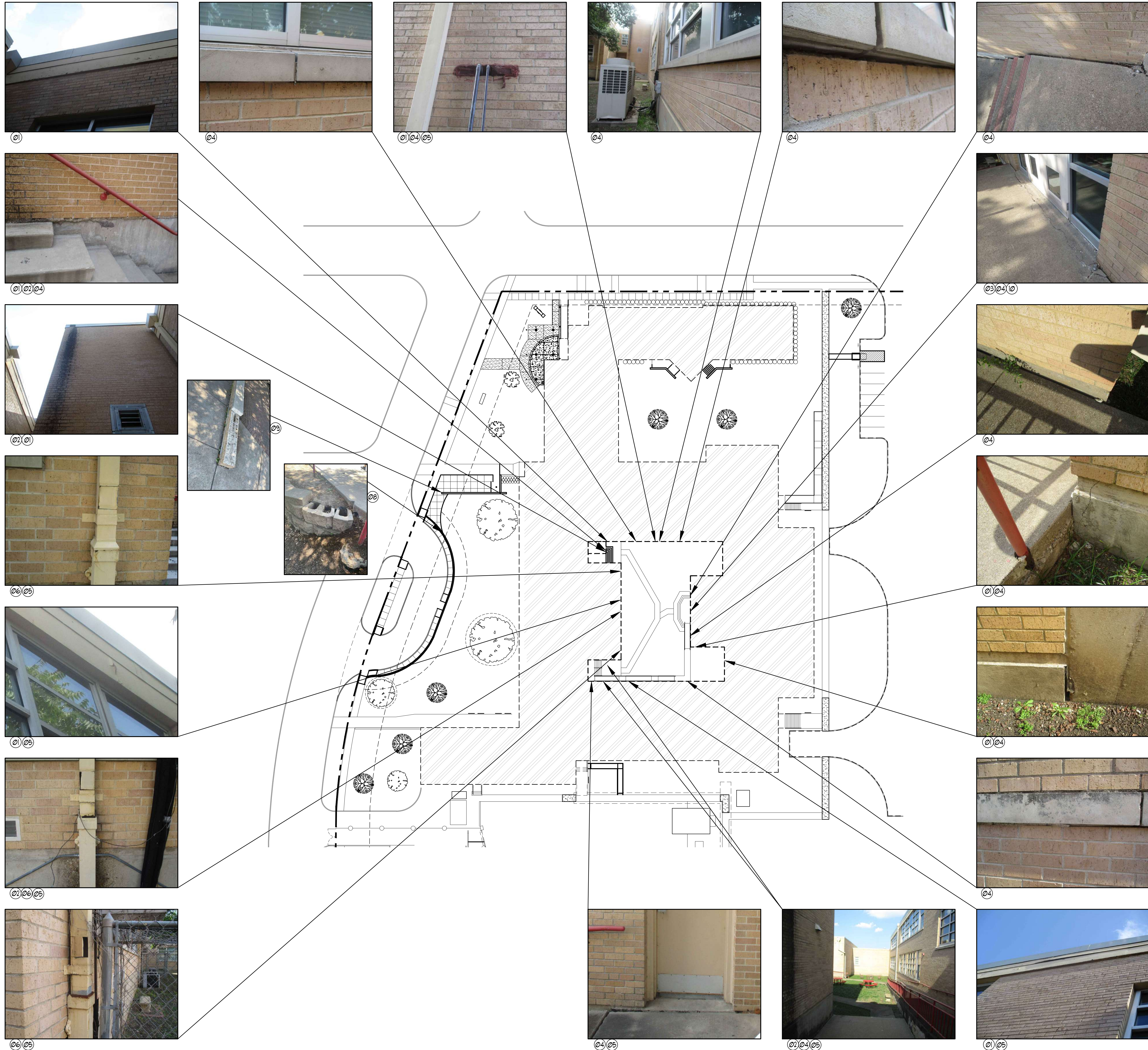



**03 ENLARGED SITE PLAN**  
SCALE: 1/16" = 1'-0"  
PLAN & TRUE NORTH










01
**FACADE REPAIRS FOR COURTYARD**  
 SCALE: 1/32" = 1'-0"  
 PLAN 4 TRUE NORTH

**GENERAL NOTES:**

1. CLEAN ALL STAINS AND MILDEW ON ALL EXTERIOR MASONRY WALLS AND EXTERIOR STUCCO SURFACES WITH DISD APPROVED METHODS. EMPLOY THE APPROPRIATE CLEANING METHOD FOR EACH FINISH. REFER TO SPECIFICATIONS AND CONFIRM NON DAMAGING.
2. REPLACE EXTERIOR WATERPROOFING/SEALANT JOINTS (INCLUDE ALL EXTERIOR WALL CONTROL/EXPANSION JOINTS, MATERIAL TRANSITIONS, AROUND DOOR AND WINDOW FRAMES AND WALL PENETRATIONS.)
3. EXISTING DOWNSPOUTS WITH OPENINGS ABOVE GROUND SHALL RETAIN USE OF THE OPENING FOR DISD MAINTENANCE DEPARTMENT. PAINT ALL METAL SURFACES, INCLUDING BRACKETS.

**KEYNOTES:**

- 01 REPAIR BROKEN AND CRACKED EXTERIOR WALL CLADDING.
- 02 CLEAN STAINS AND MILDEW ON EXTERIOR WALLS WITH DISD APPROVED METHODS, AND WASH AS REQUIRED.
- 03 REPLACE CRACKED CONCRETE SIDEWALK AND PAVEMENT.
- 04 PROVIDE EXTERIOR WATERPROOFING/ SEALANT JOINTS.
- 05 REPAINT ALL EXISTING EXTERIOR PAINTED SURFACES, PAINT TO MATCH EXISTING
- 06 REPAIR AND PATCH THE EXISTING BROKEN DOWNSPOUT CLEAN STAINS, AND PAINT IT ACCORDINGLY.
- 07 PAINT ALL EXISTING HANDRAILS ON THE EXTERIOR OF THE SCHOOL.
- 08 REPAIR DAMAGED PAVE STONE WALL. ADD MISSING STONE BLOCKS.
- 09 ADD MISSING CONCRETE CAP STONE ON THE LOW WALL.
- 10 REPLACE THE EXISTING DOOR STOPPER WITH THE NEW EXTERIOR FLOOR MOUNT DOOR STOPPER.

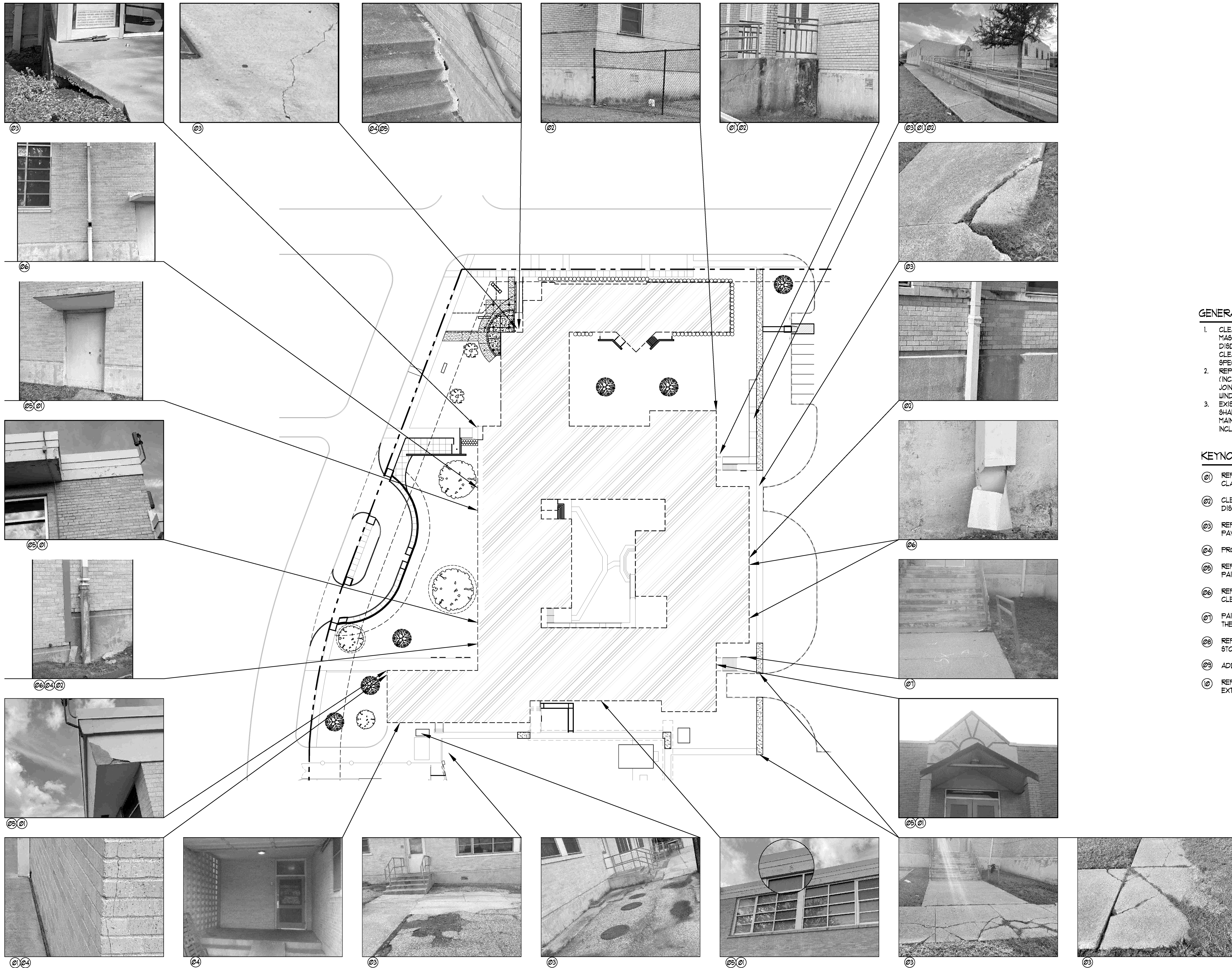


**RENOVATIONS TO**  
**UMPHREY LEE ELEMENTARY SCHOOL**  
 7808 RACINE DR., DALLAS, TEXAS 75232

Date: 07/07/2024  
 Revised:  
 Project No. 2245  
 File Name:  
 Sheet Title: FACADE REPAIRS FOR COURTYARD

Sheet No.  
A1.12  
 Sheet 9 Of 45





**GENERAL NOTES:**

1. CLEAN ALL STAINS AND MILDEW ON ALL EXTERIOR MASONRY WALLS AND EXTERIOR STUCCO SURFACES WITH DISD APPROVED METHODS. EMPLOY THE APPROPRIATE CLEANING METHOD FOR EACH FINISH. REFER TO SPECIFICATIONS AND CONFIRM NON DAMAGING.
2. REPLACE EXTERIOR WATERPROOFING/SEALANT JOINTS (INCLUDE ALL EXTERIOR WALL CONTROL/EXPANSION JOINTS, MATERIAL TRANSITIONS AROUND DOOR AND WINDOW FRAMES AND WALL PENETRATIONS).
3. EXISTING DOWNSPOUTS WITH OPENINGS ABOVE GROUND SHALL RETAIN USE OF THE OPENING FOR DISD MAINTENANCE DEPARTMENT. PAINT ALL METAL SURFACES, INCLUDING BRACKETS.

**KEYNOTES:**

01. REPAIR BROKEN AND CRACKED EXTERIOR WALL CLADDING.
02. CLEAN STAINS AND MILDEW ON EXTERIOR WALLS WITH DISD APPROVED METHODS, AND WASH AS REQUIRED.
03. REPLACE CRACKED CONCRETE SIDEWALK AND PAVEMENT.
04. PROVIDE EXTERIOR WATERPROOFING/ SEALANT JOINTS.
05. REPAINT ALL EXISTING EXTERIOR PAINTED SURFACES, PAINT TO MATCH EXISTING.
06. REPAIR AND PATCH THE EXISTING BROKEN DOWNSPOUT CLEAN STAINS, AND PAINT IT ACCORDINGLY.
07. PAINT ALL EXISTING HANDRAILS ON THE EXTERIOR OF THE SCHOOL.
08. REPAIR DAMAGED PAVE STONE WALL. ADD MISSING STONE BLOCKS.
09. ADD MISSING CONCRETE CAP STONE ON THE LOW WALL.
10. REPLACE THE EXISTING DOOR STOPPER WITH THE NEW EXTERIOR FLOOR MOUNT DOOR STOPPER.



Date: 07/07/2024

Revised:

Project No. 2245

File Name:

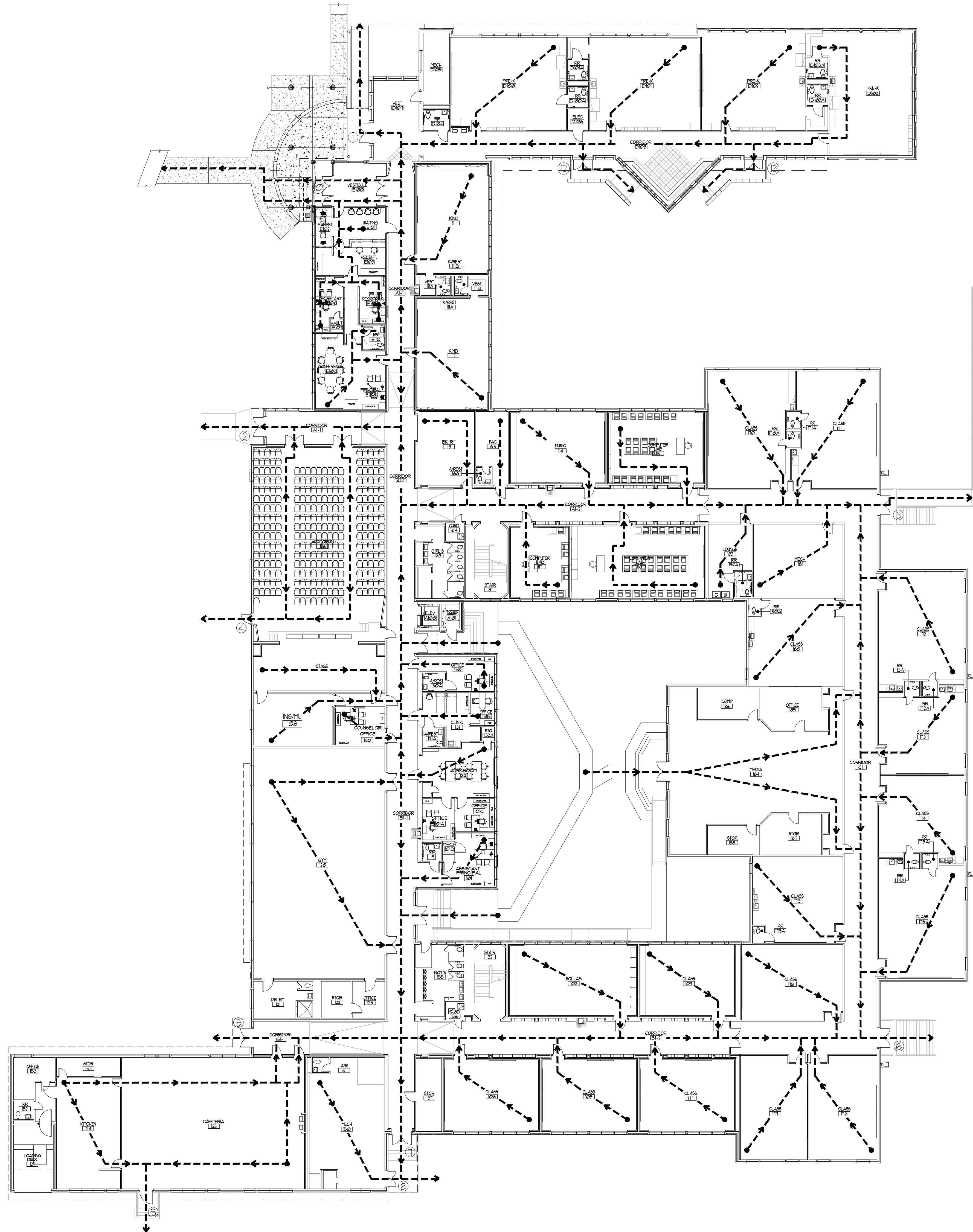
Sheet Title: FACADE REPAIRS AT THE EXTERIOR PARAMETER

Sheet No.

**A1.13**

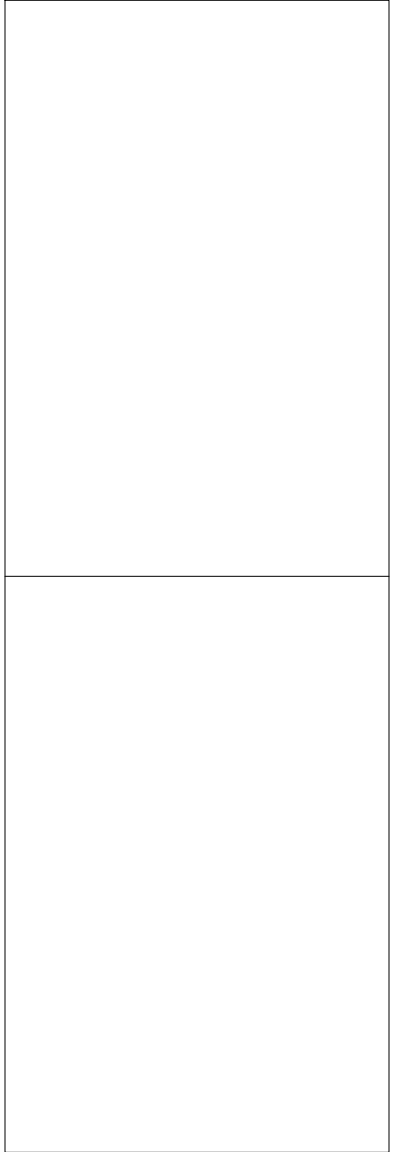
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- LEGEND:
- ← - - - EXIT ROUTE
- EXIT DOORS: PROVIDED WIDTH
- ① 6'-0"
  - ② 6'-0"
  - ③ 6'-0"
  - ④ 3'-0"
  - ⑤ 6'-0"
  - ⑥ 6'-0"
  - ⑦ 6'-0"
  - ⑧ 6'-0"
  - ⑨ 3'-0"
  - ⑩ 3'-0"
  - ⑪ 6'-0"
  - ⑫ 6'-0"
  - ⑬ 6'-0"

01 EXITING PLAN- FIRST FLOOR  
 SCALE: 1/8" = 1'-0"  
 PLAN & TRUE NORTH



07/07/2024 - 100% CONSTRUCTION DOCUMENTS -  
 ISSUED FOR PERMIT AND CONSTRUCTION



DATE: 07/07/2024

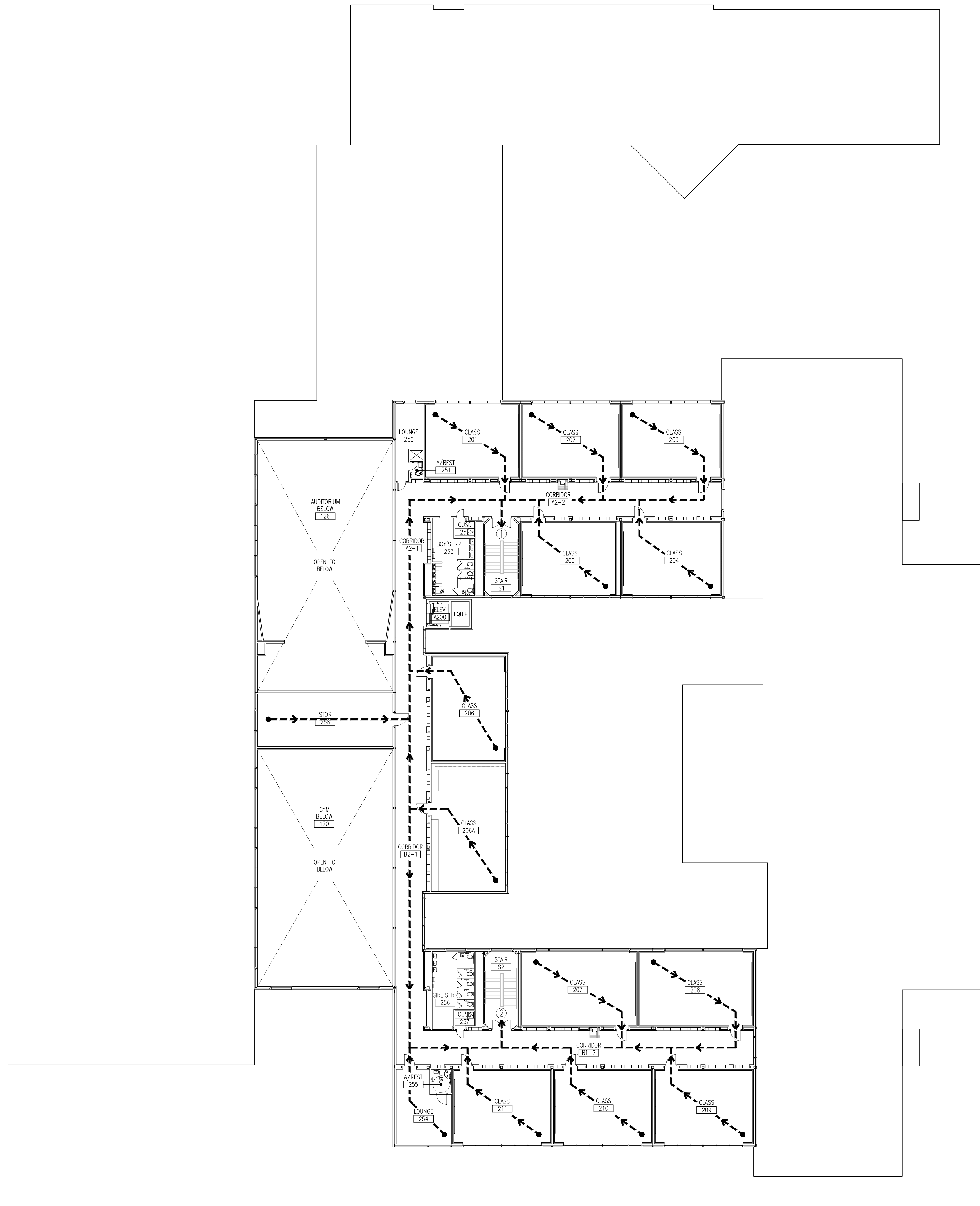


RENOVATIONS TO  
**UMPHREY LEE ELEMENTARY SCHOOL**  
 7808 RACINE DR. DALLAS, TEXAS 75232

Date: 07/07/2024  
 Revised:  
 Project No. 2245  
 File Name:  
 Sheet Title:  
 Exiting Plan-First Floor

Sheet No.  
**A1.20**  
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LEGEND:

← - - - - EXIT ROUTE

EXIT DOORS: PROVIDED WIDTH

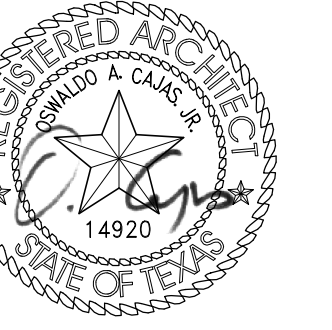
- ① 6'-0" = STAIRS' EXIT OPENING
- ② 6'-0" = STAIRS' EXIT OPENING



01 EXITING PLAN - SECOND FLOOR  
SCALE: 1" = 16'-0"

PLAN & TRUE  
NORTH

07/07/2024 - 100% CONSTRUCTION DOCUMENTS - ISSUED FOR PERMIT AND CONSTRUCTION



DATE: 07/07/2024



RENOVATIONS TO  
**UMPHREY LEE ELEMENTARY SCHOOL**  
 7808 RACINE DR., DALLAS, TEXAS 75232

Date: 07/07/2024

Revised:

Project No. 2245

File Name:

Sheet Title:

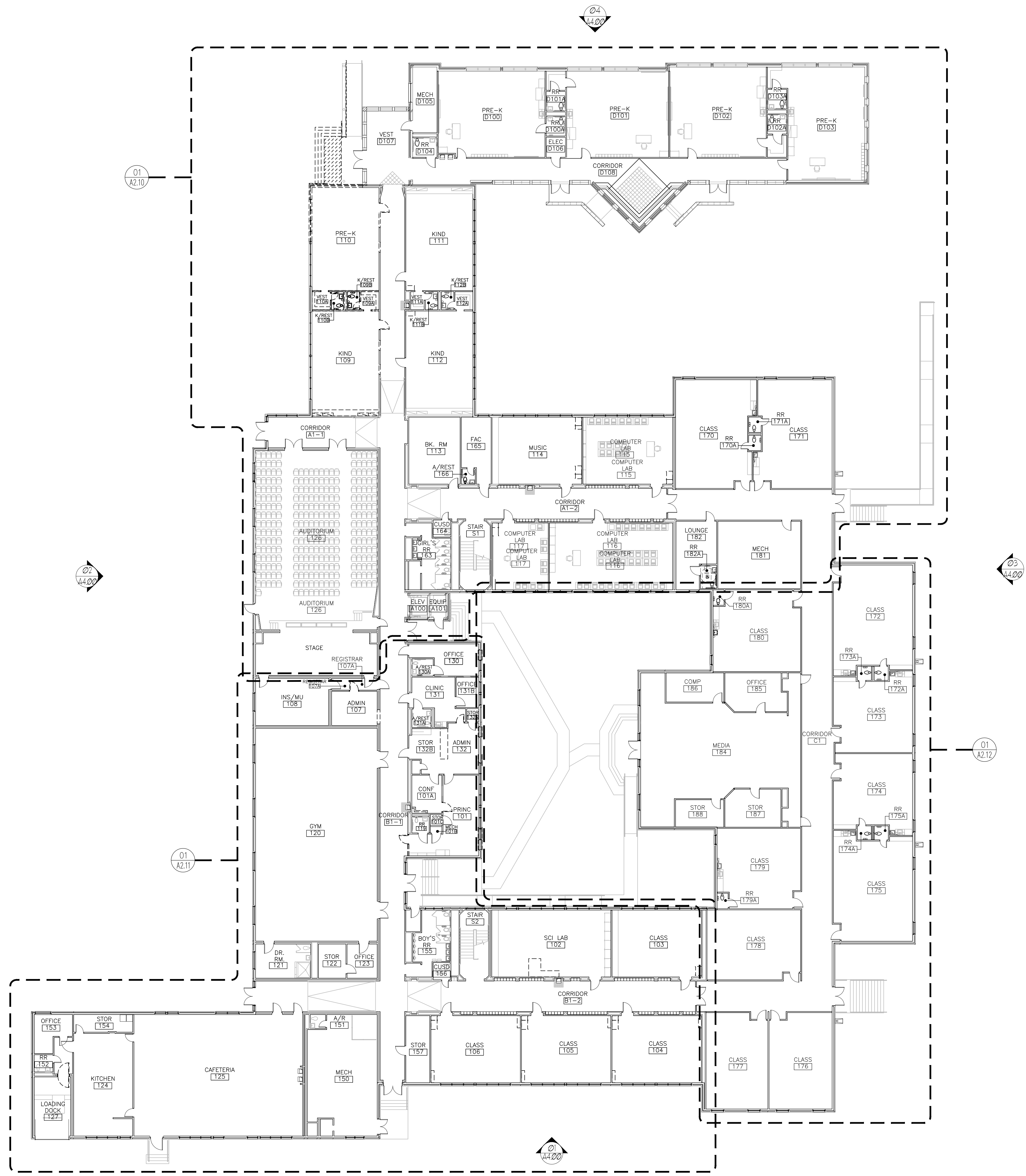
Exiting Plan - Second Floor

Sheet No.

**A1.21**

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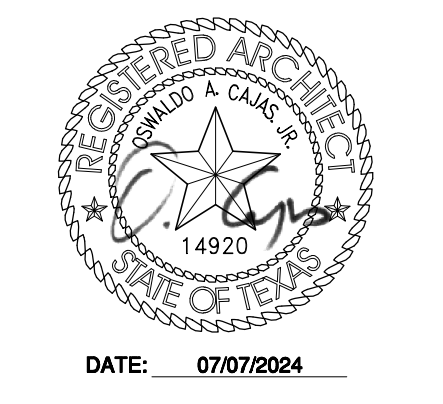


**WALL LEGEND:**

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING TO BE DEMOED
- AREA TO BE DEMOED

**01** OVERALL FIRST FLOOR - DEMO PLAN  
SCALE: 1" = 16'-0"  
PLAN & TRUE NORTH

07.07.2024 - 100% CONSTRUCTION DOCUMENTS - ISSUED FOR PERMIT AND CONSTRUCTION



**Dimensions ARCHITECTS**  
DALLAS, TEXAS 75248  
5605 151<sup>ST</sup> P.W. SUITE 495  
DALLAS, TEXAS 75248  
TEL: 214.270.3800  
FAX: 214.270.3758

**RENOVATIONS TO**  
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7808 RACINE DR. DALLAS, TEXAS 75232

Date: 07/07/2024  
Revised:  
Project No. 2245  
File Name:  
Sheet Title:  
Overall First Floor - Demo Plan

Sheet No.  
**A2.00**  
Sheet 13 Of 45





Date: 07/07/2024

Revised:

Project No. 2245

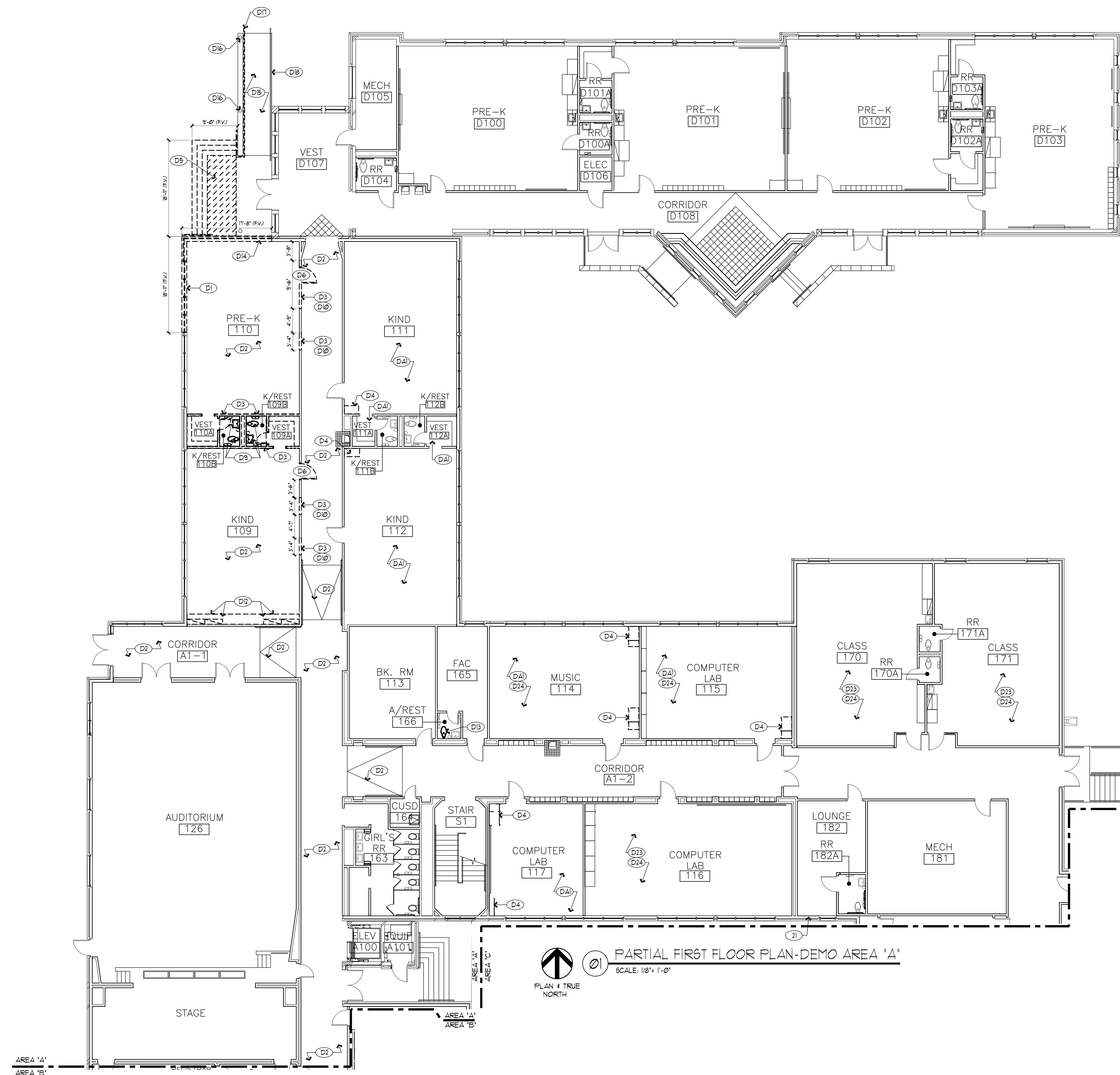
File Name:

Sheet Title: PARTIAL FIRST FLOOR PLAN DEMO - AREA A

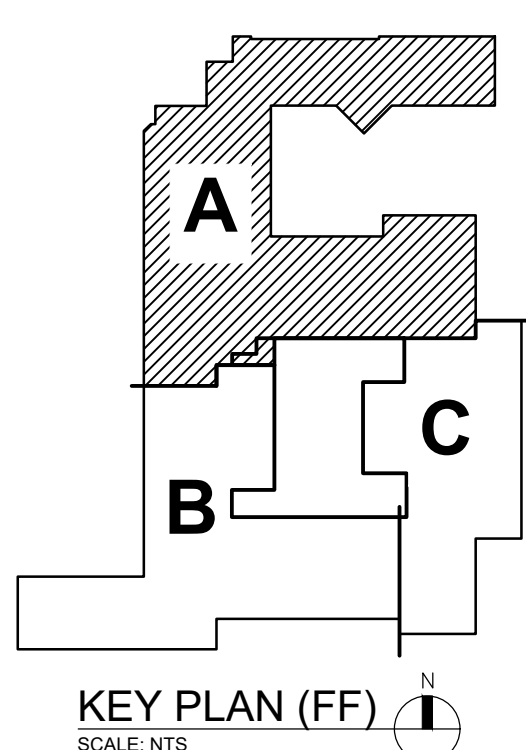
Sheet No.

**A2.10**

Sheet 14 Of 45



**PARTIAL FIRST FLOOR PLAN-DEMO AREA 'A'**  
 SCALE: 1/8" = 1'-0"



**WALL LEGEND:**

- EXISTING TO REMAIN
- EXISTING TO BE DEMOED
- AREA TO BE DEMOED

**GENERAL NOTES:**

1. PLAN KEY NOTES APPLY TO SHEETS- A2.10, A2.11, A2.12, AND A2.30.
2. ALL EXISTING DIMENSIONS AND CONDITIONS TO BE FIELD VERIFIED AND CONFIRMED BY CONTRACTOR PRIOR TO START OF CONSTRUCTION.
3. EXISTING FOUNDATION AND ROOF STRUCTURE AT THE AREAS OF NEW CONSTRUCTION TO REMAIN AND TO BE PROTECTED AT ALL STAGES OF CONSTRUCTION.
4. EXISTING TACKBOARDS, BLACK BOARDS, GREEN BOARDS AND WHITE BOARDS TO BE ENCASED IN NEW FURROUT WALL, IN ALL CLASSROOMS WHERE NEW FURROUT WALLS ARE BEING ADDED.

**DEMOLITION KEYNOTES:**

- (D1) DEMO EXISTING WINDOW SYSTEM, REMOVE WINDOW SCREENS, SALVAGE WINDOW SCREENS AND HANDOVER TO DISD.
- (D2) REMOVE EXISTING FLOOR FINISH, CLEAN SLAB AND PREPARE SURFACE TO RECEIVE NEW FLOOR FINISH.
- (D3) DEMO EXISTING WALL, PREPARE AREA TO RECEIVE NEW WALL, DOOR, COORDINATE WITH NEW FLOOR PLAN.
- (D4) DEMO EXISTING MILLWORK, PREPARE AREA TO RECEIVE NEW FURRED OUT WALL.
- (D5) DEMO EXISTING CONCRETE PAVEMENT 4 STAIRS, PREPARE AREA TO RECEIVE NEW CONCRETE SLAB, NEW WALLS, AND NEW FLOOR, COORDINATE WITH NEW FLOOR PLAN.
- (D6) DEMO EXISTING DOOR.
- (D7) EXISTING DOOR TO REMAIN, PREPARE, DOOR AND DOOR FRAME TO RECEIVE NEW PAINT AND NEW DOOR HARDWARE.
- (D8) REMOVE EXISTING EXTERIOR DOOR AND SCREEN DOOR, PREPARE TO RECEIVE NEW.
- (D9) DEMO EXISTING FIXTURES, PREPARE AREA TO RECEIVE NEW FLOORING AND NEW WALLS. COORDINATE WITH NEW FLOOR PLAN.
- (D10) PROVIDE NEW STEEL LINTEL ABOVE NEW OPENING.
- (D11) PATCH AND REPAIR ALL SURFACES, READY TO RECEIVE NEW PAINT.
- (D12) PRIOR TO REMOVAL OF WHOLE WALL, CONFIRM WALL CAVITY AND ANY EQUIPMENT, NOTIFY ARCHITECT.
- (D13) DEMO EXISTING WATER CLOSET AND PREPARE AREA TO RECEIVE NEW.
- (D14) DEMO EXISTING BRICK WALL, PROTECT EXISTING CONCRETE SLAB AND ROOF ABOVE, PREPARE AREA TO RECEIVE NEW WALLS AND STOREFRONT, CO-ORDINATE WITH NEW CONSTRUCTION PLAN.
- (D15) EXISTING RAMP TO REMAIN.
- (D16) EXISTING COLUMN TO REMAIN, PREPARE TO RECEIVE NEW PAINT TO MATCH NEW COLUMN COVER COLOR.
- (D17) EXISTING RAILING TO BE DEMOED.
- (D18) EXISTING RAILING TO REMAIN.
- (D19) EXISTING WINDOW UNIT TO BE REMOVED, REFER MEP DRAWINGS FOR ADDITIONAL INFO, PREPARE WINDOW OPENING TO BE FILLED WITH NEW GLAZING.
- (D20) EXISTING LOUVERS TO BE REMOVED, PREPARE OPENING TO BE FILLED, TO MATCH EXISTING.
- (D21) PROVIDE NEW THRU WALL OPENING FOR DRYER VENT, REFER TO MEP FOR ADDITIONAL INFORMATION.
- (D22) PATCH AND REPAIR ALL SURFACES (WALL, CEILING AND FLOOR) AFTER THE DEMOLITION OF HVAC UNIT.
- (D23) DEMO EXISTING BLACK BOARDS, GREEN BOARDS AND WHITE BOARDS, PATCH AND REPAIR SURFACE TO RECEIVE NEW BOARD/NEW PAINT.
- (D24) PROTECT EXISTING MILLWORK DURING CONSTRUCTION.

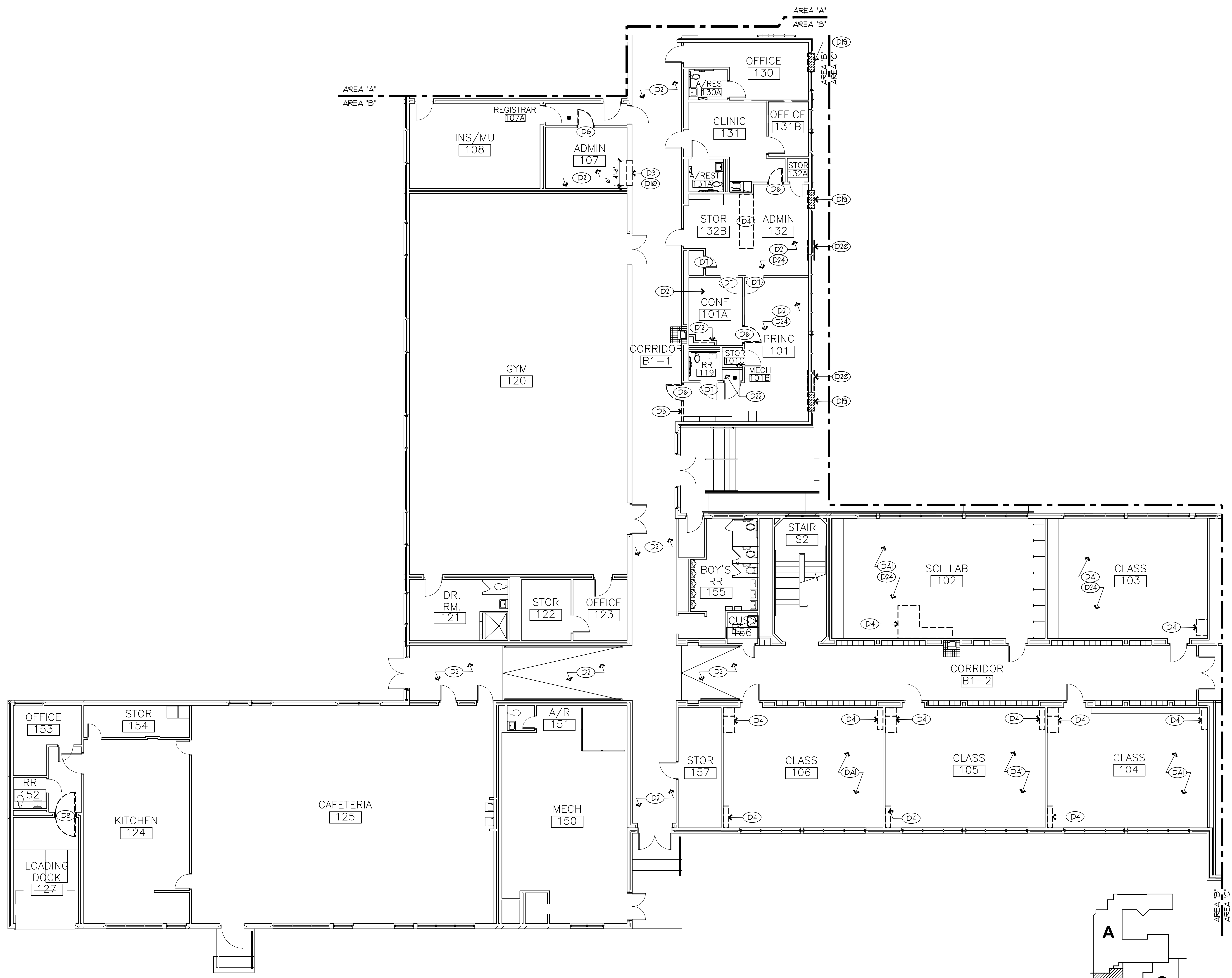
**ALTERNATE NOTES:**

- (DA1) REMOVE EXISTING FLOOR FINISH, CLEAN SLAB AND PREPARE SURFACE TO RECEIVE NEW FLOOR FINISH, REFER TO FLOOR FINISH PLAN A2.62 AND FINISH SCHEDULE ON A6.00 FOR ADDITIONAL DETAILS.





**RENOVATIONS TO**  
**UMPHREY LEE ELEMENTARY SCHOOL**  
 7808 RACINE DR., DALLAS, TEXAS 75232



**WALL LEGEND:**

- EXISTING TO REMAIN
- EXISTING TO BE DEMOED
- AREA TO BE DEMOED

**GENERAL NOTES:**

1. PLAN KEY NOTES APPLY TO SHEETS- A2.10, A2.11, A2.12, AND A2.30.
2. ALL EXISTING DIMENSIONS AND CONDITIONS TO BE FIELD VERIFIED AND CONFIRMED BY CONTRACTOR PRIOR TO START OF CONSTRUCTION.
3. EXISTING FOUNDATION AND ROOF STRUCTURE AT THE AREAS OF NEW CONSTRUCTION TO REMAIN AND TO BE PROTECTED AT ALL STAGES OF CONSTRUCTION.
4. EXISTING TACKBOARDS, BLACK BOARDS, GREEN BOARDS AND WHITE BOARDS TO BE ENCASED IN NEW FURROUT WALL, IN ALL CLASSROOMS WHERE NEW FURROUT WALLS ARE BEING ADDED.

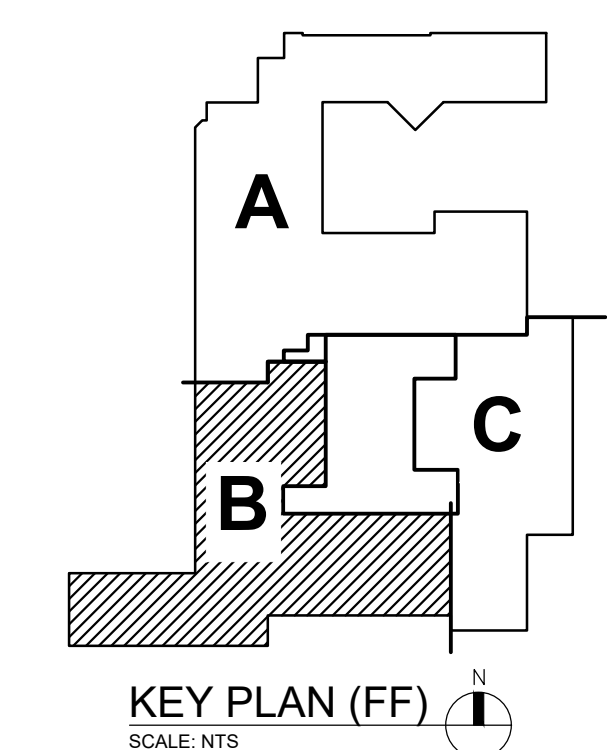
**DEMOLITION KEYNOTES:**

- (D1) DEMO EXISTING WINDOW SYSTEM, REMOVE WINDOW SCREENS, SALVAGE WINDOW SCREENS AND HANDOVER TO DIS.
- (D2) REMOVE EXISTING FLOOR FINISH, CLEAN SLAB AND PREPARE SURFACE TO RECEIVE NEW FLOOR FINISH.
- (D3) DEMO EXISTING WALL, PREPARE AREA TO RECEIVE NEW WALL, DOOR, COORDINATE WITH NEW FLOOR PLAN.
- (D4) DEMO EXISTING MILLWORK, PREPARE AREA TO RECEIVE NEW FURRED OUT WALL.
- (D5) DEMO EXISTING CONCRETE PAVEMENT 4 STAIRS, PREPARE AREA TO RECEIVE NEW CONCRETE SLAB, NEW WALLS, AND NEW FLOOR, COORDINATE WITH NEW FLOOR PLAN.
- (D6) DEMO EXISTING DOOR.
- (D7) EXISTING DOOR TO REMAIN, PREPARE, DOOR AND DOOR FRAME TO RECEIVE NEW PAINT AND NEW DOOR HARDWARE.
- (D8) REMOVE EXISTING EXTERIOR DOOR AND SCREEN DOOR, PREPARE TO RECEIVE NEW.
- (D9) DEMO EXISTING FIXTURES, PREPARE AREA TO RECEIVE NEW FLOORING AND NEW WALLS. COORDINATE WITH NEW FLOOR PLAN.
- (D10) PROVIDE NEW STEEL LINTEL ABOVE NEW OPENING.
- (D11) PATCH AND REPAIR ALL SURFACES, READY TO RECEIVE NEW PAINT.
- (D12) PRIOR TO REMOVAL OF WHOLE WALL, CONFIRM WALL CAVITY AND ANY EQUIPMENT, NOTIFY ARCHITECT.
- (D13) DEMO EXISTING WATER CLOSET AND PREPARE AREA TO RECEIVE NEW.
- (D14) DEMO EXISTING BRICK WALL, PROTECT EXISTING CONCRETE SLAB AND ROOF ABOVE, PREPARE AREA TO RECEIVE NEW WALLS AND STOREFRONT, CO-ORDINATE WITH NEW CONSTRUCTION PLAN.
- (D15) EXISTING RAMP TO REMAIN.
- (D16) EXISTING COLUMNS TO REMAIN, PREPARE TO RECEIVE NEW PAINT TO MATCH NEW COLUMN COVER COLOR.
- (D17) EXISTING RAILING TO BE DEMOED.
- (D18) EXISTING RAILING TO REMAIN.
- (D19) EXISTING WINDOW UNIT TO BE REMOVED, REFER MEP DRAWINGS FOR ADDITIONAL INFO, PREPARE WINDOW OPENING TO BE INFILLED WITH NEW GLAZING.
- (D20) EXISTING LOUVERS TO BE REMOVED, PREPARE OPENING TO BE INFILLED, TO MATCH EXISTING.
- (D21) PROVIDE NEW THRU WALL OPENING FOR DRYER VENT, REFER TO MEP FOR ADDITIONAL INFORMATION.
- (D22) PATCH AND REPAIR ALL SURFACES (WALL, CEILING AND FLOOR) AFTER THE DEMOLITION OF HVAC UNIT.
- (D23) DEMO EXISTING BLACK BOARDS, GREEN BOARDS AND WHITE BOARDS, PATCH AND REPAIR SURFACE TO RECEIVE NEW BOARD/NEW PAINT.
- (D24) PROTECT EXISTING MILLWORK DURING CONSTRUCTION.

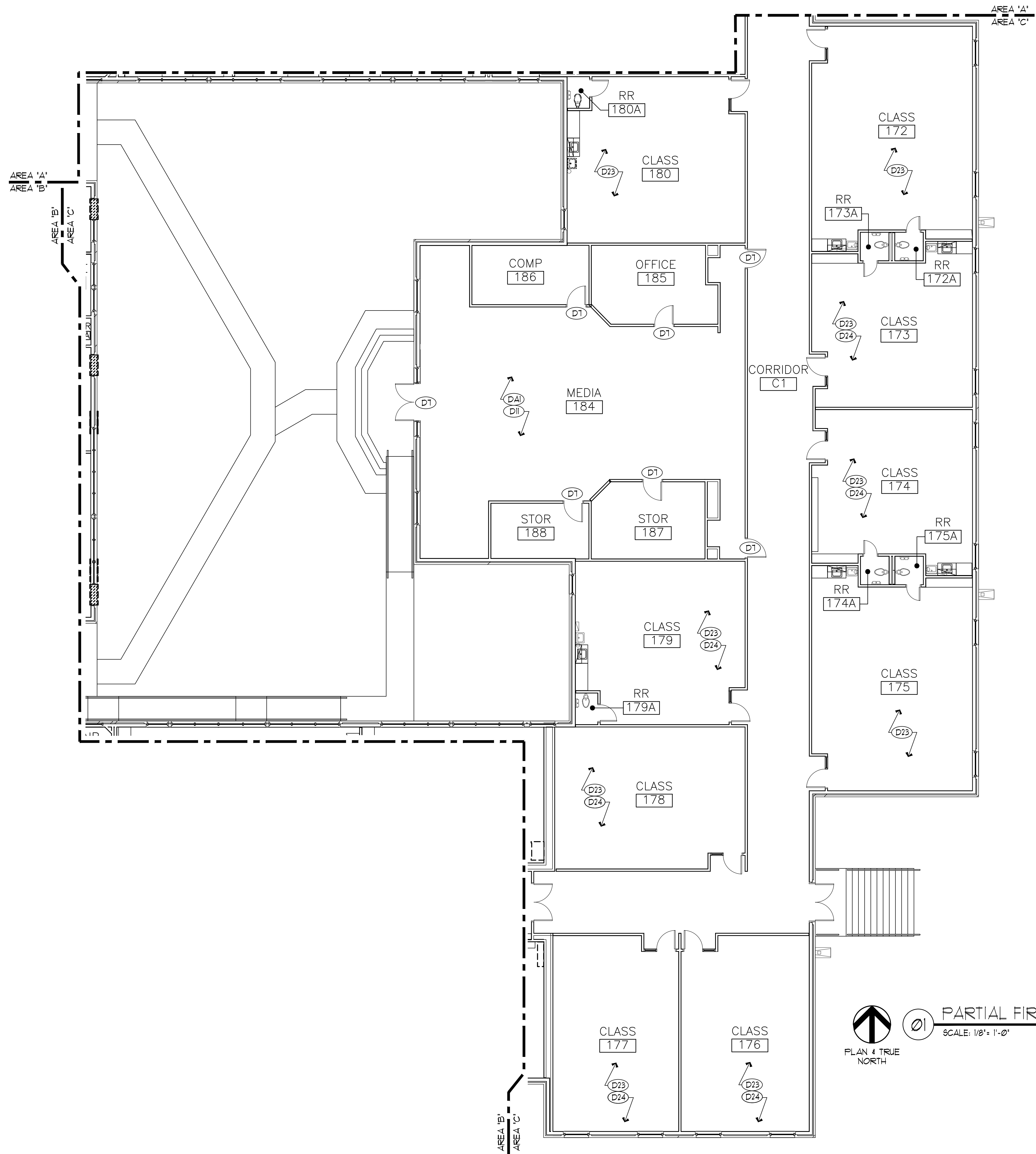
**ALTERNATE NOTES:**

- (DA1) REMOVE EXISTING FLOOR FINISH, CLEAN SLAB AND PREPARE SURFACE TO RECEIVE NEW FLOOR FINISH, REFER TO FLOOR FINISH PLAN A2.62 AND FINISH SCHEDULE ON A6.00 FOR ADDITIONAL DETAILS.

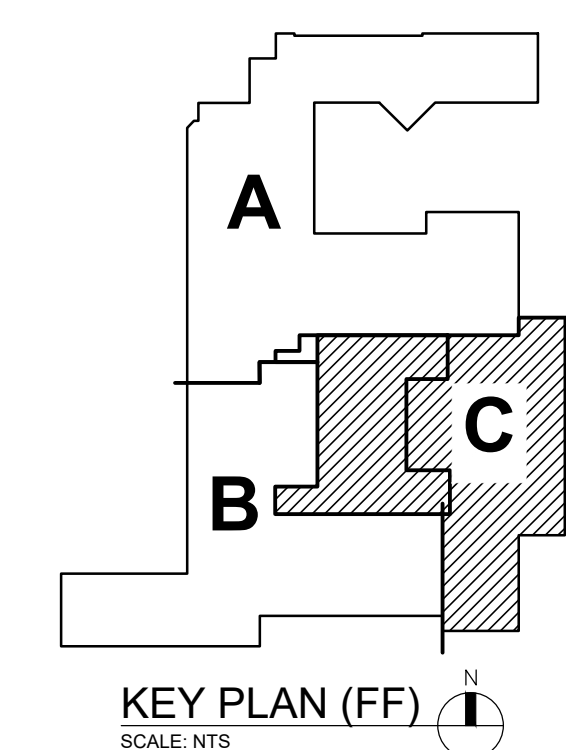
**PARTIAL FIRST FLOOR PLAN DEMO-AREA "B"**  
 SCALE: 1/8" = 1'-0"







01 PARTIAL FIRST FLOOR PLAN DEMO-AREA 'C'  
SCALE: 1/8" = 1'-0"



**WALL LEGEND:**  
 ——— EXISTING CONSTRUCTION TO REMAIN  
 - - - DEMOLISHED WALL  
 [Hatched Box] AREA TO BE DEMOED

**GENERAL NOTES:**

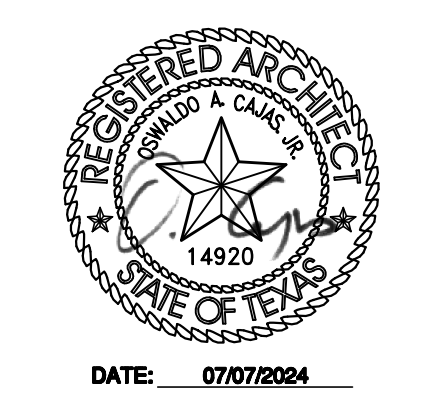
1. PLAN KEY NOTES APPLY TO SHEETS- A2.10, A2.11, A2.12, AND A2.30.
2. ALL EXISTING DIMENSIONS AND CONDITIONS TO BE FIELD VERIFIED AND CONFIRMED BY CONTRACTOR PRIOR TO START OF CONSTRUCTION.
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**DEMOLITION KEYNOTES:**

- (D1) DEMO EXISTING WINDOW SYSTEM, REMOVE WINDOW SCREENS, SALVAGE WINDOW SCREENS AND HANDOVER TO DISP.
- (D2) REMOVE EXISTING FLOOR FINISH, CLEAN SLAB AND PREPARE SURFACE TO RECEIVE NEW FLOOR FINISH.
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- (D7) EXISTING DOOR TO REMAIN, PREPARE DOOR AND DOOR FRAME TO RECEIVE NEW PAINT AND NEW DOOR HARDWARE.
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- (D18) EXISTING RAILING TO REMAIN.
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- (D24) PROTECT EXISTING MILLWORK DURING CONSTRUCTION.

**ALTERNATE NOTES:**

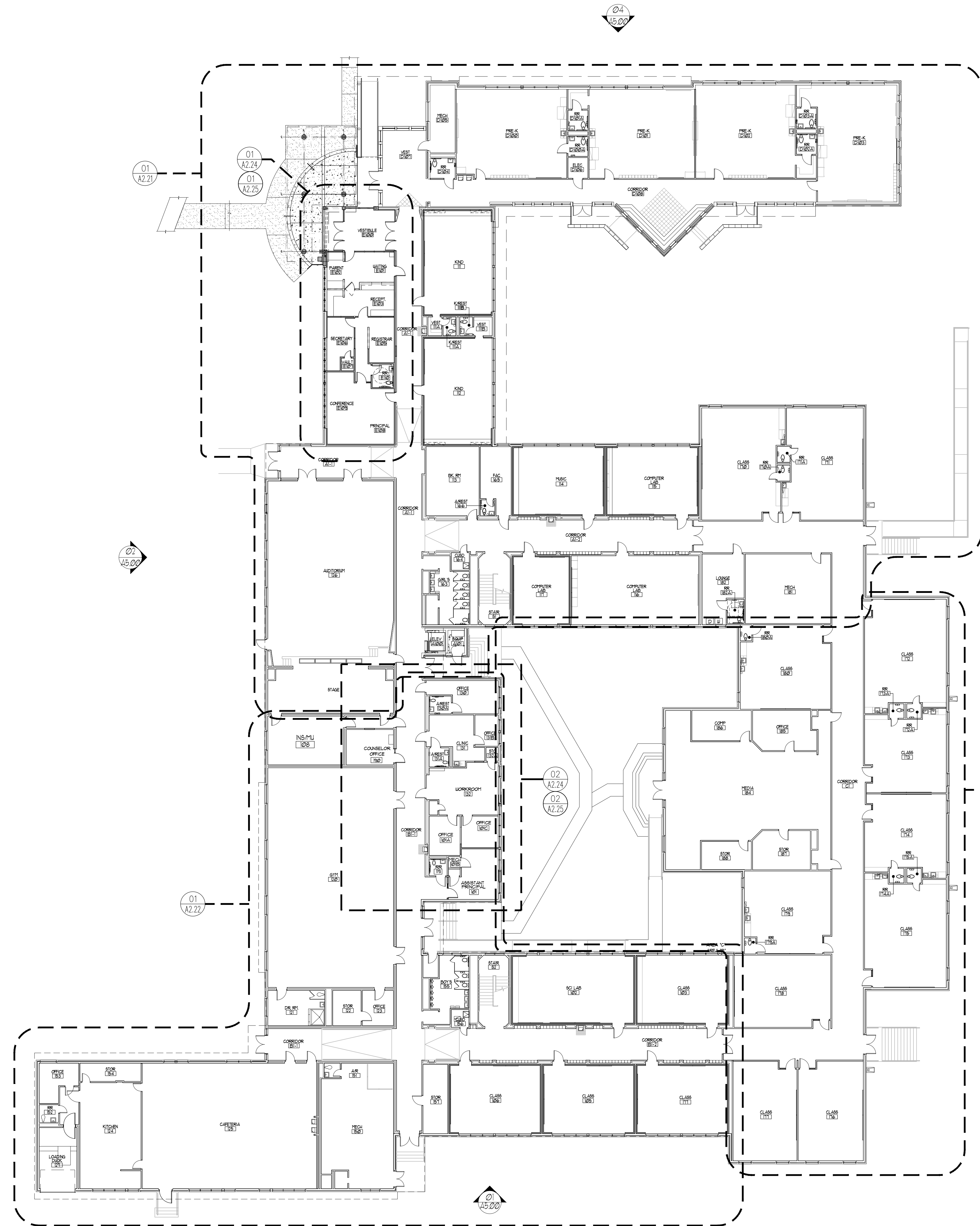
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RENOVATIONS TO  
**UMPHREY LEE ELEMENTARY SCHOOL**  
 7808 RACINE DR., DALLAS, TEXAS 75232

Date: 07/07/2024  
 Revised:  
 Project No. 2245  
 File Name:  
 Sheet Title: PARTIAL FIRST FLOOR PLAN DEMO-AREA C



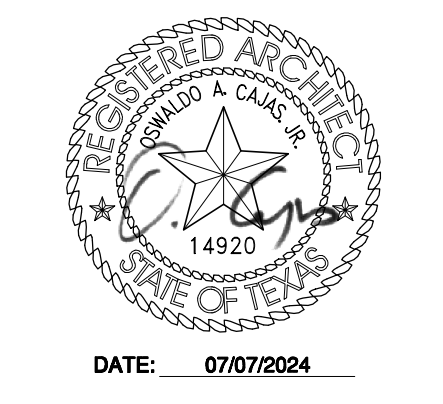


**WALL LEGEND:**

- EXISTING CONSTRUCTION TO REMAIN
- NEW WALL
- NEW HALF WALL

**OVERALL FIRST FLOOR PLAN - NEW**  
 SCALE: 1/8" = 1'-0"  
 PLAN & TRUE NORTH

07/07/2024 - 100% CONSTRUCTION DOCUMENTS -  
 ISSUED FOR PERMIT AND CONSTRUCTION



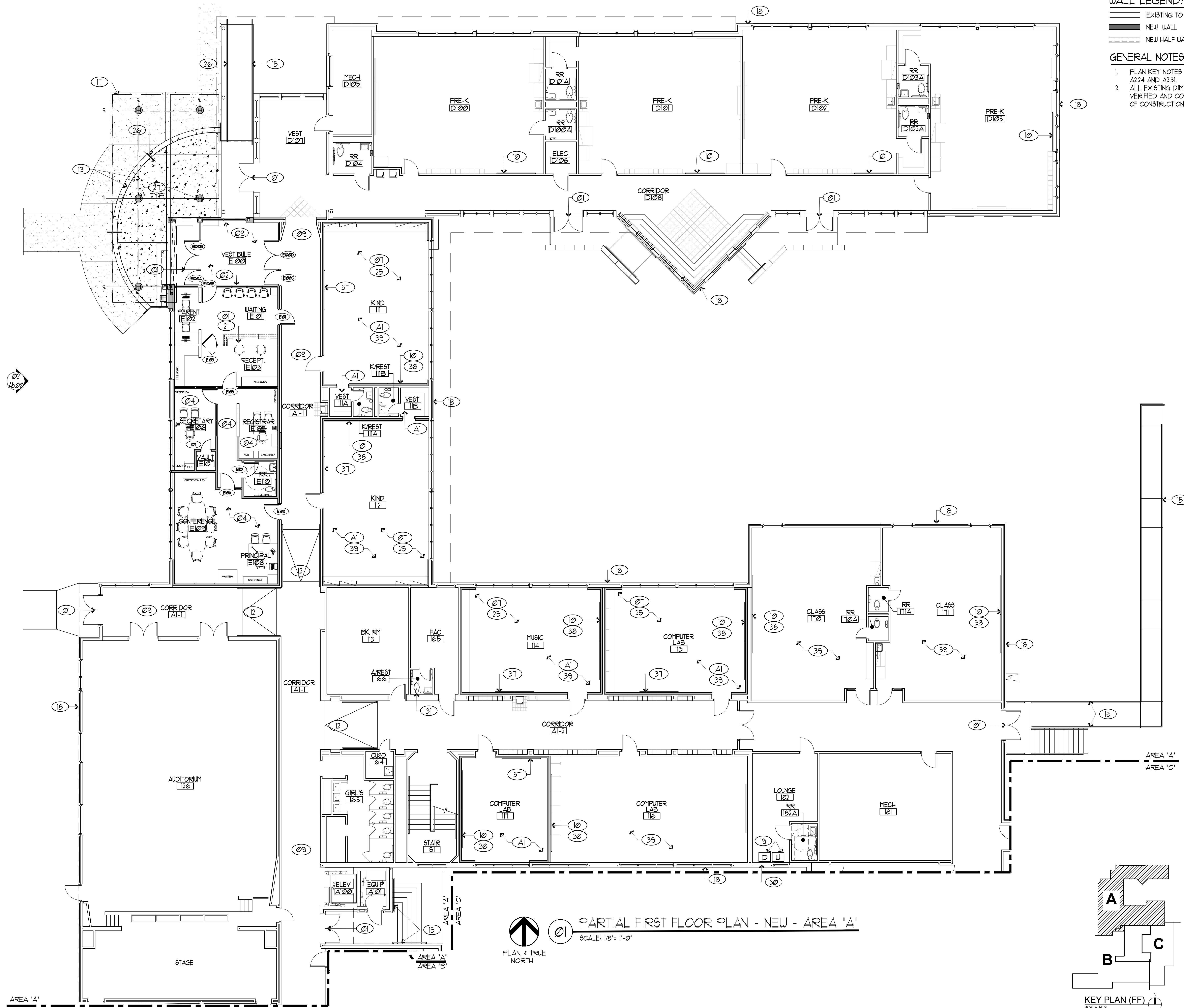
**Dimensions ARCHITECTS**  
 DALLAS, TEXAS 75248  
 5505 151<sup>ST</sup> FWO, SUITE 495  
 TEL: 214.270.3800  
 FAX: 214.270.3758

**RENOVATIONS TO  
 UMPHREY LEE ELEMENTARY SCHOOL**  
 7808 RACINE DR., DALLAS, TEXAS 75232.

Date: 07/07/2024  
 Revised:  
 Project No. 2245  
 File Name:  
 Sheet Title:  
 Overall First Floor Plan - New

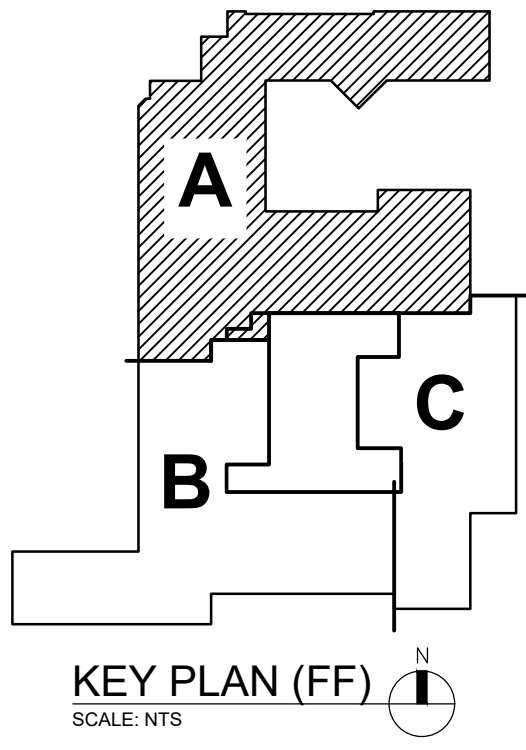
Sheet No.  
**A2.20**  
 Sheet 17 Of 45





01 PARTIAL FIRST FLOOR PLAN - NEW - AREA 'A'  
SCALE: 1/8" = 1'-0"

PLAN 4 TRUE NORTH



KEY PLAN (FF)  
SCALE NTS

**WALL LEGEND:**  
 ——— EXISTING TO REMAIN  
 ——— NEW WALL  
 - - - NEW HALF WALL

**GENERAL NOTES:**  
 1. PLAN KEY NOTES APPLY TO SHEETS- A220, A221, A222, A223, A224 AND A231.  
 2. ALL EXISTING DIMENSIONS AND CONDITIONS TO BE FIELD VERIFIED AND CONFIRMED BY CONTRACTOR PRIOR TO START OF CONSTRUCTION.

- NEW PLAN KEYNOTES:**
- 01 PROVIDE INFRASTRUCTURE FOR NEW SECURITY UPDATES INCLUDING CARD ACCESS READERS, AND DOOR CONTACTS.
  - 02 NEW SECURE FRONT VESTIBULE.
  - 03 NEW EXTERIOR METAL DOOR WITH METAL SECURITY SCREEN DOOR PAINTED TO MATCH EXISTING.
  - 04 NEW RENOVATED ADMINISTRATION AREA REFER A 224 AND A225 FOR ENLARGED FLOOR PLAN DETAILS FOR THIS AREA.
  - 05 REPAIR BROKEN AND CRACKED EXTERIOR WALL CLADDING.
  - 06 REPLACE EXTERIOR WATERPROOFING/ SEALANT JOINTS.
  - 07 REFURBISH AND REPAINT EXISTING MILLWORK, REPLACE EXISTING 4 MISSING HARDWARE WITH NEW REFER TO DOOR SCHEDULE SHEET A6-00 FOR MORE INFORMATION.
  - 08 INSTALL NEW CARPET, PER DISC SPECIFICATIONS.
  - 09 NEW FLOORING, REFER TO SCHEDULE FOR FINISHES.
  - 10 INSTALL NEW MARKER BOARD, REFER TO SHEET A1-00 FOR DETAILS.
  - 11 PAINT PREVIOUSLY PAINTED INTERIOR SURFACES WITH NEW PAINT. REPAIR/ PATCH WALLS PRIOR TO PAINTING.
  - 12 PROVIDE NEW NON-SLIP FLOORING AT ALL INTERIOR CORRIDOR RAMP.
  - 13 NEW CONCRETE STEPS AND LANDING, REFER CIVIL DRAWINGS AND SHEET A224 AND A225 FOR DETAILS.
  - 14 PROVIDE NEW ROOM GRAPHICS AND WAY FINDING SIGNAGE.
  - 15 PAINT ALL PREVIOUSLY PAINTED EXTERIOR METAL SURFACES SAND, PRIME EXISTING PAINT AND SURFACES AS REQUIRED TO ALLOW PROPER BONDING OF NEW PAINT.
  - 16 EXISTING MAIL ORGANIZER TO REMAIN PROTECT DURING NEW CONSTRUCTION.
  - 17 NEW FRONT ENTRY CANOPY.
  - 18 PAINT ALL EXISTING STUCCO PAINTED SURFACES, REFER TO EXTERIOR ELEVATIONS A5-00 FOR ADDITIONAL INFO.
  - 19 NEW WASHER/DRYER CONNECTIONS. (REFER TO MEP DWG'S)
  - 20 PROVIDE SAFETY AND SECURITY WINDOW FILM.
  - 21 NEW MILLWORK, REFER TO SHEET A8-00 FOR DETAILS.
  - 22 EXPAND EXIST. PUBLIC ADDRESS SYSTEM (PA). ADD SPEAKERS TO NEWLY CREATED SPACES.
  - 23 NEW DOOR AND SIDELIGHT.
  - 24 NEW INFILL WALL, PAINT AND TEXTURE TO MATCH ADJACENT WALL SURFACES.
  - 25 NEW FURRED OUT WALL WITH NEW MARKER BOARD AND NEW TACKBOARD, REFER TO SHEET A1-0 FOR DETAILS.
  - 26 NEW STEEL RAILING.
  - 27 NEW STRUCTURAL COLUMN, REFER TO STRUCTURE DRAWINGS FOR DETAILS.
  - 28 AFTER THE REMOVAL OF WINDOW UNIT EXISTING WINDOW OPENING TO BE INFILLED WITH NEW GLAZING.
  - 29 AFTER THE REMOVAL OF EXISTING LOUVERS THE OPENING IN THE WALL TO BE INFILLED TO MATCH EXISTING ADJACENT WALL.
  - 30 PROVIDE SCREEN/LOUVER FOR NEW THRU WALL OPENING FOR DRYER VENT.
  - 31 NEW WATER CLOSET.
  - 32 NEW SCREEN DOOR, HARDWARE BY MANUFACTURER.
  - 33 PROVIDE NEW FINISHES TO ALL SURFACES (WALL, CEILING AND FLOOR) AFTER THE DEMOLITION OF HVAC UNIT.
  - 34 PROVIDE NEW FINISH TO EXISTING MAILBOX, COLOR TO MATCH D30-60MATT FINISH-NORTH SEA GRAY, TO BE APPROVED BY ARCHITECT/PROJECT MANAGER.
  - 35 PROVIDE BREAK METAL AT THE END OF WALL WHERE IT INTERSECTS THE WINDOW SYSTEM FRAME, COLOR TO MATCH EXISTING WINDOW SYSTEM FRAME.
  - 36 PROVIDE WOOD BLOCKING ON WALL BETWEEN 36'-50" FOR THE INSTALLATION OF NEW TELEVISION.
  - 37 INSTALL NEW TACKBOARD, REFER TO SHEET A1-00 FOR DETAILS.
  - 38 REPAIR/PAINT WALL IF DAMAGED BY DIFFERENT BOARD SIZE INSTALLATION.
  - 39 CONTRACTOR TO REPLACE ALL EXISTING 4 MISSING MILLWORK HANDLES/PULLS WITH NEW ADA COMPLIANCE. REFER FINISH SCHEDULE FOR COUNT.
  - 40 PROVIDE 3M WINDOW FILM, 35% IN ALL INTERIOR GLAZING.
  - 41 PROVIDE STEEL GRATE FOR FLOOR VENTING 1'-4" x 1'-4", REFER TO STRUCTURAL DRAWINGS.
  - 42 NEW COLUMN TO BE PAINTED TO MATCH OTHERS.
  - 43 FURRED OUT COLUMNS TO BE WRAPPED IN BRAKE METAL TO MATCH STOREFRONT.
  - 44 VENTILATION SHAFT, REFER TO STRUCTURAL DRAWINGS.

**ALTERNATE NOTES:**  
 A1 PROVIDE NEW FLOOR FINISH, REFER TO FLOOR FINISH PLAN A2-02 AND FINISH SCHEDULE ON A6-00 FOR ADDITIONAL DETAILS.

07/07/2024, 100% CONSTRUCTION DOCUMENTS - ISSUED FOR PERMIT AND CONSTRUCTION

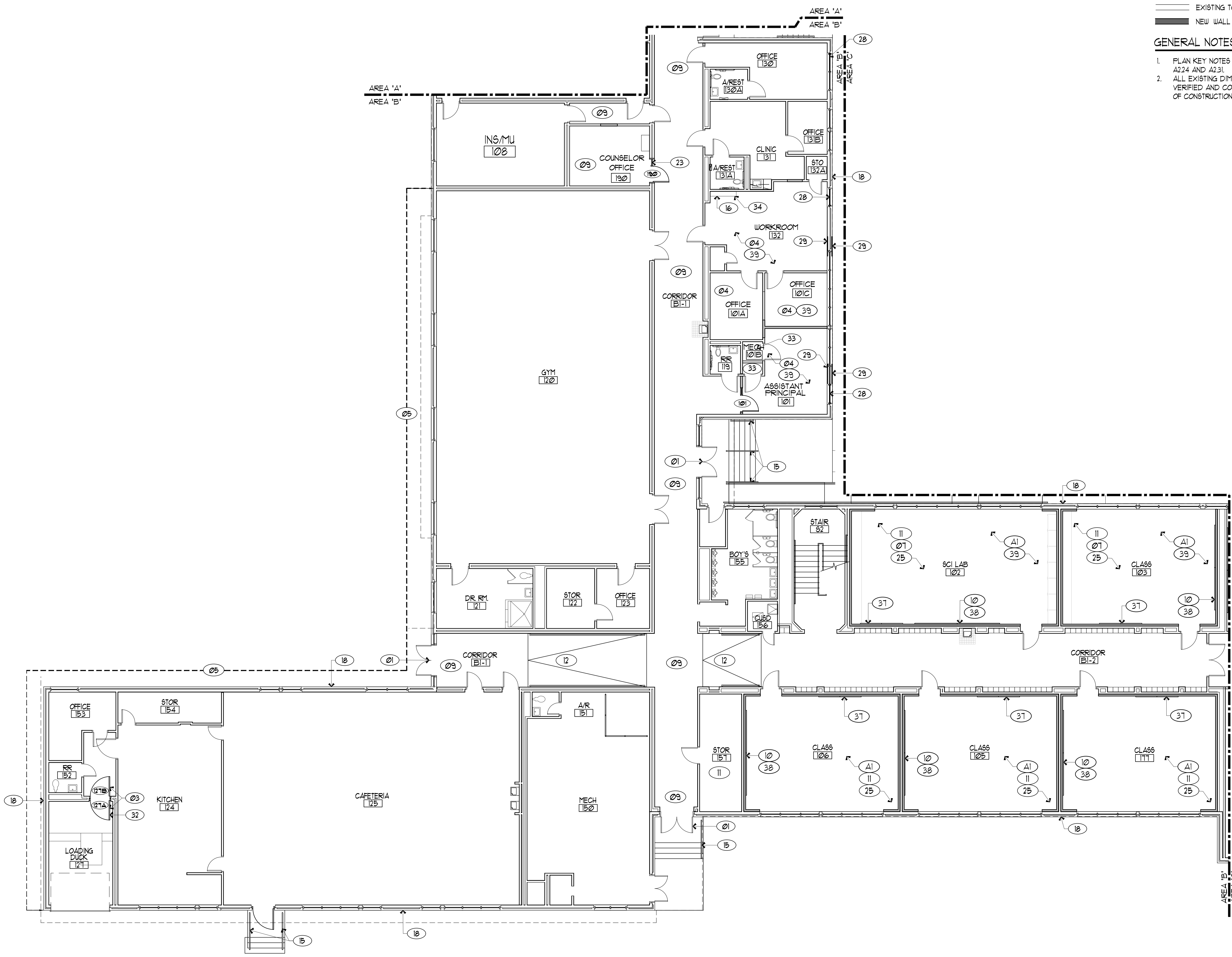


**Dimensions ARCHITECTS**  
 DALLAS, TEXAS 75248  
 5055 151<sup>ST</sup> RWY. SUITE 405  
 DALLAS, TEXAS 75248  
 TEL: 214.720.8800  
 FAX: 214.720.8758

**RENOVATIONS TO**  
**UMPHREY LEE ELEMENTARY SCHOOL**  
 7808 RACINE DR., DALLAS, TEXAS 75232

Date: 07/07/2024  
 Revised:  
 Project No. 2245  
 File Name:  
 Sheet Title: PARTIAL FIRST FLOOR PLAN-NEW-AREA 'A'  
 Sheet No. A2.21  
 Sheet 18 Of 45





PARTIAL FIRST FLOOR PLAN - NEW - AREA "B"  
 SCALE: 1/8" = 1'-0"  
 PLAN 4 TRUE NORTH

**WALL LEGEND:**

- EXISTING TO REMAIN
- NEW WALL

**GENERAL NOTES:**

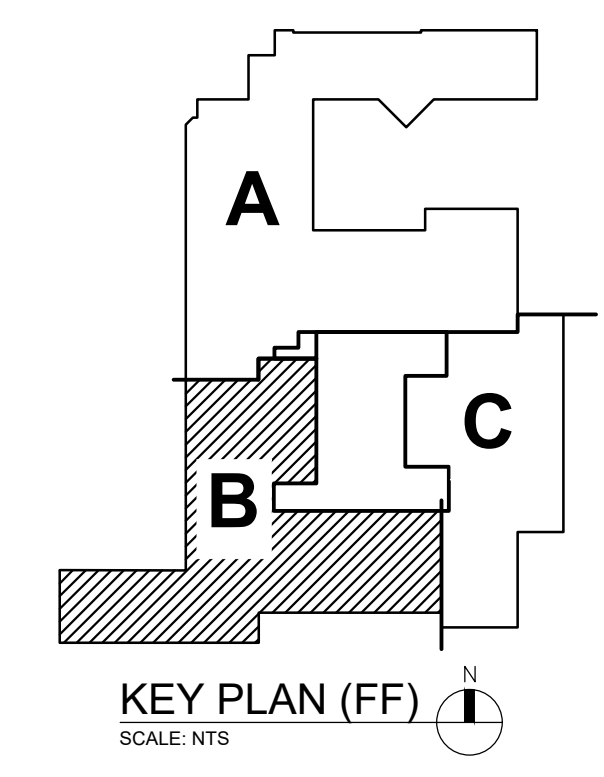
1. PLAN KEY NOTES APPLY TO SHEETS- A220, A221, A222, A223, A224 AND A231.
2. ALL EXISTING DIMENSIONS AND CONDITIONS TO BE FIELD VERIFIED AND CONFIRMED BY CONTRACTOR PRIOR TO START OF CONSTRUCTION.

**NEW PLAN KEYNOTES:**

- 01 PROVIDE INFRASTRUCTURE FOR NEW SECURITY UPDATES INCLUDING CARD ACCESS READERS, AND DOOR CONTACTS. NEW SECURE FRONT VESTIBULE.
- 02 NEW EXTERIOR METAL DOOR WITH METAL SECURITY SCREEN DOOR, PAINTED TO MATCH EXISTING.
- 04 NEW RENOVATED ADMINISTRATION AREA REFER A 224 AND A225 FOR ENLARGED FLOOR PLAN DETAILS FOR THIS AREA.
- 05 REPAIR BROKEN AND CRACKED EXTERIOR WALL CLADDING.
- 06 REPLACE EXTERIOR WATERPROOFING/ SEALANT JOINTS.
- 07 REFURBISH AND REPAINT EXISTING MILLWORK. REPLACE EXISTING 4 MISSING HARDWARE WITH NEW. REFER TO DOOR SCHEDULE SHEET A6.00 FOR MORE INFORMATION.
- 08 INSTALL NEW CARPET, PER D18D SPECIFICATIONS.
- 09 NEW FLOORING, REFER TO SCHEDULE FOR FINISHES.
- 10 INSTALL NEW MARKER BOARD, REFER TO SHEET A100 FOR DETAILS.
- 11 PAINT PREVIOUSLY PAINTED INTERIOR SURFACES WITH NEW PAINT. REPAIR/ PATCH WALLS PRIOR TO PAINTING.
- 12 PROVIDE NEW NON-SLIP FLOORING AT ALL INTERIOR CORRIDOR RAMP.
- 13 NEW CONCRETE STEPS AND LANDING, REFER CIVIL DRAWINGS AND SHEET A224 AND A229 FOR DETAILS.
- 14 PROVIDE NEW ROOM GRAPHICS AND WAY FINDING SIGNAGE.
- 15 PAINT ALL PREVIOUSLY PAINTED EXTERIOR METAL SURFACES SAND, PRIME EXISTING PAINT AND SURFACES AS REQUIRED TO ALLOW PROPER BONDING OF NEW PAINT.
- 16 EXISTING MAIL ORGANIZER TO REMAIN, PROTECT DURING NEW CONSTRUCTION.
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- 19 NEW WASHER/DRYER CONNECTIONS. (REFER TO MEP DUG'S)
- 20 PROVIDE SAFETY AND SECURITY WINDOW FILM.
- 21 NEW MILLWORK, REFER TO SHEET A8.0 FOR DETAILS.
- 22 EXPAND EXIST. PUBLIC ADDRESS SYSTEM (PA). ADD SPEAKERS TO NEWLY CREATED SPACES.
- 23 NEW DOOR AND SIDELIGHT.
- 24 NEW INFILL WALL, PAINT AND TEXTURE TO MATCH ADJACT WALL SURFACES.
- 25 NEW FURROUT WALL WITH NEW MARKER BOARD AND NEW TACKBOARD, REFER TO SHEET A10 FOR DETAILS.
- 26 NEW STEEL RAILING.
- 27 NEW STRUCTURAL COLUMN, REFER TO STRUCTURE DRAWINGS FOR DETAILS.
- 28 AFTER THE REMOVAL OF WINDOW UNIT EXISTING WINDOW OPENING TO BE INFILLED WITH NEW GLAZING.
- 29 AFTER THE REMOVAL OF EXISTING LOUVERS THE OPENING IN THE WALL TO BE INFILLED TO MATCH EXISTING ADJACENT WALL.
- 30 PROVIDE SCREEN/LOUVER FOR NEW THRU WALL OPENING FOR DRYER VENT.
- 31 NEW WATER CLOSET.
- 32 NEW SCREEN DOOR, HARDWARE BY MANUFACTURER.
- 33 PROVIDE NEW FINISHES TO ALL SURFACES (WALL, CEILING AND FLOOR) AFTER THE DEMOLITION OF HVAC UNIT.
- 34 PROVIDE NEW FINISH TO EXISTING MAILBOX. COLOR TO MATCH D30-60/MATT FINISH/NORTH SEA GRAY, TO BE APPROVED BY ARCHITECT/PROJECT MANAGER.
- 35 PROVIDE BREAK METAL AT THE END OF WALL WHERE IT INTERSECTS THE WINDOW SYSTEM FRAME, COLOR TO MATCH EXISTING WINDOW SYSTEM FRAME.
- 36 PROVIDE WOOD BLOCKING ON WALL BETWEEN 36"-50" FOR THE INSTALLATION OF NEW TELEVISION.
- 37 INSTALL NEW TACKBOARD, REFER TO SHEET A100 FOR DETAILS.
- 38 REPAIR/PAINT WALL IF DAMAGED BY DIFFERENT BOARD SIZE INSTALLATION.
- 39 CONTRACTOR TO REPLACE ALL EXISTING 4 MISSING MILLWORK HANDLES/PULLS WITH NEW ADA COMPLIANCE. REFER FINISH SCHEDULE FOR COUNT.
- 40 PROVIDE 3M WINDOW FILM, 35% IN ALL INTERIOR GLAZING.
- 41 PROVIDE STEEL GRATE FOR FLOOR VENTING 1'-4" x 1'-4", REFER TO STRUCTURAL DRAWINGS.
- 42 NEW COLUMN TO BE PAINTED TO MATCH OTHERS.
- 43 FURRED OUT COLLUMPS TO BE WRAPPED IN BRAKE METAL TO MATCH STOREFRONT.
- 44 VENTILATION SHAFT, REFER TO STRUCTURAL DRAWINGS

**ALTERNATE NOTES:**

- A1 PROVIDE NEW FLOOR FINISH, REFER TO FLOOR FINISH PLAN A2.62 AND FINISH SCHEDULE ON A6.00 FOR ADDITIONAL DETAILS.



07/07/2024, 100% CONSTRUCTION DOCUMENTS - ISSUED FOR PERMIT AND CONSTRUCTION

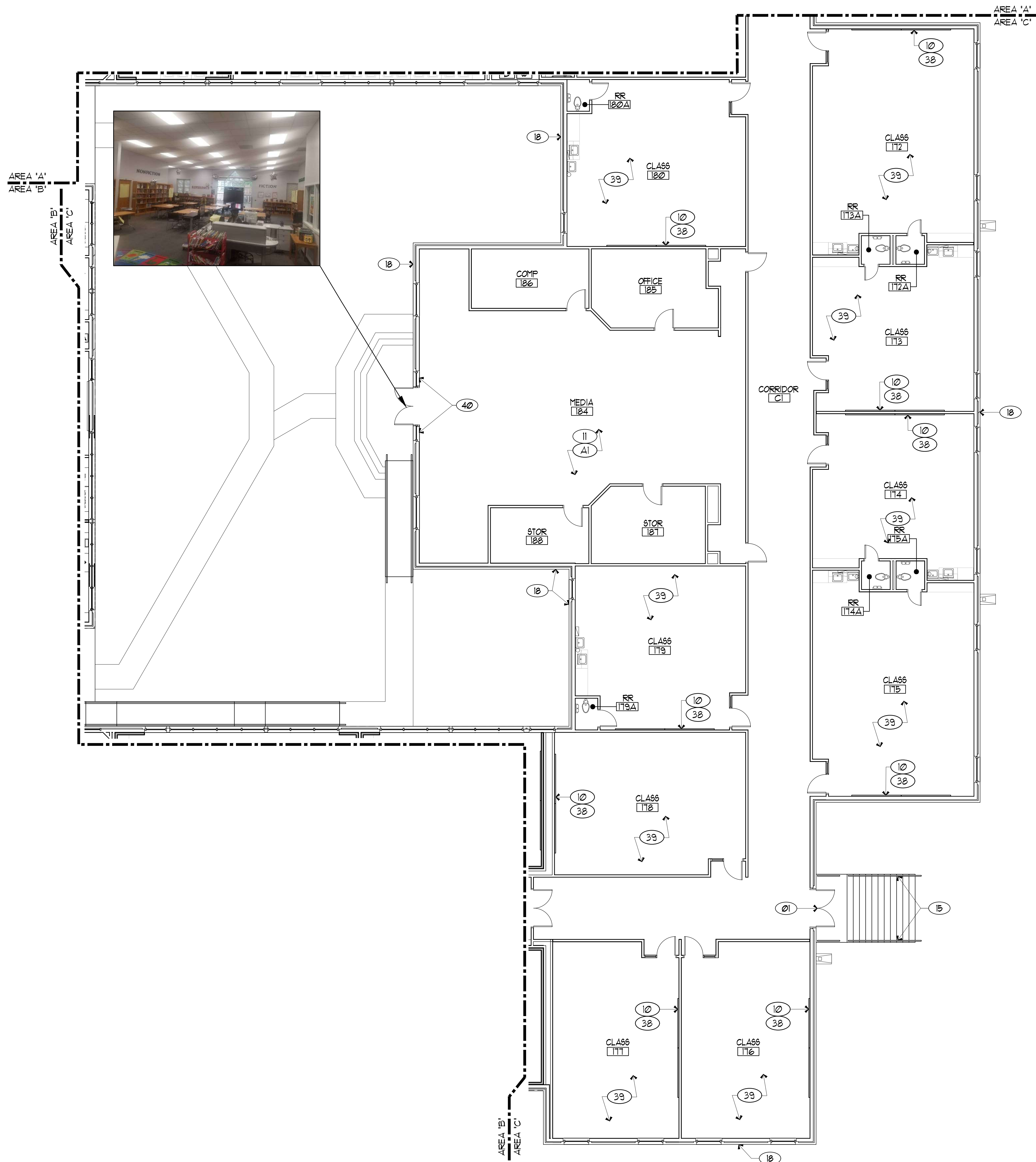


**Dimension**  
 ARCHITECTS  
 505 W. W. HWY. SUITE 405  
 DALLAS, TEXAS 75248  
 TEL: 214.720.8800  
 FAX: 214.720.8758

**RENOVATIONS TO**  
**UMPHREY LEE ELEMENTARY SCHOOL**  
 7808 RACINE DR., DALLAS, TEXAS 75232

Date: 07/07/2024  
 Revised:  
 Project No. 2245  
 File Name:  
 Sheet Title: PARTIAL FIRST FLOOR PLAN-NEW AREA B  
 Sheet No. **A2.22**  
 Sheet 19 Of 45



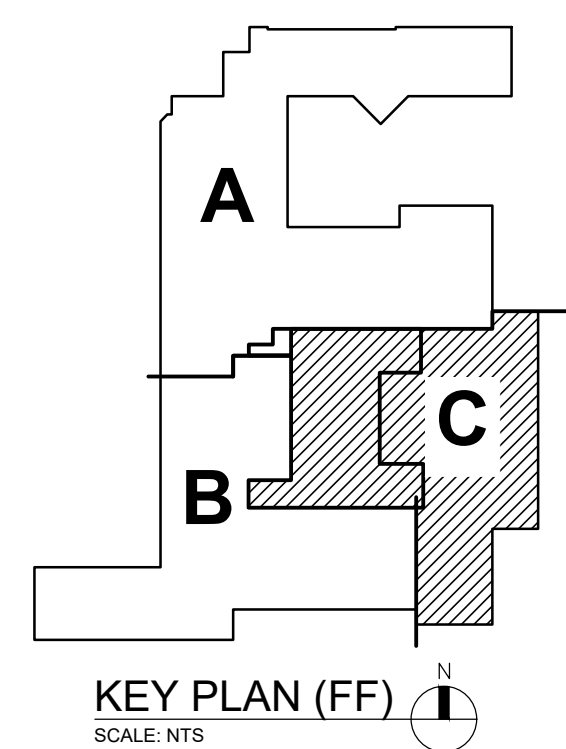


**WALL LEGEND:**  
 ——— EXISTING TO REMAIN  
 ——— NEW WALL

**GENERAL NOTES:**  
 1. PLAN KEY NOTES APPLY TO SHEETS- A220, A221, A222, A223, A224 AND A231.  
 2. ALL EXISTING DIMENSIONS AND CONDITIONS TO BE FIELD VERIFIED AND CONFIRMED BY CONTRACTOR PRIOR TO START OF CONSTRUCTION.

**NEW PLAN KEYNOTES:**

- 01 PROVIDE INFRASTRUCTURE FOR NEW SECURITY UPDATES INCLUDING CARD ACCESS READERS, AND DOOR CONTACTS. NEW SECURE FRONT VESTIBULE.
- 02 NEW EXTERIOR METAL DOOR WITH METAL SECURITY SCREEN DOOR, PAINTED TO MATCH EXISTING.
- 03 NEW RENOVATED ADMINISTRATION AREA, REFER A 224 AND A225 FOR ENLARGED FLOOR PLAN DETAILS FOR THIS AREA.
- 04 REPAIR BROKEN AND CRACKED EXTERIOR WALL CLADDING.
- 05 REPLACE EXTERIOR WATERPROOFING/ SEALANT JOINTS.
- 06 REFURBISH AND REPAINT EXISTING MILLWORK, REPLACE EXISTING 4 MISSING HARDWARE WITH NEW, REFER TO DOOR SCHEDULE SHEET A6-000 FOR MORE INFORMATION.
- 08 INSTALL NEW CARPET, PER DISD SPECIFICATIONS.
- 09 NEW FLOORING, REFER TO SCHEDULE FOR FINISHES.
- 10 INSTALL NEW MARKER BOARD, REFER TO SHEET A100 FOR DETAILS.
- 11 PAINT PREVIOUSLY PAINTED INTERIOR SURFACES WITH NEW PAINT. REPAIR/ PATCH WALLS PRIOR TO PAINTING.
- 12 PROVIDE NEW NON-SLIP FLOORING AT ALL INTERIOR CORRIDOR RAMPS.
- 13 NEW CONCRETE STEPS AND LANDING, REFER CIVIL DRAWINGS AND SHEET A224 AND A225 FOR DETAILS.
- 14 PROVIDE NEW ROOM GRAPHICS AND WAY FINDING SIGNAGE.
- 15 PAINT ALL PREVIOUSLY PAINTED EXTERIOR METAL SURFACES SAND, PRIME EXISTING PAINT AND SURFACE AS REQUIRED TO ALLOW PROPER BONDING OF NEW PAINT.
- 16 EXISTING MAIL ORGANIZER TO REMAIN, PROTECT DURING NEW CONSTRUCTION.
- 17 NEW FRONT ENTRY CANOPY.
- 18 PAINT ALL EXISTING STUCCO PAINTED SURFACES, REFER TO EXTERIOR ELEVATIONS A5-000 FOR ADDITIONAL INFO.
- 19 NEW WASHER/DRYER CONNECTIONS. (REFER TO MEP DUGS)
- 20 PROVIDE SAFETY AND SECURITY WINDOW FILM.
- 21 NEW MILLWORK, REFER TO SHEET A8-0 FOR DETAILS.
- 22 EXPAND EXIST. PUBLIC ADDRESS SYSTEM (PA). ADD SPEAKERS TO NEWLY CREATED SPACES.
- 23 NEW DOOR AND SIDELIGHT.
- 24 NEW INFILL WALL, PAINT AND TEXTURE TO MATCH ADJACENT WALL SURFACES.
- 25 NEW FURROUT WALL WITH NEW MARKER BOARD AND NEW TACKBOARD, REFER TO SHEET A10 FOR DETAILS.
- 26 NEW STEEL RAILING.
- 27 NEW STRUCTURAL COLUMN, REFER TO STRUCTURE DRAWINGS FOR DETAILS.
- 28 AFTER THE REMOVAL OF WINDOW UNIT EXISTING WINDOW OPENING TO BE INFILLED WITH NEW GLAZING.
- 29 AFTER THE REMOVAL OF EXISTING LOUVERS THE OPENING IN THE WALL TO BE INFILLED TO MATCH EXISTING ADJACENT WALL.
- 30 PROVIDE SCREEN/LOUVER FOR NEW THRU WALL OPENING FOR DRYER VENT.
- 31 NEW WATER CLOSET.
- 32 NEW SCREEN DOOR, HARDWARE BY MANUFACTURER.
- 33 PROVIDE NEW FINISHES TO ALL SURFACES (WALL, CEILING AND FLOOR) AFTER THE DEMOLITION OF HVAC UNIT.
- 34 PROVIDE NEW FINISH TO EXISTING MAILBOX, COLOR TO MATCH D90-60/MATT FINISH/NORTH SEA GRAY. TO BE APPROVED BY ARCHITECT/PROJECT MANAGER.
- 35 PROVIDE BREAK METAL AT THE END OF WALL WHERE IT INTERSECTS THE WINDOW SYSTEM FRAME. COLOR TO MATCH EXISTING WINDOW SYSTEM FRAME.
- 36 PROVIDE WOOD BLOCKING ON WALL BETWEEN 36"-50" FOR THE INSTALLATION OF NEW TELEVISION.
- 37 INSTALL NEW TACKBOARD, REFER TO SHEET A100 FOR DETAILS.
- 38 REPAIR/PAINT WALL IF DAMAGED BY DIFFERENT BOARD SIZE INSTALLATION.
- 39 CONTRACTOR TO REPLACE ALL EXISTING 4 MISSING MILLWORK HANDLES/PULLS WITH NEW ADA COMPLIANCE. REFER FINISH SCHEDULE FOR COUNT.
- 40 PROVIDE 3M WINDOW FILM, 35% IN ALL INTERIOR GLAZING.
- 41 PROVIDE STEEL GRATE FOR FLOOR VENTING 1'-4" x 1'-4", REFER TO STRUCTURAL DRAWINGS.
- 42 NEW COLUMN TO BE PAINTED TO MATCH OTHERS.
- 43 FURRED OUT COLUMNS TO BE WRAPPED IN BRAKE METAL TO MATCH STOREFRONT.
- 44 VENTILATION SHAFT, REFER TO STRUCTURAL DRAWINGS



01 PARTIAL FIRST FLOOR PLAN - NEW - AREA 'C'  
 SCALE: 1/8" = 1'-0"  
 PLAN & TRUE NORTH

07/07/2024 - 100% CONSTRUCTION DOCUMENTS - ISSUED FOR PERMIT AND CONSTRUCTION



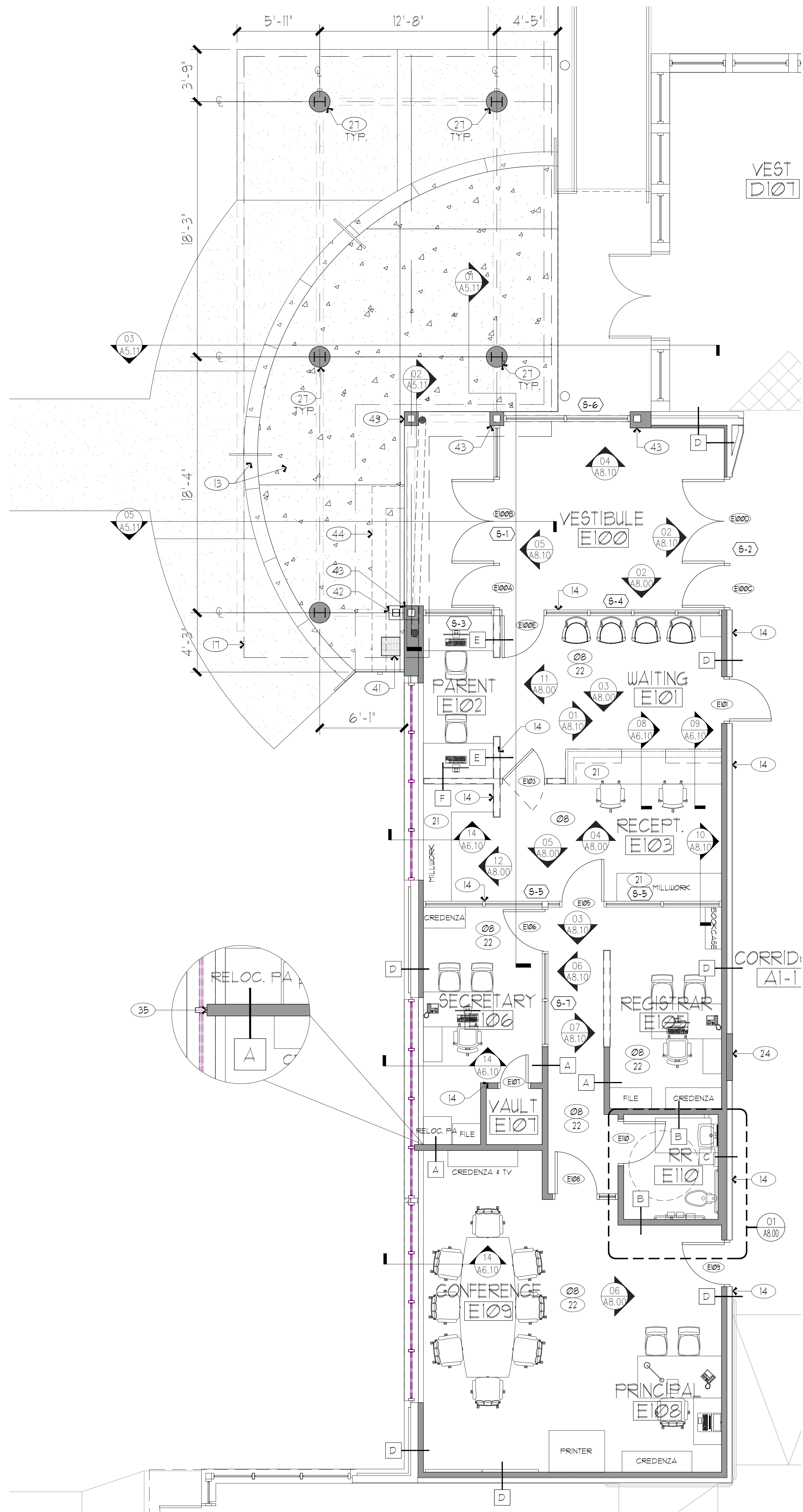
**Dimensions ARCHITECTS**  
 DALLAS, TEXAS 75248  
 TEL: 214.270.8800  
 FAX: 214.270.8758

**RENOVATIONS TO**  
**UMPHREY LEE ELEMENTARY SCHOOL**  
 7808 RACINE DR., DALLAS, TEXAS 75232

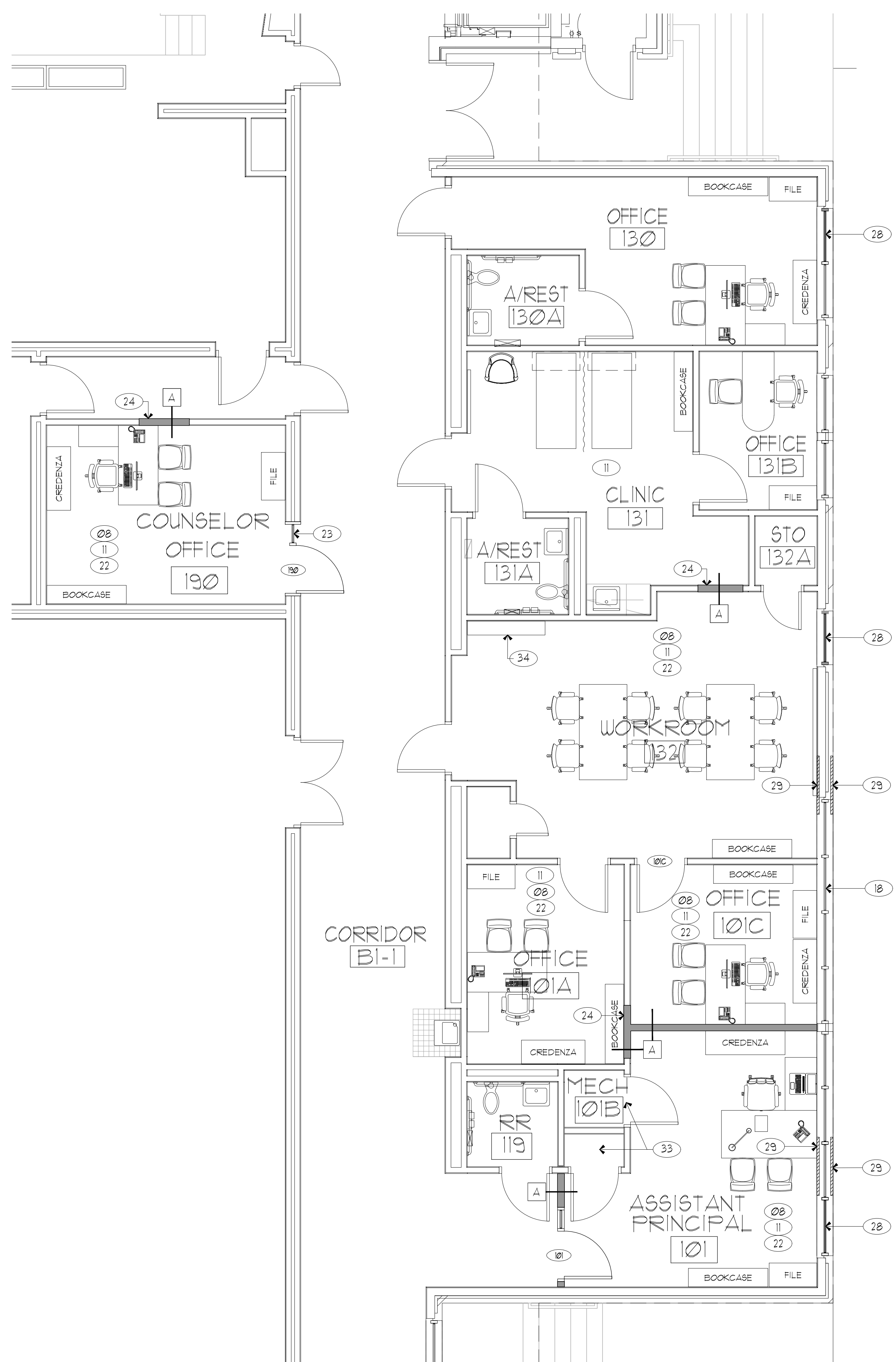
Date: 07/07/2024  
 Revised:  
 Project No. 2245  
 File Name:  
 Sheet Title: PARTIAL FIRST FLOOR PLAN-NEW AREA C

Sheet No. **A2.23**  
 Sheet 20 Of 45





01 NEW ADDITION ANNOTATED PLAN  
SCALE: 1/4" = 1'-0"  
PLAN & TRUE NORTH



02 RENOVATED AREA ANNOTATED PLAN  
SCALE: 1/4" = 1'-0"  
PLAN & TRUE NORTH

GENERAL NOTES:

- DIMENSIONS ARE GIVEN TO FINISH FACE OF WALL UNLESS OTHERWISE NOTED.
- DO NOT SCALE DRAWINGS FOR MISSING DIMENSIONS. CONTACT ARCHITECT.
- WORK PERFORMED SHALL BE IN FULL AND COMPLETE COMPLIANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND REGULATIONS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND HIS SUBCONTRACTORS TO ESTABLISH APPLICABILITY, AND COMPLY WITH SAID CODES AND REGULATIONS ABOVE AND BEYOND PLANS APPROVAL AND AS REQUIRED BY GOVERNING INSPECTION AUTHORITY.
- THE CONTRACTOR SHALL EMPLOY ONLY EXPERT TRADESMEN OR CRAFTSMEN WHO ARE THOROUGHLY EXPERIENCED IN THEIR TRADE AND CAPABLE OF PRODUCING WORK OF THE QUALITY DESIRED. THE WORK SHALL BE SUPERVISED BY A SUPERINTENDENT WHO IS KNOWN TO BE EXPERT IN ALL ASPECTS OF THE REQUIRED WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SEQUENCING OF SUBCONTRACTORS WORK AND SHALL ASSUME RESPONSIBILITY FOR ALL COMPLETED AND WORK IN PROGRESS INCLUDING REPAIR OF DAMAGES TO WORK WHICH OCCURS PRIOR TO ACCEPTANCE BY THE OWNER.
- CLEANUP: THE CONTRACTOR SHALL AT ALL TIMES KEEP PUBLIC OCCUPANT ACCESS, ENTRANCES AND THE WORK FREE FROM ACCUMULATION OF WASTE MATERIALS, RUBBISH AND DIRT CAUSED BY THE WORK. AT THE COMPLETION OF THE WORK EACH DAY, REMOVE ALL WASTE AND RUBBISH FROM AND ABOUT THE PROJECT. THIS INCLUDES TOOLS, EQUIPMENT AND SURPLUS MATERIALS. CLEAN ALL SURFACES, WINDOWS AND FLOORS PER SPECIFICATIONS PRIOR TO ACCEPTANCE BY THE OWNER.
- REFER TO ELECTRICAL FOR SECURITY CAMERAS, CARD ACCESS READERS AND DOOR CONTACTS DETAILS.

LEGEND:

- NEW PARTITION
- EXISTING PARTITION
- NEW HALF WALL PARTITION

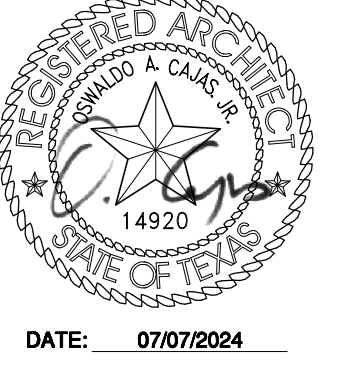
GENERAL NOTES:

- PLAN KEY NOTES APPLY TO SHEETS- A220, A221, A222, A223, A224 AND A231.
- ALL EXISTING DIMENSIONS AND CONDITIONS TO BE FIELD VERIFIED AND CONFIRMED BY CONTRACTOR PRIOR TO START OF CONSTRUCTION.

NEW PLAN KEYNOTES:

- PROVIDE INFRASTRUCTURE FOR NEW SECURITY UPDATES INCLUDING CARD ACCESS READERS, AND DOOR CONTACTS. NEW SECURE FRONT VESTIBULE.
- NEW EXTERIOR METAL DOOR WITH METAL SECURITY SCREEN DOOR. PAINTED TO MATCH EXISTING.
- NEW RENOVATED ADMINISTRATION AREA. REFER A 224 AND A225 FOR ENLARGED FLOOR PLAN DETAILS FOR THIS AREA.
- REPAIR BROKEN AND CRACKED EXTERIOR WALL CLADDING.
- REPLACE EXTERIOR WATERPROOFING/ SEALANT JOINTS.
- REFURBISH AND REPAINT EXISTING MILLWORK, REPLACE EXISTING 4" MISSING HARDWARE WITH NEW. REFER TO DOOR SCHEDULE SHEET A600 FOR MORE INFORMATION.
- INSTALL NEW CARPET, PER DISD SPECIFICATIONS.
- NEW FLOORING, REFER TO SCHEDULE FOR FINISHES.
- INSTALL NEW MARKER BOARD, REFER TO SHEET A100 FOR DETAILS.
- PAINT PREVIOUSLY PAINTED INTERIOR SURFACES WITH NEW PAINT. REPAIR/ PATCH WALLS PRIOR TO PAINTING.
- PROVIDE NEW NON-SLIP FLOORING AT ALL INTERIOR CORRIDOR RAMPS.
- NEW CONCRETE STEPS AND LANDING, REFER CIVIL DRAWINGS AND SHEET A224 AND A225 FOR DETAILS.
- PROVIDE NEW ROOM GRAPHICS AND WAY FINDING SIGNAGE.
- PAINT ALL PREVIOUSLY PAINTED EXTERIOR METAL SURFACES SAND, PRIME EXISTING PAINT AND SURFACES AS REQUIRED TO ALLOW PROPER BONDING OF NEW PAINT.
- EXISTING MAIL ORGANIZER TO REMAIN, PROTECT DURING NEW CONSTRUCTION.
- NEW FRONT ENTRY CANOPY.
- PAINT ALL EXISTING STUCCO PAINTED SURFACES, REFER TO EXTERIOR ELEVATIONS A500 FOR ADDITIONAL INFO.
- NEW WASHER/DRYER CONNECTIONS. (REFER TO MEP DWGS.)
- PROVIDE SAFETY AND SECURITY WINDOW FILM.
- NEW MILLWORK, REFER TO SHEET A80 FOR DETAILS.
- EXPAND EXIST. PUBLIC ADDRESS SYSTEM (PA), ADD SPEAKERS TO NEWLY CREATED SPACES.
- NEW DOOR AND SIDELIGHT.
- NEW INFILL WALL, PAINT AND TEXTURE TO MATCH ADJACENT WALL SURFACES.
- NEW FURROUT WALL WITH NEW MARKER BOARD AND NEW TACKBOARD, REFER TO SHEET A10 FOR DETAILS.
- NEW STEEL RAILING.
- NEW STRUCTURAL COLUMN, REFER TO STRUCTURE DRAWINGS FOR DETAILS.
- AFTER THE REMOVAL OF WINDOW UNIT EXISTING WINDOW OPENING TO BE INFILLED WITH NEW GLAZING.
- AFTER THE REMOVAL OF EXISTING LOUVERS THE OPENING IN THE WALL TO BE INFILLED TO MATCH EXISTING ADJACENT WALL.
- PROVIDE SCREEN/LOUVER FOR NEW THRU WALL OPENING FOR DRYER VENT.
- NEW WATER CLOSET.
- NEW SCREEN DOOR, HARDWARE BY MANUFACTURER.
- PROVIDE NEW FINISHES TO ALL SURFACES (WALL, CEILING AND FLOOR) AFTER THE DEMOLITION OF HVAC UNIT.
- PROVIDE NEW FINISH TO EXISTING MAILBOX, COLOR TO MATCH D90-60 MATT FINISH NORTH SEA GRAY, TO BE APPROVED BY ARCHITECT/PROJECT MANAGER.
- PROVIDE BREAK METAL AT THE END OF WALL WHERE IT INTERSECTS THE WINDOW SYSTEM FRAME. COLOR TO MATCH EXISTING WINDOW SYSTEM FRAME.
- PROVIDE WOOD BLOCKING ON WALL BETWEEN 36" x 50" FOR THE INSTALLATION OF NEW TELEVISION.
- INSTALL NEW TACKBOARD, REFER TO SHEET A100 FOR DETAILS.
- REPAIR/PAINT WALL IF DAMAGED BY DIFFERENT BOARD SIZE INSTALLATION.
- CONTRACTOR TO REPLACE ALL EXISTING 4" MISSING MILLWORK HANDLES/PULLS WITH NEW ADA COMPLIANCE. REFER FINISH SCHEDULE FOR COUNT.
- PROVIDE 3M WINDOW FILM, 35% IN ALL INTERIOR GLAZING.
- PROVIDE STEEL GRATE FOR FLOOR VENTING 1'-4" x 1'-4", REFER TO STRUCTURAL DRAWINGS.
- NEW COLUMN TO BE PAINTED TO MATCH OTHERS.
- FURRED OUT COLUMNS TO BE WRAPPED IN BRAKE METAL TO MATCH STOREFRONT.
- VENTILATION SHAFT, REFER TO STRUCTURAL DRAWINGS

07/07/2024, 100% CONSTRUCTION DOCUMENTS - ISSUED FOR PERMIT AND CONSTRUCTION



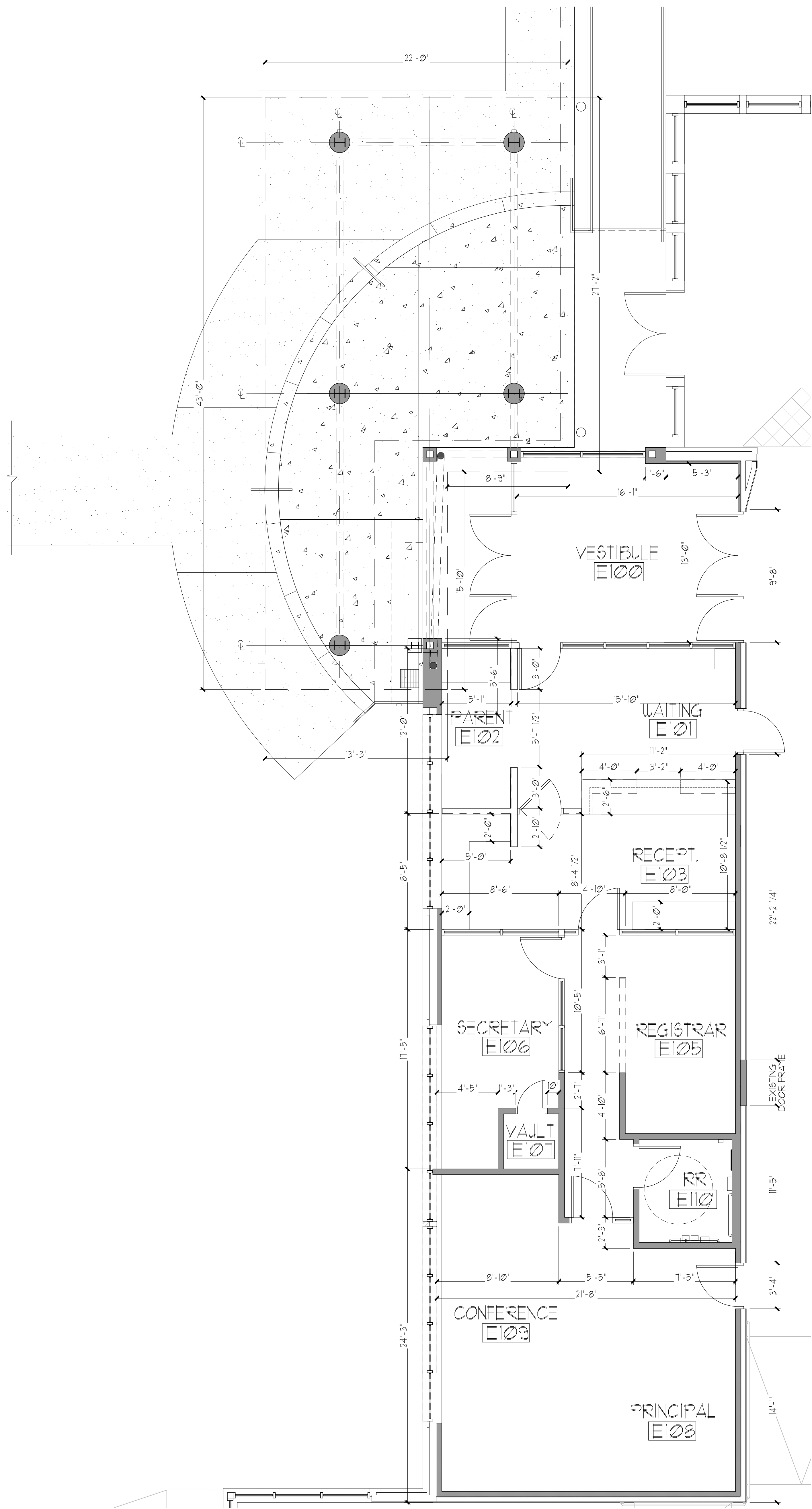
**Dimension**  
ARCHITECTS

5505 151<sup>ST</sup> RW, SUITE 405  
DALLAS, TEXAS 75248  
TEL: 214.720.3800 FAX: 214.720.3758

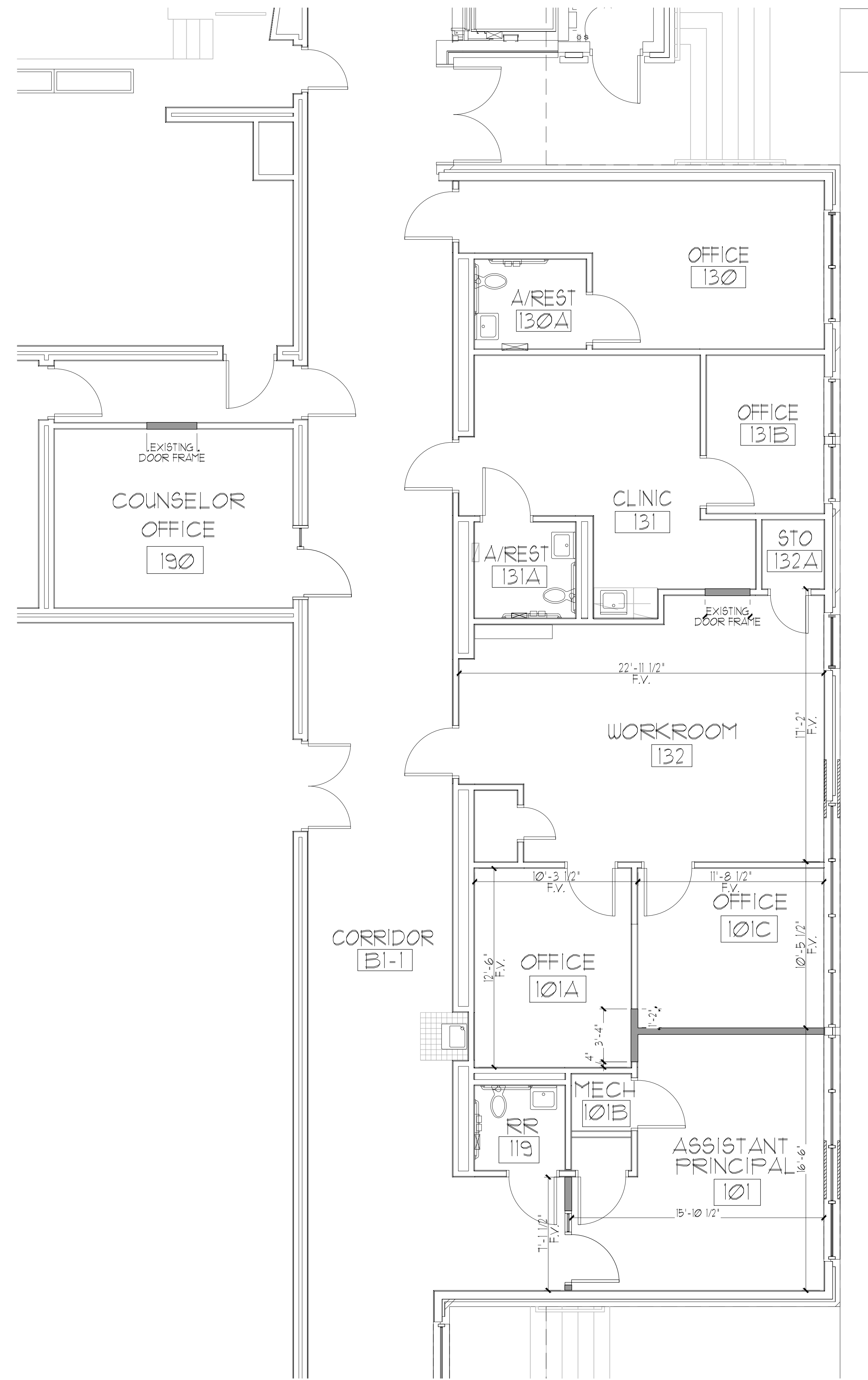
RENOVATIONS TO  
**UMPHREY LEE ELEMENTARY SCHOOL**  
7808 RACINE DR., DALLAS, TEXAS 75232.

Date: 07/07/2024  
Revised:  
Project No. 2245  
File Name:  
Sheet Title: PARTIAL  
Annotated- First Floor Plan  
Sheet No. **A2.24**  
Sheet 21 Of 45





01 NEW ADDITION DIMENSION PLAN, '01'  
SCALE: 1/4" = 1'-0"  
PLAN & TRUE NORTH



02 RENOVATED AREA DIMENSION PLAN, '02'  
SCALE: 1/4" = 1'-0"  
PLAN & TRUE NORTH

LEGEND:

- EXISTING CONSTRUCTION TO REMAIN
- NEW WALL
- - - NEW HALF WALL

GENERAL NOTES:

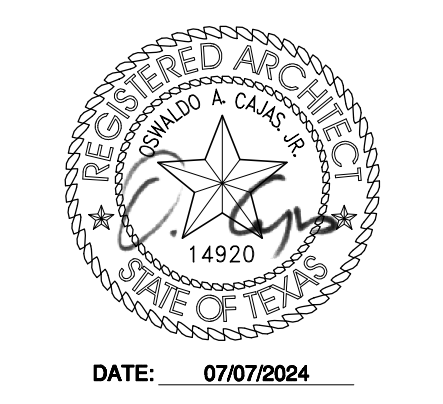
1. DIMENSIONS ARE GIVEN TO FINISH FACE OF WALL UNLESS OTHERWISE NOTED.
2. DO NOT SCALE DRAWINGS FOR MISSING DIMENSIONS. CONTACT ARCHITECT.
3. WORK PERFORMED SHALL BE IN FULL AND COMPLETE COMPLIANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND REGULATIONS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND HIS SUBCONTRACTORS TO ESTABLISH APPLICABILITY, AND COMPLY WITH SAID CODES AND REGULATIONS ABOVE AND BEYOND PLANS APPROVAL AND AS REQUIRED BY GOVERNING INSPECTION AUTHORITY.
4. THE CONTRACTOR SHALL EMPLOY ONLY EXPERT TRADESMEN OR CRAFTSMEN WHO ARE THOROUGHLY EXPERIENCED IN THEIR TRADE AND CAPABLE OF PRODUCING WORK OF THE QUALITY DESIRED. THE WORK SHALL BE SUPERVISED BY A SUPERINTENDENT WHO IS KNOWN TO BE EXPERT IN ALL ASPECTS OF THE REQUIRED WORK.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SEQUENCING OF SUBCONTRACTORS WORK AND SHALL ASSUME RESPONSIBILITY FOR ALL COMPLETED AND WORK IN PROGRESS INCLUDING REPAIR OF DAMAGES TO WORK WHICH OCCURS PRIOR TO ACCEPTANCE BY THE OWNER.
6. CLEANUP: THE CONTRACTOR SHALL AT ALL TIMES KEEP PUBLIC OCCUPANT ACCESS, ENTRANCES AND THE WORK FREE FROM ACCUMULATION OF WASTE MATERIALS, RUBBISH AND DIRT CAUSED BY THE WORK. AT THE COMPLETION OF THE WORK EACH DAY, REMOVE ALL WASTE AND RUBBISH FROM AND ABOUT THE PROJECT. THIS INCLUDES TOOLS, EQUIPMENT AND SURPLUS MATERIALS. CLEAN ALL SURFACES, WINDOWS AND FLOORS PER SPECIFICATIONS PRIOR TO ACCEPTANCE BY THE OWNER.
7. REFER TO ELECTRICAL/TECHNOLOGY DRAWINGS FOR SECURITY CAMERAS, CARD ACCESS READERS AND DOOR CONTACTS DETAILS.



RENOVATIONS TO  
**UMPHREY LEE ELEMENTARY SCHOOL**  
7808 RACINE DR., DALLAS, TEXAS 75232

Date: 07/07/2024  
Revised:  
Project No. 2245  
File Name:  
Sheet Title: PARTIAL  
Dimensions 1st Floor Plan

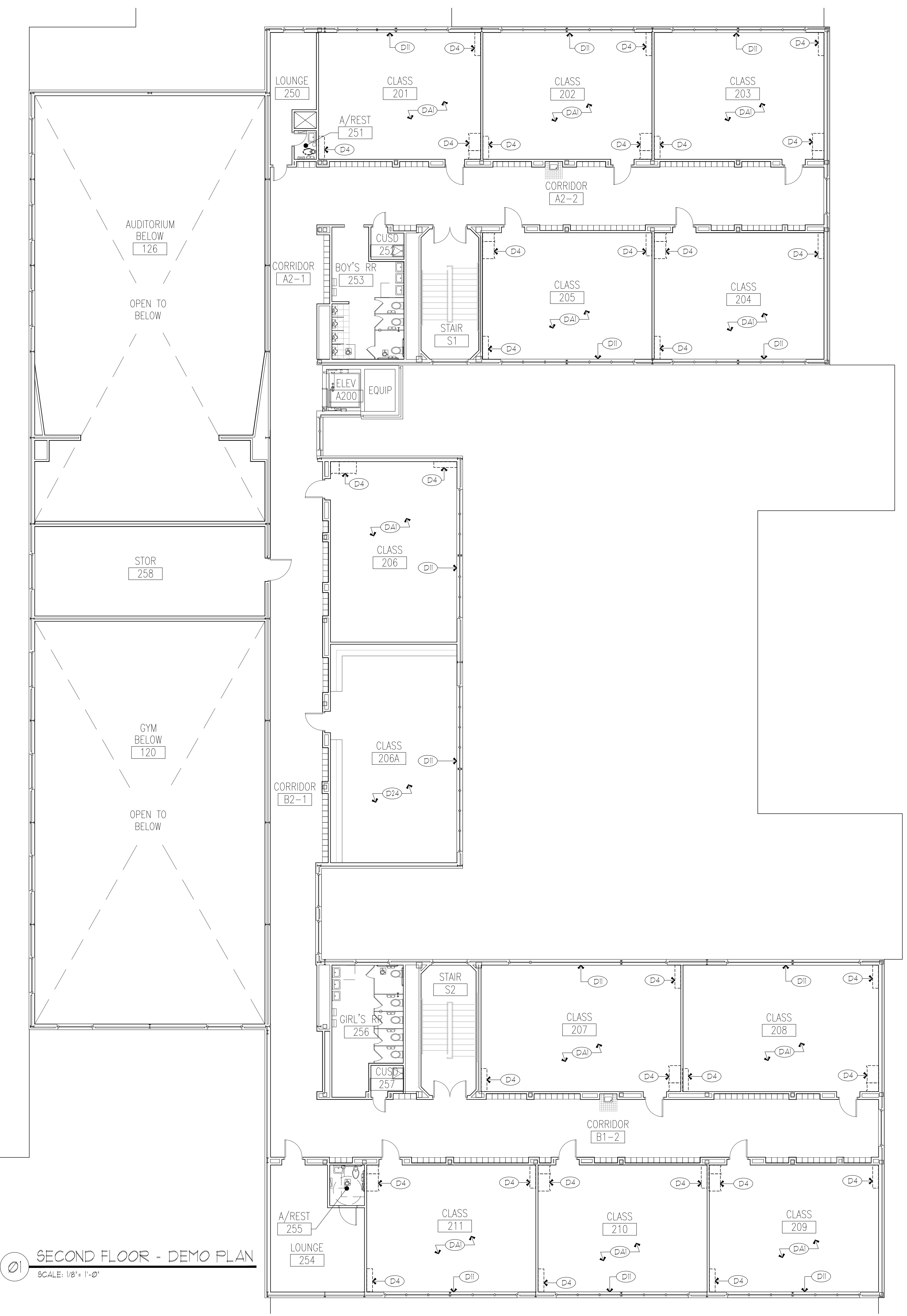




RENOVATIONS TO  
**UMPHREY LEE ELEMENTARY SCHOOL**  
 7808 RACINE DR., DALLAS, TEXAS 75232

Date: 07/07/2024  
 Revised:  
 Project No. 2245  
 File Name:  
 Sheet Title: Second Floor Plan - Demo

Sheet No.  
**A2.30**  
 Sheet 23 Of 45



SECOND FLOOR - DEMO PLAN  
 SCALE: 1/8" = 1'-0"  
 PLAN & TRUE NORTH

**WALL LEGEND:**

- — — — — EXISTING CONSTRUCTION TO REMAIN
- - - - - DEMO MILLWORK

**GENERAL NOTES:**

1. ALL EXISTING DIMENSIONS AND CONDITIONS TO BE FIELD VERIFIED AND CONFIRMED BY CONTRACTOR PRIOR TO START OF CONSTRUCTION.
2. EXISTING TACKBOARDS, BLACK BOARDS, GREEN BOARDS AND WHITE BOARDS TO BE ENCASED IN NEW CAVITY WALL, IN ALL CLASSROOMS WHERE NEW FURRED WALLS ARE BEING ADDED.
3. PLAN KEY NOTES APPLY TO SHEETS- A2.00, A2.10, A2.11, A2.12 AND A2.30.

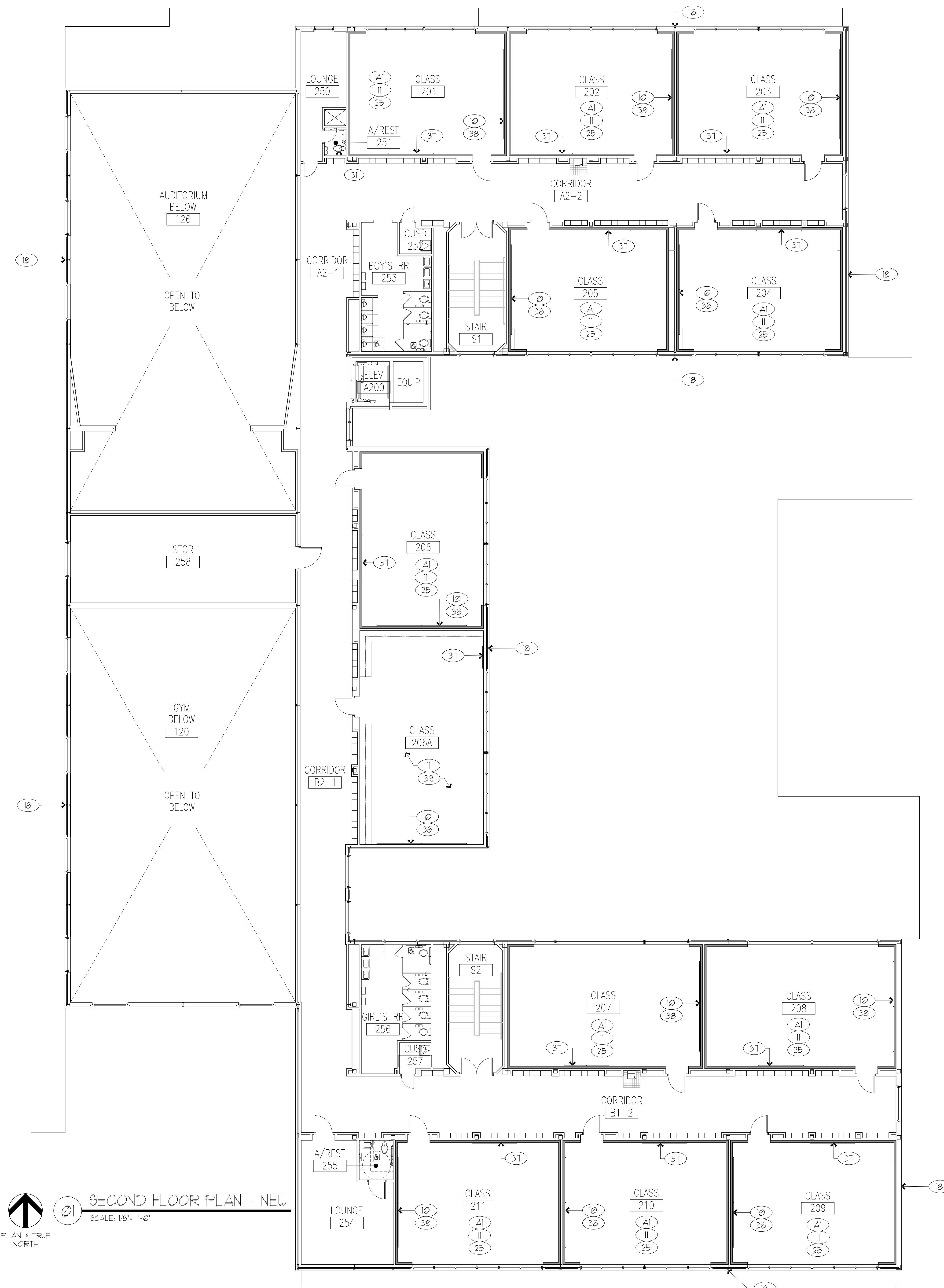
**DEMOLITION KEYNOTES:**

- (D1) DEMO EXISTING WINDOW SYSTEM, REMOVE WINDOW SCREENS, SALVAGE WINDOW SCREENS AND HANDOVER TO DISD.
- (D2) REMOVE EXISTING FLOOR FINISH, CLEAN SLAB AND PREPARE SURFACE TO RECEIVE NEW FLOOR FINISH.
- (D3) DEMO EXISTING WALL, PREPARE AREA TO RECEIVE NEW WALL, DOOR, COORDINATE WITH NEW FLOOR PLAN.
- (D4) DEMO EXISTING MILLWORK, PREPARE AREA TO RECEIVE NEW FURRED OUT WALL.
- (D5) DEMO EXISTING CONCRETE PAVEMENT 4 STAIRS, PREPARE AREA TO RECEIVE NEW CONCRETE SLAB, NEW WALLS, AND NEW FLOOR, COORDINATE WITH NEW FLOOR PLAN.
- (D6) DEMO EXISTING DOOR.
- (D7) EXISTING DOOR TO REMAIN, PREPARE DOOR AND DOOR FRAME TO RECEIVE NEW PAINT AND NEW DOOR HARDWARE.
- (D8) REMOVE EXISTING EXTERIOR DOOR AND SCREEN DOOR, PREPARE TO RECEIVE NEW.
- (D9) DEMO EXISTING FIXTURES, PREPARE AREA TO RECEIVE NEW FLOORING AND NEW WALLS, COORDINATE WITH NEW FLOOR PLAN.
- (D10) PROVIDE NEW STEEL LINTEL ABOVE NEW OPENING.
- (D11) PATCH AND REPAIR ALL SURFACES, READY TO RECEIVE NEW PAINT.
- (D12) PRIOR TO REMOVAL OF WHOLE WALL, CONFIRM WALL CAVITY AND ANY EQUIPMENT, NOTIFY ARCHITECT.
- (D13) DEMO EXISTING WATER CLOSET AND PREPARE AREA TO RECEIVE NEW.
- (D14) DEMO EXISTING BRICK WALL, PROTECT EXISTING CONCRETE SLAB AND ROOF ABOVE, PREPARE AREA TO RECEIVE NEW WALLS AND STOREFRONT, CO-ORDINATE WITH NEW CONSTRUCTION PLAN.
- (D15) EXISTING RAMP TO REMAIN.
- (D16) EXISTING COLUMNS TO REMAIN, PREPARE TO RECEIVE NEW PAINT TO MATCH NEW COLUMN COVER COLOR.
- (D17) EXISTING RAILING TO BE DEMOED.
- (D18) EXISTING RAILING TO REMAIN.
- (D19) EXISTING WINDOW UNIT TO BE REMOVED, REFER MEP DRAWINGS FOR ADDITIONAL INFO, PREPARE WINDOW OPENING TO BE FILLED WITH NEW GLAZING.
- (D20) EXISTING LOUVERS TO BE REMOVED, PREPARE OPENING TO BE FILLED, TO MATCH EXISTING.
- (D21) PROVIDE NEW THRU WALL OPENING FOR DRYER VENT, REFER TO MEP FOR ADDITIONAL INFORMATION.
- (D22) PATCH AND REPAIR ALL SURFACES (WALL, CEILING AND FLOOR) AFTER THE DEMOLITION OF HVAC UNIT.
- (D23) DEMO EXISTING BLACK BOARDS, GREEN BOARDS AND WHITE BOARDS, PATCH AND REPAIR SURFACE TO RECEIVE NEW BOARD NEW PAINT.
- (D24) PROTECT EXISTING MILLWORK DURING CONSTRUCTION

**ALTERNATE NOTES:**

- (DA1) REMOVE EXISTING FLOOR FINISH, CLEAN SLAB AND PREPARE SURFACE TO RECEIVE NEW FLOOR FINISH, REFER TO FLOOR FINISH PLAN A2.62 AND FINISH SCHEDULE ON A6.00 FOR ADDITIONAL DETAILS.





01 SECOND FLOOR PLAN - NEW  
 SCALE: 1/8" = 1'-0"  
 PLAN & TRUE NORTH

**WALL LEGEND:**

- EXISTING CONSTRUCTION TO REMAIN
- NEW WALL

**GENERAL NOTES:**

1. ALL EXISTING DIMENSIONS AND CONDITIONS TO BE FIELD VERIFIED AND CONFIRMED BY CONTRACTOR PRIOR TO START OF CONSTRUCTION.

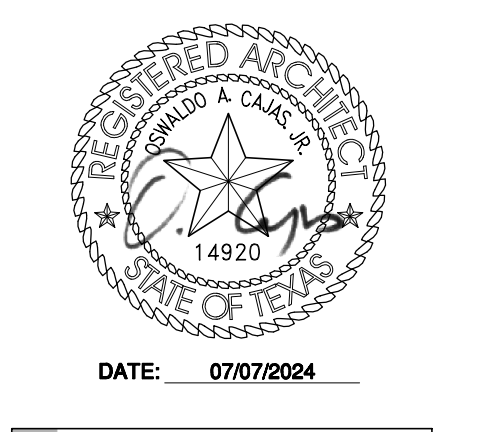
**NEW PLAN KEYNOTES:**

- 01 PROVIDE INFRASTRUCTURE FOR NEW SECURITY UPDATES INCLUDING CARD ACCESS READERS, AND DOOR CONTACTS.
- 02 NEW SECURE FRONT VESTIBULE.
- 03 NEW EXTERIOR METAL DOOR WITH METAL SECURITY SCREEN DOOR, PAINTED TO MATCH EXISTING.
- 04 NEW RENOVATED ADMINISTRATION AREA, REFER A 224 AND A225 FOR ENLARGED FLOOR PLAN DETAILS FOR THIS AREA.
- 05 REPAIR BROKEN AND CRACKED EXTERIOR WALL CLADDING.
- 06 REPLACE EXTERIOR WATERPROOFING/ SEALANT JOINTS.
- 07 REFURBISH AND REPAINT EXISTING MILLWORK, REPLACE EXISTING 4 MISSING HARDWARE WITH NEW, REFER TO DOOR SCHEDULE SHEET A6.00 FOR MORE INFORMATION.
- 08 INSTALL NEW CARPET, PER DISO SPECIFICATIONS.
- 09 NEW FLOORING, REFER TO SCHEDULE FOR FINISHES.
- 10 INSTALL NEW MARKER BOARD, REFER TO SHEET A1.00 FOR DETAILS.
- 11 PAINT PREVIOUSLY PAINTED INTERIOR SURFACES WITH NEW PAINT, REPAIR/ PATCH WALLS PRIOR TO PAINTING.
- 12 PROVIDE NEW NON-SLIP FLOORING AT ALL INTERIOR CORRIDOR RAMP.
- 13 NEW CONCRETE STEPS AND LANDING, REFER CIVIL DRAWINGS AND SHEET A2.24 AND A2.25 FOR DETAILS.
- 14 PROVIDE NEW ROOM GRAPHICS AND WAY FINDING SIGNAGE.
- 15 PAINT ALL PREVIOUSLY PAINTED EXTERIOR METAL SURFACES SAND, PRIME EXISTING PAINT AND SURFACES AS REQUIRED TO ALLOW PROPER BONDING OF NEW PAINT.
- 16 EXISTING MAIL ORGANIZER TO REMAIN, PROTECT DURING NEW CONSTRUCTION.
- 17 NEW FRONT ENTRY CANOPY.
- 18 PAINT ALL EXISTING STUCCO PAINTED SURFACES, REFER TO EXTERIOR ELEVATIONS A5.00 FOR ADDITIONAL INFO.
- 19 NEW WASHER/DRYER CONNECTIONS, (REFER TO MEP DUGS)
- 20 PROVIDE SAFETY AND SECURITY WINDOW FILM.
- 21 NEW MILLWORK, REFER TO SHEET A8.00 FOR DETAILS.
- 22 EXPAND EXIST. PUBLIC ADDRESS SYSTEM (PA), ADD SPEAKERS TO NEWLY CREATED SPACES.
- 23 NEW DOOR AND SIDELIGHT.
- 24 NEW INFILL WALL, PAINT AND TEXTURE TO MATCH ADJACT WALL SURFACES.
- 25 NEW FURROUT WALL WITH NEW MARKER BOARD AND NEW TACKBOARD, REFER TO SHEET A1.00 FOR DETAILS.
- 26 NEW STEEL RAILING.
- 27 NEW STRUCTURAL COLUMN, REFER TO STRUCTURE DRAWINGS FOR DETAILS.
- 28 AFTER THE REMOVAL OF WINDOW UNIT EXISTING WINDOW OPENING TO BE INFILLED WITH NEW GLAZING.
- 29 AFTER THE REMOVAL OF EXISTING LOUVERS THE OPENING IN THE WALL TO BE INFILLED TO MATCH EXISTING ADJACENT WALL.
- 30 PROVIDE SCREEN/LOUVER FOR NEW THRU WALL OPENING FOR DRYER VENT.
- 31 NEW WATER CLOSET.
- 32 NEW SCREEN DOOR, HARDWARE BY MANUFACTURER.
- 33 PROVIDE NEW FINISHES TO ALL SURFACES (WALL, CEILING AND FLOOR) AFTER THE DEMOLITION OF HVAC UNIT.
- 34 PROVIDE NEW FINISH TO EXISTING MAILBOX, COLOR TO MATCH D90-60 MATT FINISH NORTH SEA GRAY TO BE APPROVED BY ARCHITECT/PROJECT MANAGER.
- 35 PROVIDE BREAK METAL AT THE END OF WALL WHERE IT INTERSECTS THE WINDOW SYSTEM FRAME, COLOR TO MATCH EXISTING WINDOW SYSTEM FRAME.
- 36 PROVIDE WOOD BLOCKING ON WALL BETWEEN 36'-50' FOR THE INSTALLATION OF NEW TELEVISION.
- 37 INSTALL NEW TACKBOARD, REFER TO SHEET A1.00 FOR DETAILS.
- 38 REPAIR/PAINT WALL IF DAMAGED BY DIFFERENT BOARD SIZE INSTALLATION.
- 39 CONTRACTOR TO REPLACE ALL EXISTING 4 MISSING MILLWORK HANDLES/PULLS WITH NEW ADA COMPLIANCE, REFER FINISH SCHEDULE FOR COUNT.
- 40 PROVIDE 3M WINDOW FILM, 35% IN ALL INTERIOR GLAZING.
- 41 PROVIDE STEEL GRATE FOR FLOOR VENTING 1'-4" x 1'-4", REFER TO STRUCTURAL DRAWINGS.
- 42 NEW COLUMN TO BE PAINTED TO MATCH OTHERS.
- 43 FURRED OUT COLUMNS TO BE WRAPPED IN BRAKE METAL TO MATCH STOREFRONT.
- 44 VENTILATION SHAFT, REFER TO STRUCTURAL DRAWINGS

**ALTERNATE NOTES:**

- A1 PROVIDE NEW FLOOR FINISH, REFER TO FLOOR FINISH PLAN A2.62 AND FINISH SCHEDULE ON A6.00 FOR ADDITIONAL DETAILS.

07/07/2024 - 100% CONSTRUCTION DOCUMENTS - ISSUED FOR PERMIT AND CONSTRUCTION



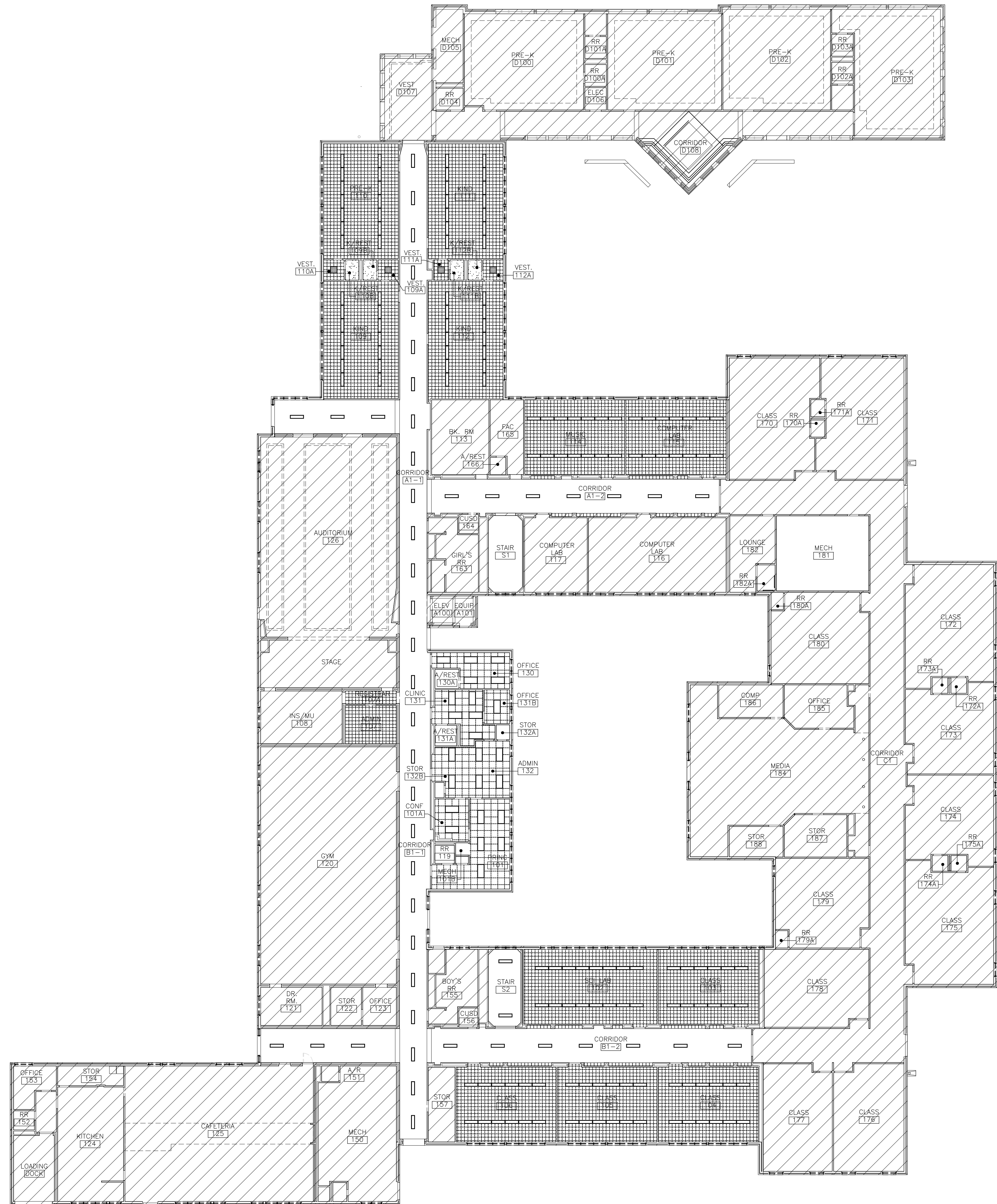
**Dimension**  
 ARCHITECTS  
 DALLAS, TEXAS 75248  
 TEL: 214.270.3800  
 FAX: 214.270.3758

**RENOVATIONS TO**  
**UMPHREY LEE ELEMENTARY SCHOOL**  
 7808 RACINE DR., DALLAS, TEXAS 75232

Date: 07/07/2024  
 Revised:  
 Project No. 2245  
 File Name:  
 Sheet Title: Second Floor Plan - New

Sheet No.  
**A2.31**  
 Sheet 24 Of 45

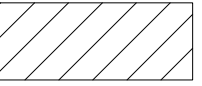
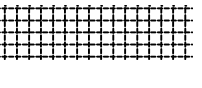








**FIRST FLOOR RCP - DEMO**  
 SCALE: 1" = 16'-0"

**RCP DEMO LEGEND:**

-  NOT IN SCOPE OF WORK
-  EXISTING CEILING SYSTEM INCLUDING CEILING TILE, PLASTER CEILING AND OTHER COMPONENTS TO BE DEMOLISHED
-  EXISTING LIGHT TO BE DEMOLISHED
-  EXISTING LIGHT TO BE DEMOLISHED

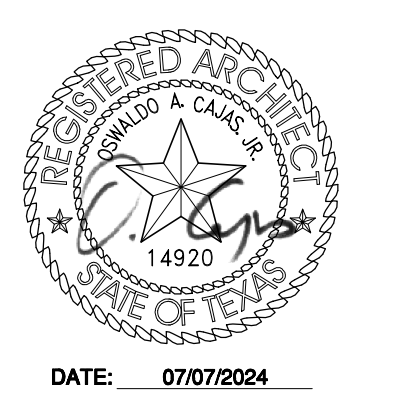
**DEMOLITION GENERAL NOTES:**

1. ALL DIMENSIONS AND CONDITIONS TO BE FIELD VERIFIED AND CONFIRMED BY CONTRACTOR PRIOR TO START OF DEMOLITION.
2. ALL EXISTING PAINT SURFACES SHALL BE SCRAPED, PRIMED, CLEANED AND PREPARED TO RECEIVE NEW PAINT.
3. COORDINATE WITH DISD FOR STORAGE OF ALL REMOVED ITEMS OF VALUE TO DISD.
4. REFER TO MEP DRAWINGS FOR FURTHER DEMOLITION NOTES.
5. REMOVE ACoustICAL / GYPSUM CEILING. REMOVE LIGHT FIXTURES AND SALVAGE TO BE REUSED. PROTECT FIRE SPRINKLER SYSTEM AND MEP LINES / ITEMS FROM NEW WORK. CEILING DEVICES SUCH AS SMOKE / CARBON MONOXIDE DETECTORS, FIRE ALARM SYSTEM STROBE LIGHTS, ROUTERS FOR INTERNET, ETC. TO BE REUSED. ALL DAMAGED ITEMS TO BE REPLACED. MECHANICAL GRILLES TO BE REUSED. SEE MEP DRAWINGS FOR ADDITIONAL DEMOLITION INFORMATION.

**ASBESTOS ABATEMENT NOTES:**

1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR EMPLOYING THE SERVICES OF THE ASBESTOS ABATEMENT COMPANY.
2. REFER TO ASBESTOS SURVEY INCLUDED IN THE SPECIFICATIONS MANUAL.
3. ABATEMENT CONTRACTOR TO REMOVE SUSPENDED ACoustICAL CEILING AS INDICATED ON DEMO RCP SHEETS. REMOVE ALL ASBESTOS-CONTAINING SPRAY-APPLIED CEILING THAT MAY BE PRESENT ABOVE THE SUSPENDED ACoustICAL CEILING. COORDINATE WITH GENERAL CONTRACTOR FOR REMOVAL OF ALL LIGHTING FIXTURES AND DEVICES. DATA/ELECTRICAL/FIRE SPRINKLER LINES AND DEVICES TO REMAIN IN PLACE.
4. ABATEMENT CONTRACTOR TO REMOVE VCT TILE AT ALL CLASSROOMS, OFFICES, STORAGE ROOMS AND HALLWAYS.
5. ABATEMENT CONTRACTOR TO REMOVE ASBESTOS-CONTAINING CAULKING COMPOUND ON EXTERIOR WINDOWS THAT ARE DESIGNATED TO BE REMOVED.
6. ABATEMENT CONTRACTOR TO REMOVE ASBESTOS-CONTAINING THERMAL SYSTEM INSULATION IN THE CRAWL SPACE AS DESIGNATED TO BE REMOVED ON PLUMBING SHEETS.

07/07/2024 - 100% CONSTRUCTION DOCUMENTS - ISSUED FOR PERMIT AND CONSTRUCTION



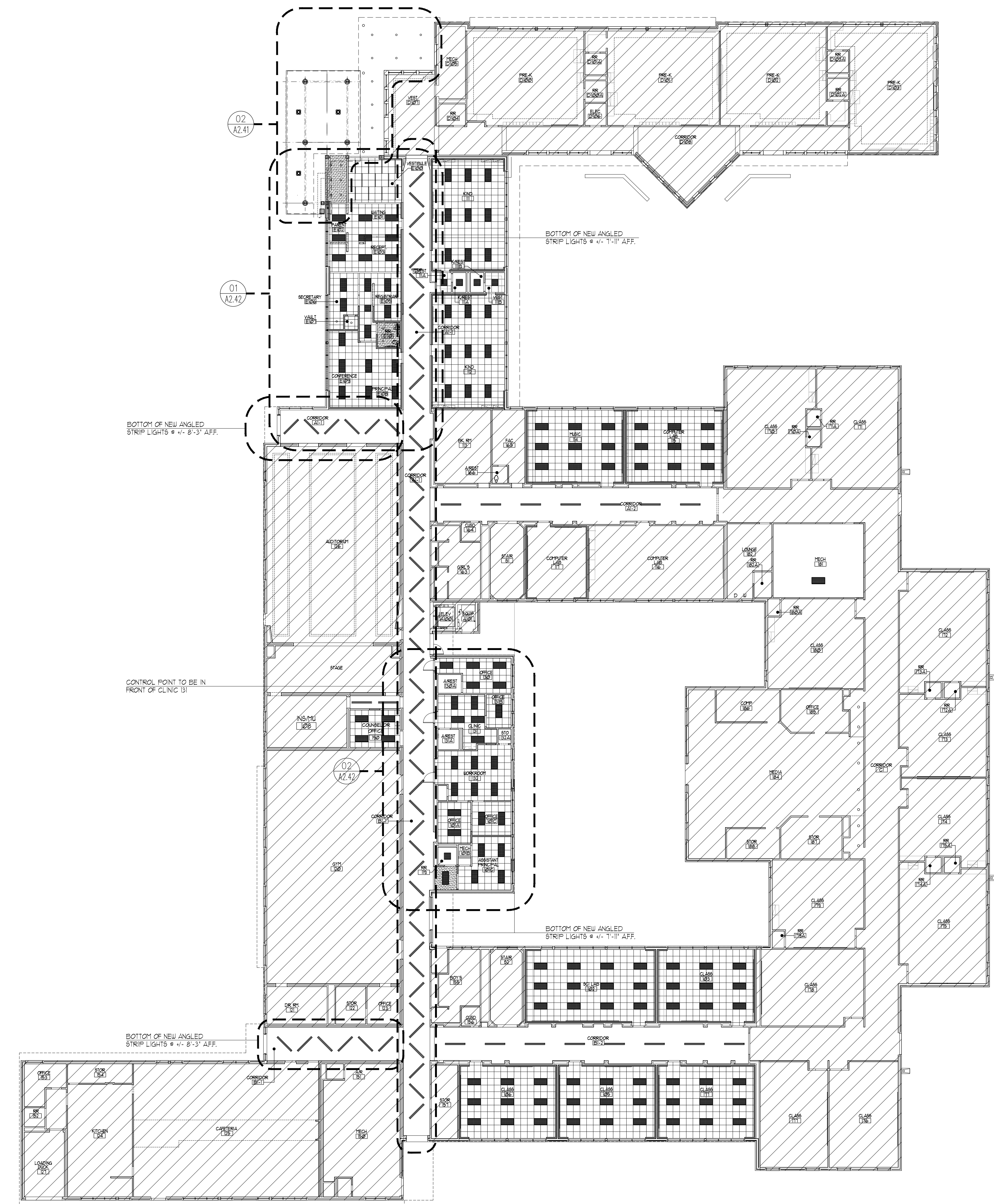
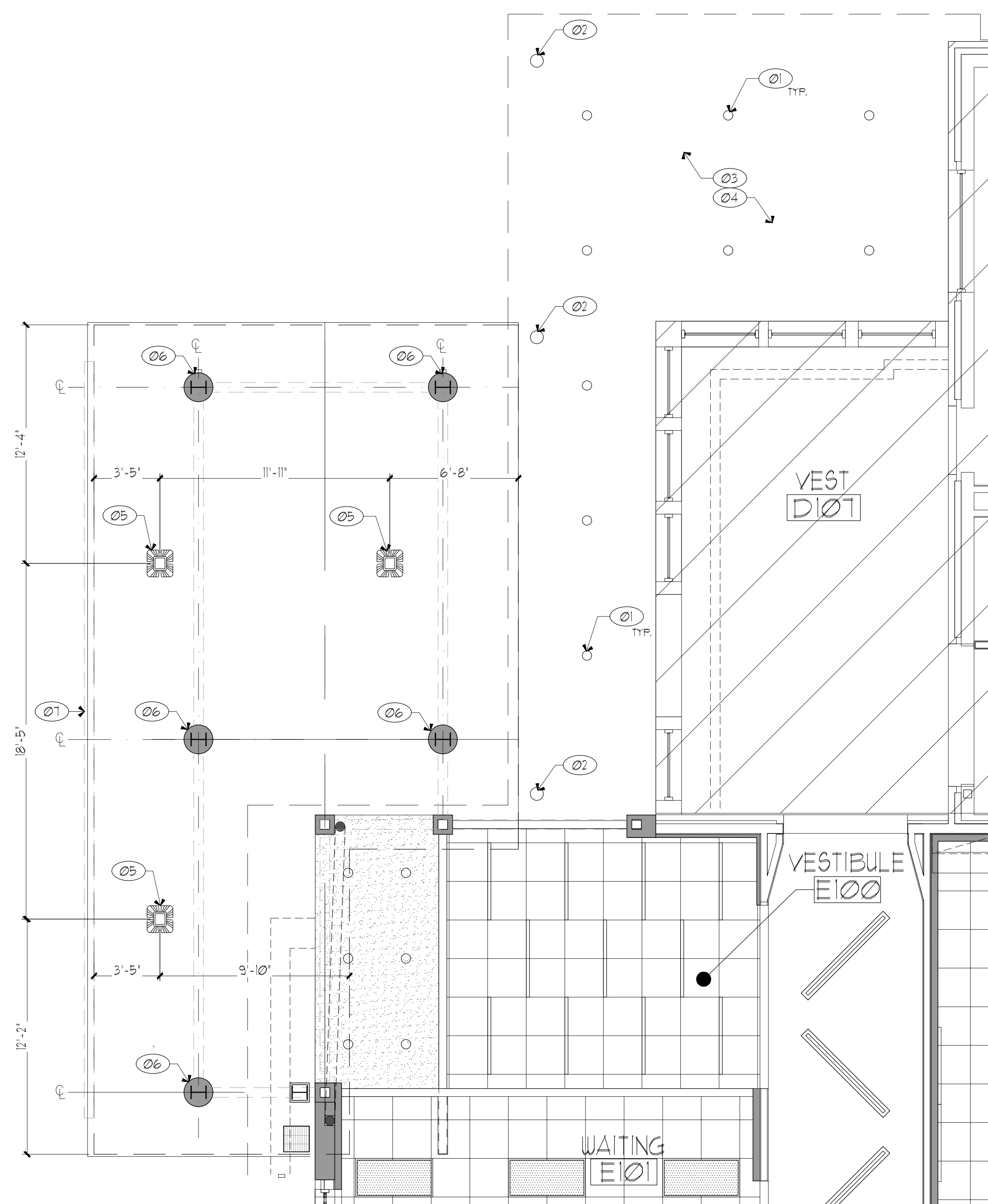
**Dimensions ARCHITECTS**  
 5005 ISI, RW, SUITE 405  
 DALLAS, TEXAS 75246  
 TEL: 214.270.3800  
 FAX: 214.270.3758

**RENOVATIONS TO**  
**UMPHREY LEE ELEMENTARY SCHOOL**  
 7808 RACINE DR., DALLAS, TEXAS 75237

Date: **07/07/2024**  
 Revised:  
 Project No: **2245**  
 File Name:  
 Sheet Title:  
 First Floor RCP - Demo

Sheet No.  
**A2.40**  
 Sheet 25 Of 45





RCP NEW WORK LEGEND:

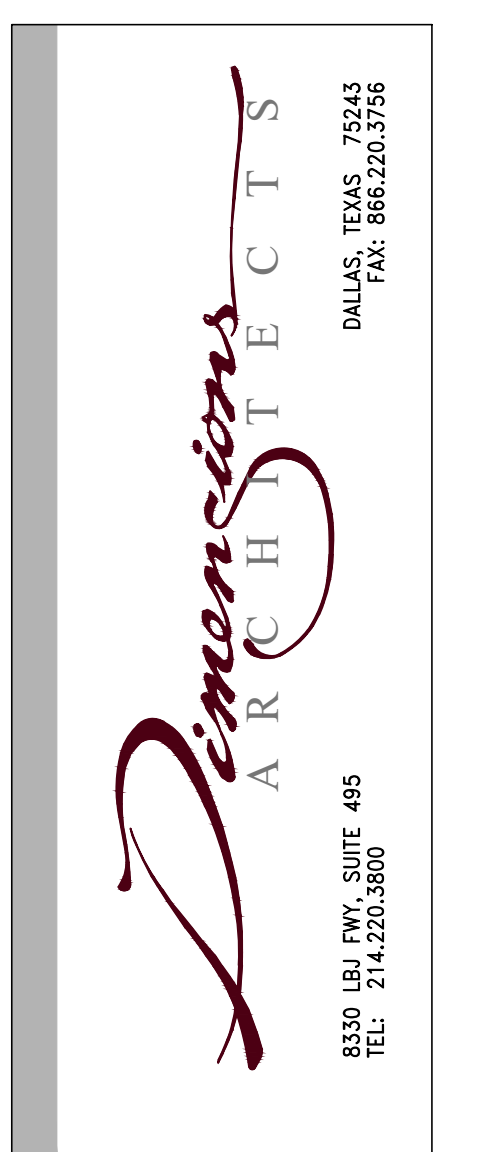
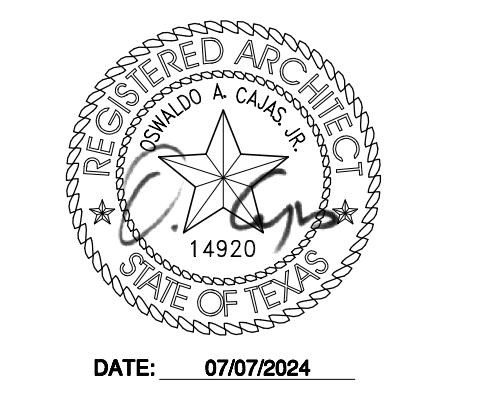
- NOT IN SCOPE OF WORK
- NEW ACT CEILING AND GRID
- NEW PAINTED GYPSUM BOARD CEILING
- NEW LED STRIP LIGHT, (REFER TO ELECTRICAL)
- NEW ANGLED LED STRIP LIGHT, REFER TO ELECTRICAL
- NEW LED STRIP LIGHT, (REFER TO ELECTRICAL)
- NEW 2'x4' LIGHT, (REFER TO ELECTRICAL)
- NEW 1'x2' LED LIGHT, (REFER TO ELECTRICAL)
- NEW LIGHT, (REFER TO ELECTRICAL)
- NEW RECESSED LIGHT, (REFER TO ELECTRICAL)

GENERAL NOTES:

1. DIMENSIONS ARE GIVEN TO FINISH FACE OF WALL UNLESS OTHERWISE NOTED.
2. DO NOT SCALE DRAWINGS FOR MISSING DIMENSIONS. CONTACT ARCHITECT.
3. WORK PERFORMED SHALL BE IN FULL AND COMPLETE COMPLIANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND REGULATIONS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND HIS SUBCONTRACTORS TO ESTABLISH APPLICABILITY AND COMPLY WITH SAID CODES AND REGULATIONS ABOVE AND BEYOND PLANS APPROVAL AND AS REQUIRED BY GOVERNING INSPECTION AUTHORITY.
4. THE CONTRACTOR SHALL EMPLOY ONLY EXPERT TRADESMEN OR CRAFTSMEN WHO ARE THOROUGHLY EXPERIENCED IN THEIR TRADE AND CAPABLE OF PRODUCING WORK OF THE QUALITY DESIRED. THE WORK SHALL BE SUPERVISED BY A SUPERINTENDENT WHO IS KNOWN TO BE EXPERT IN ALL ASPECTS OF THE REQUIRED WORK.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SEQUENCING OF SUBCONTRACTORS WORK AND SHALL ASSUME RESPONSIBILITY FOR ALL COMPLETED AND WORK IN PROGRESS INCLUDING REPAIR OF DAMAGES TO WORK WHICH OCCURS PRIOR TO ACCEPTANCE BY THE OWNER.
6. CLEANUP: THE CONTRACTOR SHALL AT ALL TIMES KEEP PUBLIC OCCUPANT ACCESS ENTRANCES AND THE WORK FREE FROM ACCUMULATION OF WASTE MATERIALS, RUBBISH AND DIRT CAUSED BY THE WORK. AT THE COMPLETION OF THE WORK EACH DAY REMOVE ALL WASTE AND RUBBISH FROM AND ABOUT THE PROJECT. THIS INCLUDES TOOLS EQUIPMENT AND SURPLUS MATERIALS. CLEAN ALL SURFACES, WINDOWS AND FLOORS PER SPECIFICATIONS PRIOR TO ACCEPTANCE BY THE OWNER.
7. REFER TO ELECTRICAL FOR SECURITY CAMERAS, CARD ACCESS READERS AND DOOR CONTACTS DETAILS.
8. NO STEP DOWN FOR NEW CORRIDOR LIGHTS. MAINTAIN SAME HEIGHT FROM EXISTING CEILING THROUGHOUT.
9. REFER TO FINISH SCHEDULE SHEET A6.00 FOR ALL CEILING HEIGHTS.

KEY NOTES:

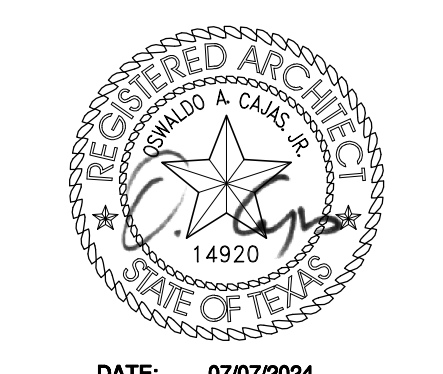
- 01 NEW LIGHTS TO BE INSTALLED ON EXISTING ROOF
- 02 EXISTING COLUMNS TO REMAIN
- 03 EXISTING ROOF TO REMAIN, PATCH AND REPAIR SURFACES AS NEEDED PER NEW LIGHT INSTALLATION
- 04 EXISTING PLASTER TO BE PAINTED WITH SW 1655 STAMPED CONCRETE
- 05 NEW LIGHTS TO BE ADDED ON NEW METAL CANOPY
- 06 NEW STRUCTURAL COLUMNS, REFER TO STRUCTURE DRAWINGS FOR DETAILS
- 07 NEW SCHOOL NAME SIGNAGE PER SPECIFICATIONS
- 08 NEW EXPOSED ROOF METAL COMPONENTS TO BE PAINTED SW 6255 MORNING FOG



RENOVATIONS TO  
UMPHREY LEE ELEMENTARY SCHOOL  
7808 RACINE DR., DALLAS, TEXAS 75232

Date: 07/07/2024  
Revised:  
Project No. 2245  
File Name:  
Sheet Title: First Floor RCP - New

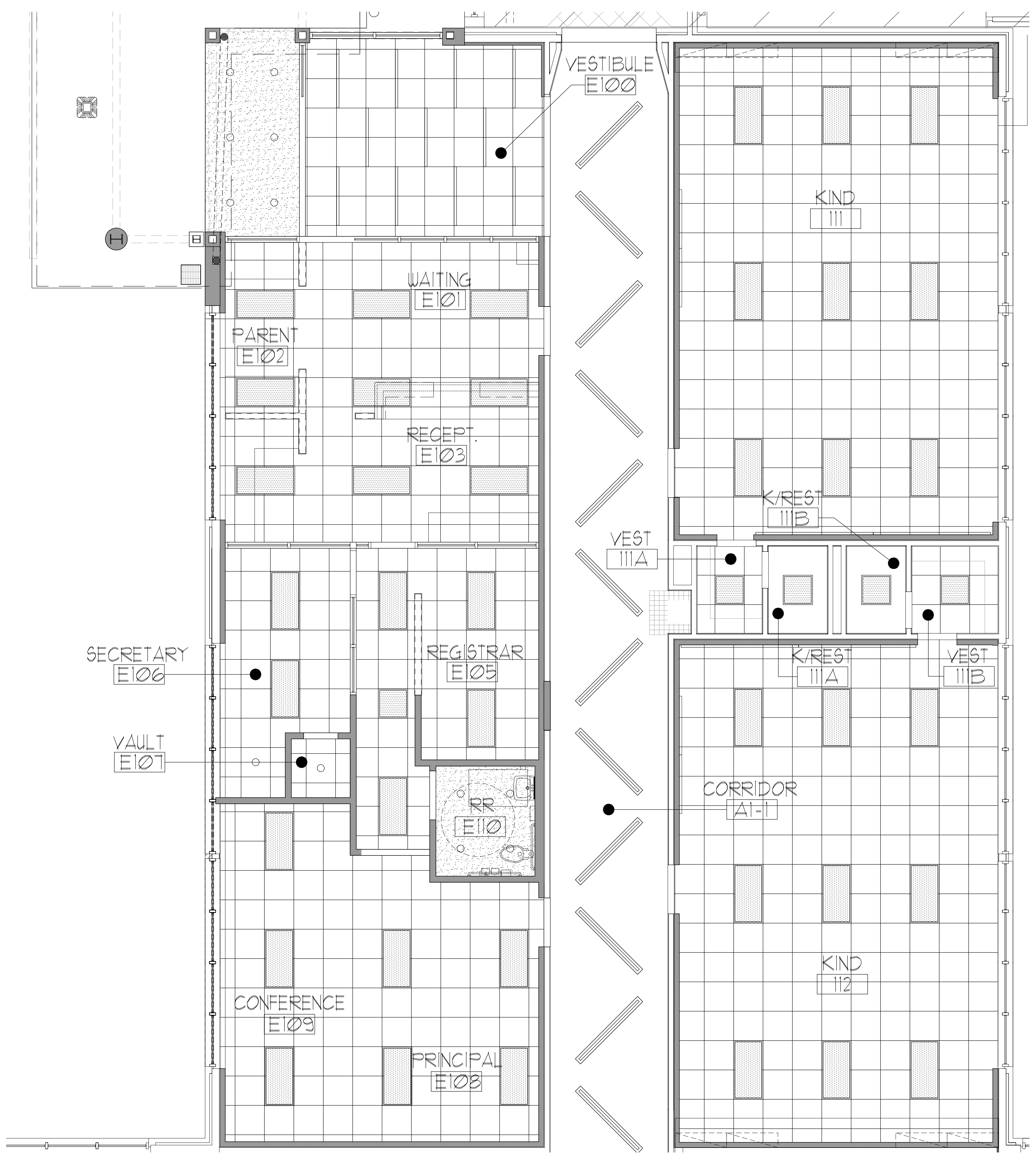




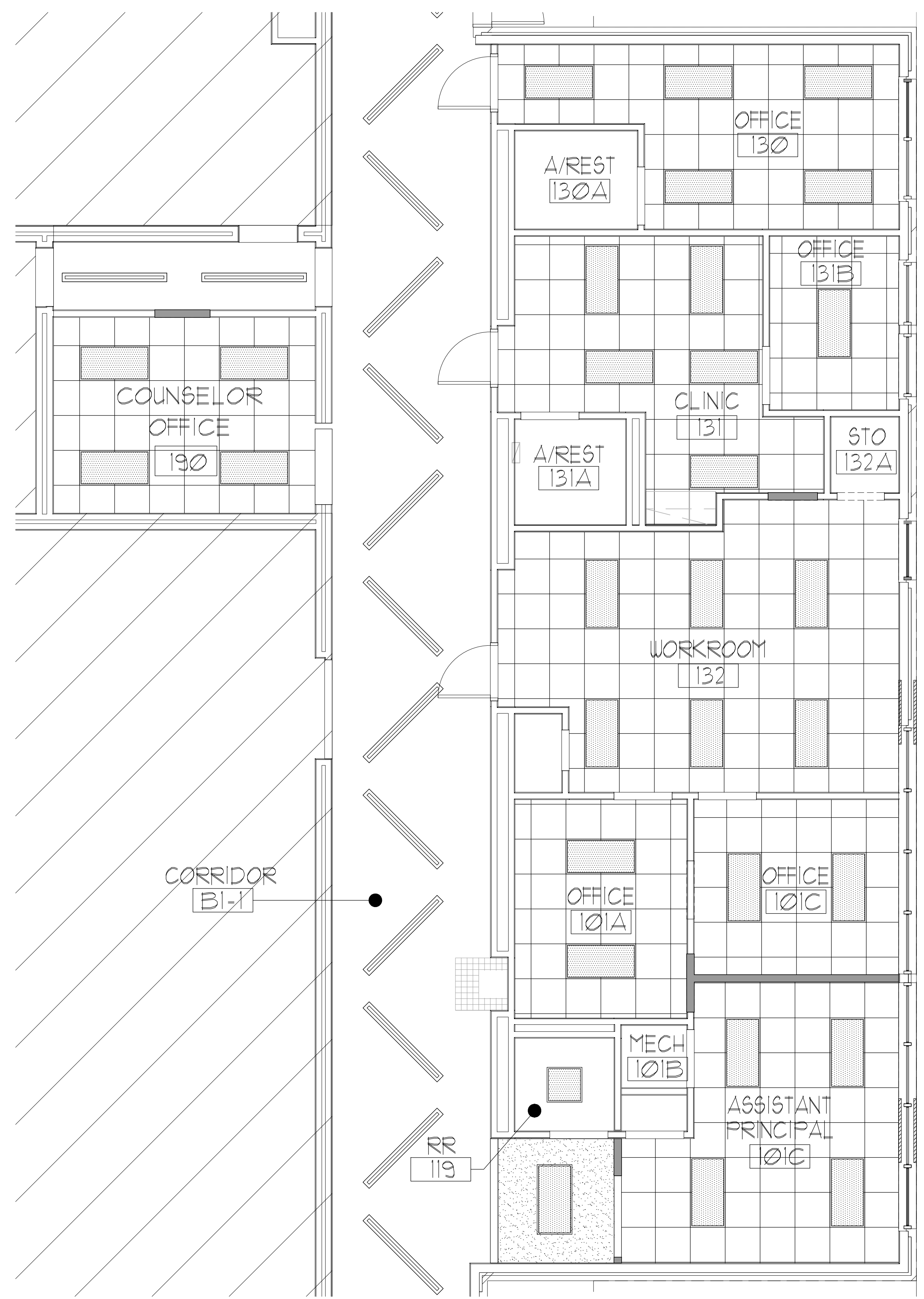
DATE: 07/07/2024



RENOVATIONS TO  
**UMPHREY LEE ELEMENTARY SCHOOL**  
7808 RACINE DR., DALLAS, TEXAS 75232.



01 PARTIAL FIRST FLOOR RCP @ ADMIN. - NEW  
SCALE: 1/4" = 1'-0"  
PLAN & TRUE NORTH



02 PARTIAL FIRST FLOOR RCP @ CLINIC AREA - NEW  
SCALE: 1/4" = 1'-0"  
PLAN & TRUE NORTH

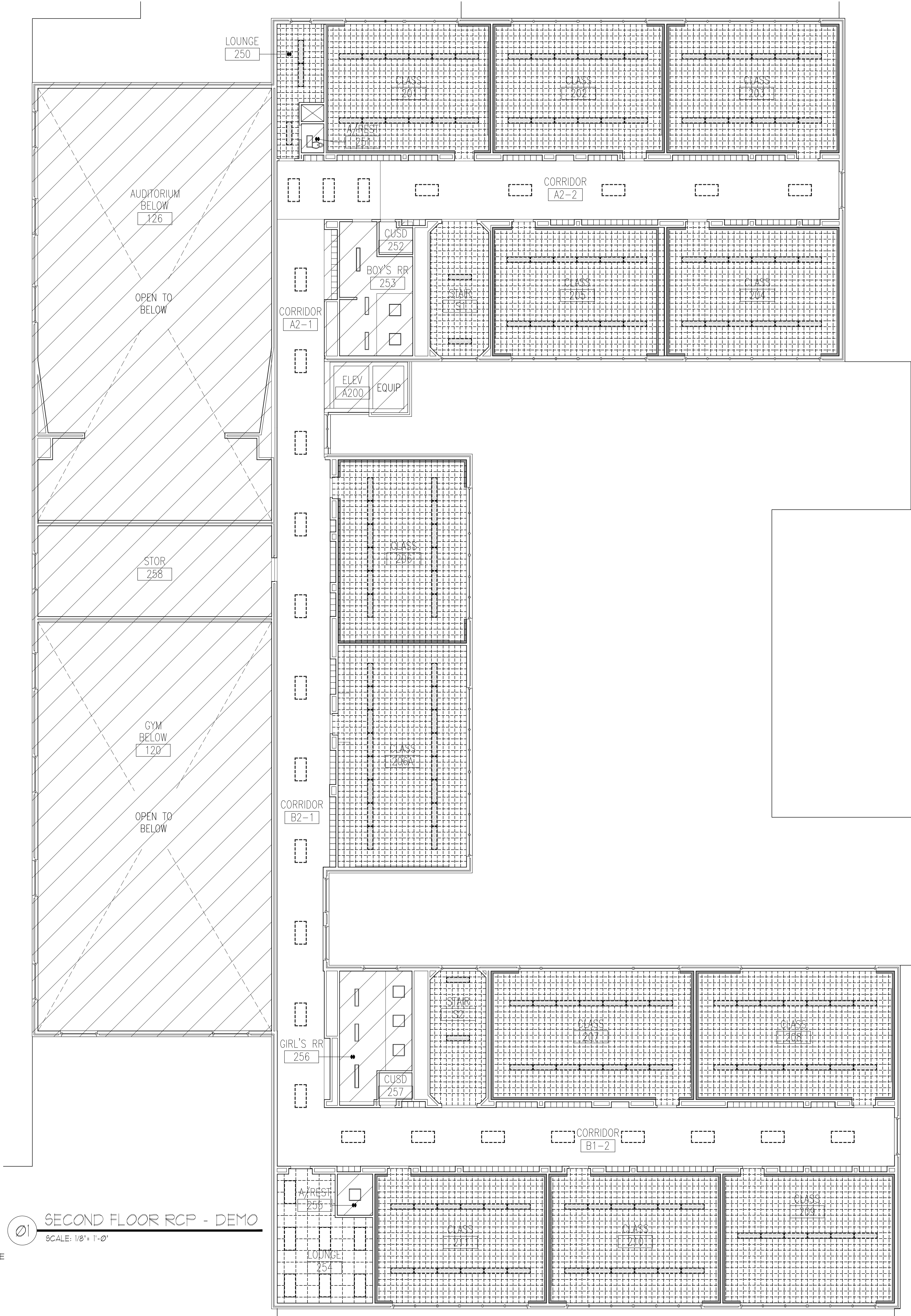
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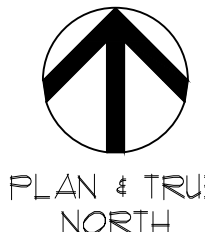
- NOT IN SCOPE OF WORK. EXISTING CEILING TO REMAIN.
- NEW ACT CEILING AND GRID
- NEW PAINTED GYPSUM BOARD CEILING
- NEW 2x4 LIGHT. (REFER TO ELECTRICAL)
- NEW LIGHT. (REFER TO ELECTRICAL)
- NEW 2'x2' LED LIGHT. (REFER TO ELECTRICAL)
- NEW LIGHT. (REFER TO ELECTRICAL)
- NEW LED STRIP LIGHT. (REFER TO ELECTRICAL)
- NEW ANGLED LED STRIP LIGHT. REFER TO ELECTRICAL

GENERAL NOTES:


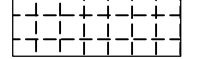


1. DIMENSIONS ARE GIVEN TO FINISH FACE OF WALL UNLESS OTHERWISE NOTED.
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9. REFER TO FINISH SCHEDULE SHEET A6.00 FOR ALL CEILING HEIGHTS.






**SECOND FLOOR RCP - DEMO**  
 SCALE: 1/8" = 1'-0"

**RCP DEMO LEGEND:**

-  NOT IN SCOPE OF WORK, EXISTING CEILING TO REMAIN.
-  EXISTING CEILING SYSTEM INCLUDING CEILING TILE, PLASTER CEILING AND OTHER COMPONENTS TO BE DEMOED.
-  EXISTING LIGHT TO BE DEMOED
-  EXISTING LIGHT TO BE DEMOED

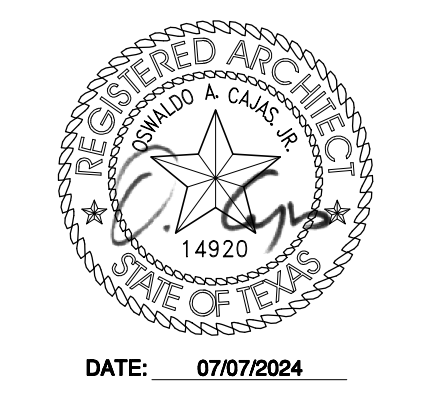
**DEMOLITION GENERAL NOTES:**

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07/07/2024, 100% CONSTRUCTION DOCUMENTS - ISSUED FOR PERMIT AND CONSTRUCTION



**Dimensions ARCHITECTS**  
 DALLAS, TEXAS 75248  
 TEL: 972.270.3800  
 FAX: 972.270.3758

**RENOVATIONS TO**  
**UMPHREY LEE ELEMENTARY SCHOOL**  
 7808 RACINE DR., DALLAS, TEXAS 75232

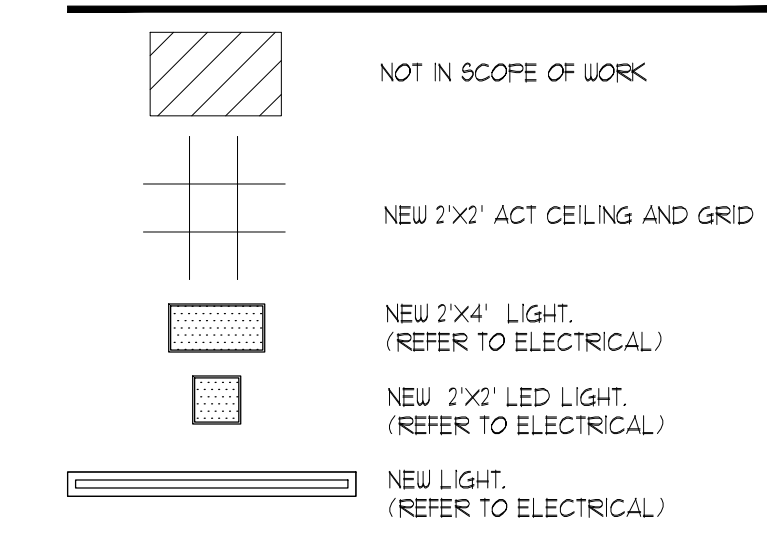
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 Project No. 2245  
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 Sheet Title: Second Floor RCP - Demo

Sheet No. **A2.43**  
 Sheet 28 Of 45



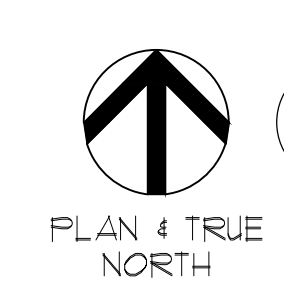


RCP NEW WORK LEGEND:



GENERAL NOTES:

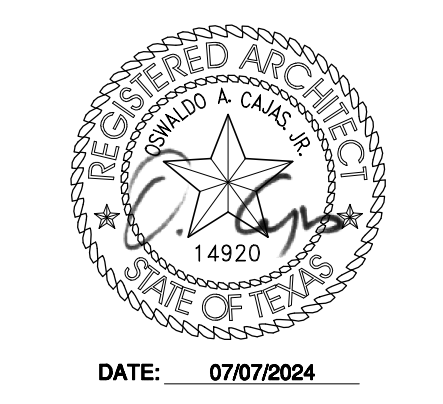
- DIMENSIONS ARE GIVEN TO FINISH FACE OF WALL UNLESS OTHERWISE NOTED.
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- REFER TO ELECTRICAL FOR SECURITY CAMERAS, CARD ACCESS READERS AND DOOR CONTACTS DETAILS.



01

SECOND FLOOR RCP - NEW  
SCALE: 1/8" = 1'-0"

07/07/2024 - 100% CONSTRUCTION DOCUMENTS - ISSUED FOR PERMIT AND CONSTRUCTION



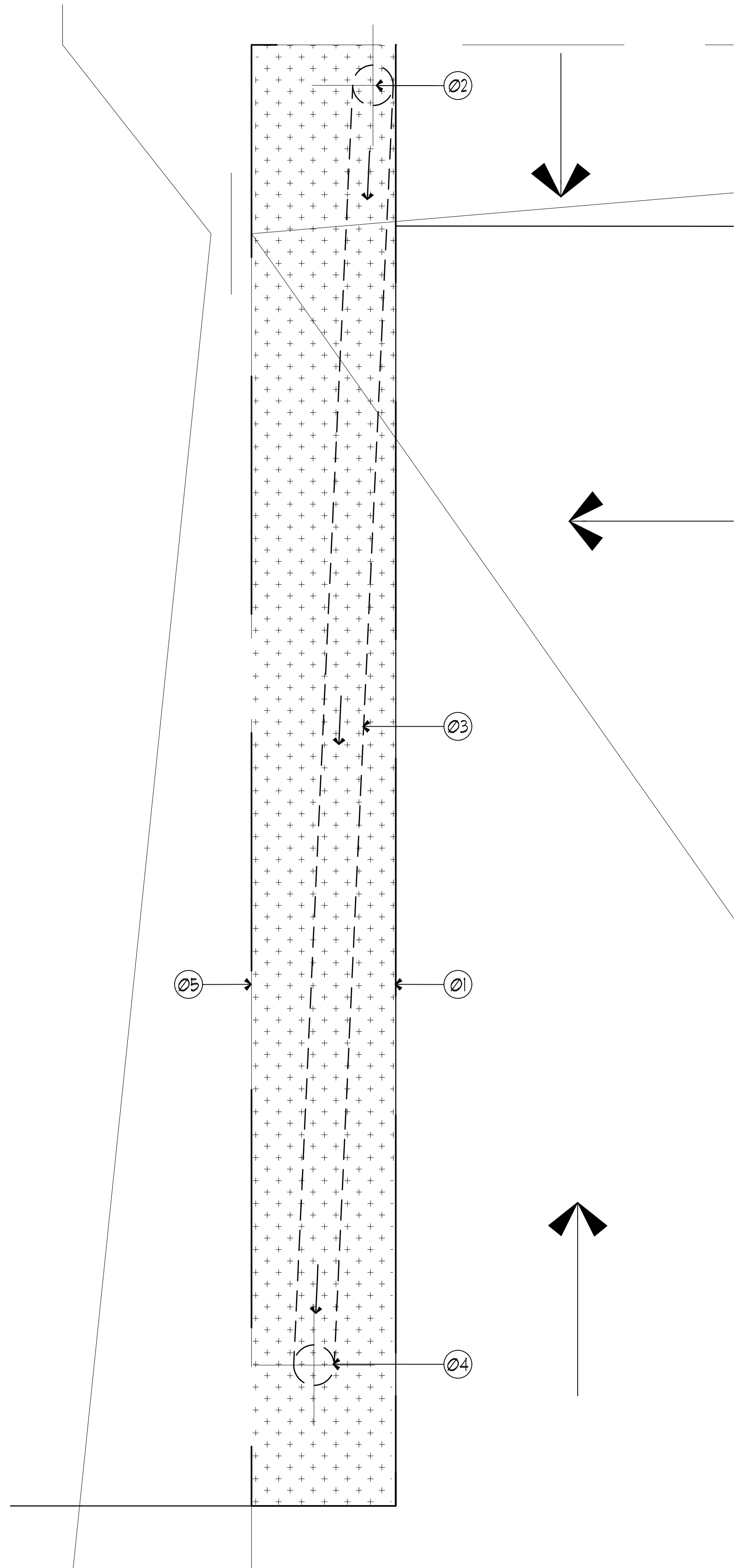
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**Dimancon**  
ARCHITECTS  
DALLAS, TEXAS 75248  
TEL: 214.270.3800  
FAX: 214.270.3758

RENOVATIONS TO  
**UMPHREY LEE ELEMENTARY SCHOOL**  
7808 RACINE DR.  
DALLAS, TEXAS 75232

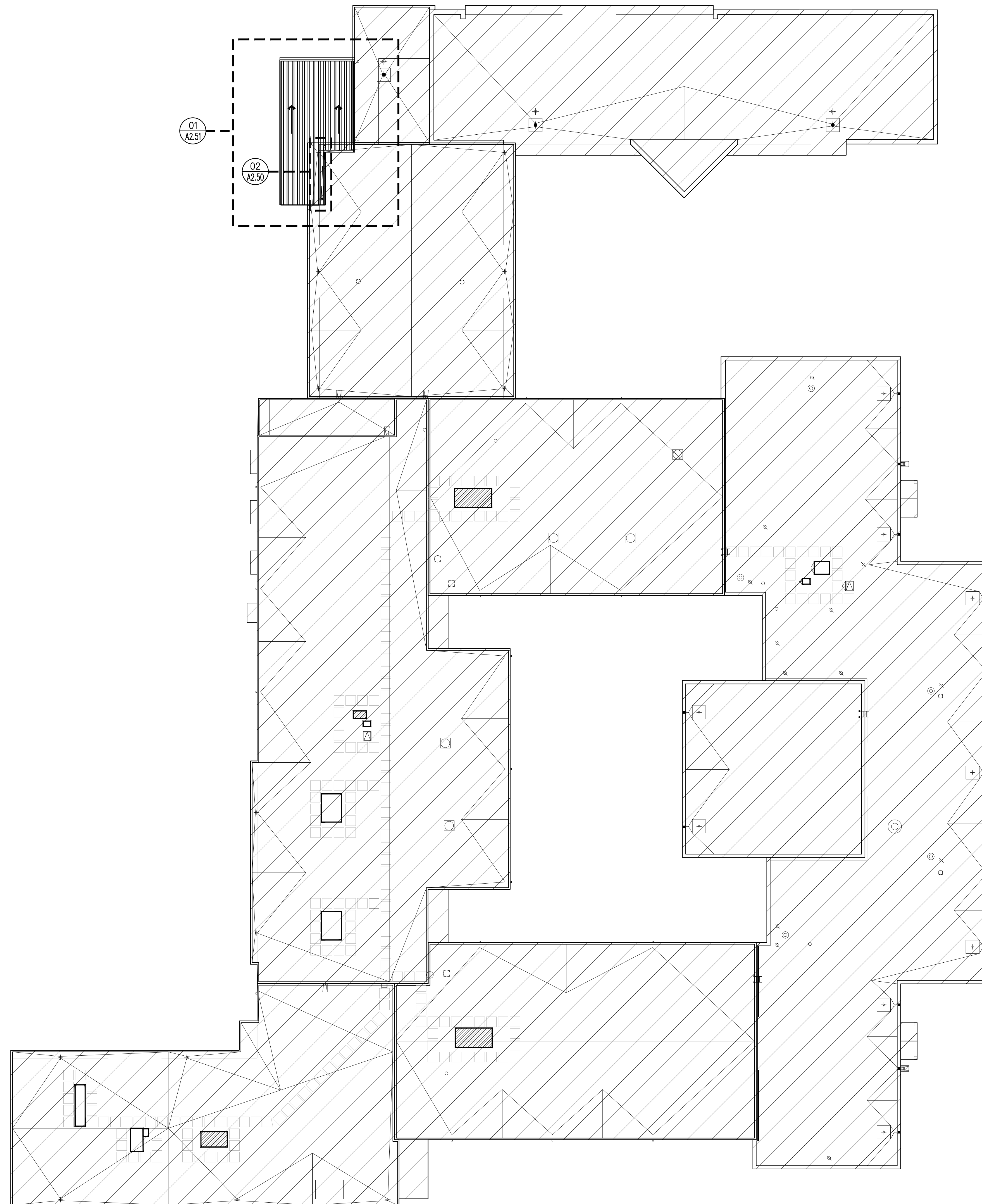
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Revised:  
Project No. 2245  
File Name:  
Sheet Title: Second Floor RCP - New

Sheet No.  
**A2.44**  
Sheet 29 Of 45





**02 DEMO ROOF PLAN**  
SCALE: 1" = 1'-00"  
PLAN & TRUE NORTH



**01 ROOF PLAN**  
SCALE: 1/16" = 1'-00"  
PLAN & TRUE NORTH

**LEGEND:**

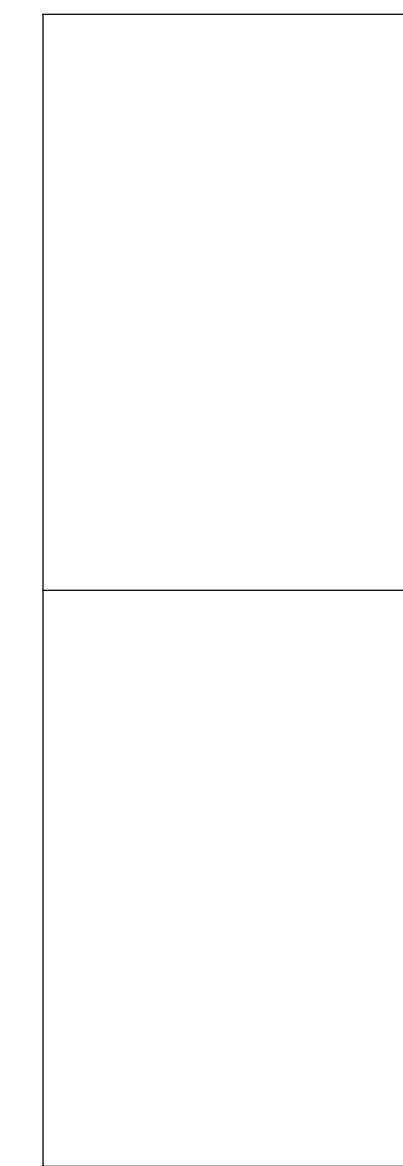
- CANOPY ROOF SLOPE
- + EXISTING DOWNSPOUT
- NEW ROOF GUTTER & DOWNSPOUT ASSEMBLY
- ▨ NO WORK SCOPE

**KEY NOTES:**

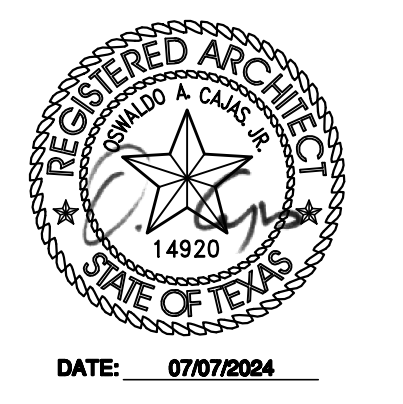
- 01 SCOPE AREA FOR NEW ROOF DRAINAGE PIPING
- 02 EXISTING ROOF DRAIN TO REMAIN
- 03 NEW INTERNAL REROUTED ROOF DRAIN PIPE
- 04 NEW INTERNAL DOWNSPOUT w/ DAYLIGHT DRAINAGE
- 05 EXISTING EDGE OF ROOF

**GENERAL NOTES:**

1. ALL EXISTING DIMENSIONS AND CONDITIONS TO BE FIELD VERIFIED AND CONFIRMED BY CONTRACTOR PRIOR TO START OF CONSTRUCTION.



07/07/2024 - 100% CONSTRUCTION DOCUMENTS - ISSUED FOR PERMIT AND CONSTRUCTION



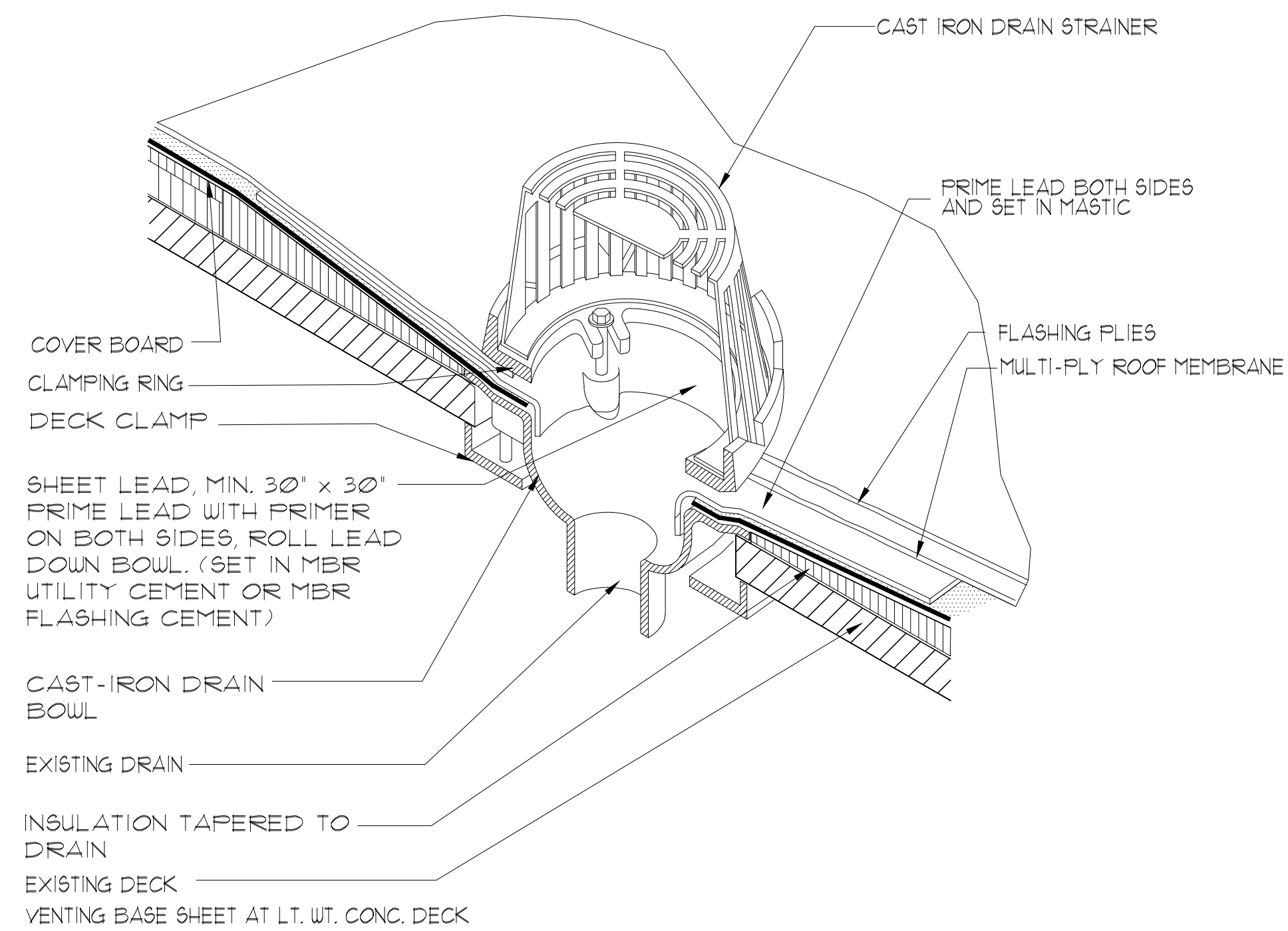
**Dimension**  
ARCHITECTS  
DALLAS, TEXAS 75248  
TEL: 214.420.8800  
FAX: 214.420.8758

RENOVATIONS TO  
**UMPHREY LEE ELEMENTARY SCHOOL**  
7808 RACINE DR., DALLAS, TEXAS 75232

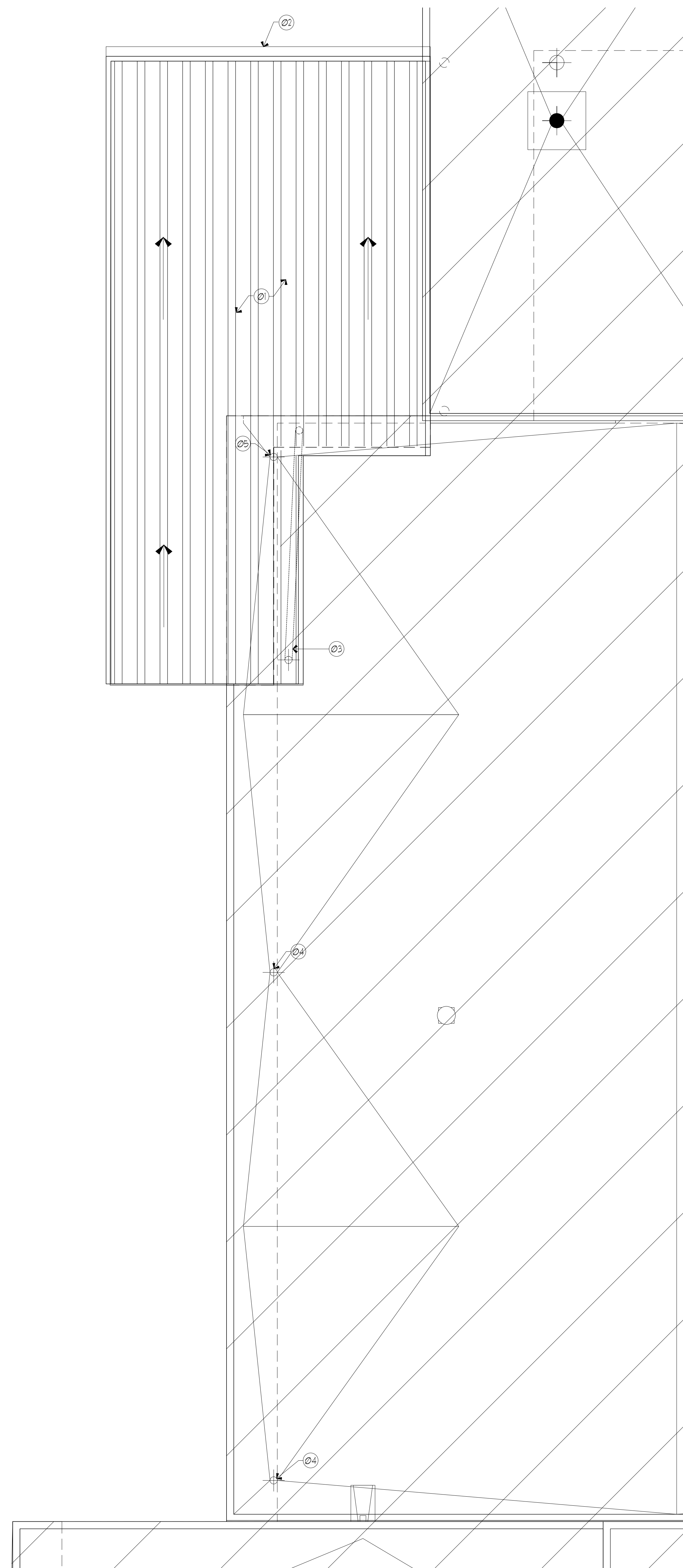
Date: 07/07/2024  
Revised:  
Project No. 2245  
File Name:  
Sheet Title: ROOF PLAN

Sheet No.  
**A2.50**  
Sheet 30 Of 44





02 INTERNAL ROOF DRAIN SECTION  
SCALE: 1/2" = 1'-00"



01 PARTIAL ROOF PLAN  
SCALE: 1/4" = 1'-00"  
PLAN & TRUE NORTH

**LEGEND:**

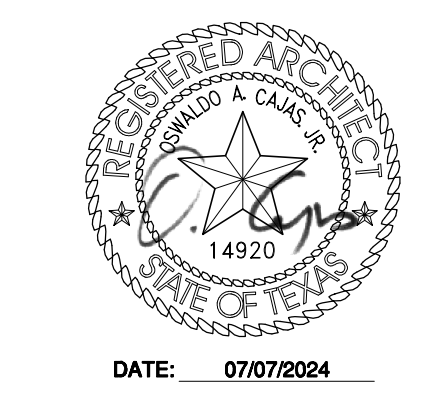
- CANOPY ROOF SLOPE
- + EXISTING DOWNSPOUT
- ▭ NEW ROOF GUTTER & DOWNSPOUT ASSEMBLY
- ▨ NO WORK SCOPE

**GENERAL NOTES:**

1. ALL EXISTING DIMENSIONS AND CONDITIONS TO BE FIELD VERIFIED AND CONFIRMED BY CONTRACTOR PRIOR TO START OF CONSTRUCTION.

**KEYNOTES:**

- 01 NEW METAL STANDING SEAM CANOPY ROOF
- 02 NEW GUTTER & DOWNSPOUT, DAYLIGHT AND GROUND.
- 03 REROUTE EXISTING ROOF DRAIN THRU NEW PIPING AND WALL CHASE, REF. PLUMBING.
- 04 EXISTING ROOF DRAINS, CLEAN PIPING FREE OF ANY CLOGS, SECURE SCREEN ATTACHED.
- 05 G.C. TO CONFIRM POSSIBLE FLOW TO EXISTING ROOF DRAIN DURING CONSTRUCTION.



**Dimension**  
ARCHITECTS  
6305 151<sup>ST</sup> P.W. SUITE 495  
DALLAS, TEXAS 75248  
TEL: 214.270.8800 FAX: 214.270.8758

RENOVATIONS TO  
**UMPHREY LEE ELEMENTARY SCHOOL**  
7808 RACINE DR. DALLAS, TEXAS 75232

Date:	07/07/2024
Revised:	
Project No.	2245
File Name:	
Sheet Title:	PARTIAL ROOF PLAN

Sheet No.  
**A2.51**  
Sheet 31 Of 44



**GENERAL NOTES:**

1. REPLACE EXISTING CARPET, VINYL COMPOSITE TILE, TO ASSIGNED CLASSROOMS AS INDICATED.
2. REF. ROOM FINISH SCHEDULE SHEET A6.00 FOR MORE INFO.

**DEMO FINISH FLOOR PLAN KEY NOTES:**

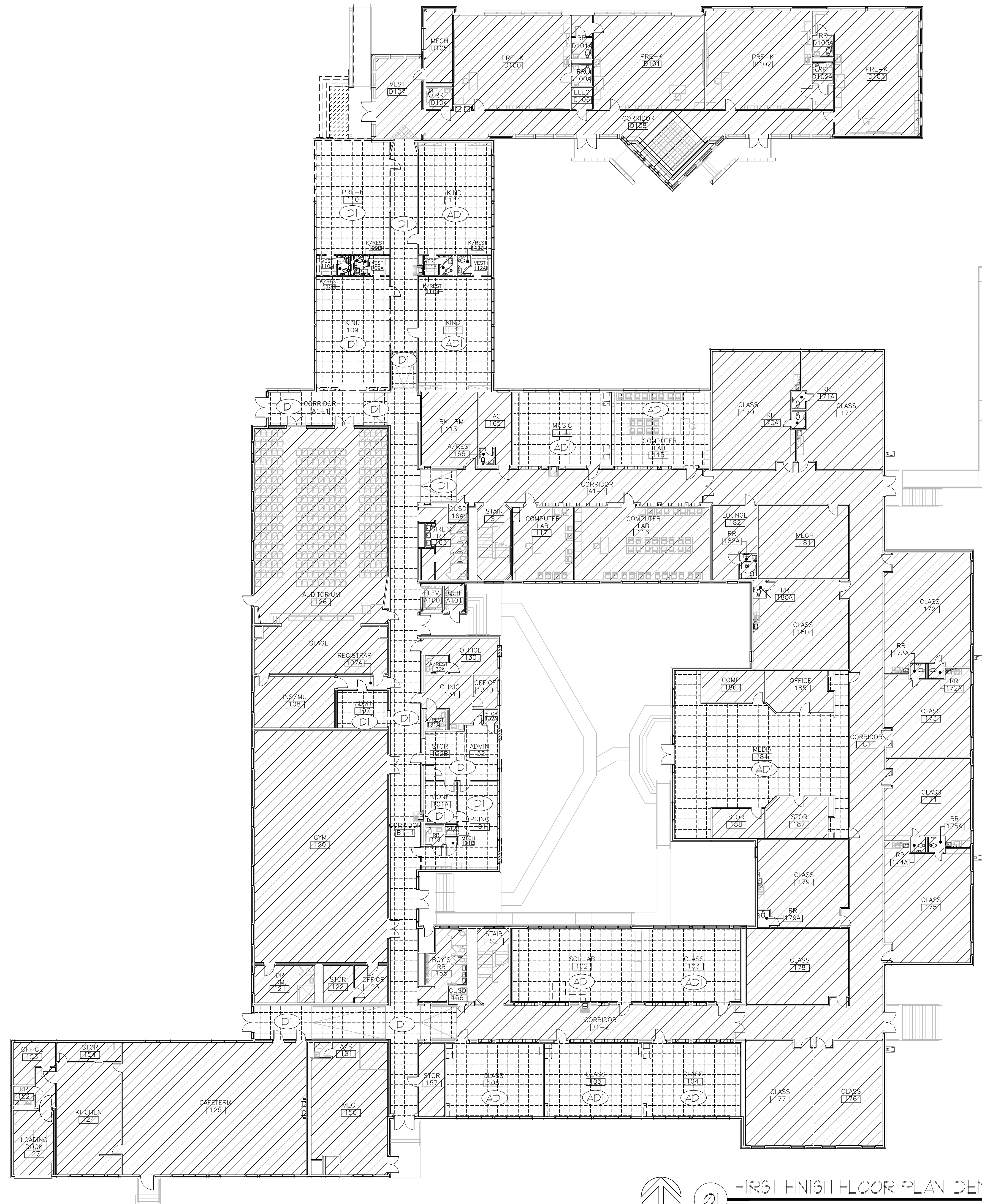
(DI) REMOVE EXISTING FLOORING TO IT'S ENTIRETY AND BASE. CLEAN SLAB & PREPARE THE SURFACE TO RECEIVE NEW FLOORING.

**ALTERNATE SCOPE DEMO F.F. PLAN KEY NOTES:**

(ADI) REMOVE EXISTING FLOORING TO IT'S ENTIRETY. CLEAN SLAB & PREPARE THE SURFACE TO RECEIVE NEW FLOORING.

**FINISH FLOOR LEGEND:**

-  NOT IN SCOPE OF WORK
-  EXISTING FLOORING TO REMAIN.
-  DEMO FLOORING



01 FIRST FINISH FLOOR PLAN-DEMO  
SCALE: 1/16" = 1'-0"

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**Dimension**  
 ARCHITECTS  
 5005 W. IRVING, SUITE 405  
 DALLAS, TEXAS 75236  
 TEL: 214.270.3800  
 FAX: 214.270.3758

RENOVATIONS TO  
**UMPHREY LEE ELEMENTARY SCHOOL**  
 7808 RACINE DR.  
 DALLAS, TEXAS 75232

Date: 07/07/2024  
 Revised:  
 Project No. 2245  
 File Name:  
 Sheet Title: DEMO FIRST FLOOR FINISH PLAN

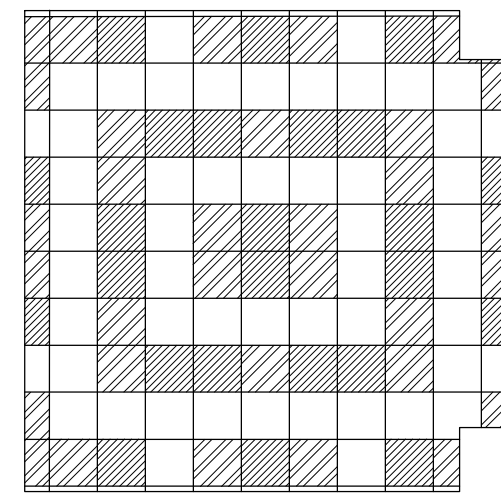
Sheet No.  
**A2.60**  
 Sheet 32 Of 45



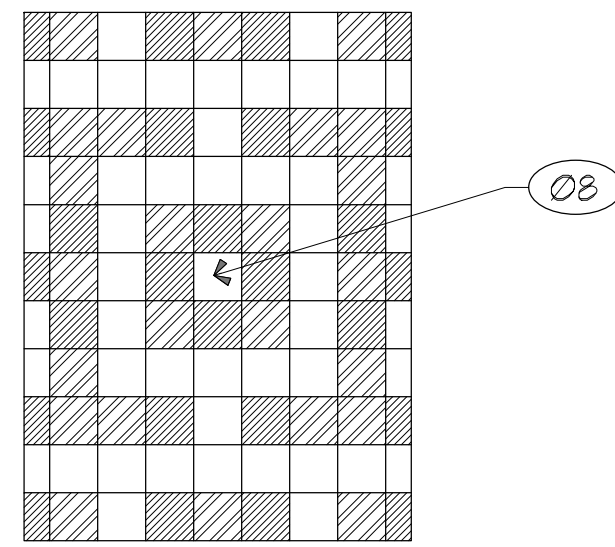




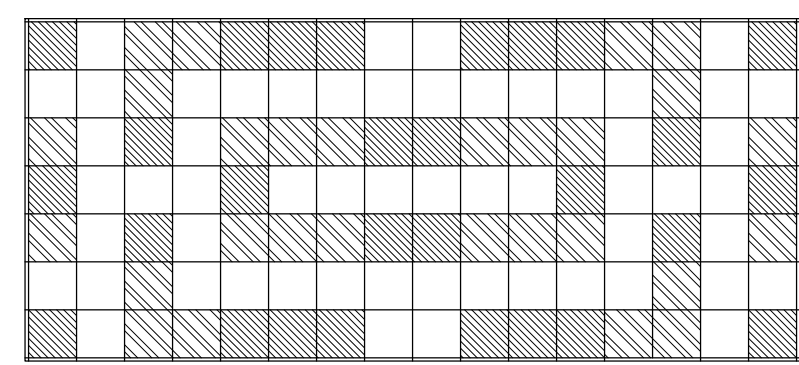
FLOOR FINISHES CODES SCHEDULE					
FLOOR	CODE	MATERIAL	MANUFACTURER	STYLE	COLOR
FLOOR	F1	VCT	ARMSTRONG	12" x 12" IMPERIAL TEXTURE # 51899	COOL WHITE
	F2	VCT	ARMSTRONG	12" x 12" IMPERIAL TEXTURE # 57534	RUBY RED
	F3	VCT	ARMSTRONG	12" x 12" IMPERIAL TEXTURE # 51910	CLASSIC BLACK
	F4	CARPET	EF CONTRACT	KINETEX 24 x 24 INTRIGUE # KITR	TANTALIZE #ITR85
	F5/B2	CERAMIC	DALTILE	6" x 6" DALTILE, 0063	DAWN DT
	F6	VCT	ARMSTRONG	12" x 12" SAFETY ZONE # 57022	ROCKY ROAD
BASE	B1	RUBBER	TARKETT	4" TALL x 1/8" THICK WITH TOE	#40 BLACK



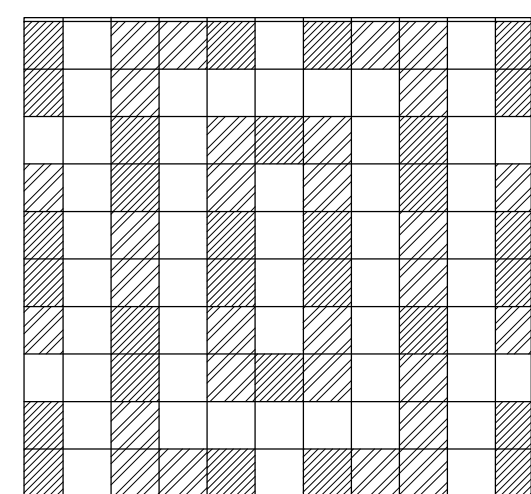
06 FLOOR PLAN PATTERN-CORRIDOR  
SCALE: 1/4" = 1'-0"



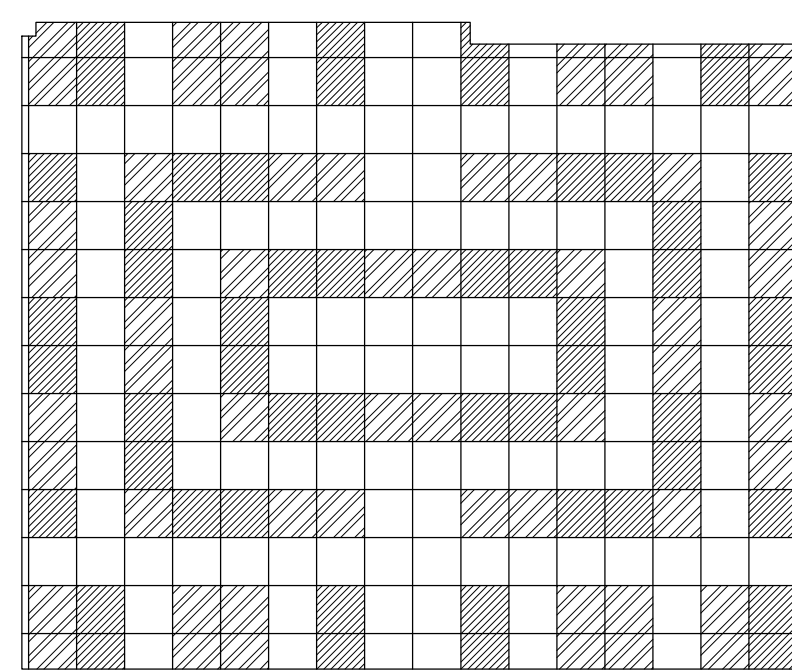
05 FLOOR PLAN PATTERN-CORRIDOR  
SCALE: 1/4" = 1'-0"



04 FLOOR PLAN PATTERN-CORRIDOR  
SCALE: 1/4" = 1'-0"



03 FLOOR PLAN PATTERN-CORRIDOR  
SCALE: 1/4" = 1'-0"



02 FLOOR PLAN PATTERN-VESTIBULE  
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

- REPLACE EXISTING CARPET, VINYL COMPOSITE TILE, TO ASSIGNED CLASSROOMS
- REF. ROOM FINISH SCHEDULE SHEET A6.00 FOR MORE INFO.

ALTERNATE SCOPE NEW FF.PLAN KEY NOTES:

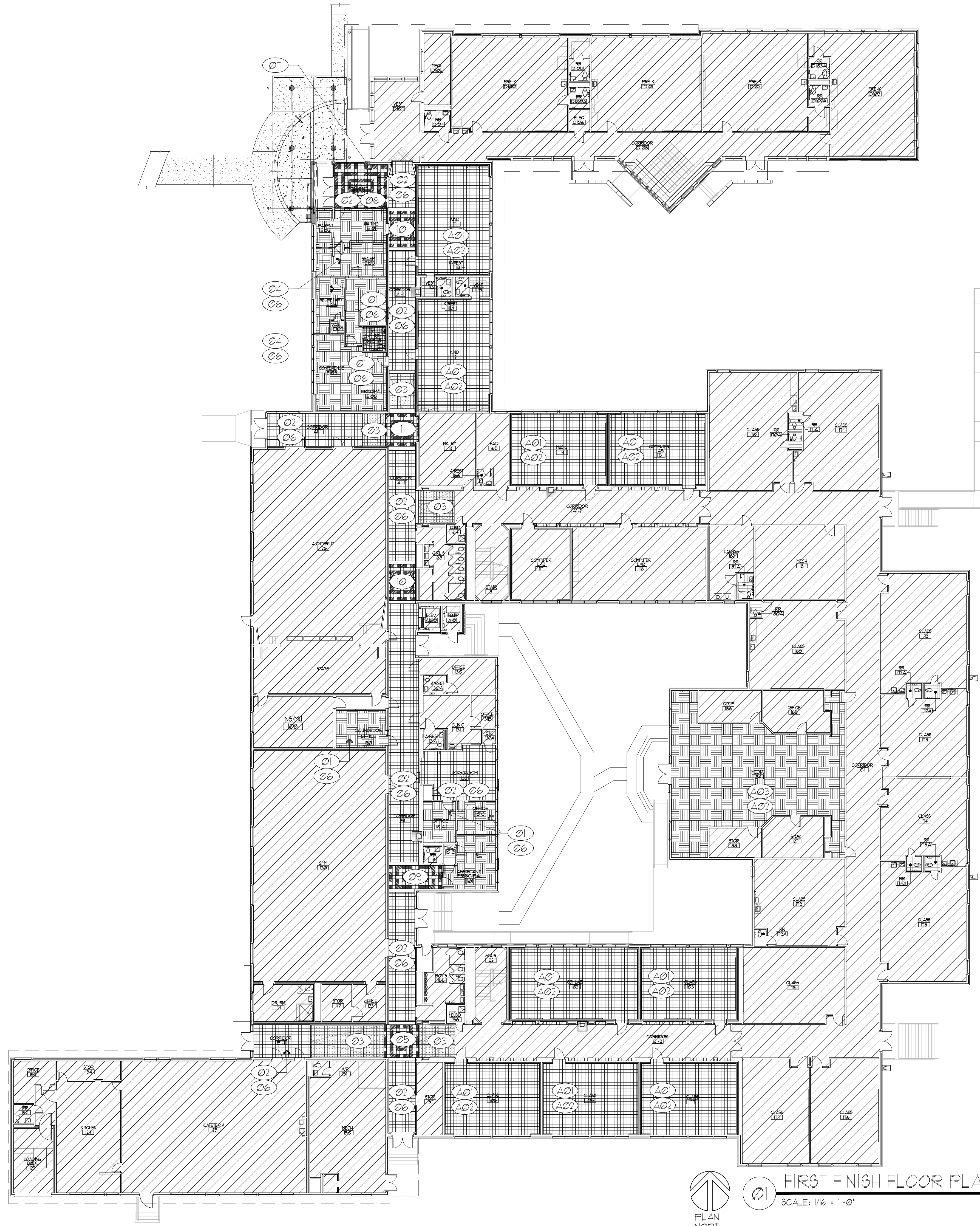
- A01 NEW VINYL COMPOSITE TILE (VCT) IN THE ROOMS INDICATED, UNDER ALTERNATE SCOPE REFER TO FINISH SCHEDULE.
- A02 NEW BASE, REFER TO FINISH SCHEDULE.
- A03 NEW CARPET IN THE ROOMS INDICATED, UNDER ALTERNATE SCOPE REFER TO FINISH SCHEDULE.

NEW FINISH FLOOR PLAN KEY NOTES:

- 01 NEW CARPET, REFER TO FINISH SCHEDULE.
- 02 NEW VINYL COMPOSITE TILE (VCT), REFER TO FINISH SCHEDULE.
- 03 NEW VINYL COMPOSITE TILE (VCT), SLIP RESISTANT ON CORRIDOR/RAMP, REFER TO FINISH SCHEDULE.
- 04 NEW CERAMIC FLOORING, REFER TO FINISH SCHEDULE.
- 05 FLOOR PATTERN, REFER TO 03/A2.62
- 06 NEW BASE, REFER TO FINISH SCHEDULE.
- 07 FLOOR PATTERN, REFER TO 02/A2.62
- 08 FLOOR PATTERN TO BE USED 2 TIMES ALONG THE LENGTH OF THE MAIN CORRIDOR.
- 09 FLOOR PATTERN, REFER TO 04/A2.62
- 10 FLOOR PATTERN, REFER TO 05/A2.62
- 11 FLOOR PATTERN, REFER TO 06/A2.62

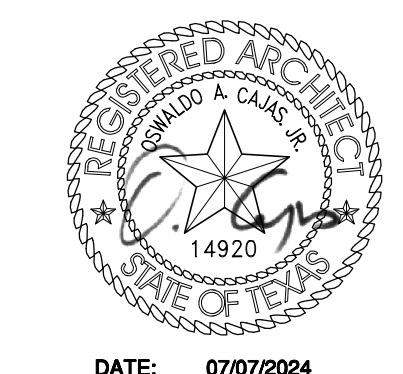
FINISH FLOOR LEGEND:

- NOT IN SCOPE OF WORK EXISTING FLOORING TO REMAIN.
- F1- NEW VCT FLOORING COLOR-COOL WHITE BASE COLOR
- F2- NEW VCT FLOORING COLOR-RUBY RED ACCENT COLOR
- F3- NEW VCT FLOORING COLOR-COLOR BLACK ACCENT COLOR
- F4- NEW CARPET TILE FLOORING
- F5- NEW CERAMIC TILE FLOORING
- F6- NEW VCT TILE FLOORING-SLIP RESISTANT



01 FIRST FINISH FLOOR PLAN  
SCALE: 1/16" = 1'-0"

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DATE: 07/07/2024

**Dimension**  
ARCHITECTS

DALLAS, TEXAS 75248  
TEL: 972.270.3800  
FAX: 972.270.3758

RENOVATIONS TO  
**UMPHREY LEE ELEMENTARY SCHOOL**  
7808 RACINE DR., DALLAS, TEXAS 75232.

Date: 07/07/2024  
Revised:  
Project No. 2245  
File Name:  
Sheet Title: FIRST FLOOR FINISH PLAN-NEW

Sheet No.  
**A2.62**  
Sheet 34 Of 45



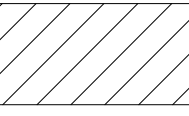
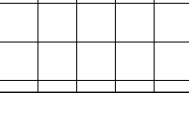

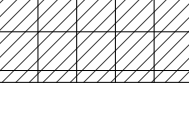
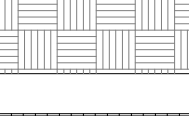
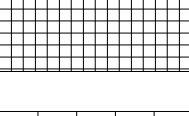
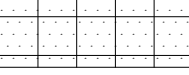
GENERAL NOTES:

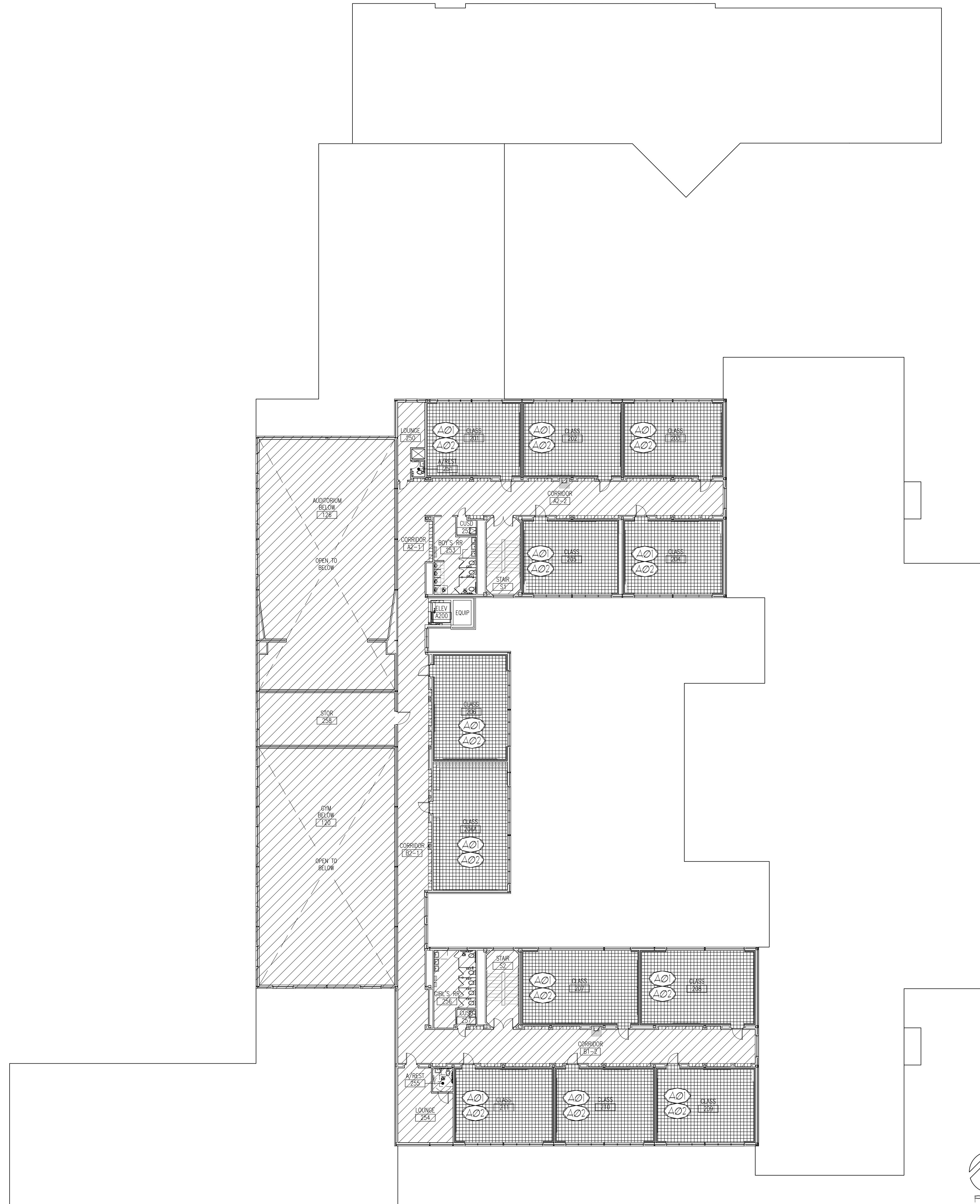
1. REPLACE EXISTING CARPET, VINYL COMPOSITE TILE, TO ASSIGNED CLASSROOMS
2. REF. ROOM FINISH SCHEDULE SHEET A6.00 FOR MORE INFO.

ALTERNATE SCOPE NEW F.F.PLAN KEY NOTES:

- (A01) NEW VINYL COMPOSITE TILE (VCT) IN THE ROOMS INDICATED, UNDER ALTERNATE SCOPE REFER TO FINISH SCHEDULE.
- (A02) NEW BASE. REFER TO FINISH SCHEDULE.
- (A03) NEW CARPET IN THE ROOMS INDICATED, UNDER ALTERNATE SCOPE REFER TO FINISH SCHEDULE.

FINISH FLOOR LEGEND:

-  NOT IN SCOPE OF WORK EXISTING FLOORING TO REMAIN.
-  F1- NEW VCT FLOORING COLOR-COOL WHITE BASE COLOR
-  F2- NEW VCT FLOORING COLOR-RUBY RED ACCENT COLOR
-  F3- NEW VCT FLOORING COLOR-COLOR BLACK ACCENT COLOR
-  F4- NEW CARPET TILE FLOORING
-  F5- NEW CERAMIC TILE FLOORING
-  F6- NEW VCT TILE FLOORING-SLIP RESISTANT



01

SECOND FLOOR FINISH PLAN - NEW  
SCALE: 1/16" = 1'-0"

07/07/2024 - 100% CONSTRUCTION DOCUMENTS - ISSUED FOR PERMIT AND CONSTRUCTION



DATE: 07/07/2024



RENOVATIONS TO  
**UMPHREY LEE ELEMENTARY SCHOOL**  
7808 RACINE DR., DALLAS, TEXAS 75232.

Date: 07/07/2024

Revised:

Project No. 2245

File Name:

Sheet Title:  
SECOND FLOOR FINISH PLAN-NEW

Sheet No.

**A2.63**

Sheet 35 Of 45

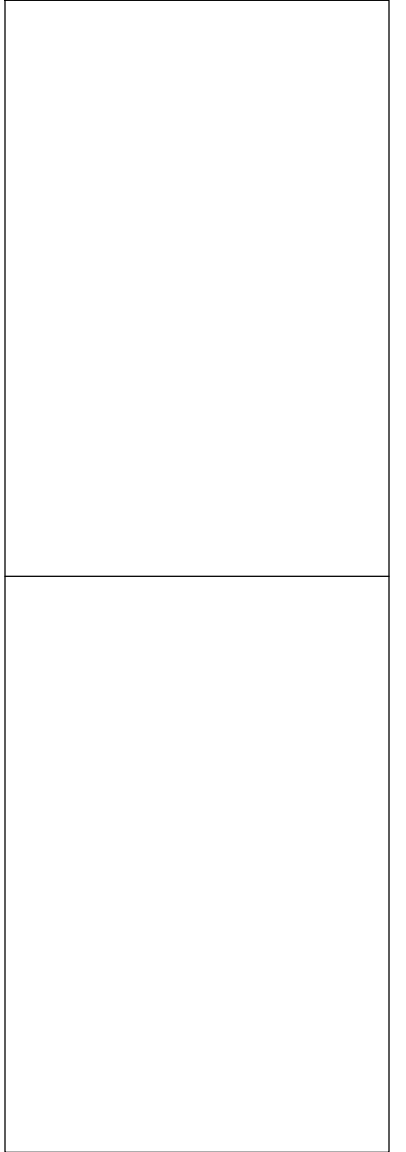


**GENERAL NOTES:**

1. PATCH AND REPAIR ALL EXTERIOR DAMAGED STUCCO SURFACES, PREPARE TO RECEIVE NEW PAINT.
2. ALL EXISTING EXTERIOR SURFACES WITH VISIBLE MOLD MILDEW AND STAINS TO BE WASHED BY USING METHODS AS MENTIONED IN SPECS.
3. REFER TO SHEET A112 AND A113 FOR ADDITIONAL INFORMATION ON EXTERIOR FACADE WORK.
4. REFER TO NEW ELEVATIONS 4 PREPARE SURFACES TO RECEIVE NEW FINISHES.

**LEGEND:**

 AREA TO BE DEMOED



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DATE: 07/07/2024

**Dimensions**  
 ARCHITECTS  
 DALLAS, TEXAS 75248  
 TEL: 214.270.8800  
 FAX: 214.270.8758  
 6005 101 ST. SUITE 405  
 DALLAS, TEXAS 75248

RENOVATIONS TO  
**UMPHREY LEE ELEMENTARY SCHOOL**  
 7808 RACINE DR., DALLAS, TEXAS 75232

Date: 07/07/2024

Revised:

Project No. 2245

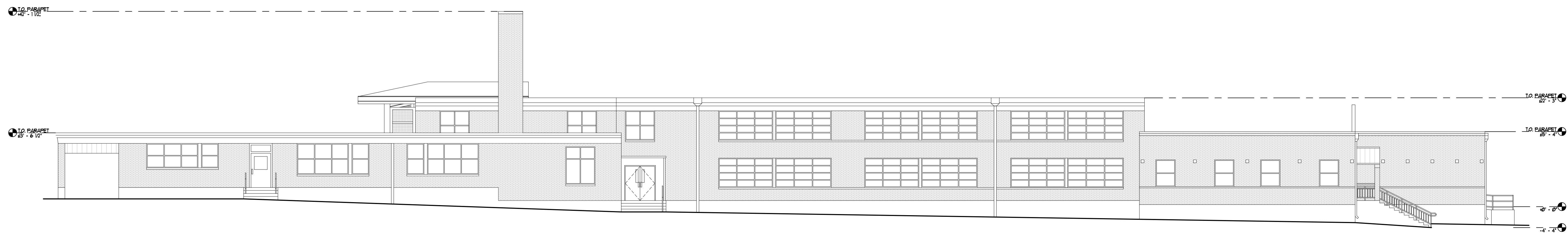
File Name:

Sheet Title: EXTERIOR ELEVATIONS-DEMO

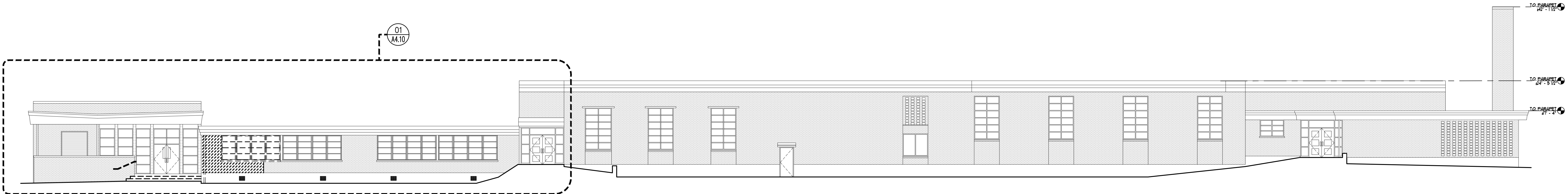
Sheet No.

**A4.00**

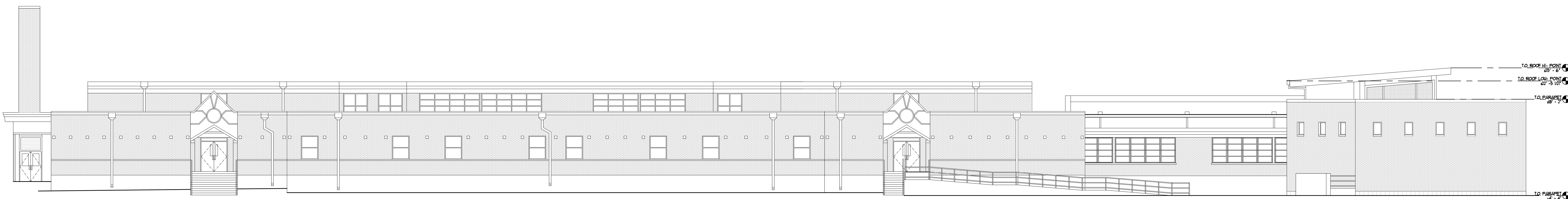
Sheet 36 Of 45



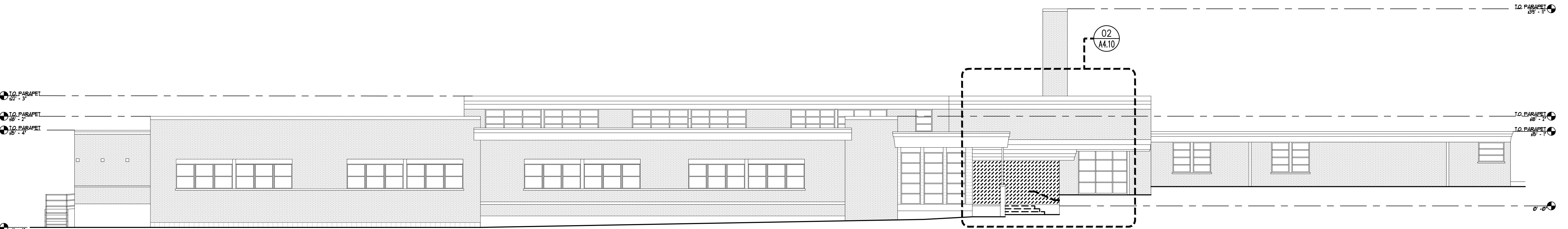
**01 SOUTH ELEVATION-DEMO**  
SCALE: 3/32" = 1'-0"



**02 WEST ELEVATION-DEMO**  
SCALE: 3/32" = 1'-0"



**03 EAST ELEVATION-DEMO**  
SCALE: 3/32" = 1'-0"



**04 NORTH ELEVATION-DEMO**  
SCALE: 3/32" = 1'-0"



**ELEVATION-DEMO KEYNOTES:**

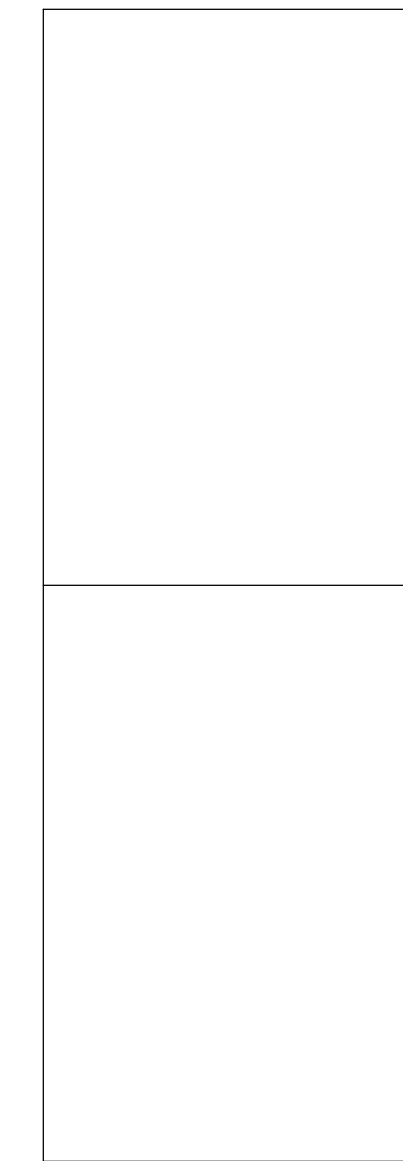
- ① REMOVE PORTION OF MASONRY WALL AS SHOWN.
- ② REMOVE EXISTING WALL SYSTEM, PROTECT OVERHEAD BEAM/ HEADERS, DURING DEMOLITION.
- ③ REMOVE EXISTING WINDOW SYSTEM, PREPARE TO BE INFILLED
- ④ REMOVE EXISTING HANDRAILS & BRACKETS, FILL IN HOLES IN WALLS/ GROUND.
- ⑤ REMOVE PORTION OF CONCRETE STEPS AND PREPARE SURFACE FOR NEW LANDING AND STEPS.
- ⑥ REMOVE EXISTING DOWNSPOUT FOR RELOCATION
- ⑦ EXISTING CROSSVENTS TO REMAIN
- ⑧ PROTECT EXISTING CROSSVENT SPACE FOR RE-USE DURING NEW CONCRETE WORK, TO REMAIN FUNCTIONAL.

**ELEVATION-DEMO GENERAL NOTES:**

- 1. ALL DIMENSIONS AND CONDITIONS TO BE FIELD VERIFIED AND CONFIRMED BY CONTRACTOR PRIOR TO START OF DEMOLITION.
- 2. EXISTING WALLS IDENTIFIED TO GET NEW PAINT SURFACES SHALL BE SCRAPPED, PRIMED, CLEANED AND PREPARED TO RECEIVE NEW PAINT.
- 3. COORDINATE WITH DISD FOR STORAGE OF ALL REMOVED ITEMS OF VALUE TO DISD.
- 4. REFER TO MEP DRAWINGS FOR FURTHER DEMOLITION NOTES
- 5. BUILDING MUST STAY DRY AND SECURE DURING DEMOLITION AND NEW CONSTRUCTION.

**LEGEND:**

 AREA TO BE DEMOED



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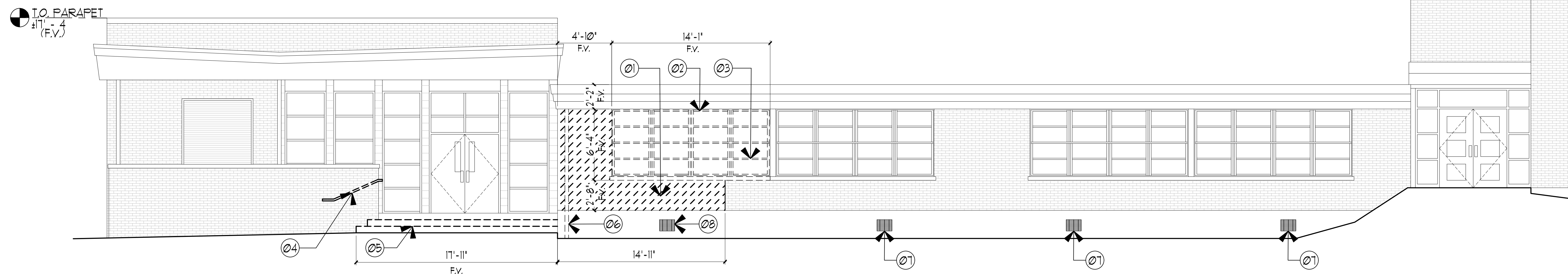


**Dimension**  
 ARCHITECTS  
 6505 151<sup>ST</sup> Fwy, Suite 405  
 Dallas, TX 75244  
 TEL: 214.270.8800  
 FAX: 214.270.8758

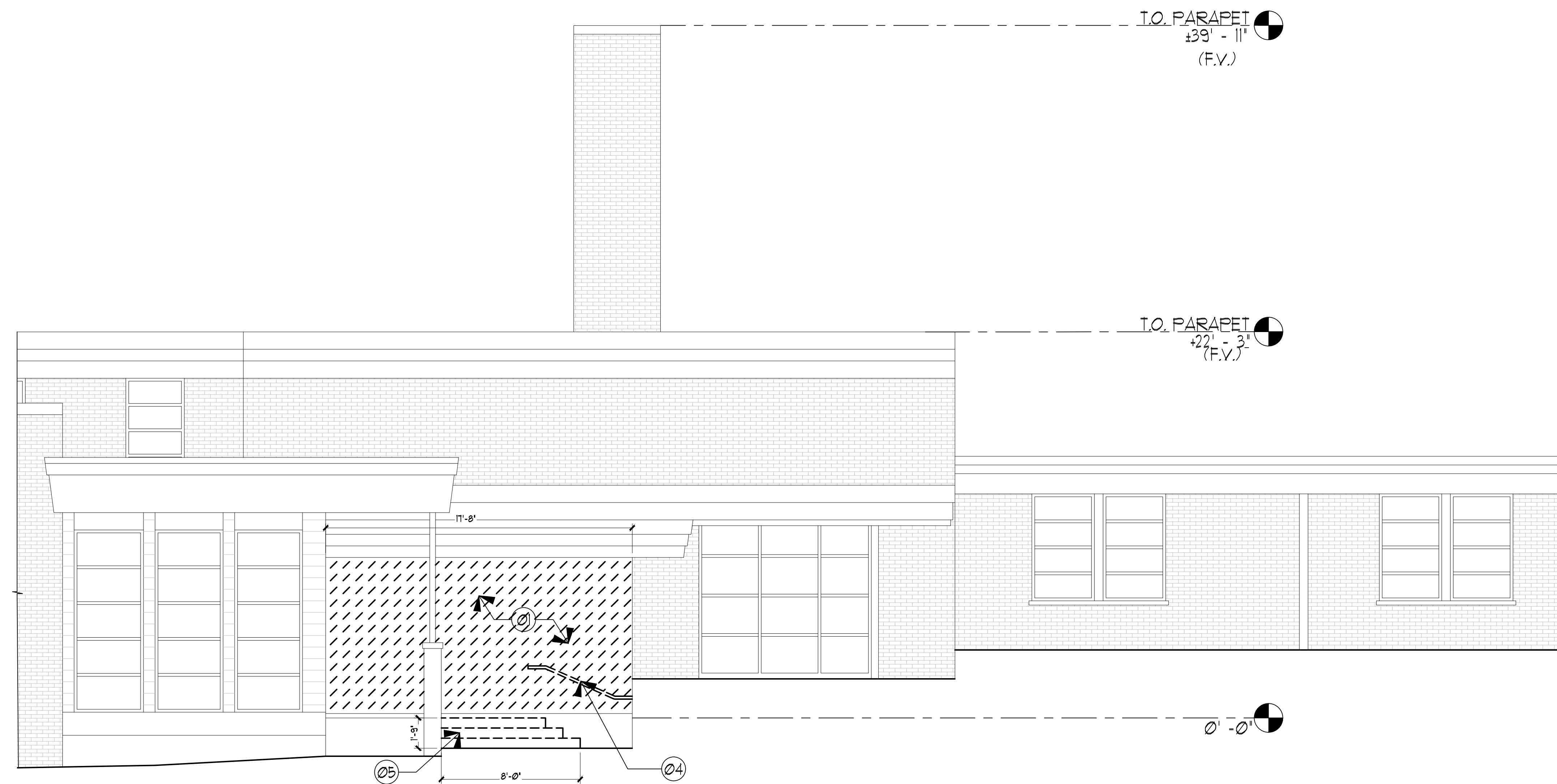
RENOVATIONS TO  
**UMPHREY LEE ELEMENTARY SCHOOL**  
 7808 RACINE DR., DALLAS, TEXAS 75232.

Date: 07/07/2024  
 Revised:  
 Project No. 2245  
 File Name:  
 Sheet Title:  
 ENLARGED EXT. ELEVS-DEMO

Sheet No.  
**A4.10**  
 Sheet 37 Of 45



② WEST ELEVATION-DEMO  
 SCALE: 1/4" = 1'-0"



① NORTH ELEVATION-DEMO  
 SCALE: 1/4" = 1'-0"

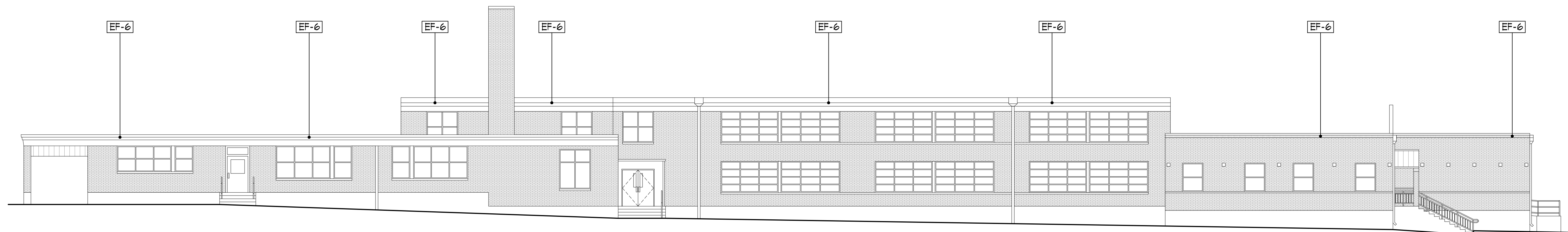


EXTERIOR FINISH SCHEDULE

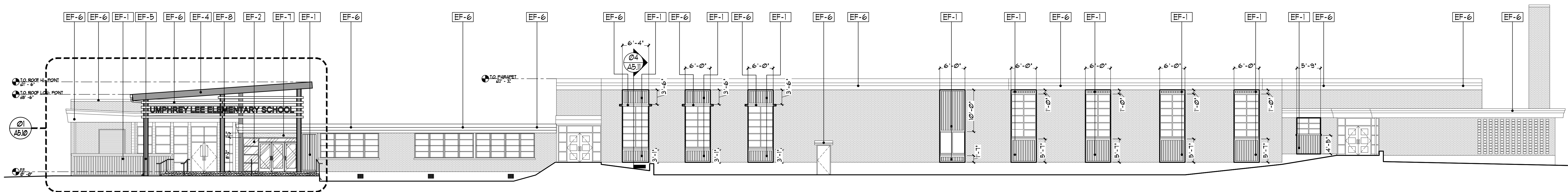
CODE	MATERIAL	MANUFACTURER	COLOR	REMARKS
EF-1	METAL PANEL	BERRIDGE	DEEP RED	HR-16 WALL PANEL
EF-2	STOREFRONT	YKK AP	CLEAR ANNOXIDIZED	
EF-3	METAL LOUVERS	-	PAINTED EF-6	
EF-4	METAL CANOPY	BERRIDGE	CITYSCAPE	TEE PANEL
EF-5	EXTERIOR PAINT	SHERWIN WILLIAMS	SW6594-POINSETTIA	
EF-6	EXTERIOR PAINT	SHERWIN WILLIAMS	SW6255-MORNING FOG	
EF-7	STUCCO	PORTLAND CEMENT PLASTER	MATCH SW6255-MORNING FOG	SAND FINISH
EF-8	METAL TRUSS	-	SW6594-POINSETTIA	SCHOOL LETTERING

GENERAL NOTES:

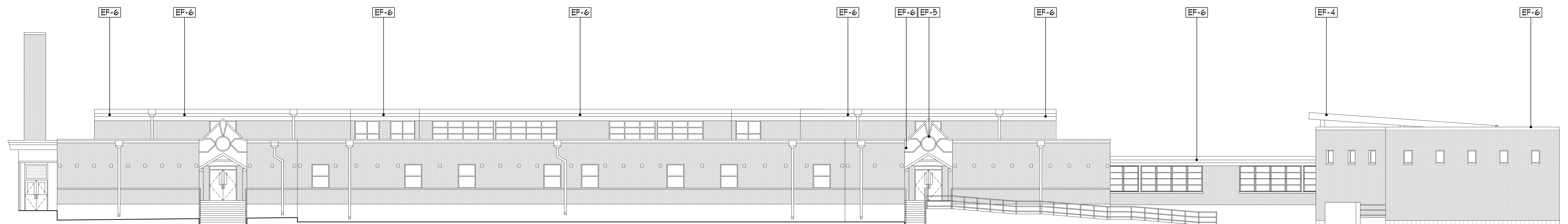
- PATCH AND REPAIR ALL EXTERIOR DAMAGED STUCCO SURFACES. PROVIDE NEW PAINT.
- ALL EXISTING EXTERIOR SURFACES WITH VISIBLE MOLD MILDEW AND STAINS TO BE WASHED BY USING METHODS AS MENTIONED IN SPECS.
- REFER TO SHEET A12 AND A13 FOR ADDITIONAL INFORMATION ON EXTERIOR FACADE WORK.
- ALL EXISTING EXTERIOR PREVIOUSLY PAINTED SURFACES INCLUDING STUCCO, EXTERIOR DOORS, HANDRAILS, METAL AWNINGS AND CANOPIES TO BE PAINTED NEW.
- FIELD VERIFY ALL DIMENSIONS. EXISTING BLOCK TO BE FULLY COVERED. CONTACT ARCHITECT IF DIFFERENT THAN SHOWN.



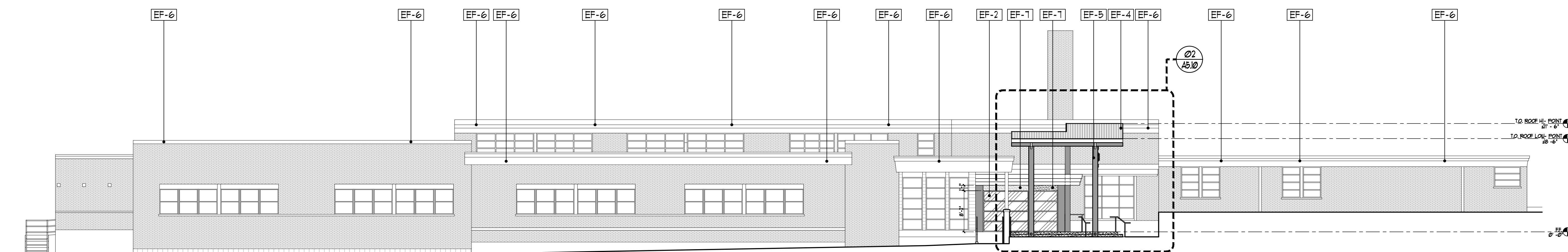
01 SOUTH ELEVATION-NEW  
SCALE: 3/32" = 1'-0"



02 WEST ELEVATION-NEW  
SCALE: 3/32" = 1'-0"



03 EAST ELEVATION-NEW  
SCALE: 3/32" = 1'-0"



04 NORTH ELEVATION-NEW  
SCALE: 3/32" = 1'-0"

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 FAX: 972.270.8758

RENOVATIONS TO  
**UMPHREY LEE ELEMENTARY SCHOOL**  
 7808 RACINE DR.,  
 DALLAS, TEXAS 75232

Date: 07/07/2024  
 Revised:  
 Project No. 2245  
 File Name:  
 Sheet Title: EXTERIOR ELEVATIONS-NEW

Sheet No.  
**A5.00**  
 Sheet 38 Of 45

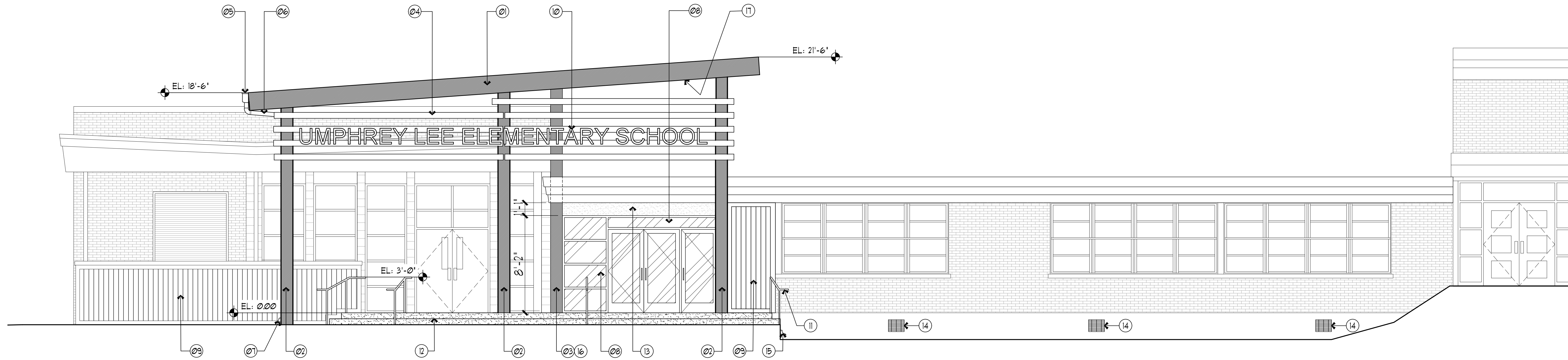


**ELEVATION KEY NOTES:**

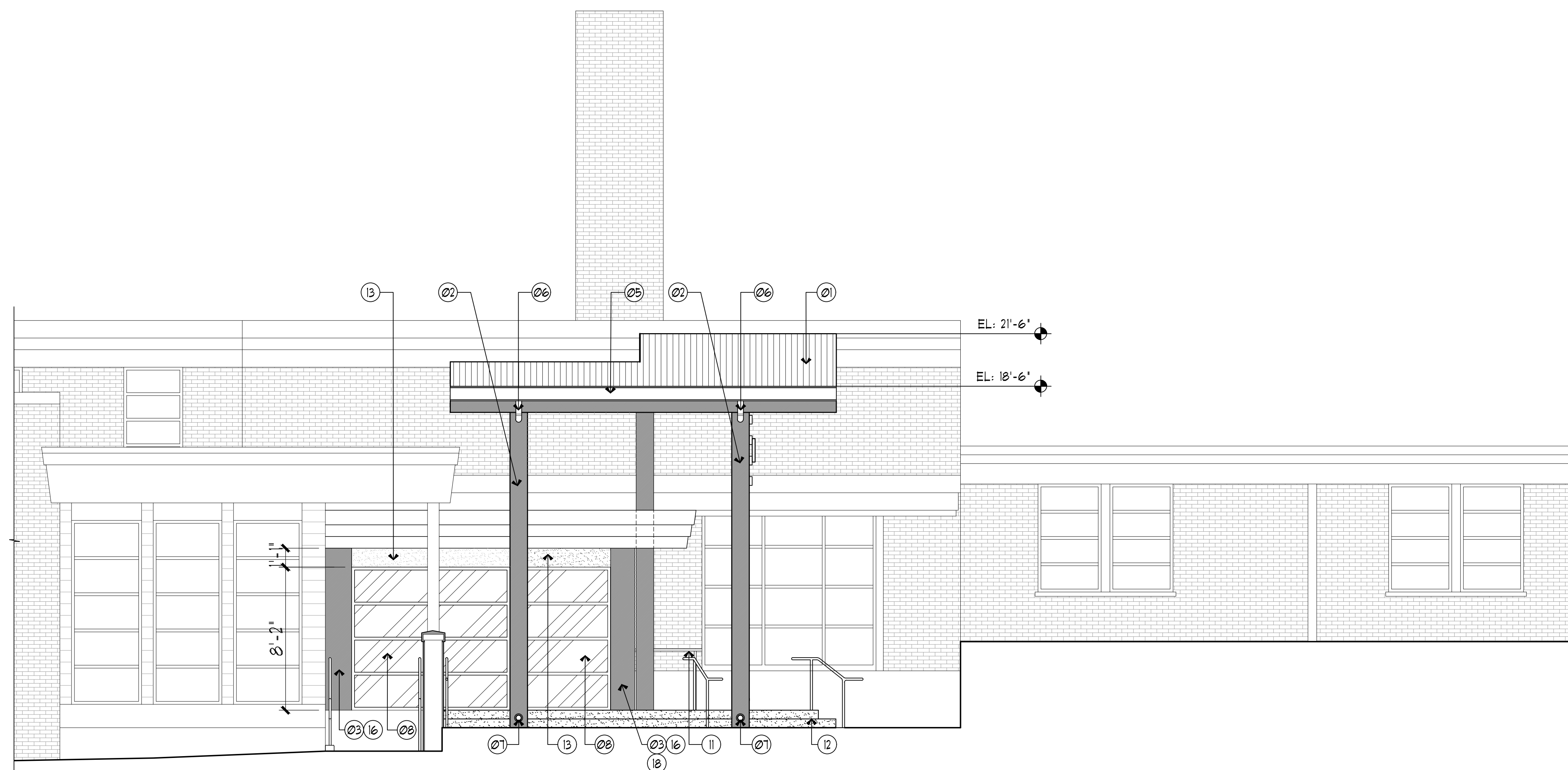
- ① NEW METAL CANOPY WITH STANDING SEAM METAL ROOF, REFER TO STRUCTURAL.
- ② NEW PRE-FINISHED COLUMN ROUND WRAP FOR WIDE FLANGE STEEL COLUMN.
- ③ NEW COLUMN, REFER TO STRUCTURAL.
- ④ PROPOSED METAL TRELLIS, PAINTED. REF. STRUCTURAL.
- ⑤ NEW 8' PRE-FINISHED METAL GUTTER, COLOR TO MATCH STANDING SEAM METAL ROOF.
- ⑥ NEW 6" PRE-FINISHED METAL DOWNSPOUT, COLOR TO MATCH STANDING SEAM METAL ROOF.
- ⑦ NEW INTERNAL DOWNSPOUT DRAIN PIPE, DAYLIGHT AT BASE OF COLUMN WRAP WITH NOZZLE, SHEET FLOW TO INGROUND STROM DRAIN.
- ⑧ NEW 8'-2" FT. HIGH ALUMINUM STOREFRONT AS SCHEDULED.
- ⑨ PREFINISHED METAL WALL PANELS, REF. TO SPECS AND FINISH SCHEDULE.
- ⑩ NEW 16" SCHOOL NAME LETTERING, ATTACH TO TRELLIS, PAINTED SW 6594 POINSETTIA.
- ⑪ NEW METAL RAILING PAINTED, TYPICAL.
- ⑫ NEW CONCRETE STEPS.
- ⑬ NEW STUCCO FINISH AT STOREFRONT, REFER TO FINISH SCHEDULE.
- ⑭ EXISTING CROSSVENTS
- ⑮ NEW INTERNAL DOWNSPOUT DRAIN PIPE, DAYLIGHT AT BASE OF CONCRETE STAIRS WITH NOZZLE, SHEET FLOW TO INGROUND STROM DRAIN.
- ⑯ WRAP NEW COLUMN W/ BRAKE METAL TO MATCH STOREFRONT
- ⑰ NEW METAL SOFFIT PANEL, COLOR EF-4
- ⑱ WRAP EXISTING BRICK WALL ALL FOUR SIDES W/ NEW METAL PANELS, REF. KEY NOTE ON SHEET A5.11.

**GENERAL NOTES:**

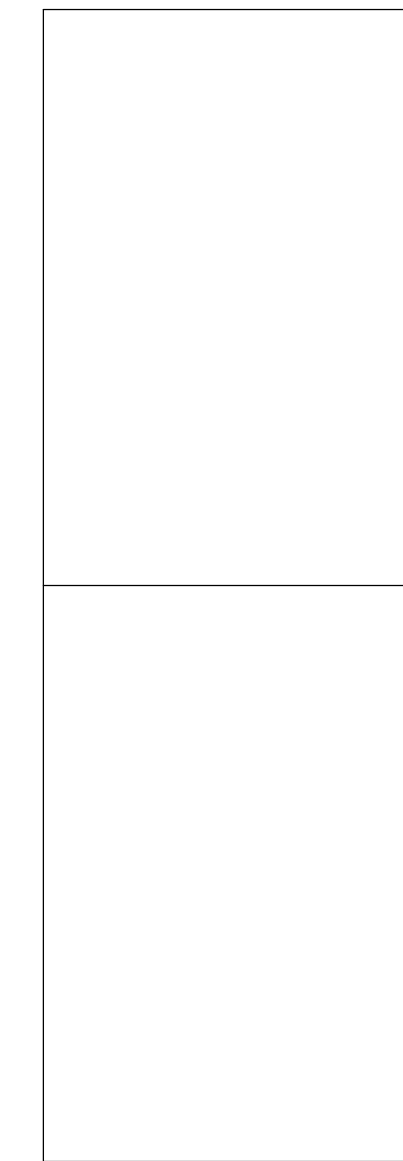
- 1. REFER TO SHEET A6.00 FOR NEW EXTERIOR FINISH SCHEDULE



② WEST ELEVATION-NEW  
SCALE: 1/4" = 1'-0"



① NORTH ELEVATION-NEW  
SCALE: 1/4" = 1'-0"



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**Dimensions**  
 ARCHITECTS  
 DALLAS, TEXAS 75248  
 TEL: 972.270.8800  
 FAX: 972.270.8758

RENOVATIONS TO  
**UMPHREY LEE ELEMENTARY SCHOOL**  
 7808 RACINE DR.,  
 DALLAS, TEXAS 75232

Date: 07/07/2024  
 Revised:  
 Project No. 2245  
 File Name:  
 Sheet Title:  
 ENLARGED EXT. ELEVS.-NEW

Sheet No.  
**A5.10**  
 Sheet 39 Of 45

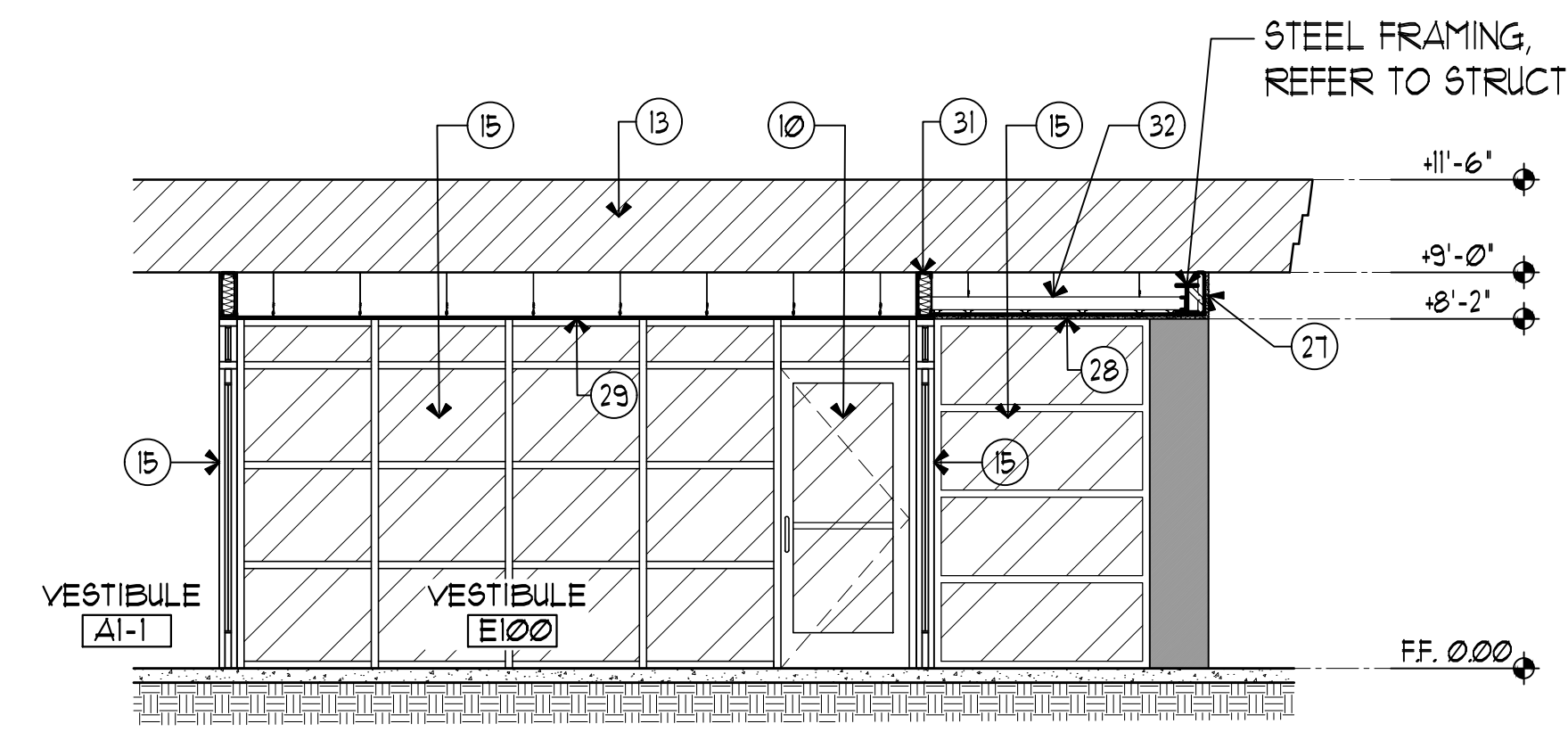


**GENERAL NOTES:**

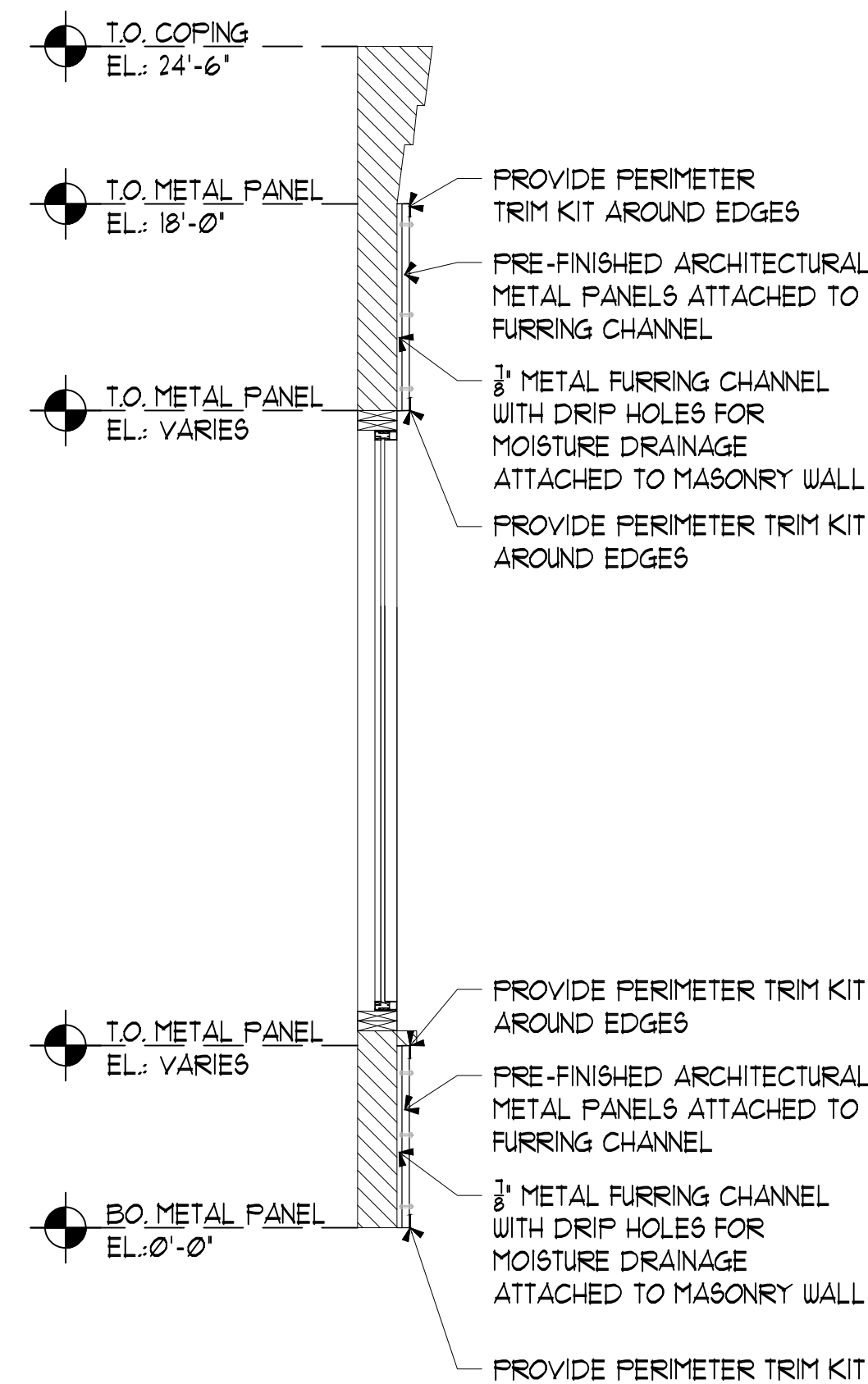
- REFER TO SHEET A6.00 FOR NEW EXTERIOR FINISH SCHEDULE

**KEY NOTES:**

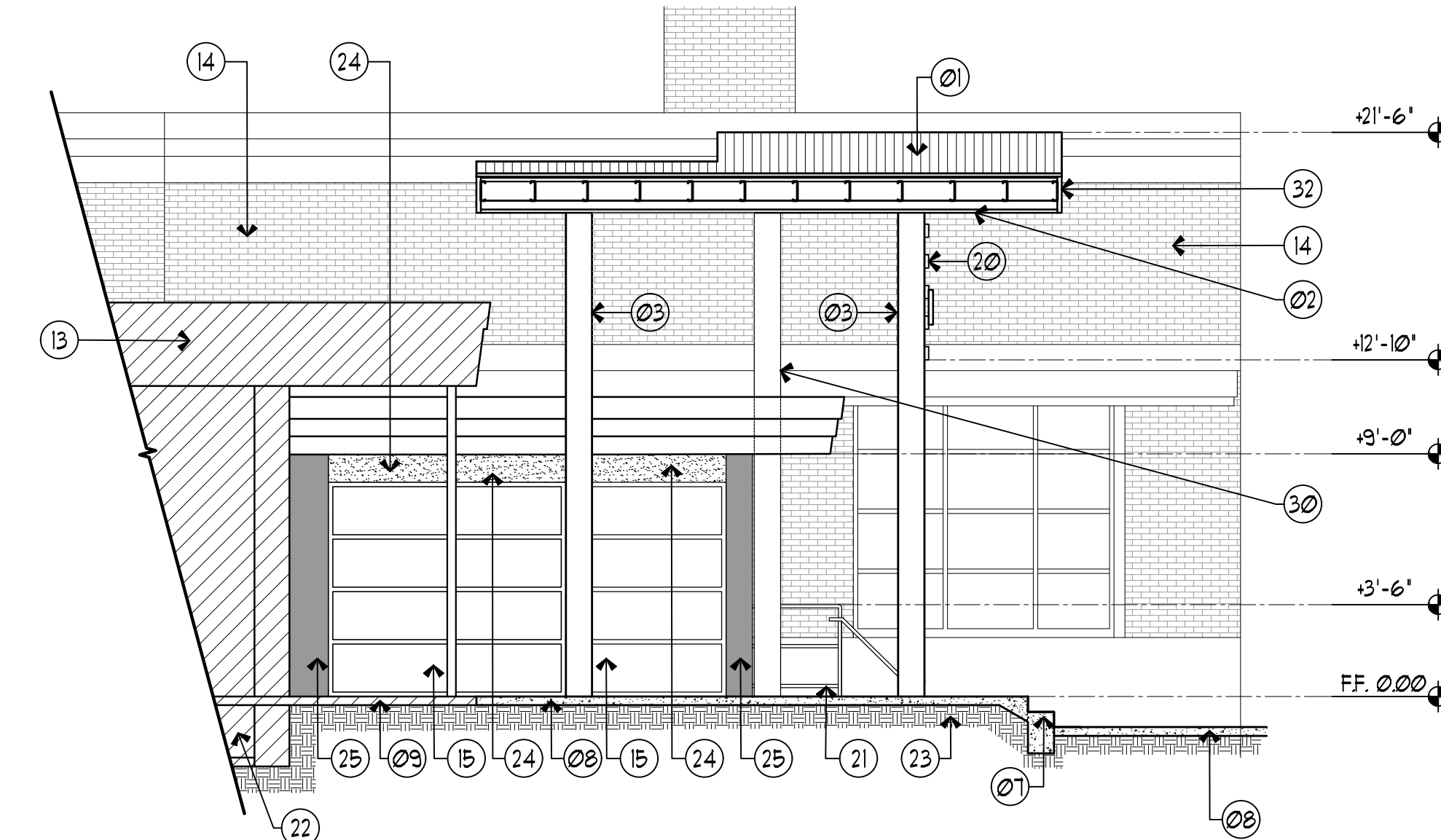
- NEW METAL CANOPY WITH STANDING SEAM METAL ROOF, REFER TO STRUCTURAL.
- NEW CANOPY SOFFIT METAL PANELS, PROVIDED PERIMETER VENTING STRIP / PANEL KIDS, REF. SPECS
- NEW PRE-FINISHED COLUMN ROUND WRAP FOR WIDE FLANGE STEEL COLUMN, REFER TO STRUCTURAL.
- NEW PRE-FINISHED GUTTER ASSEMBLY.
- NEW INTERNAL DOWNSPOUT DRAIN PIPE, DAYLIGHT AT BASE OF COLUMN WRAP, WITH NOZZLE, SHEET FLOW TO INGROUND STORM DRAIN.
- NEW PREFINISHED METAL PANELS.
- NEW CONCRETE STEPS, REFER TO STRUCTURAL.
- NEW CONCRETE SLAB, REFER TO STRUCTURAL.
- EXISTING CONCRETE SLAB TO REMAIN.
- NEW DOOR AS SCHEDULED.
- NEW RECEPTION COUNTER SEE MILLWORK.
- EXISTING WALL, NEW TEXTURE AND PAINT.
- EXISTING ROOF / ROOF STRUCTURE TO REMAIN.
- EXISTING BUILDING BEYOND NOT TO DISTURB.
- NEW STOREFRONT AS SCHEDULED.
- EXISTING ROOF DRAIN TO REMAIN.
- NEW REROUTED DOWNSPOUT, REFER TO MEP.
- NEW DOWNSPOUT TO DRAIN TOWARDS SOUTH OF STEPS TO OPEN SOIL.
- VENT VOID SPACE BEYOND.
- PROPOSED SHADE LOUVER METAL, TYPICAL.
- NEW STEEL RAILING, PAINTED, REF. SPECS. FOR INFO.
- EXISTING CRAWL SPACE TO REMAIN.
- COMPACTED FILL, REFER TO STRUCTURAL, TYP.
- NEW STUCCO FINISH ABOVE STOREFRONT, REFER TO FINISH SCHEDULE
- WRAP NEW COLUMN W/ BRAKE METAL TO MATCH STOREFRONT
- INTERNAL ROOF DAYLIGHT
- 1/8" CEMENT PLASTER ON SELF-FURRING METAL LATH, OVER MOISTURE BARRIER, ON 5/8" DENGLASS SHEATHING, TYP.
- NEW 1/8" CEMENT PLASTER ON SELF-FURRING METAL LATH, OVER MOISTURE BARRIER, ON 5/8" EXTERIOR GYPSUM BOARD CEILING, 5 3/8" M.S. @ 16" O.C. RUNNERS, HAT CHANNELS @ 16" O.C. AS SHOWN. PROVIDE HANGER WIRES AS REQUIRED.
- NEW ACOUSTICAL CEILING SYSTEM, SEE SHEET A2.41
- PENETRATE EXISTING ROOF, TO ALLOW NEW STRUCTURAL COLUMN INSTALL FOR NEW CANOPY. FLASH & SEAL PERIMETER OF PENETRATION, MAKE WATER PROOF.
- NEW STUD HEADER WITH R-21 INSULATION PROVIDE MESH FOR KEEPING IN PLACE/ SECURING TO STUDS.
- NEW PRE-FINISHED METAL PANEL BY WALL AND ROOF PANEL MANUFACTURE. COLOR SAME AS ROOF.



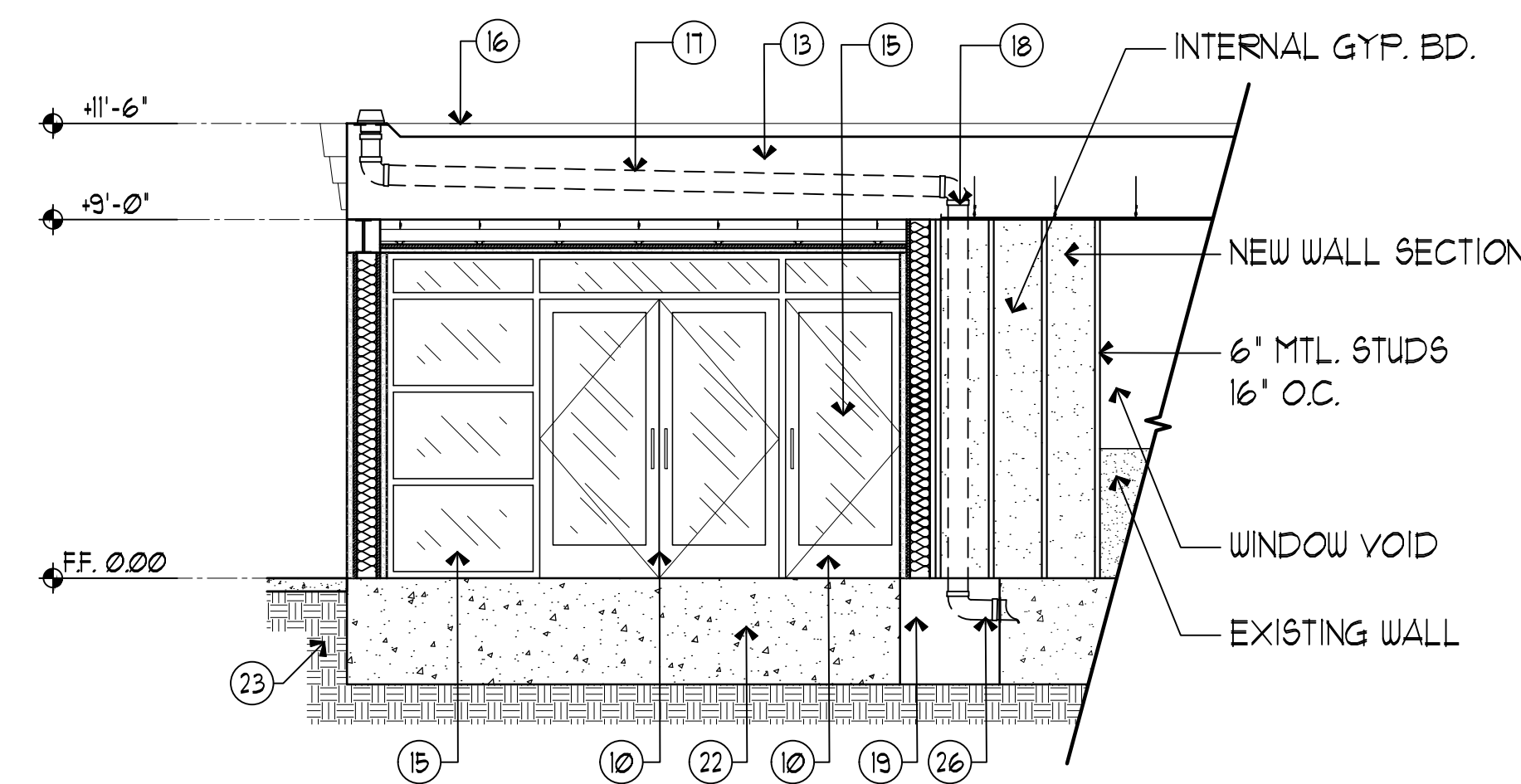
**05 BUILDING SECTION**  
SCALE: 1/4" = 1'-0"



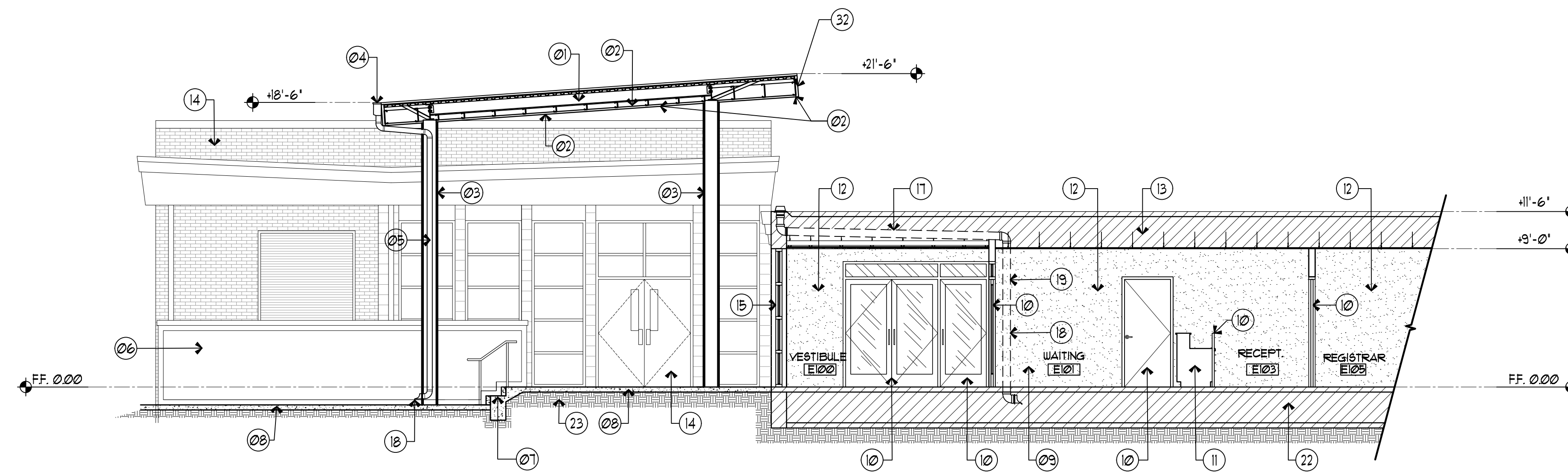
**04 WALL SECTION**  
SCALE: 3/8" = 1'-0"



**03 BUILDING SECTION**  
SCALE: 3/16" = 1'-0"



**02 BUILDING SECTION**  
SCALE: 1/4" = 1'-0"



**01 BUILDING SECTION**  
SCALE: 3/16" = 1'-0"

07/07/2024 - 100% CONSTRUCTION DOCUMENTS - ISSUED FOR PERMIT AND CONSTRUCTION



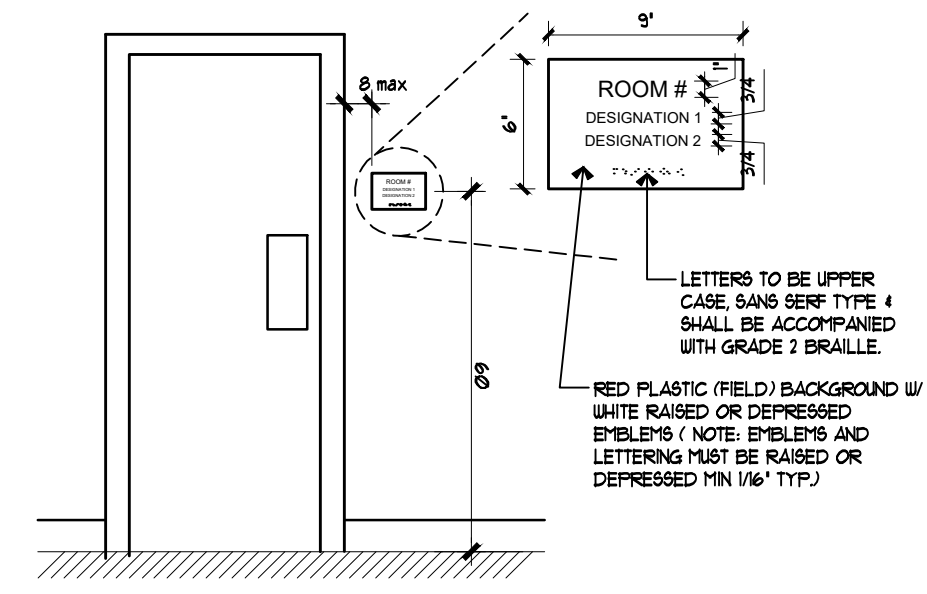
**Dimension**  
 ARCHITECTS  
 DALLAS, TEXAS 75245  
 TEL: 972.202.3758  
 FAX: 972.202.3759  
 505 W. WILLOW ST. SUITE 405  
 DALLAS, TEXAS 75201

RENOVATIONS TO  
**UMPHREY LEE ELEMENTARY SCHOOL**  
 7808 RACINE DR.,  
 DALLAS, TEXAS 75232.

Date: 07/07/2024  
 Revised:  
 Project No. 2245  
 File Name:  
 Sheet Title: Building & Wall Sections - New

Sheet No.  
**A5.11**  
 Sheet 40 Of 45





**05 DOOR DETAIL**  
SCALE: 1/2" = 1'-0"

ROOM FINISH SCHEDULE											
ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS				CEILING	HEIGHT	MILLWORK COUNT	REMARKS
				NORTH	SOUTH	EAST	WEST				
FIRST FLOOR											
E100	VESTIBULE	F1/F3	B1	-	-	W1	-	C1	9'-0"	-	
E101	WAITING	F4	B1	-	-	W1	W1	C1	9'-0"	-	
E102	PARENT	F4	B1	-	W1	W1	W1	C1	9'-0"	-	
E103	RECEPTION	F4	B1	W1	W1	W1	W1	C1	9'-0"	-	
E105	REGISTRAR	F4	B1	W1	W1	W1	W1	C1	9'-0"	-	
E106	SECRETARY	F4	B1	W1	W1	W1	W1	C1	9'-0"	-	
E107	VAULT	F4	B1	W1	W1	W1	W1	C1	9'-0"	-	
E108	PRINCIPAL	F4	B1	W1	W1	W1	W1	C1	9'-0"	-	
E109	CONFERENCE	F4	B1	W1	W1	W1	W1	C1	9'-0"	-	
E110	RESTROOM	F5	B2	-	W1, W2, W3, W2	-	-	C2	9'-0"	-	#4.
A1-1	CORRIDOR	F1, F2, F3, F6	B1	W1	W1	W1	W1	EXIST.	EXIST.	-	#1, #4 #2.
101	ASST. PRINCIPAL	F4	B1	W1	W1	W1	W1	C1	MATCH EXISTING	3	
101A	OFFICE	F4	B1	W1	W1	W1	W1	C1	MATCH EXISTING	-	
101B	MECHANICAL	-	-	W1	W1	W1	W1	EXIST.	EXIST.	-	#1, #4 #3.
101C	OFFICE	F4	B1	W1	W1	W1	W1	C1	MATCH EXISTING	-	
101D	STORE	-	-	W1	W1	W1	W1	EXIST.	EXIST.	-	#1, #4 #3.
102	SCIENCE LAB	F1	B1	W1	W1	W1	W1	C1	6" BELOW EXISTING	23	#5.
103	CLASSROOM	F1	B1	W1	W1	W1	W1	C1	6" BELOW EXISTING	12	#5.
104	CLASSROOM	F1	B1	W1	W1	W1	W1	C1	6" BELOW EXISTING	-	#5.
105	CLASSROOM	F1	B1	W1	W1	W1	W1	C1	6" BELOW EXISTING	-	#5.
106	CLASSROOM	F1	B1	W1	W1	W1	W1	C1	6" BELOW EXISTING	-	#5.
111	KINDERGARTEN	F1	B1	W1	W1	W1	W1	C1	6" BELOW EXISTING	12	#5.
111A	VESTIBULE	F1	B1	W1	W1	W1	W1	C1	6" BELOW EXISTING	-	#5.
112	KINDERGARTEN	F1	B1	W1	W1	W1	W1	C1	6" BELOW EXISTING	12	#5.
112A	VESTIBULE	F1	B1	W1	W1	W1	W1	C1	6" BELOW EXISTING	-	#5.
114	MUSIC	F1	B1	W1	W1	W1	W1	C1	6" BELOW EXISTING	12	#5.
115	COMPUTER LAB	F1	B1	W1	W1	W1	W1	C1	6" BELOW EXISTING	3	#5.
117	COMPUTER LAB	F1	B1	W1	W1	W1	W1	C1	6" BELOW EXISTING	-	#5.
119	RESTROOM	EXISTING	EXIST.	W2	W2	W2	W2	-	-	-	
132	WORKROOM	F1	B1	W1	W1	W1	W1	C1	MATCH EXISTING	10	
110	CLASSROOM	EXISTING	EXIST.	W1	W1	W1	W1	EXIST.	EXIST.	10	#1.
111	CLASSROOM	EXISTING	EXIST.	W1	W1	W1	W1	EXIST.	EXIST.	7	#1.
112	CLASSROOM	EXISTING	EXIST.	W1	W1	W1	W1	EXIST.	EXIST.	14	#1.
113	CLASSROOM	EXISTING	EXIST.	W1	W1	W1	W1	EXIST.	EXIST.	14	#1.
114	CLASSROOM	EXISTING	EXIST.	W1	W1	W1	W1	EXIST.	EXIST.	14	#1.
115	CLASSROOM	EXISTING	EXIST.	W1	W1	W1	W1	EXIST.	EXIST.	14	#1.
116	CLASSROOM	EXISTING	EXIST.	W1	W1	W1	W1	EXIST.	EXIST.	14	#1.
117	CLASSROOM	EXISTING	EXIST.	W1	W1	W1	W1	EXIST.	EXIST.	14	#1.
118	CLASSROOM	EXISTING	EXIST.	W1	W1	W1	W1	EXIST.	EXIST.	14	#1.
119	CLASSROOM	EXISTING	EXIST.	W1	W1	W1	W1	EXIST.	EXIST.	4	#1.
120	CLASSROOM	EXISTING	EXIST.	W1	W1	W1	W1	EXIST.	EXIST.	14	#1.
184	MEDIA	F4	B1	W2	W2	W2	W2	-	EXIST. TO REMAIN	-	#5.
190	COUNSELOR OFFICE	F4	B1	W1	W1	W1	W1	C1	6" BELOW EXISTING	-	
B1-1	CORRIDOR	F1, F2, F3, F6	B1	W1	W1	W1	W1	EXIST.	EXIST.	-	#1, #4 #2.
SECOND FLOOR											
201	CLASSROOM	F1	B1	W1	W1	W1	W1	C1	6" BELOW EXISTING	-	#5.
202	CLASSROOM	F1	B1	W1	W1	W1	W1	C1	6" BELOW EXISTING	-	#5.
203	CLASSROOM	F1	B1	W1	W1	W1	W1	C1	6" BELOW EXISTING	-	#5.
204	CLASSROOM	F1	B1	W1	W1	W1	W1	C1	6" BELOW EXISTING	-	#5.
205	CLASSROOM	F1	B1	W1	W1	W1	W1	C1	6" BELOW EXISTING	-	#5.
51	STAIRS	EXISTING	-	W1	W1	W1	W1	C1	6" BELOW EXISTING	-	#5.
206	CLASSROOM	F1	B1	W1	W1	W1	W1	C1	6" BELOW EXISTING	-	#5.
206A	CLASSROOM	F1	B1	W1	W1	W1	W1	C1	6" BELOW EXISTING	66	#5.
207	CLASSROOM	F1	B1	W1	W1	W1	W1	C1	6" BELOW EXISTING	-	#5.
208	CLASSROOM	F1	B1	W1	W1	W1	W1	C1	6" BELOW EXISTING	-	#5.
209	CLASSROOM	F1	B1	W1	W1	W1	W1	C1	6" BELOW EXISTING	-	#5.
210	CLASSROOM	F1	B1	W1	W1	W1	W1	C1	6" BELOW EXISTING	-	#5.
211	CLASSROOM	F1	B1	W1	W1	W1	W1	C1	6" BELOW EXISTING	-	#5.
52	STAIRS	EXISTING	-	W1	W1	W1	W1	C1	6" BELOW EXISTING	-	#5.
										TOTAL: 216	
REMARKS #1:											
1. PATCH AND REPAIR ALL DAMAGED WALLS AND FINISH WITH UI PAINT TO MATCH ADJACENT WALL AS NECESSARY.											
2. PAINT EXISTING CEILING OF THE CORRIDOR EXACT COLOR TO BE APPROVED BY ARCHITECT/PROJECT MANAGER.											
3. PATCH AND REPAIR CEILING AS REQUIRED.											
4. CEILING GYPSUM BOARD TO BE PAINTED AS PER SCHEDULE.											
5. FLOORING UNDER ALTERNATE SCOPE											

ALTERNATE NOTE:  
PROVIDE MISCELLANEOUS HARDWARE COUNT OF 20 EXTRA PULLS UNDER THE NEW ADA COMPLIANCE

**04 ROOM FINISH SCHEDULE**

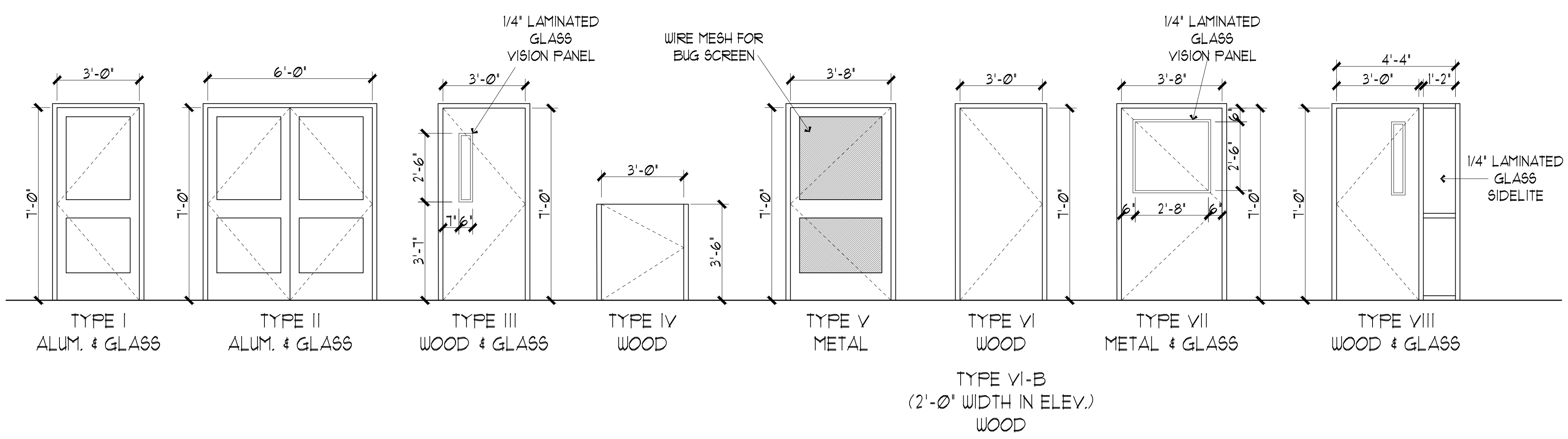
ROOM FINISHES CODES SCHEDULE						
	CODE	MATERIAL	MANUFACTURER	STYLE	COLOR	NOTES
FLOOR	F1	VCT	ARMSTRONG	12' x 12' IMPERIAL TEXTURE # 51093	COOL WHITE	
	F2	VCT	ARMSTRONG	12' x 12' IMPERIAL TEXTURE # 51534	RUBY RED	
	F3	VCT	ARMSTRONG	12' x 12' IMPERIAL TEXTURE # 51910	CLASSIC BLACK	
	F4	CARPET	EF CONTRACT	KINETEX 24 x 24 INTRIGUE # KITR	TANTALIZE #TR85	
	F5/B2	CERAMIC	DALTILE	6' x 6' DALTILE, 0063	DAUN DT	
	F6	VCT	ARMSTRONG	12' x 12' SAFETY ZONE # 51022	ROCKY ROAD	
BASE	B1	RUBBER	TARKETT	4' TALL x 1/8" THICK WITH TOE	*40 BLACK	
WALL	W1	PAINT	KELLY MOORE	OU221-1	SOFT SESAME	
	W2	PAINT	SHERWIN WILLIAMS	SW 6253	OLYMPUS WHITE	
CEILING	C1	FIBER	ARMSTRONG	24' x 24' x 5/8" FINE FIGURED #031	WHITE	
	C2	GYPSON BOARD	---	SW 6253	OLYMPUS WHITE	
WALL COVER	WC1	CERAMIC	DALTILE	6' x 6' DALTILE, 0090	BLACK	
	WC2	CERAMIC	DALTILE	6' x 6' DALTILE, K116	ICE GREY	
	WC3	CERAMIC	DALTILE	6' x 6' DALTILE, K116	VERMILLION	
METAL PANEL	EF-1	METAL PANEL	BERRIDGE	KYNAR 500	DEEP RED	
STOREFRONT	EF-2	ALUMINUM	YKK AP	* Y8N	CLEAR ANODIZED PLUS	
LOUVERS	EF-3	ALUMINUM	---	---	---	TO BE PAINTED WITH EF-6
METAL CANOPY	EF-4	METAL CANOPY	BERRIDGE	KYNAR 500	CITY SCAPE	
PAINT	EF-5	PAINT	SHERWIN WILLIAMS	SW6594	FOINSETTIA	
PAINT	EF-6	PAINT	SHERWIN WILLIAMS	SW6255	MORNING FOG	
LAMINATE	L1	LAMINATE	WILSONART	* T925-38	MONTICELLO MAPLE	
WOOD DOOR	WD1	VENEER	VT INDUSTRIES	RED OAK, #AL18	ALPINE	
COUNTERTOP	S1	LAMINATE	WILSONART	* D90-60-MATTE FINISH	NORTH SEA	

**03 MATERIAL SCHEDULE**  
SCALE: NTS

DOOR SCHEDULE													
MARK	SIZE	ROOM	TYPE	DOOR MTRL	DOOR FINISH	FRAME MTRL	FRAME FINISH	FRAME DETAIL NUMBERS			HW SET	FR	REMARKS
								HEAD	JAMB	THRESHOLD			
101	3'-0" x 7'-0"	101	III	S.C. WOOD	STAINED	HM.	PAINT	03/A6.10	08/A6.10	06/A6.10	551	-	
101C	EXISTING	101C	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	-	-	-	EXISTING	-	
121A	3'-8" x 7'-0"	121	V	METAL	PAINT	HM.	PAINT	-	-	-	D205PW	-	
121B	3'-8" x 7'-0"	121	VII	METAL	PAINT	HM.	PAINT	-	-	-	D205PW	-	
190	3'-0" x 7'-0"	190	VIII	S.C. WOOD	STAINED	HM.	PAINT	03/A6.10	08/A6.10	06/A6.10	551C	-	
E100A	3'-0" x 7'-0"	E100	I	ALUM/ GLASS	ANODIZED	ALUMINUM	ANODIZED	11/A6.10	01/A6.10	03/A6.10	CR15A	-	
E100B	(2) 3'-0" x 7'-0"	E100	II	ALUM/ GLASS	ANODIZED	ALUMINUM	ANODIZED	11/A6.10	01/A6.10	03/A6.10	DE114M	-	
E100C	3'-0" x 7'-0"	E100	I	ALUM/ GLASS	ANODIZED	ALUMINUM	ANODIZED	10/A6.10	01/A6.10	03/A6.10	CR11AV	-	
E100D	(2) 3'-0" x 7'-0"	E100	II	ALUM/ GLASS	ANODIZED	ALUMINUM	ANODIZED	10/A6.10	01/A6.10	03/A6.10	DE1104MV	-	
E100E	3'-0" x 7'-0"	E100	I	ALUM/ GLASS	ANODIZED	ALUMINUM	ANODIZED	10/A6.10	01/A6.10	03/A6.10	CR201A	-	
E101	3'-0" x 7'-0"	E101	III	S.C. WOOD	STAINED	HM.	PAINT	03/A6.10	08/A6.10	06/A6.10	CR201C	-	
E103	3'-0" x 3'-6"	E103	IV	S.C. WOOD	STAINED	WOOD	STAINED	-	-	-	4035X	-	
E105	3'-0" x 7'-0"	E105	I	ALUM/ GLASS	ANODIZED	ALUMINUM	ANODIZED	10/A6.10	01/A6.10	03/A6.10	C201AC	-	
E106	3'-0" x 7'-0"	E106	I	ALUM/ GLASS	ANODIZED	ALUMINUM	ANODIZED	10/A6.10	01/A6.10	03/A6.10	C201AC	-	
E107	2'-0" x 7'-0"	E107	VI-B	S.C. WOOD	STAINED	HM.	PAINT	03/A6.10	08/A6.10	06/A6.10	2035W	-	
E108	3'-0" x 7'-0"	E108	VIII	S.C. WOOD	STAINED	HM.	PAINT	03/A6.10	08/A6.10	06/A6.10	551	-	
E109	3'-0" x 7'-0"	E109	III	S.C. WOOD	STAINED	HM.	PAINT	03/A6.10	08/A6.10	06/A6.10	C201	-	
E110	3'-0" x 7'-0"	E110	VI	S.C. WOOD	STAINED	HM.	PAINT	03/A6.10	08/A6.10	06/A6.10	241	-	

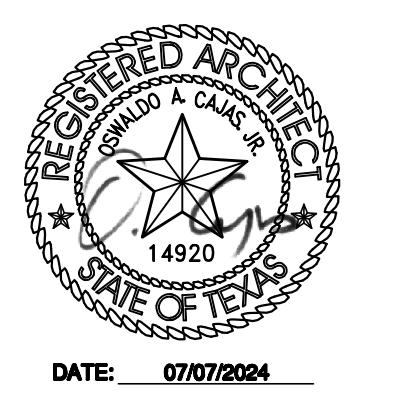
- GENERAL NOTES:
- MINIMUM ACOUSTICAL RATING OF STC 30.
  - G.C. TO COORDINATE EXTERIOR DOOR REPLACEMENT AND PROVIDE SECURITY AT OPENINGS DURING CONSTRUCTION.
  - PROVIDE NEW ACCESS CONTROL SYSTEM AND CARD READERS INFRASTRUCTURE, DOOR CONTACT, REFER TO TECHNOLOGY SHEETS FOR ADDITIONAL INFORMATION.
  - G.C. TO VERIFY ALL OPENING AND THROAT SIZES.
  - ALL NEW DOORS TO HAVE DOOR STOPS AND DOOR HOLD OPEN MECHANISM DEVICES.
  - NEW MAIN CORRIDOR DOORS, DOORS IN HIGH TRAFFIC AREAS AND EXTERIOR DOOR TO HAVE CONTINUOUS GEAR TYPE HINGE AS SPECIFIED.
  - ALL DOORS CONTROLLED BY CARD ACCESS TO HAVE ELECTRICAL HARDWARE AS SPECIFIED.
  - ALL EXISTING EXTERIOR DOORS AND FRAMES TO BE PAINTED NEW. REFER TO FINISH SCHEDULE FOR EXACT PAINT COLOR.

**02 DOOR SCHEDULE**



**01 DOOR TYPES**

07.07.2024, 100% CONSTRUCTION DOCUMENTS - ISSUED FOR PERMIT AND CONSTRUCTION



**Dimension**  
ARCHITECTS  
DALLAS, TEXAS 75248  
TEL: 214.270.3800  
FAX: 214.270.3758

RENOVATIONS TO  
**UMPHREY LEE ELEMENTARY SCHOOL**  
7808 RACINE DR., DALLAS, TEXAS 75232

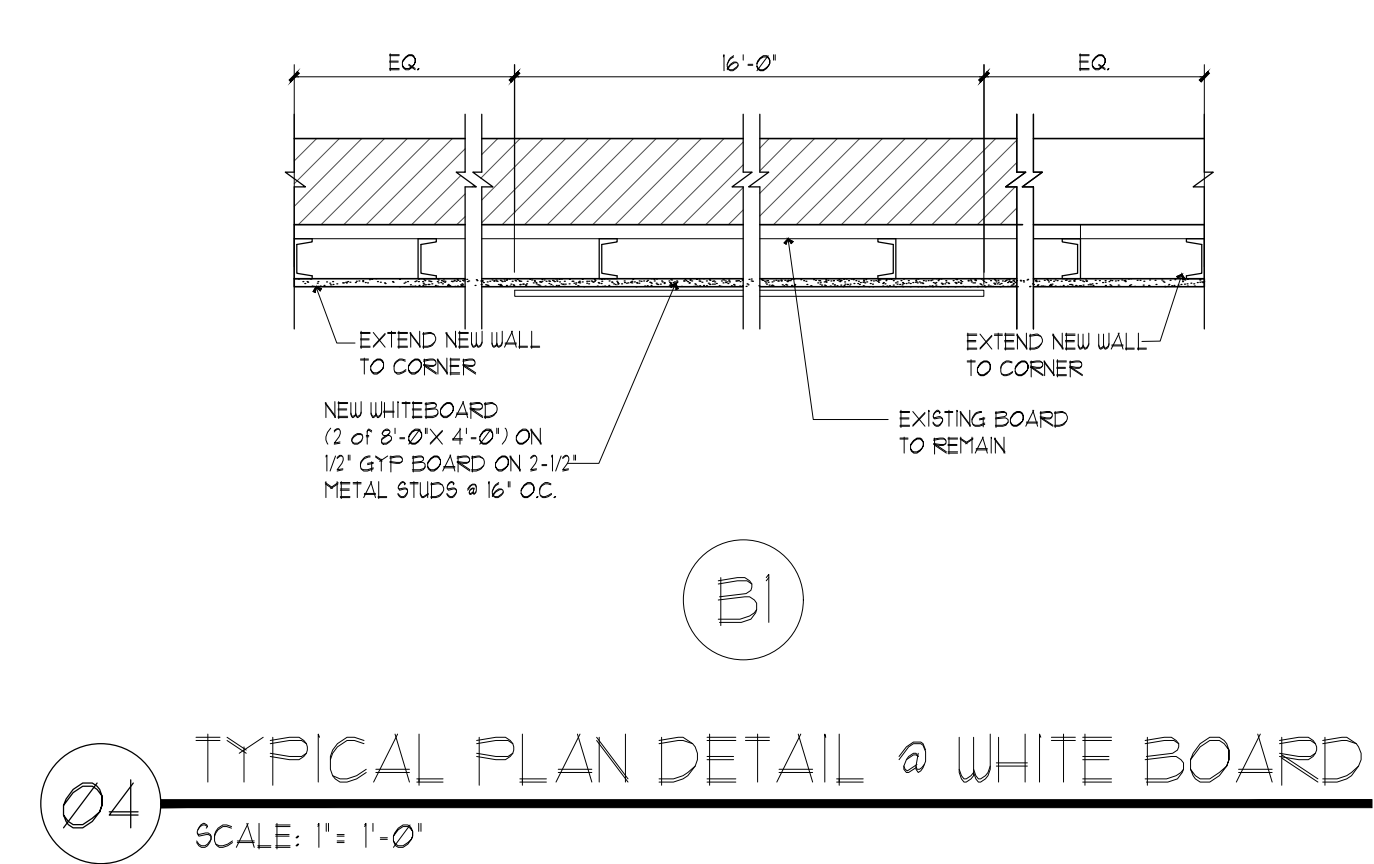
Date: 07/07/2024  
Revised:  
Project No. 2245  
File Name:  
Sheet Title: DOOR & ROOM SCHEDULE

Sheet No. **A6.00**  
Sheet 41 Of 45

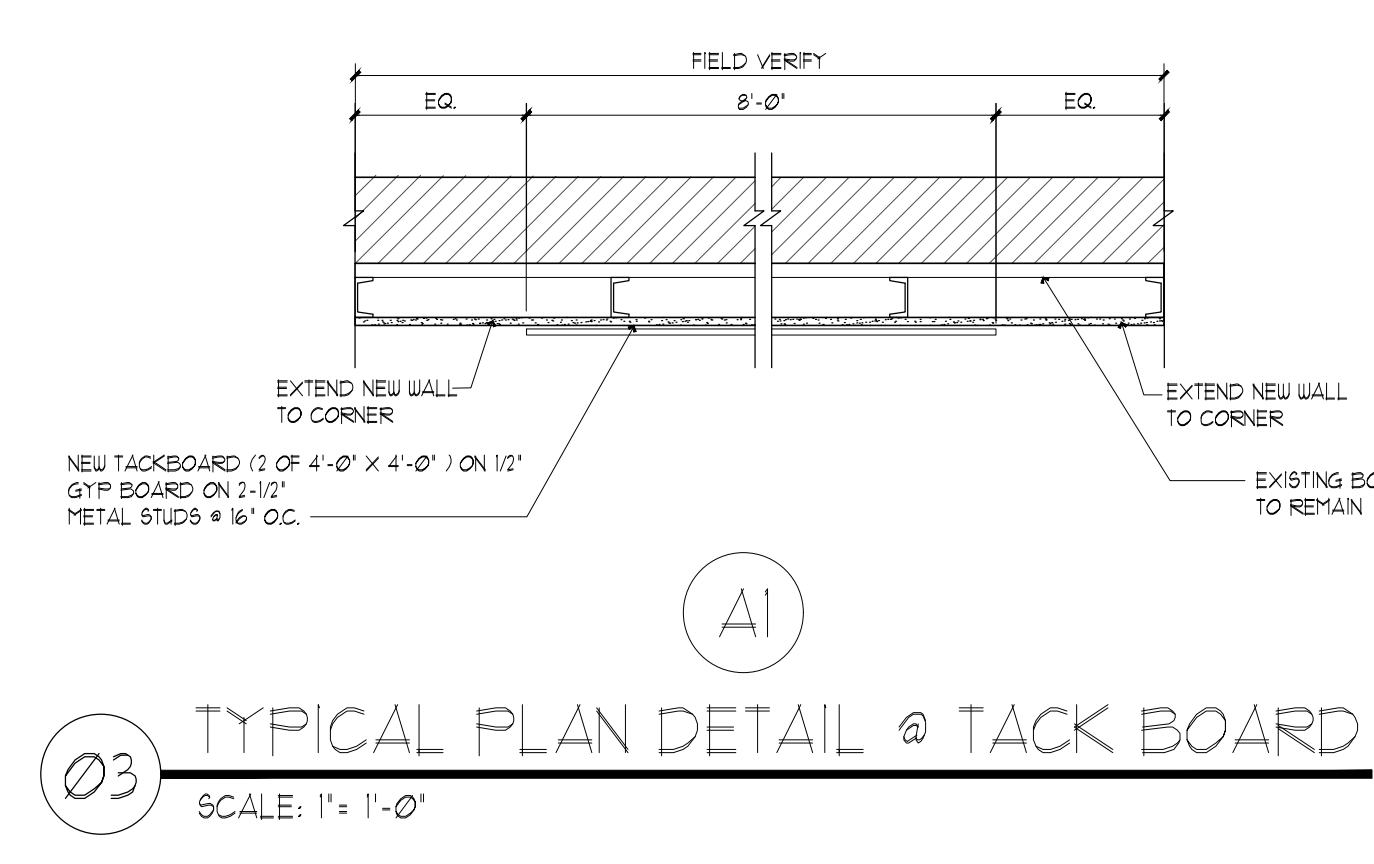




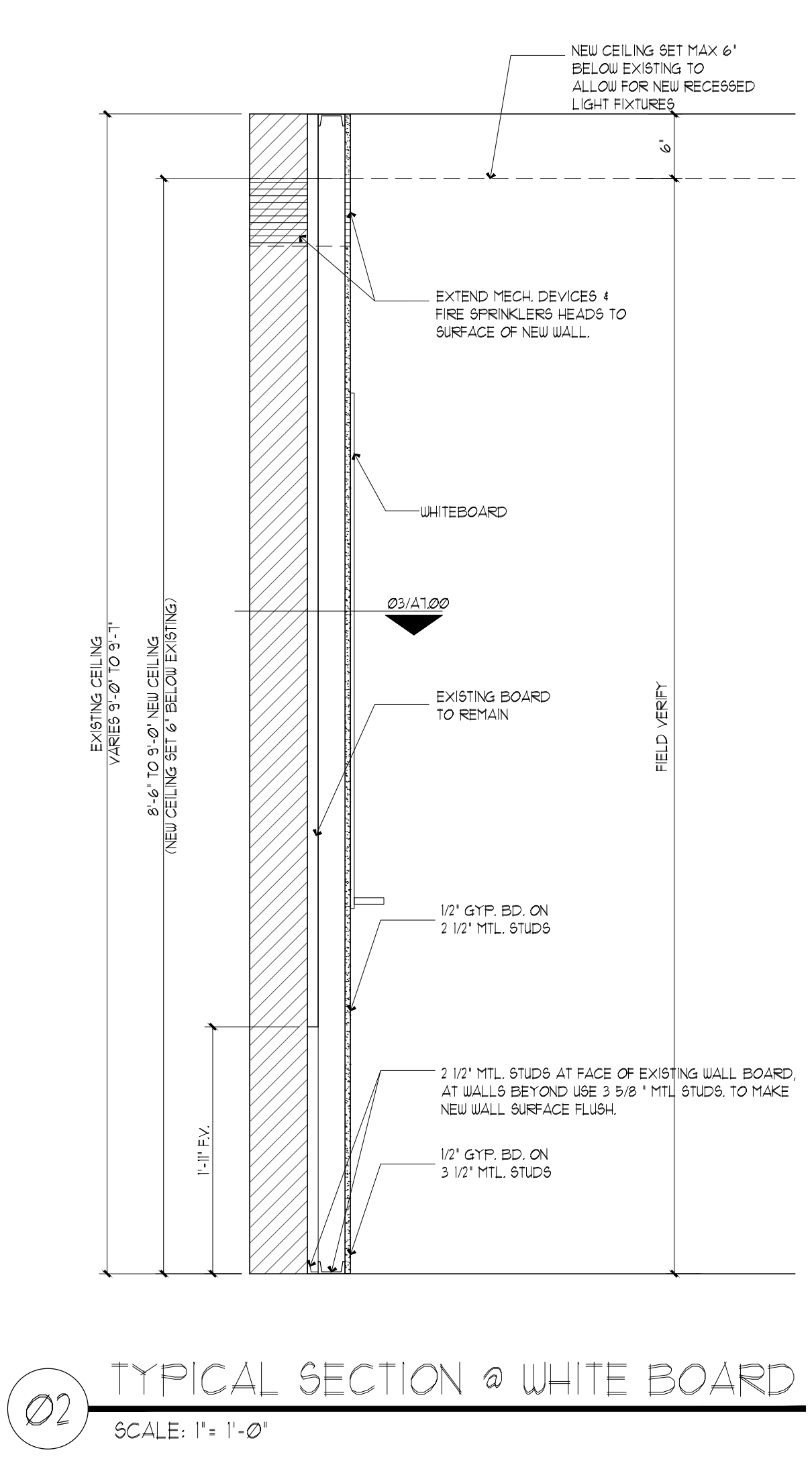




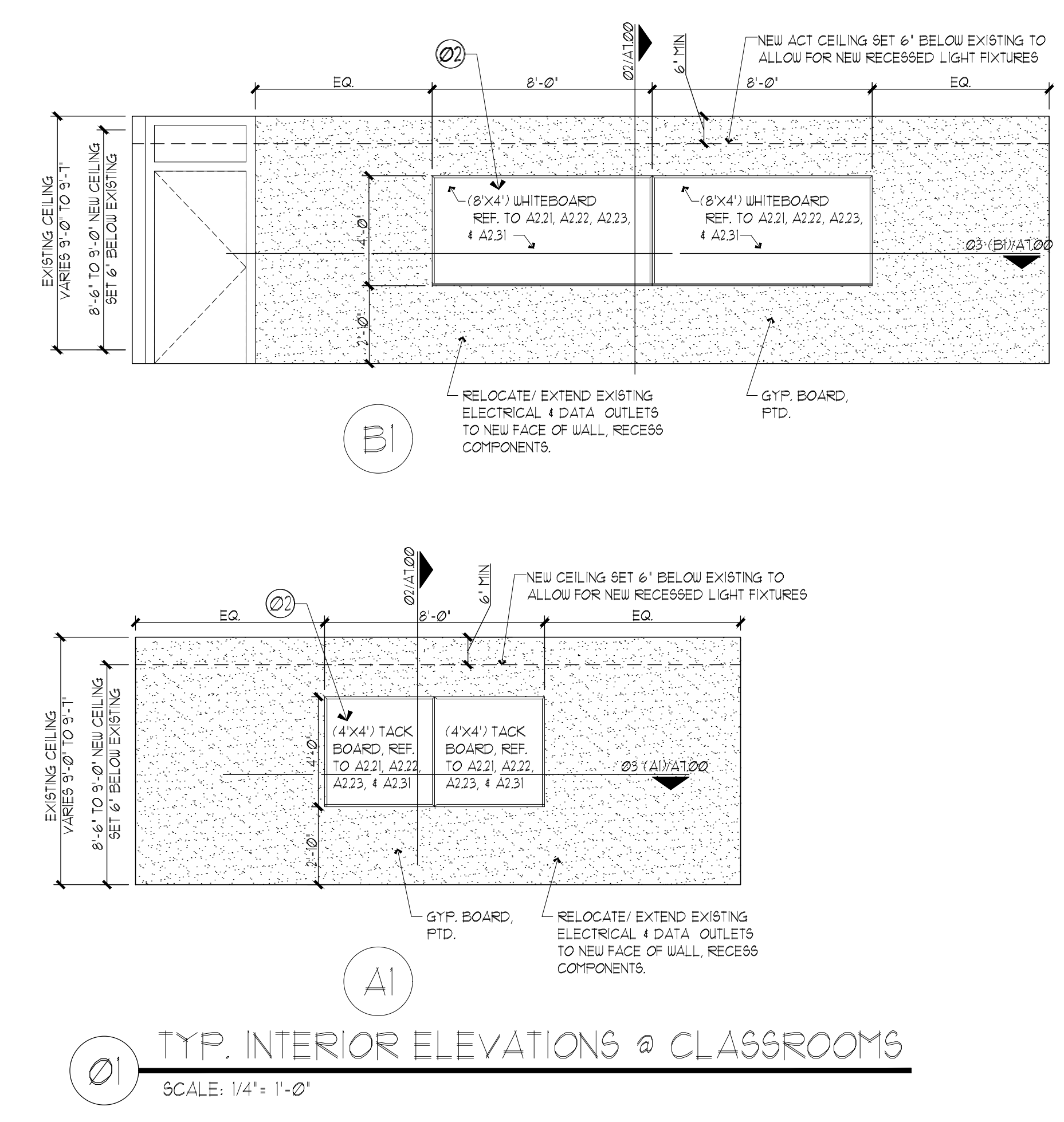
Ø4 TYPICAL PLAN DETAIL @ WHITE BOARD  
SCALE: 1" = 1'-0"



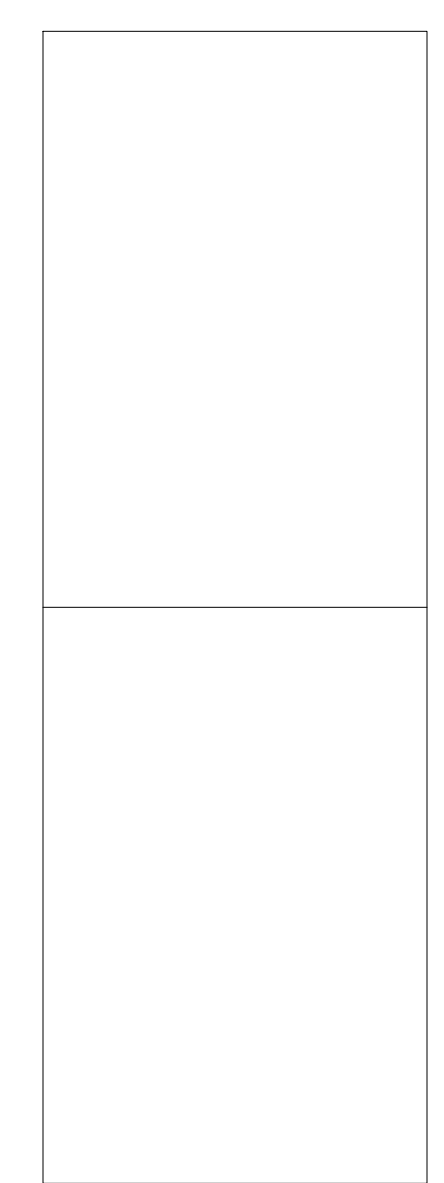
Ø3 TYPICAL PLAN DETAIL @ TACK BOARD  
SCALE: 1" = 1'-0"



Ø2 TYPICAL SECTION @ WHITE BOARD  
SCALE: 1" = 1'-0"



Ø1 TYP. INTERIOR ELEVATIONS @ CLASSROOMS  
SCALE: 1/4" = 1'-0"





### RESTROOM ACCESSORY SCHEDULE

CODE	QTY	DESCRIPTION	MANUFACTURER & MODEL #
A	1	MIRROR	BRADLEY WASHROOM CORP., 781-2436
B	1	42" GRAB BAR	BRADLEY WASHROOM CORP., 812-00142
C	1	36" GRAB BAR	BRADLEY WASHROOM CORP., 812-00136
D	1	18" GRAB BAR	BRADLEY WASHROOM CORP., 812-00118
E	1	PAPER TOWEL DISPENSER	BOBRICK B-2620
F	1	SOAP DISPENSER	BRADLEY WASHROOM CORP., 6562
G	1	TOILET PAPER DISPENSER	BRADLEY WASHROOM CORP. BDY 5241-50
H	1	SANITARY NAPKIN DISPOSAL	BOBRICK/ B-210
I	1	TOILET	AMERICAN STANDARD/ CADET 2386.012
J	1	LAVATORY	AMERICAN STANDARD/ LUCERNE 0356.015

### KEYNOTES:

- 01 DOOR AS SCHEDULED
- 02 4" WALL BASE AS SPECIFIED IN ROOM FINISH SCHEDULE ON SHEET A6.00, TYP.
- 03 WALL CERAMIC TILE AS SPECIFIED IN ROOM FINISH SCHEDULE ON SHEET A6.00, TYP.
- 04 TEXTURE AND PAINT AS SPECIFIED IN ROOM FINISH SCHEDULE ON SHEET A6.00, TYP.
- 05 ACCESSIBLE COUNTER
- 06 ALUMINUM STOREFRONT, REFER TO STOREFRONT TYPES ON SHEET A6.10
- 07 MILLWORK
- 08 NEW WALL
- 09 RR WALL TILE PATTERN, REFER TO B/A8.00
- 10 LOW HEIGHT WALL 3'-0" HIGH.
- 11 LOW HEIGHT WALL 3'-6" HIGH.
- 12 GC TO PROVIDE WOOD BLOCKING FOR THE INSTALLATION OF THE TELEVISION.
- 13 PROVIDE TERMINATION TILE AND SCHLUTER, TYP.

### GENERAL NOTES:

- 1. SEE SHEETS A01 & A02 FOR ADA COMPLIANCE.
- 2. REFER M. E. P. DRAWINGS FOR ADDITIONAL INFORMATION.
- 3. ALL FIXTURES AND EQUIPMENT TO BE OWNER APPROVED, CONTRACTOR INSTALLED.
- 4. GC TO MAKE SURE TO PROVIDE WOOD BLOCKING FOR THE INSTALLATIONS OF EQUIPMENTS.

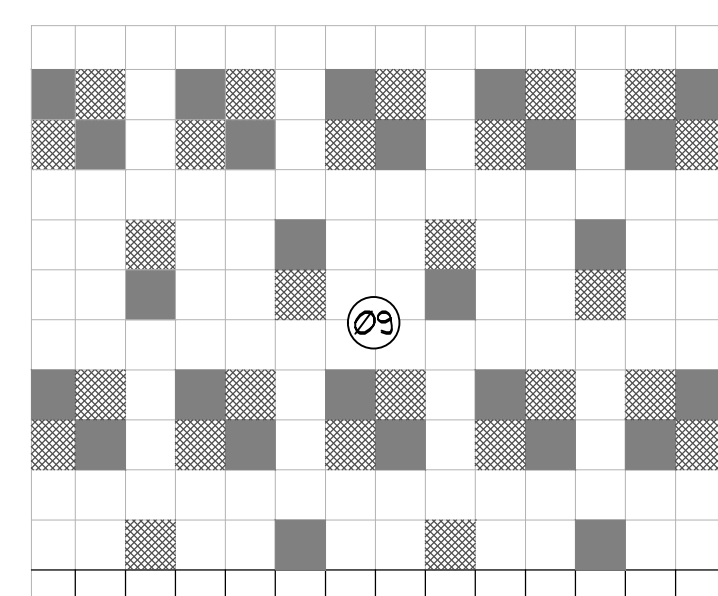
07/07/2024, 100% CONSTRUCTION DOCUMENTS - ISSUED FOR PERMIT AND CONSTRUCTION



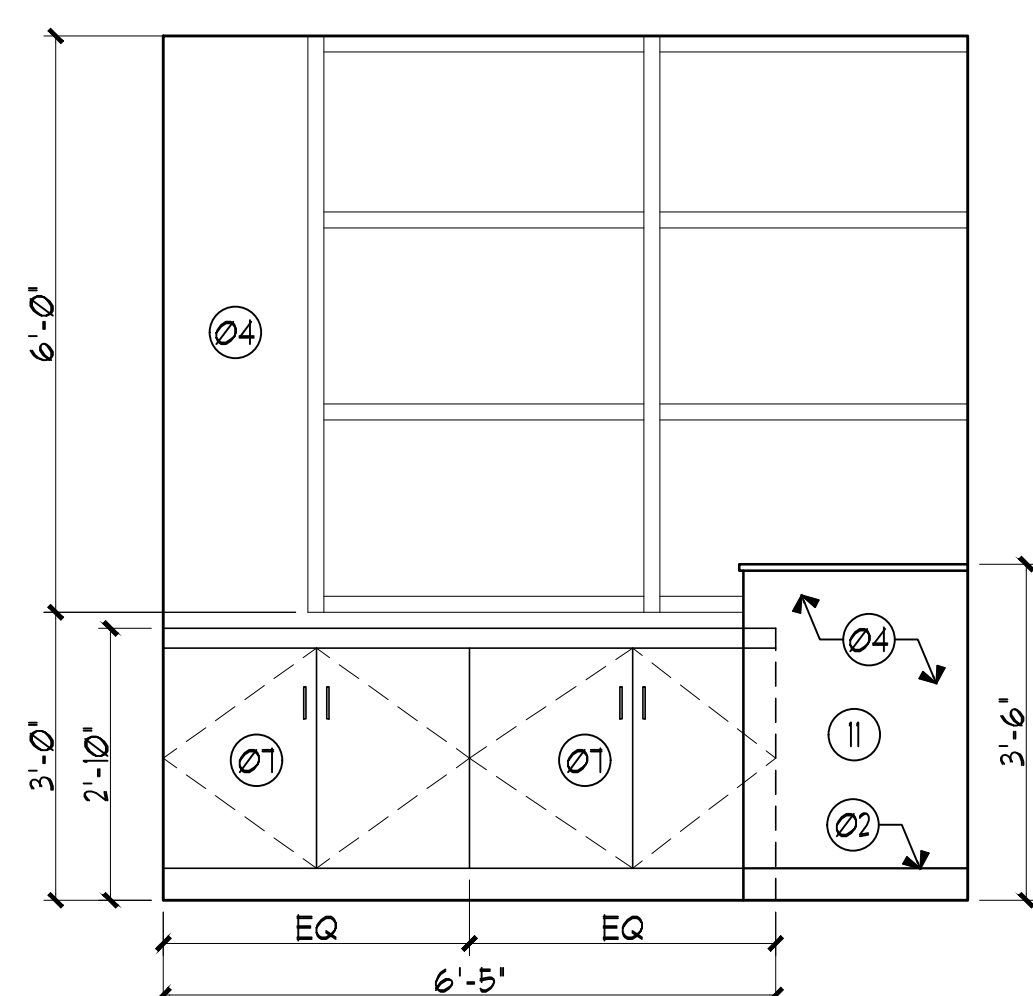
**Dimensions ARCHITECTS**  
 6505 151<sup>ST</sup> RWY. SUITE # 405  
 DALLAS, TEXAS 75248  
 TEL: 214.270.3800  
 FAX: 214.270.3758

RENOVATIONS TO  
**UMPHREY LEE ELEMENTARY SCHOOL**  
 7808 RACINE DR., DALLAS, TEXAS 75232

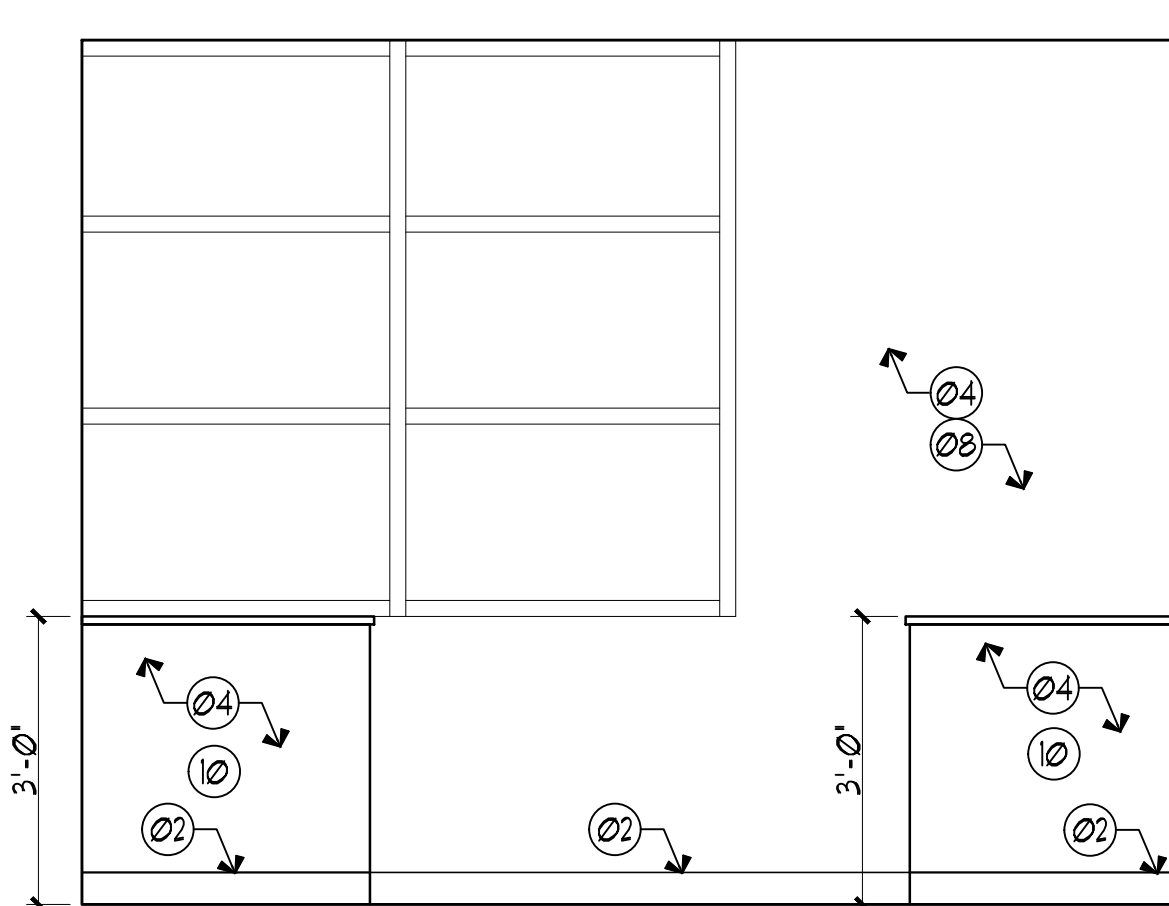
WC-3 WC-1



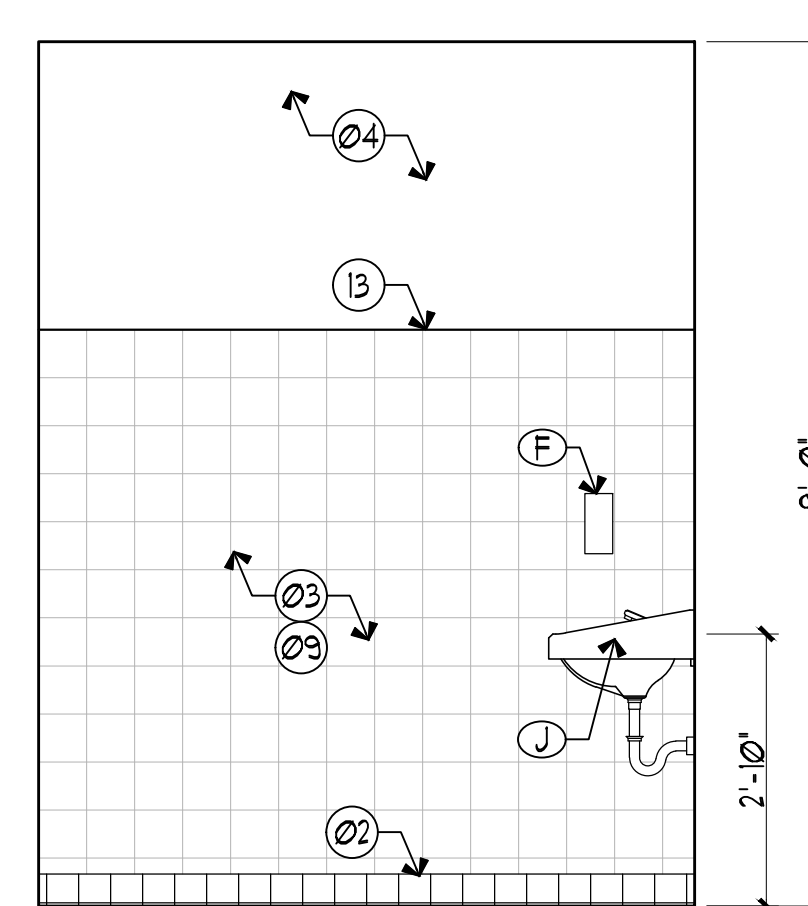
**13 RR WALL PATTERN (TYPICAL)**  
SCALE: 1/2" = 1'-0"



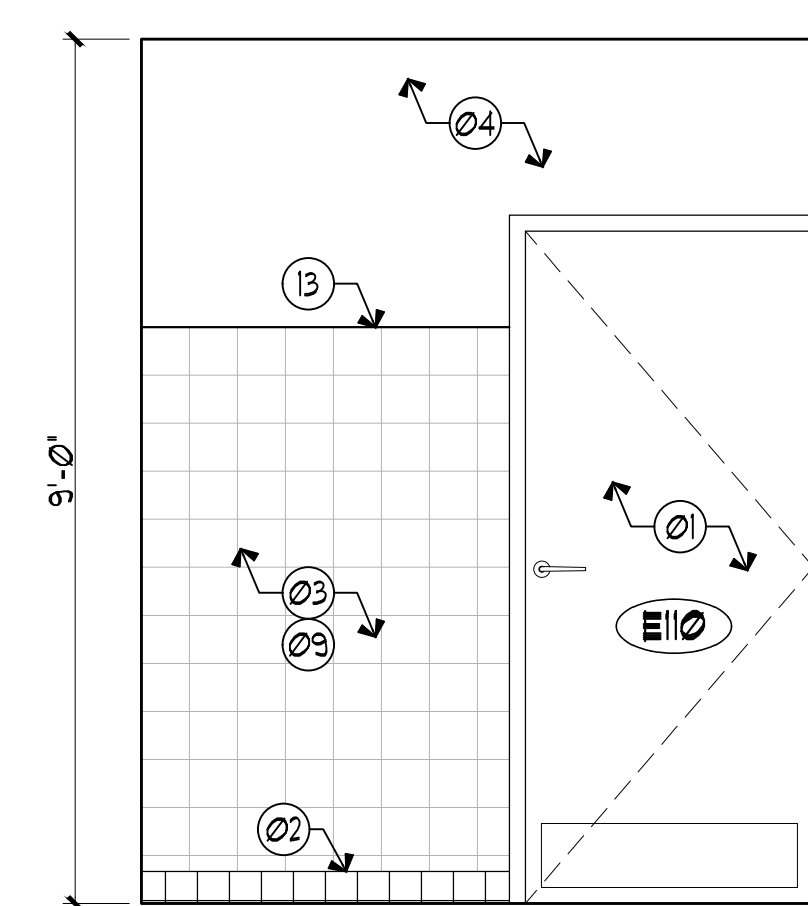
**12 INT. ELEVATION**  
SCALE: 1/2" = 1'-0"



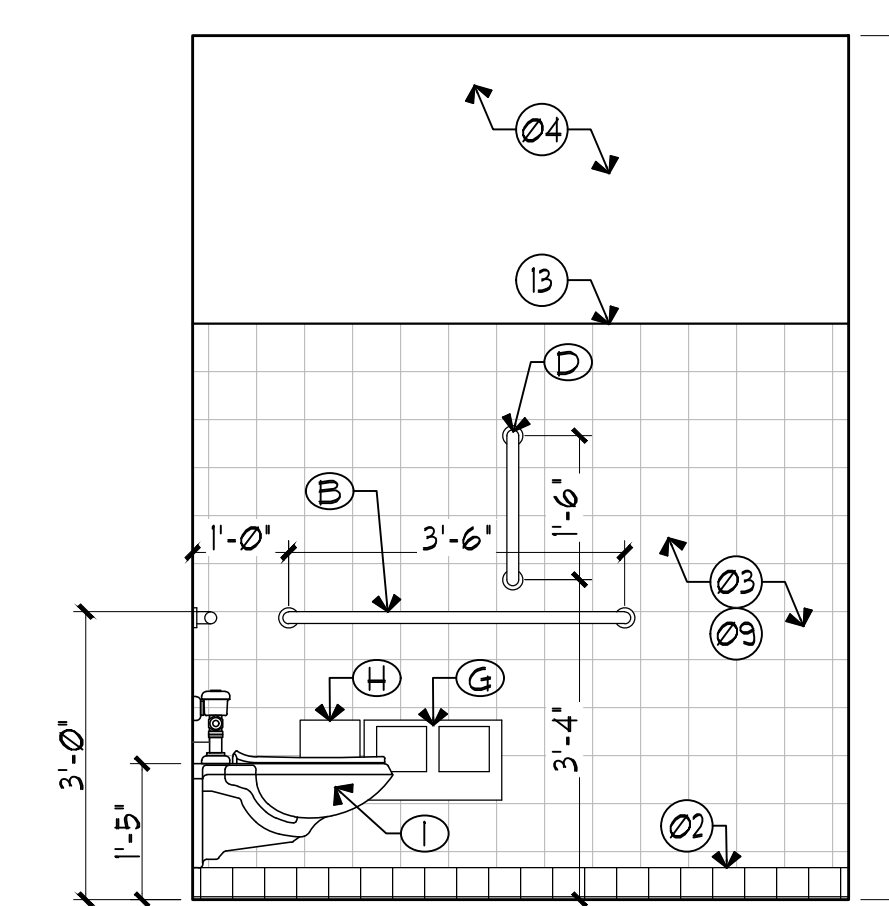
**11 INT. ELEVATION**  
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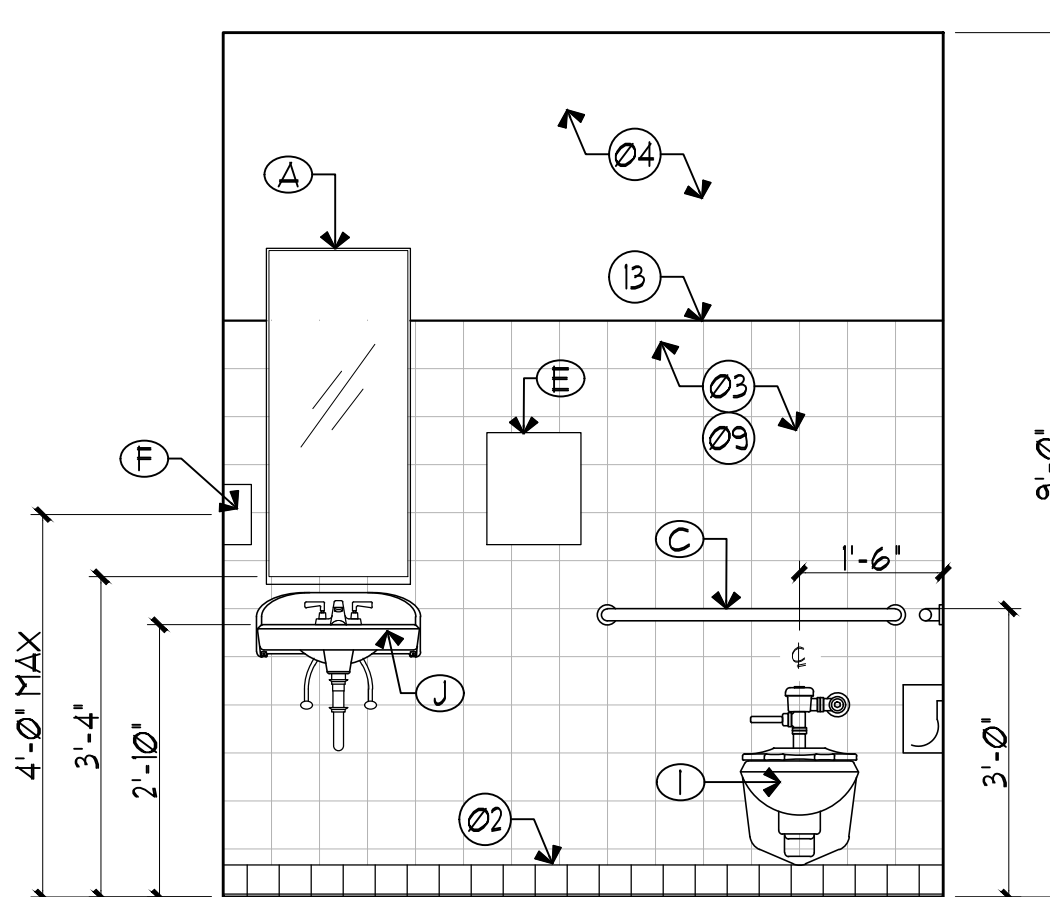
**10 RR INT. ELEVATION (TYPICAL)**  
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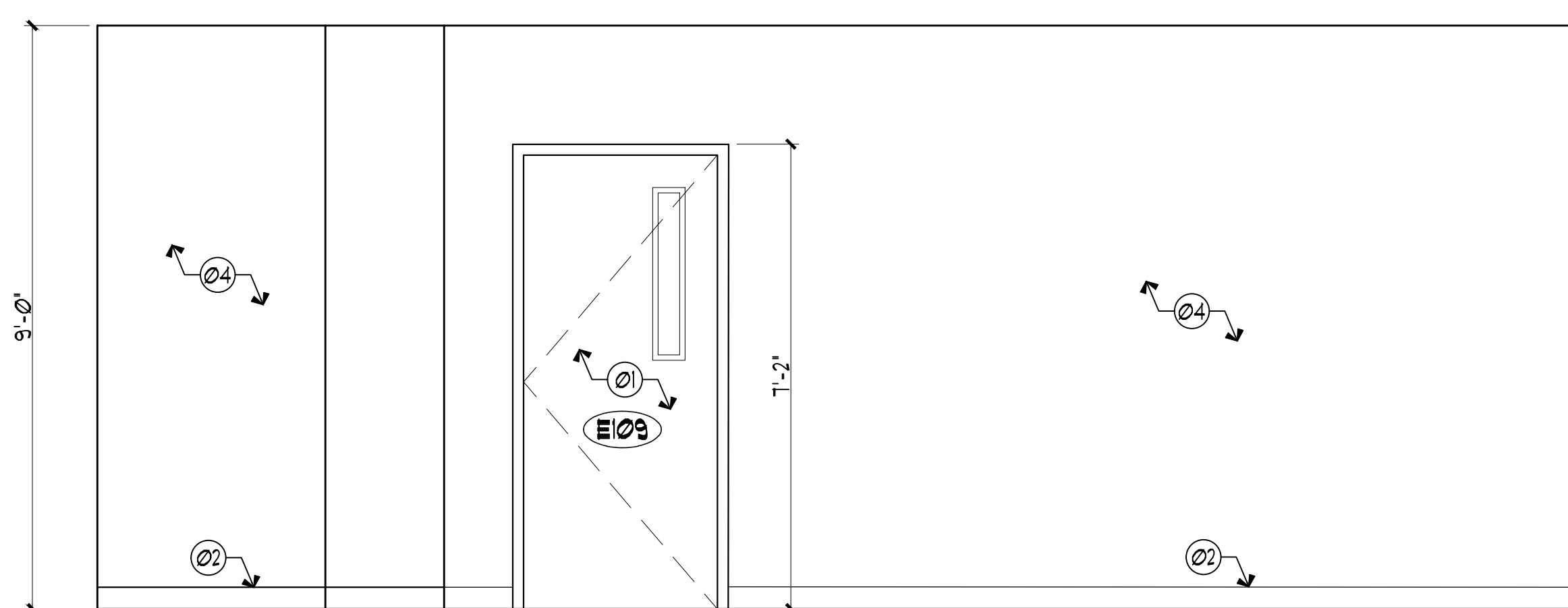
**09 RR INT. ELEVATION (TYPICAL)**  
SCALE: 1/2" = 1'-0"



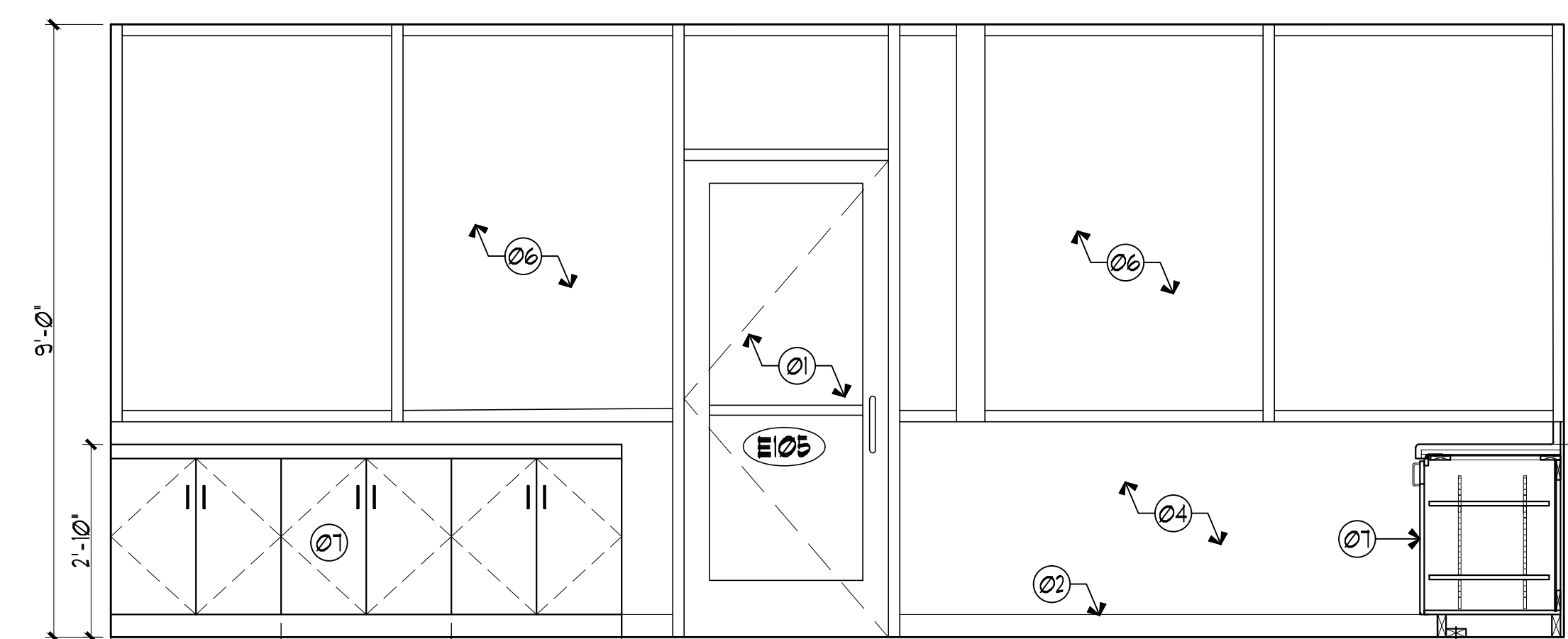
**08 RR INT. ELEVATION (TYPICAL)**  
SCALE: 1/2" = 1'-0"



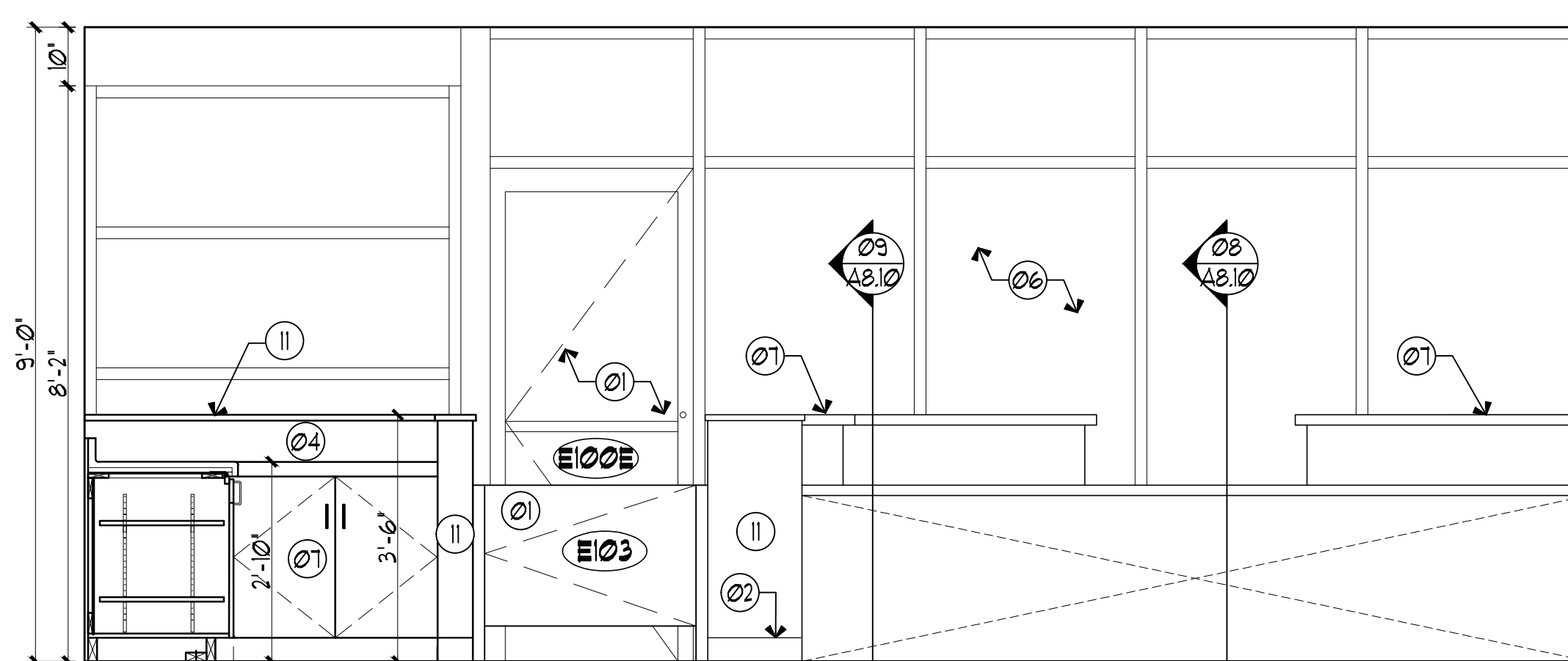
**07 RR INT. ELEVATION (TYPICAL)**  
SCALE: 1/2" = 1'-0"



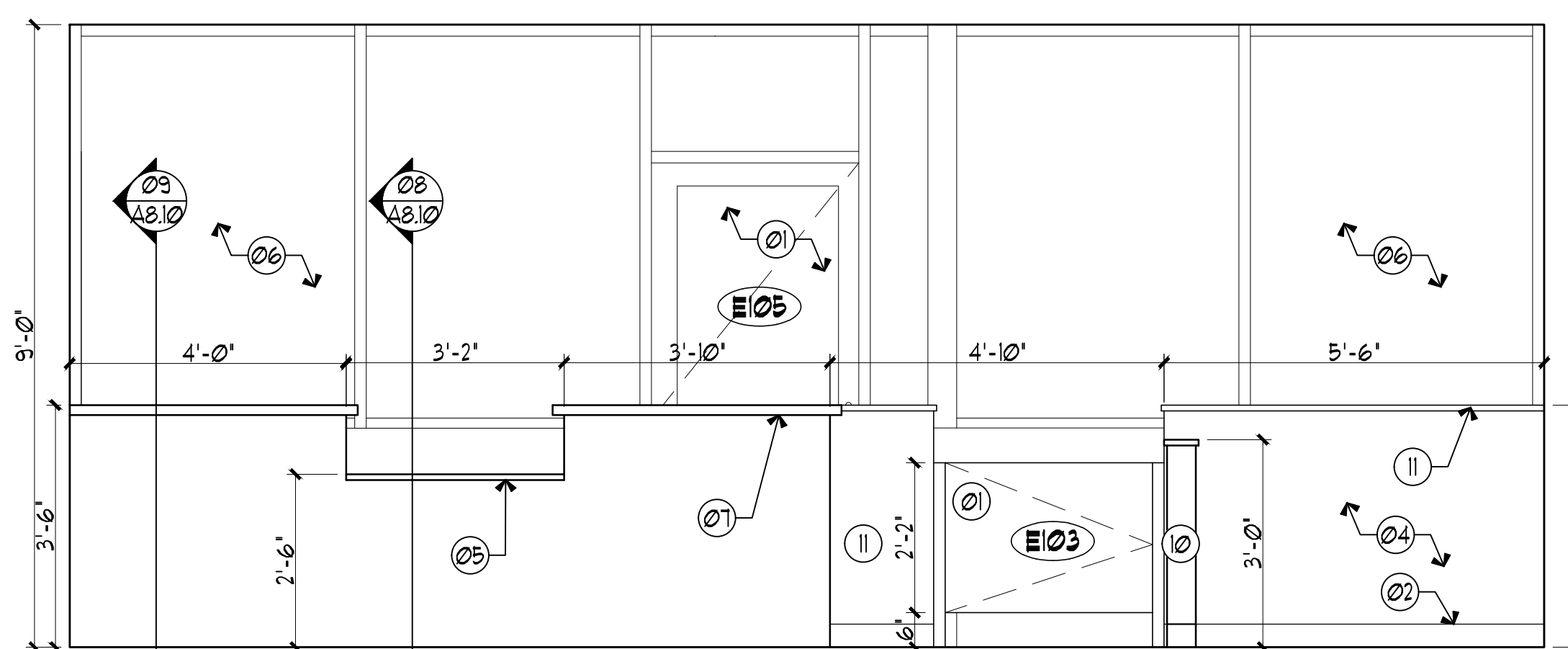
**06 INTERIOR ELEVATION**  
SCALE: 1/2" = 1'-0"



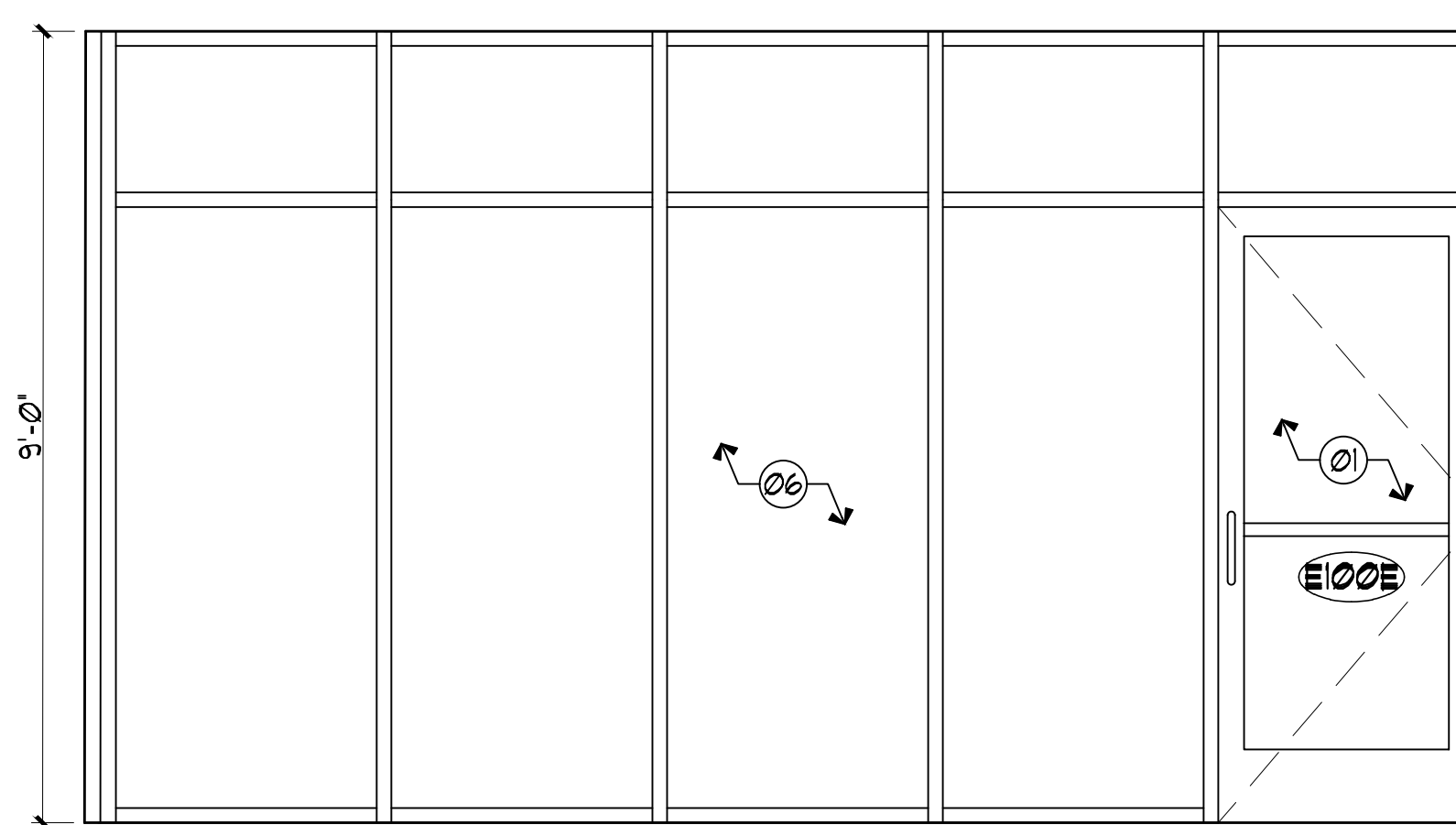
**05 INTERIOR ELEVATION**  
SCALE: 1/2" = 1'-0"



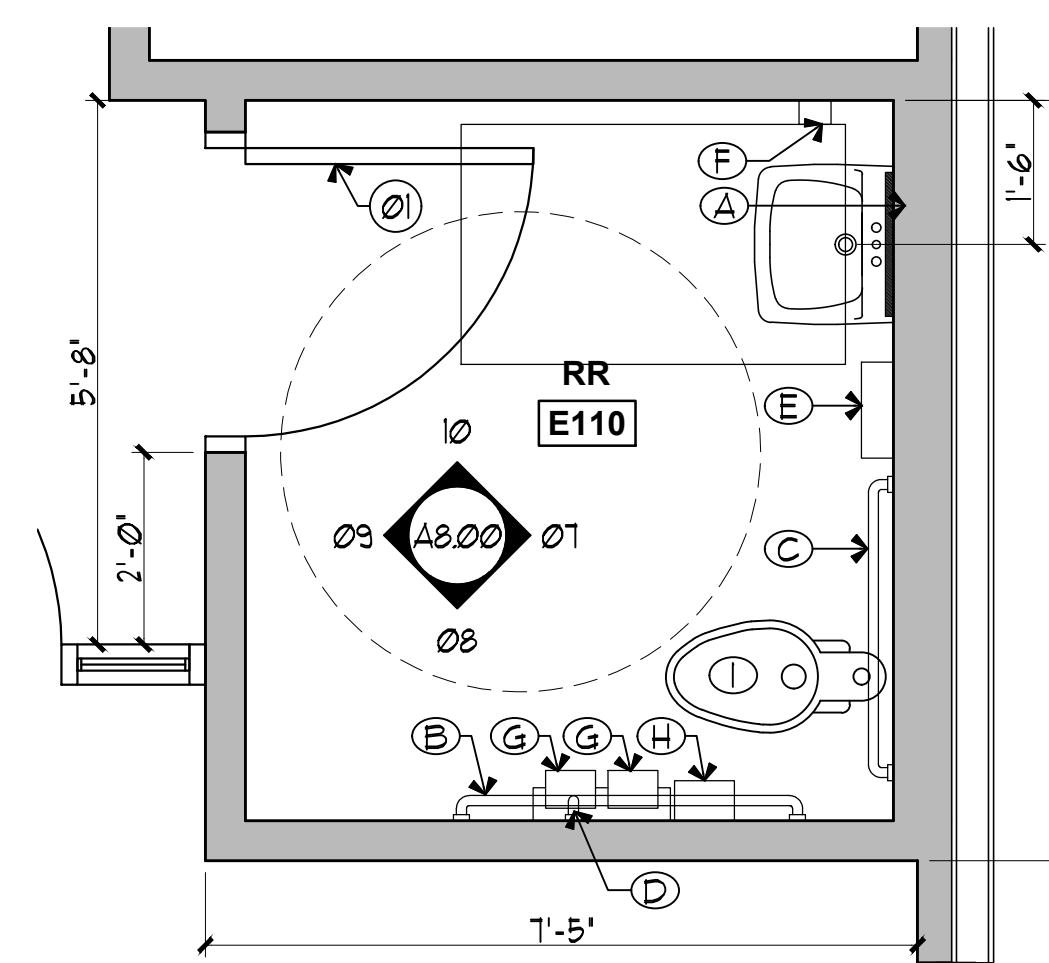
**04 INTERIOR ELEVATION**  
SCALE: 1/2" = 1'-0"



**03 INTERIOR ELEVATION**  
SCALE: 1/2" = 1'-0"



**02 INTERIOR ELEVATION**  
SCALE: 1/2" = 1'-0"



**01 ENLARGED FLOOR PLAN**  
SCALE: 1/2" = 1'-0"

Date: 07/07/2024  
 Revised:  
 Project No. 2245  
 File Name:  
 Sheet Title: ENLARGED ENLARGED PLAN & INT. ELEVATIONS

Sheet No.  
**A8.00**  
 Sheet 44 Of 45

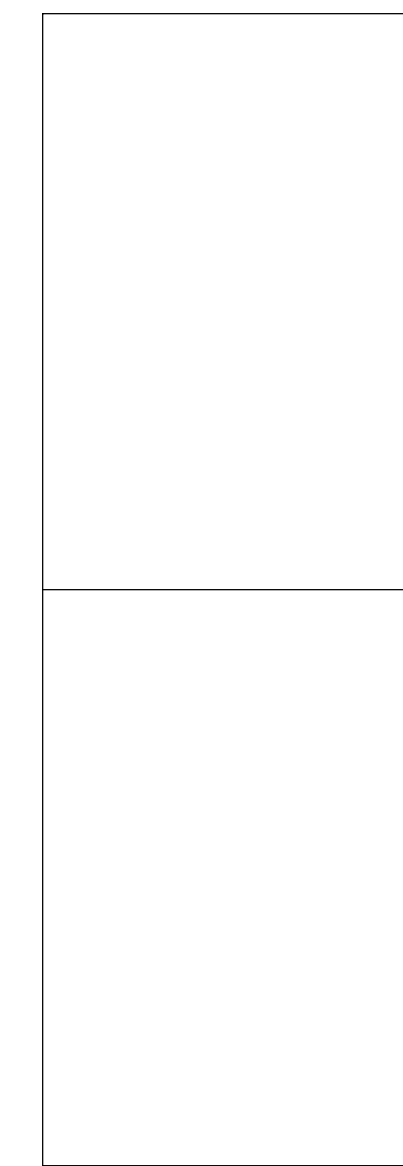


**KEYNOTES:**

- 01 DOOR AS SCHEDULED
- 02 4" WALL BASE AS SPECIFIED IN ROOM FINISH SCHEDULE ON SHEET A6.00, TYP.
- 03 WALL CERAMIC TILE AS SPECIFIED IN ROOM FINISH SCHEDULE ON SHEET A6.00, TYP.
- 04 TEXTURE AND PAINT AS SPECIFIED IN ROOM FINISH SCHEDULE ON SHEET A6.00, TYP.
- 05 ACCESSIBLE COUNTER
- 06 ALUMINUM STOREFRONT. REFER TO STOREFRONT TYPES ON SHEET A6.10
- 07 MILLWORK
- 08 NEW WALL
- 09 RR WALL TILE PATTERN. REFER TO 13/A8.00
- 10 LOW HEIGHT WALL 3'-0" HIGH.
- 11 LOW HEIGHT WALL 3'-6" HIGH.
- 12 GC TO PROVIDE WOOD BLOCKING FOR THE INSTALLATION OF THE TELEVISION.

**GENERAL NOTES:**

- 1. SEE SHEETS A01.1 A02 FOR ADA COMPLIANCE.
- 2. REFER M.E.P. DRAWINGS FOR ADDITIONAL INFORMATION.
- 3. ALL FIXTURES AND EQUIPMENT TO BE OWNER APPROVED, CONTRACTOR INSTALLED.
- 4. GC TO MAKE SURE TO PROVIDE WOOD BLOCKING FOR THE INSTALLATIONS OF EQUIPMENTS.

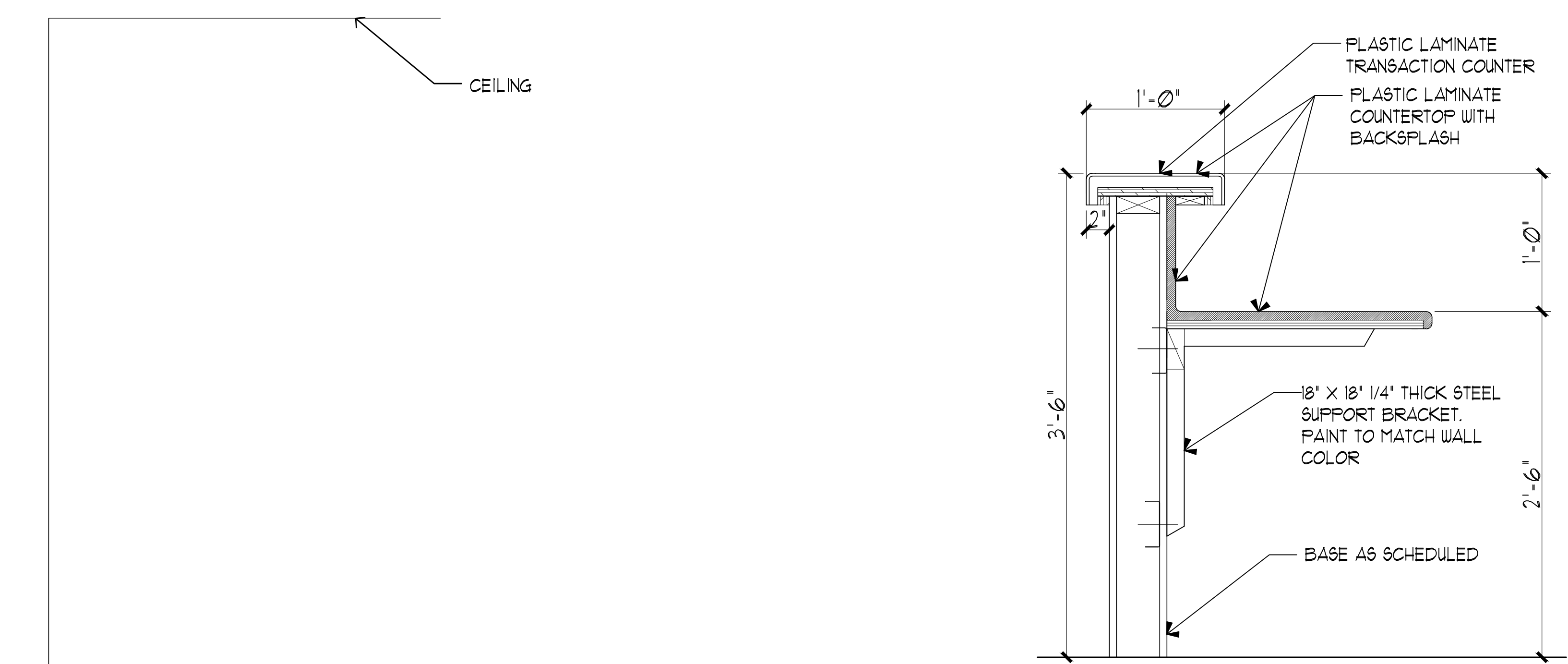


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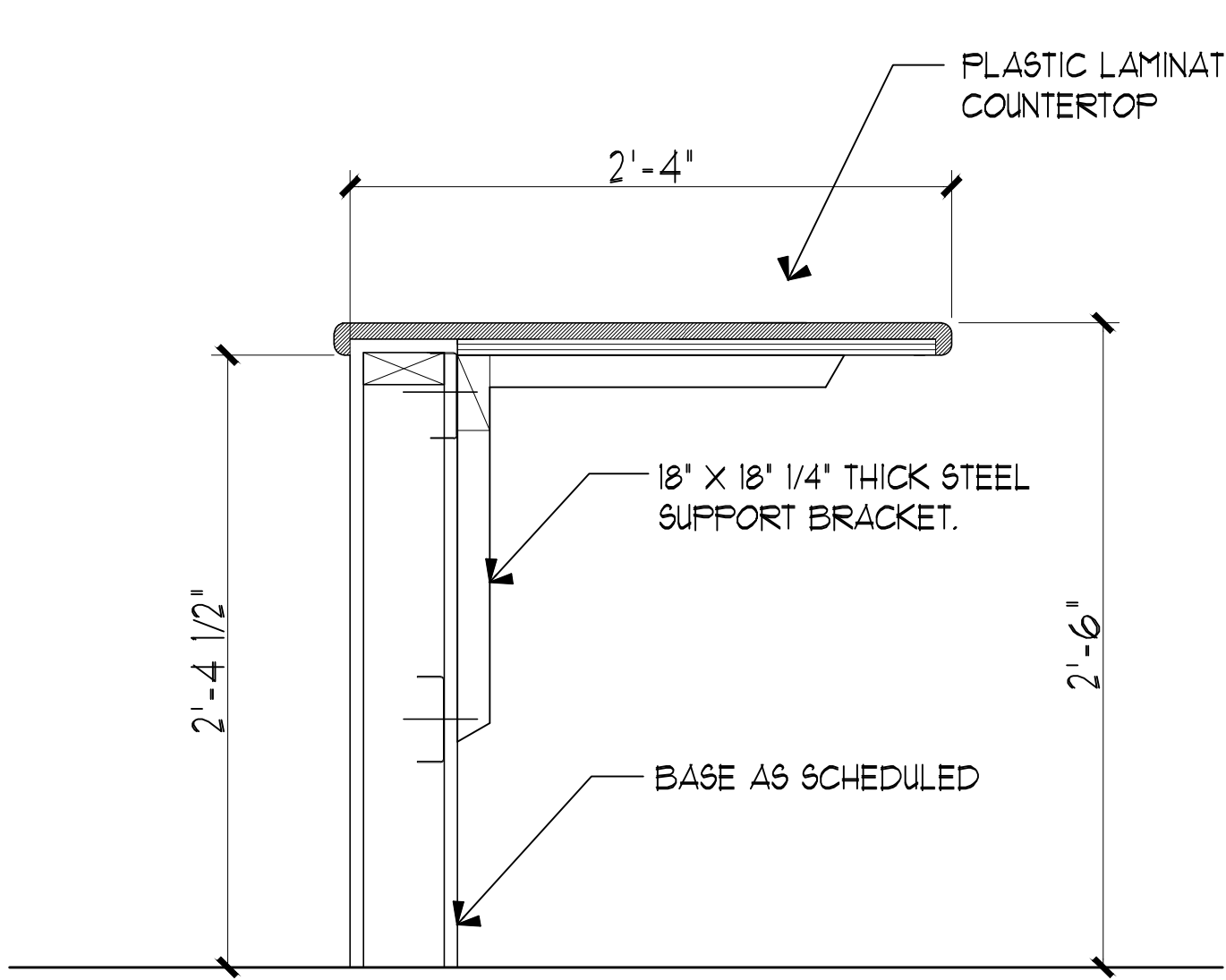


**Dimensions ARCHITECTS**  
 DALLAS, TEXAS 75248  
 TEL: 214.270.3800  
 FAX: 214.270.3758

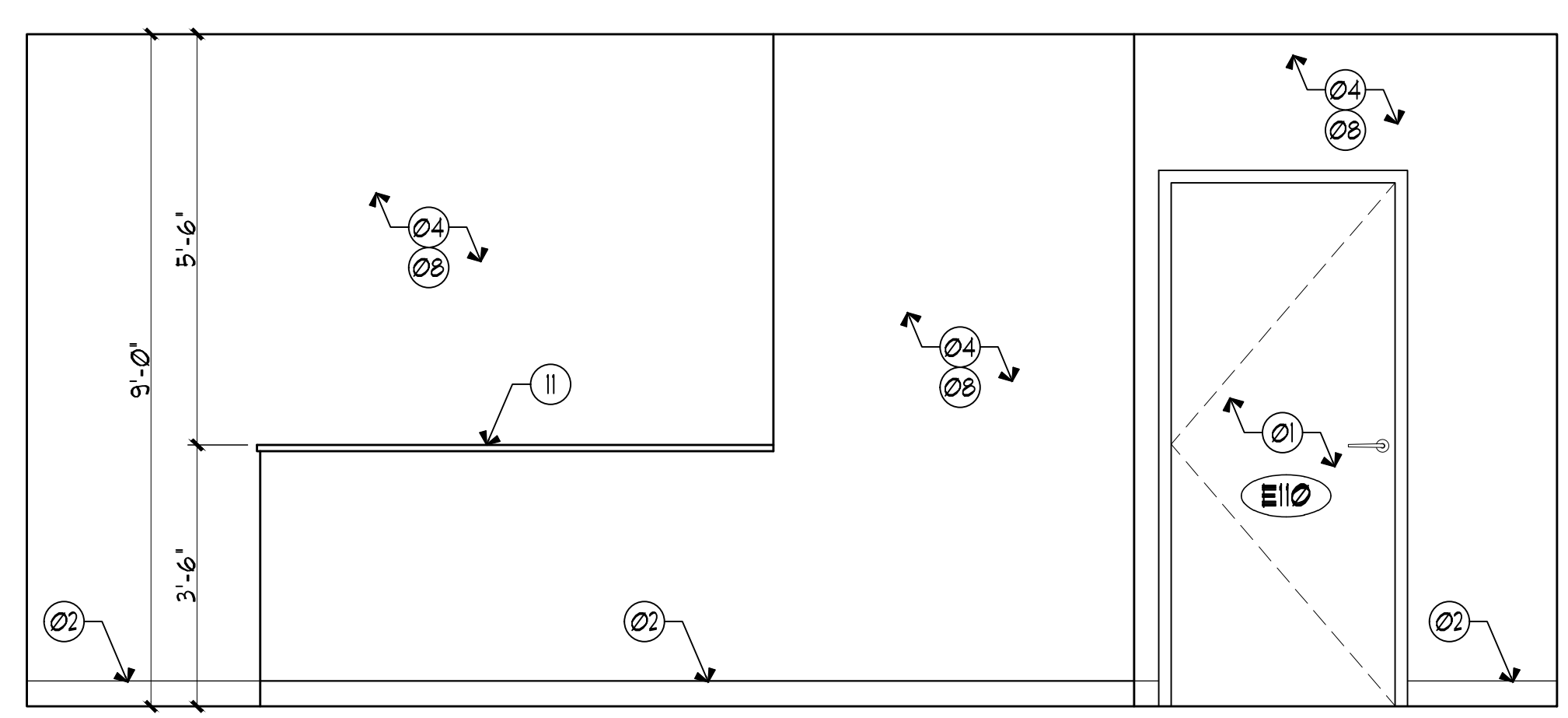
**RENOVATIONS TO**  
**UMPHREY LEE ELEMENTARY SCHOOL**  
 7808 RACINE DR., DALLAS, TEXAS 75232



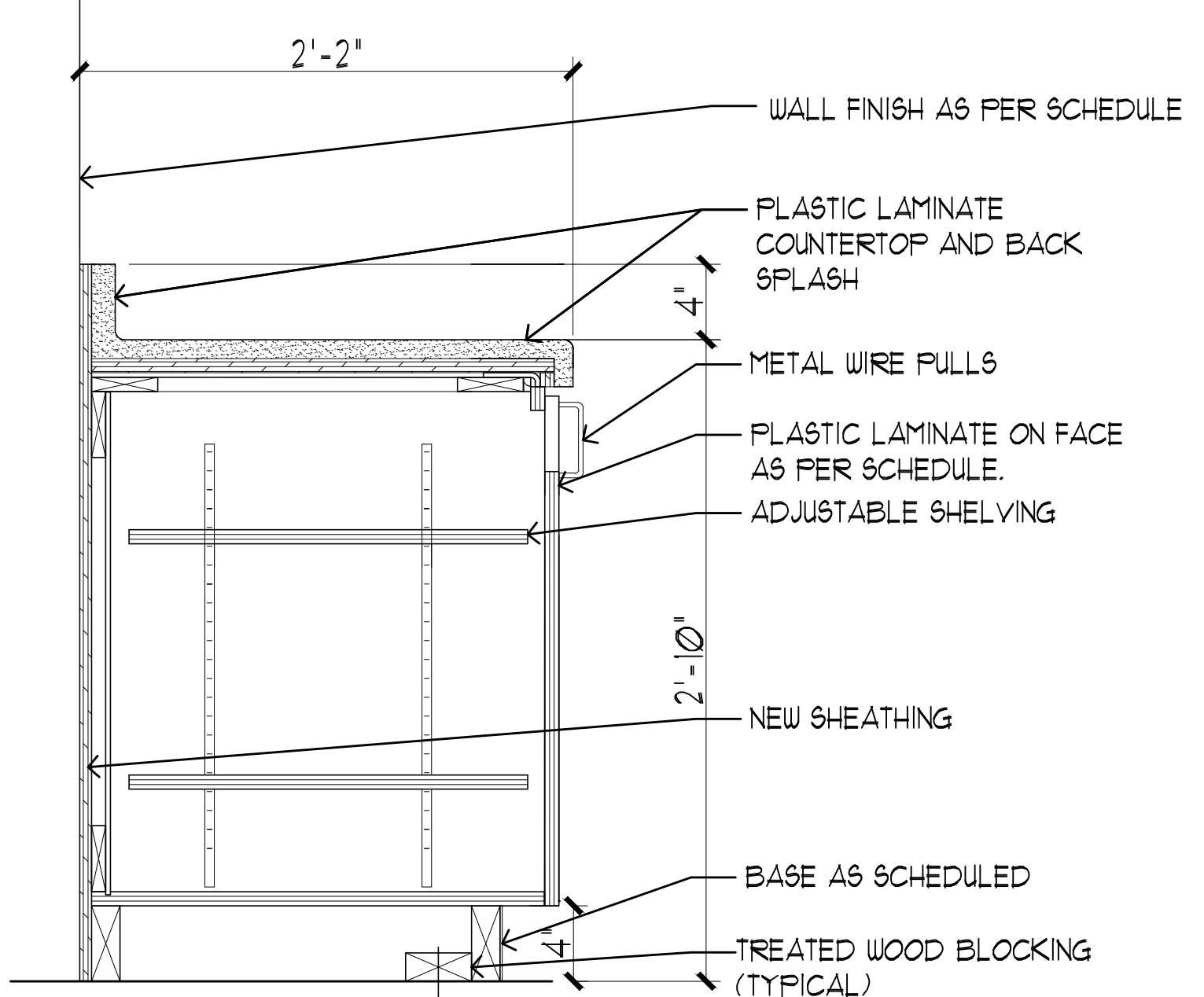
**08 MILLWORK SECTION-2**  
SCALE: 1/2" = 1'-0"



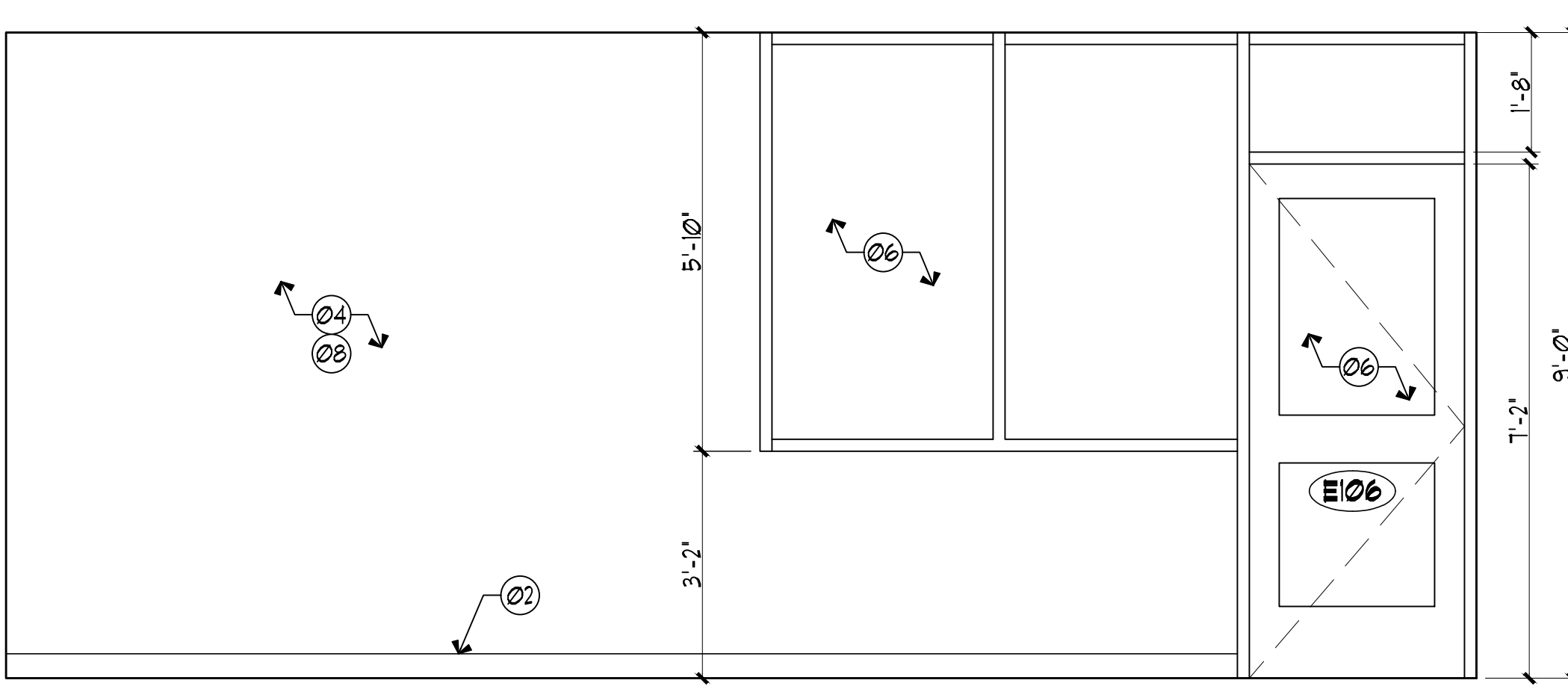
**08 MILLWORK SECTION-1**  
SCALE: 1/2" = 1'-0"



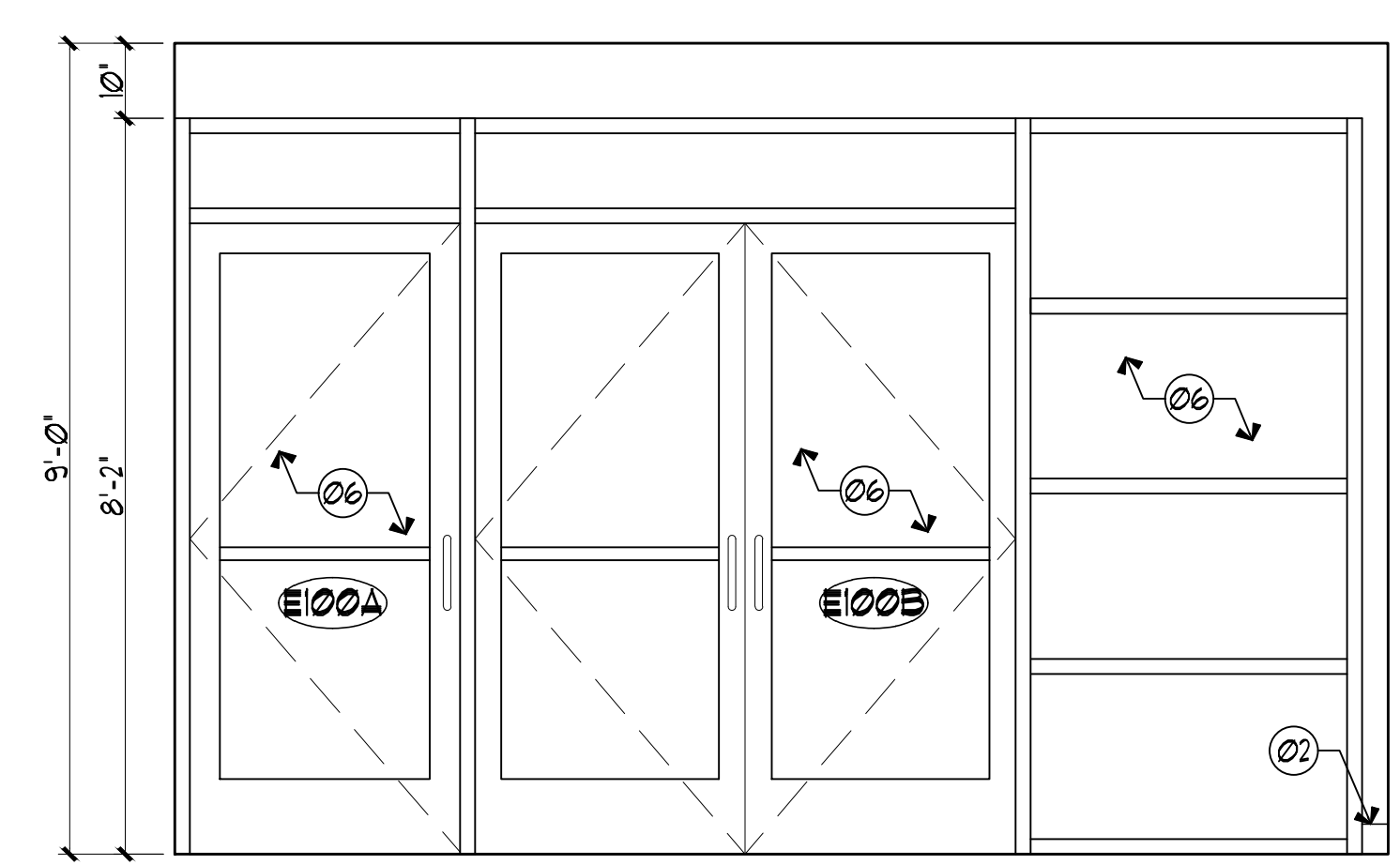
**07 INT. ELEVATION**  
SCALE: 1/2" = 1'-0"



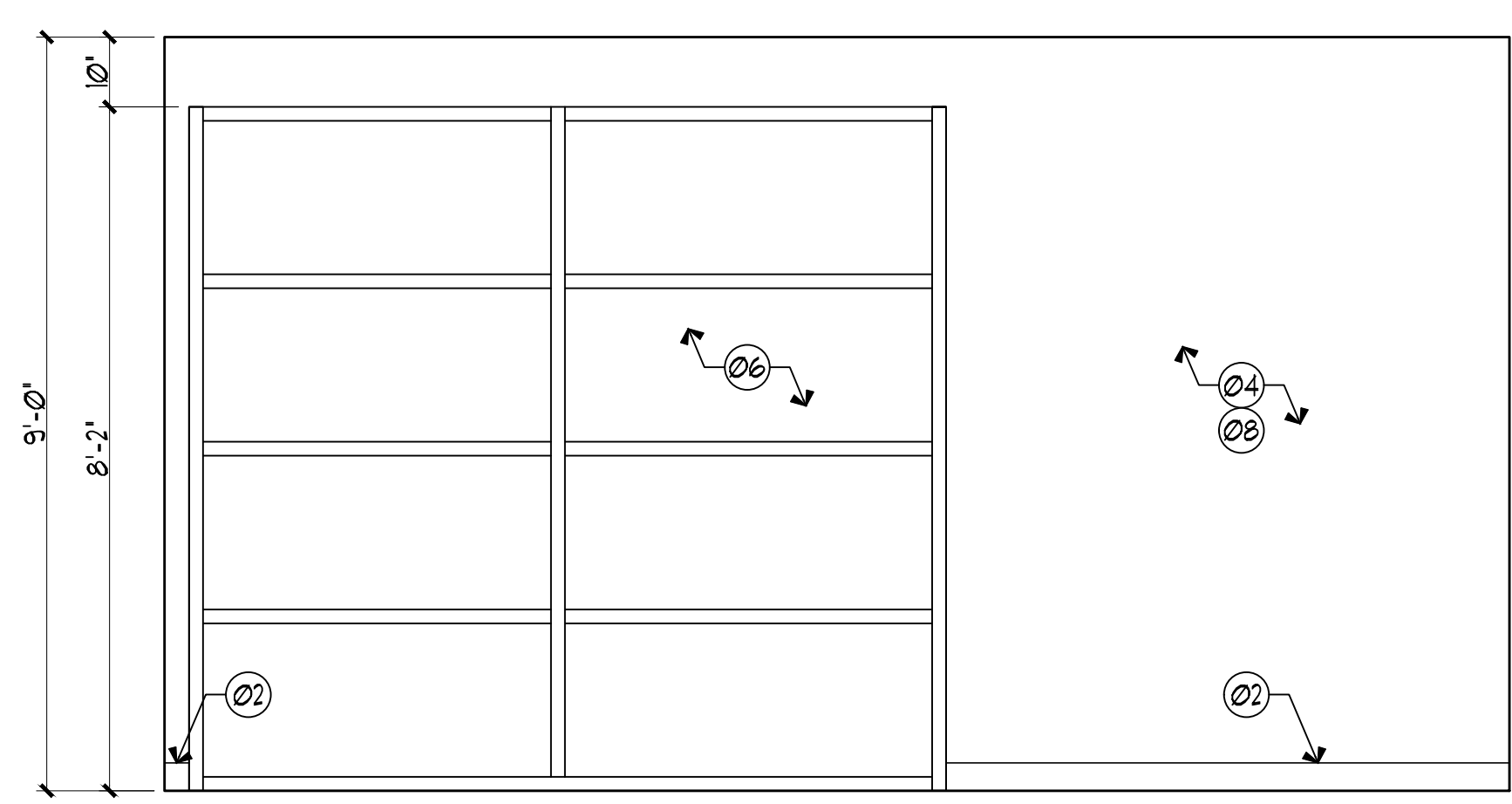
**10 MILLWORK SECTION-3**  
SCALE: 1/2" = 1'-0"



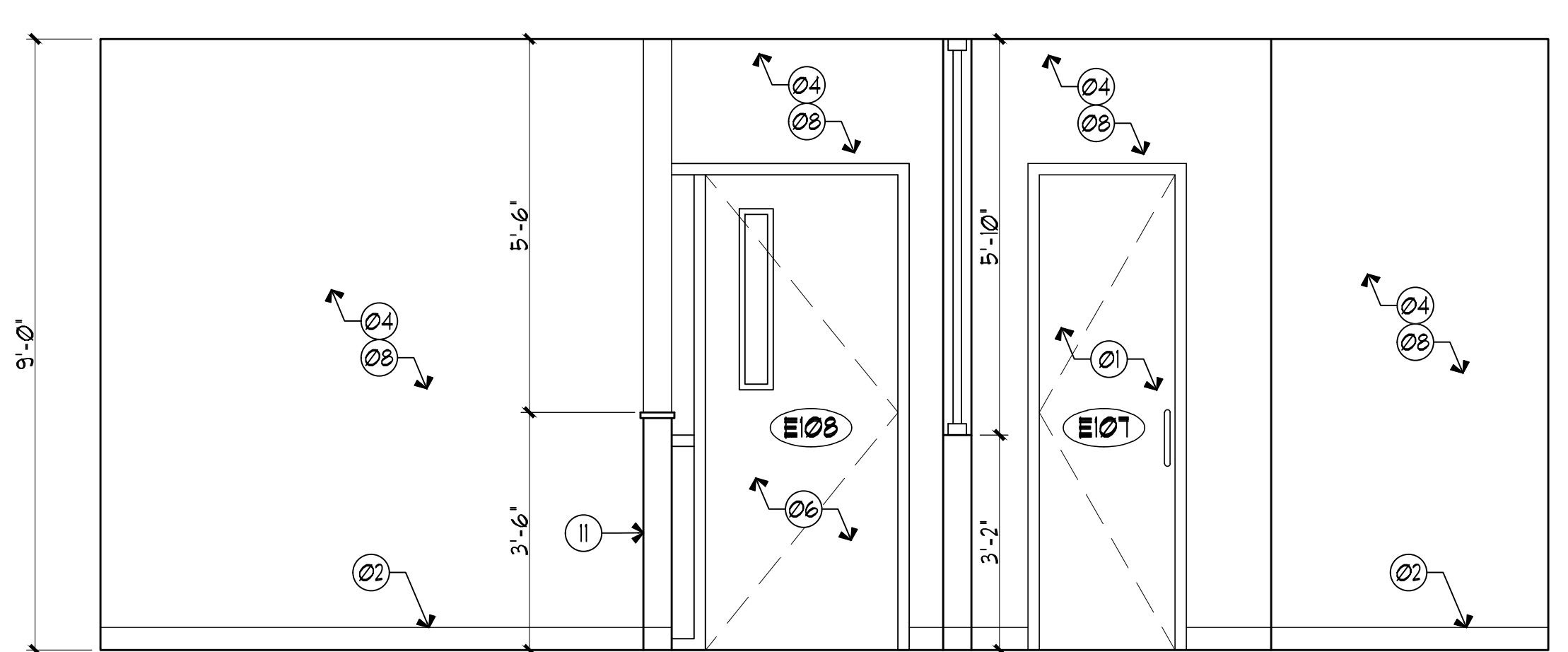
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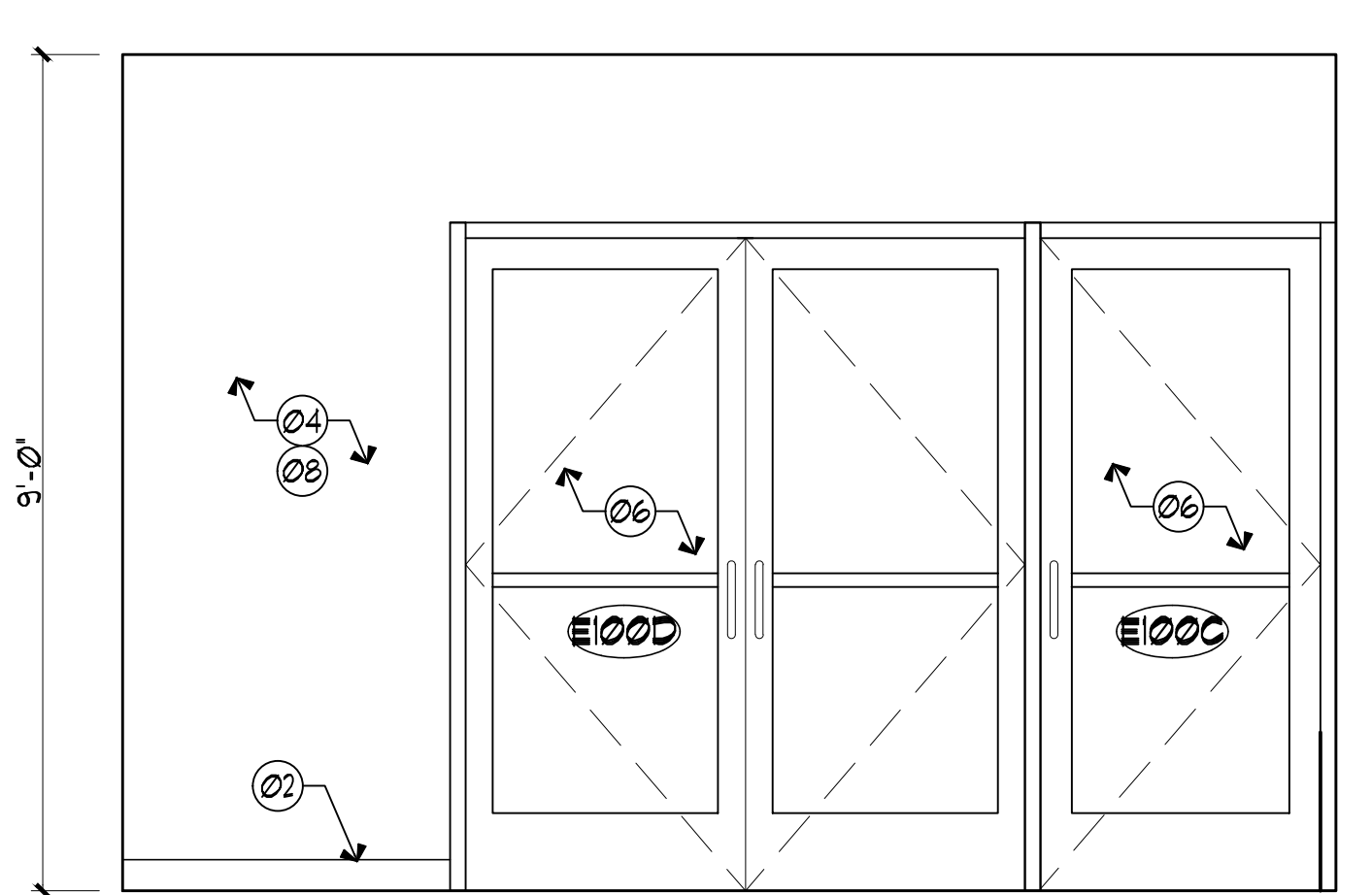
**05 EXT. ELEVATION**  
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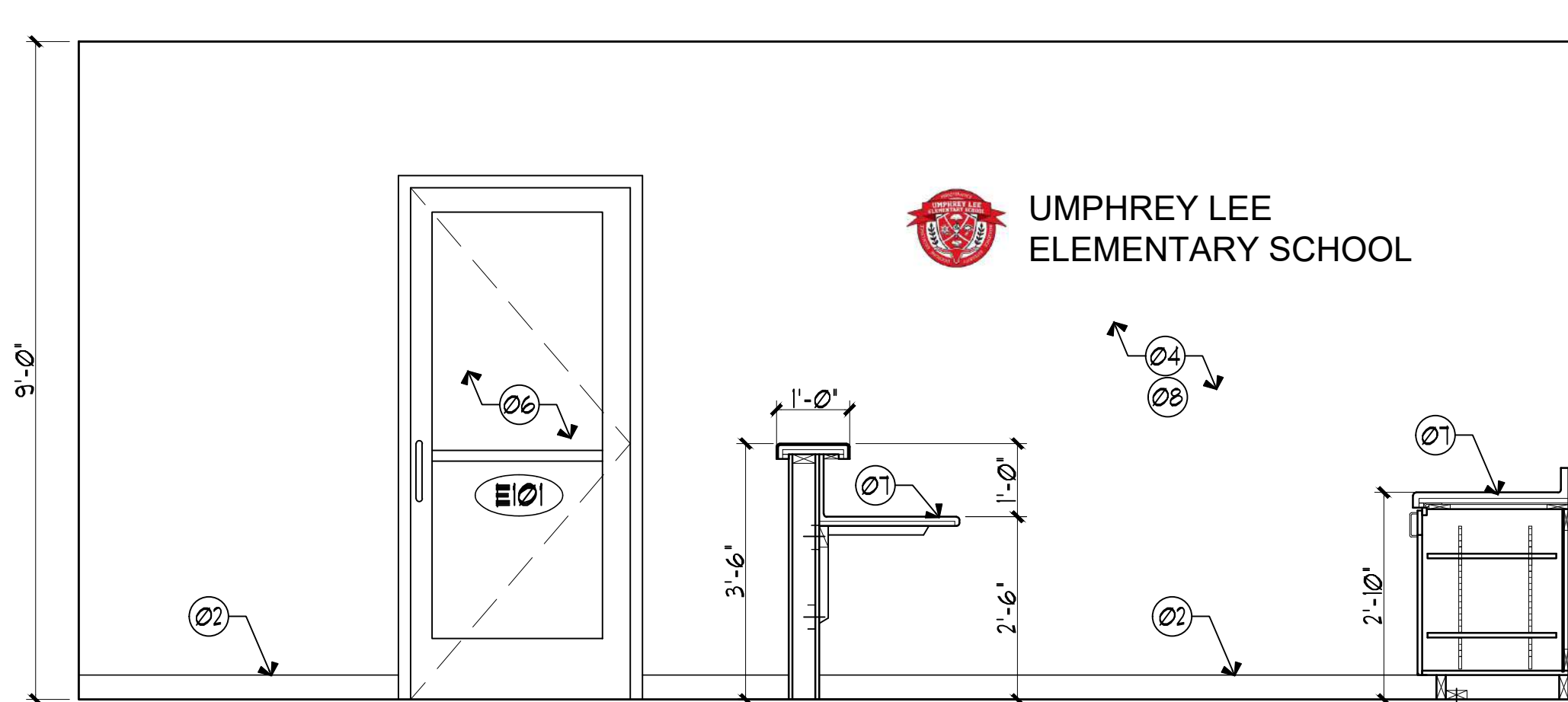
**04 INT. ELEVATION**  
SCALE: 1/2" = 1'-0"



**03 INT. ELEVATION**  
SCALE: 1/2" = 1'-0"



**02 INT. ELEVATION**  
SCALE: 1/2" = 1'-0"

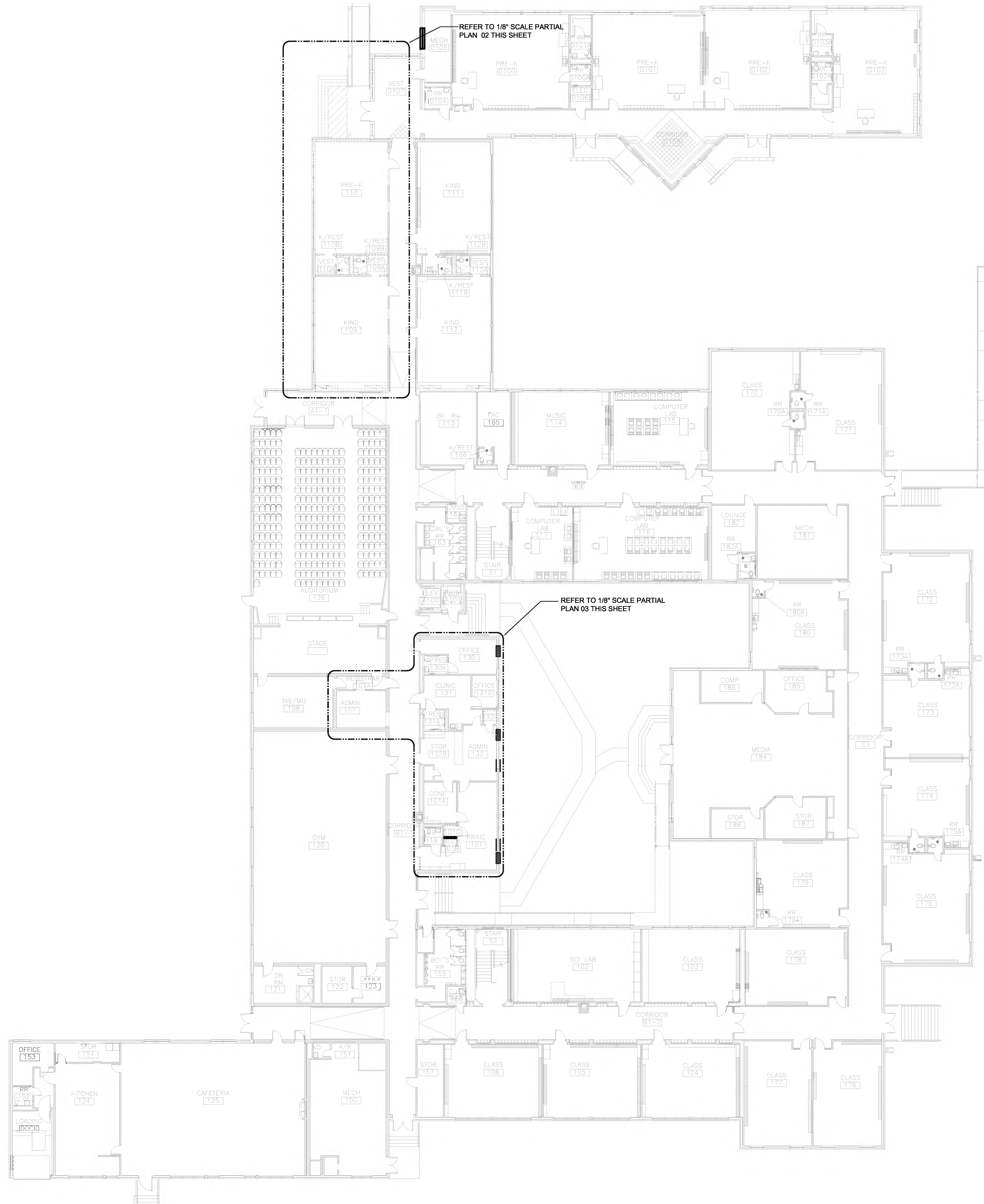


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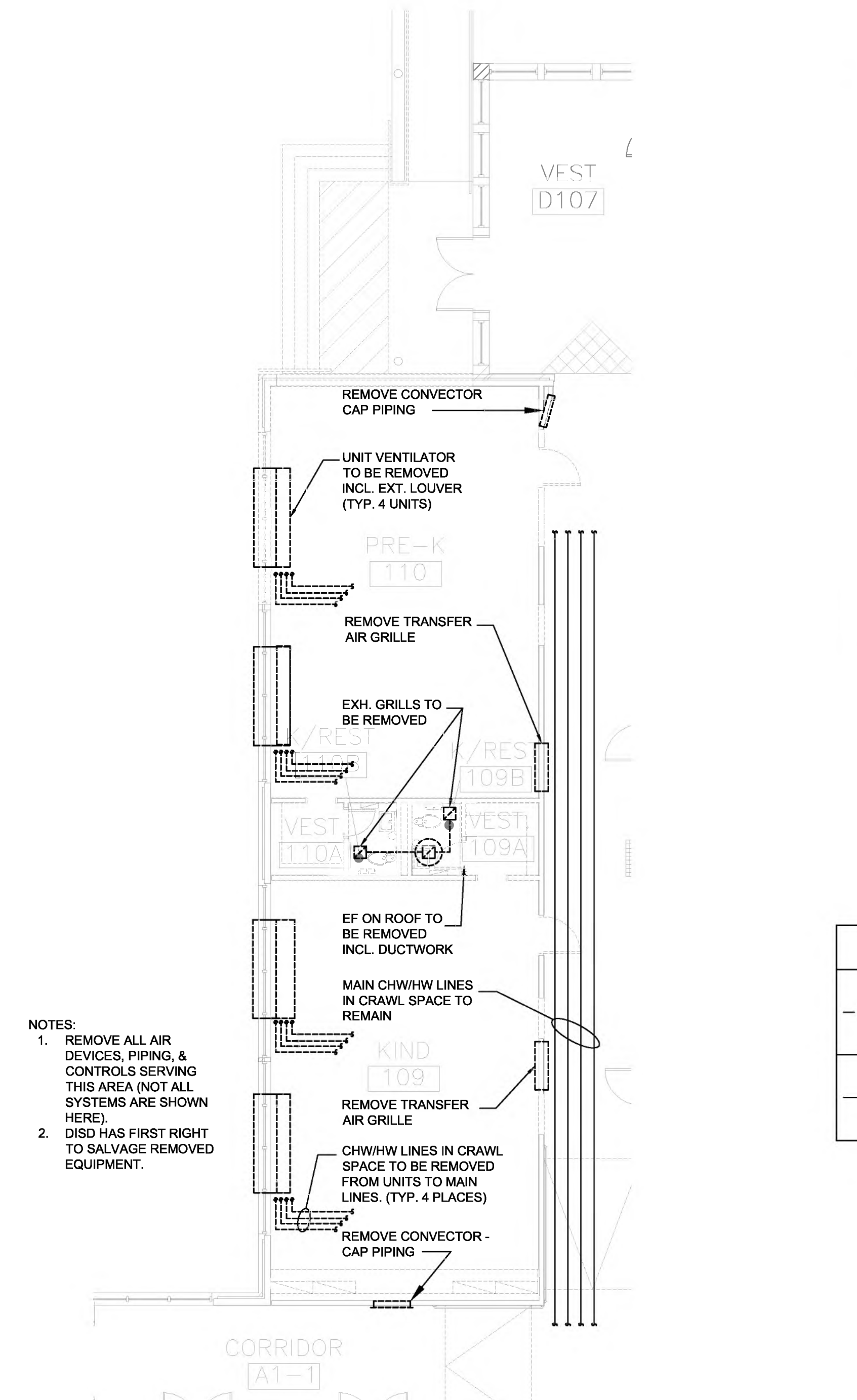
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 Revised:  
 Project No. 2245  
 File Name: INTERIOR ELEVATIONS.  
 Sheet Title:

Sheet No. **A8.10**  
 Sheet 45 Of 45

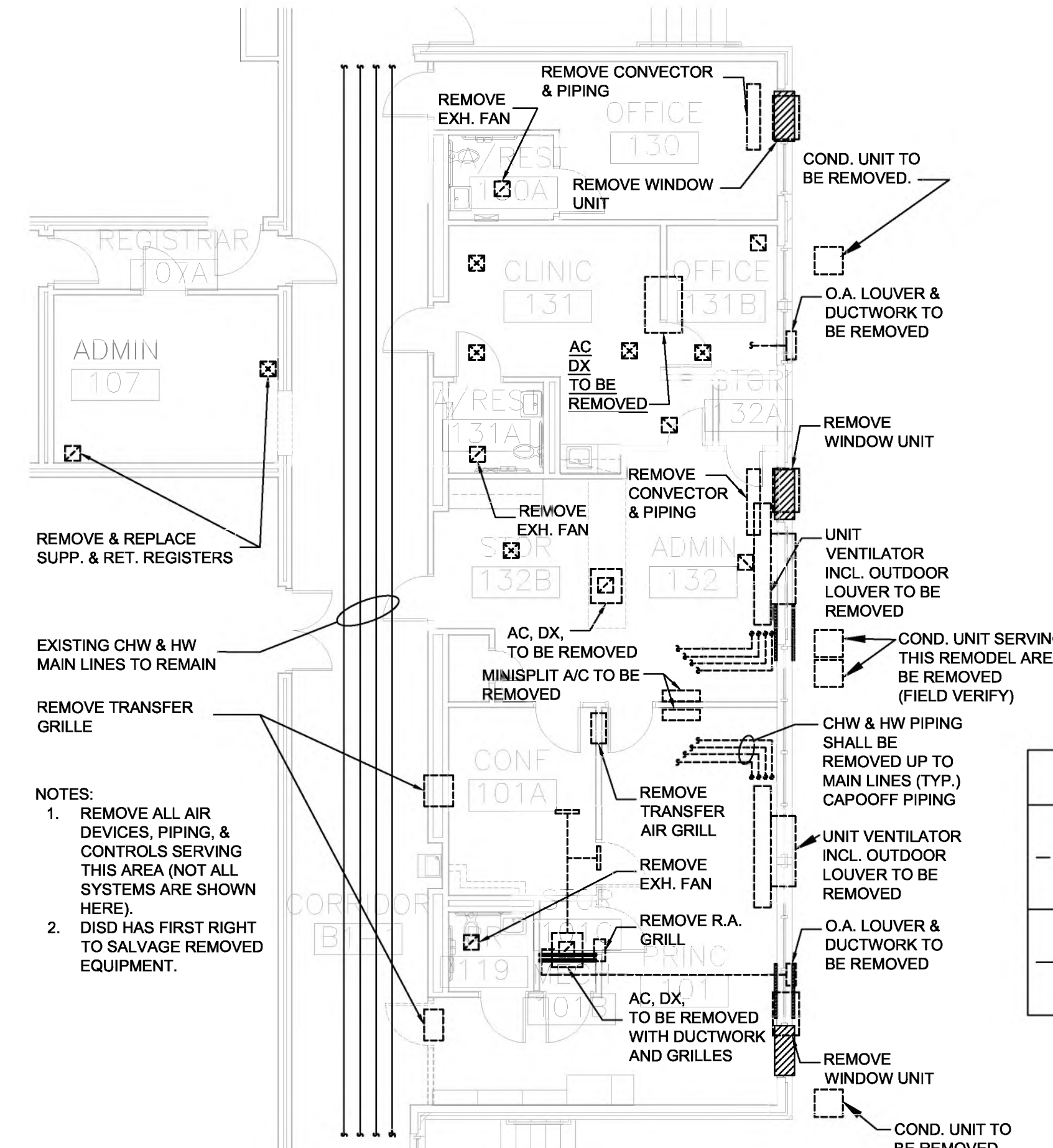




**01 FIRST FLOOR PLAN - HVAC DEMO**  
SCALE: 1/16" = 1'-0"



**02 PARTIAL 1ST FLOOR PLAN - HVAC DEMO**  
SCALE: 1/8" = 1'-0"



**03 PARTIAL 1ST FLOOR PLAN - HVAC DEMO**  
SCALE: 1/8" = 1'-0"

**HVAC DEMO. LEGEND**

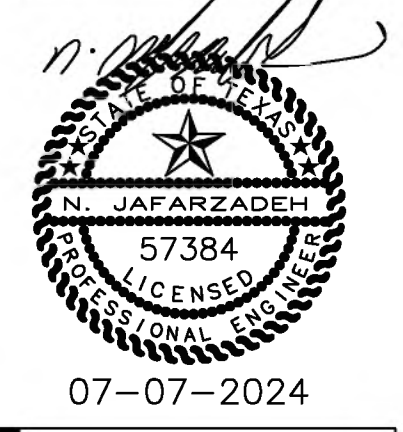
	EXISTING TO BE REMOVED
	EXISTING TO REMAIN

**HVAC DEMO. LEGEND**

	EXISTING TO BE REMOVED
	EXISTING TO REMAIN

IDA JOB # 22-018A  
**IDA Engineering, Inc.**  
 16990 N. DALLAS PKWY  
 DALLAS, TEXAS 75248  
 SUITE 106 (972) 981-1927  
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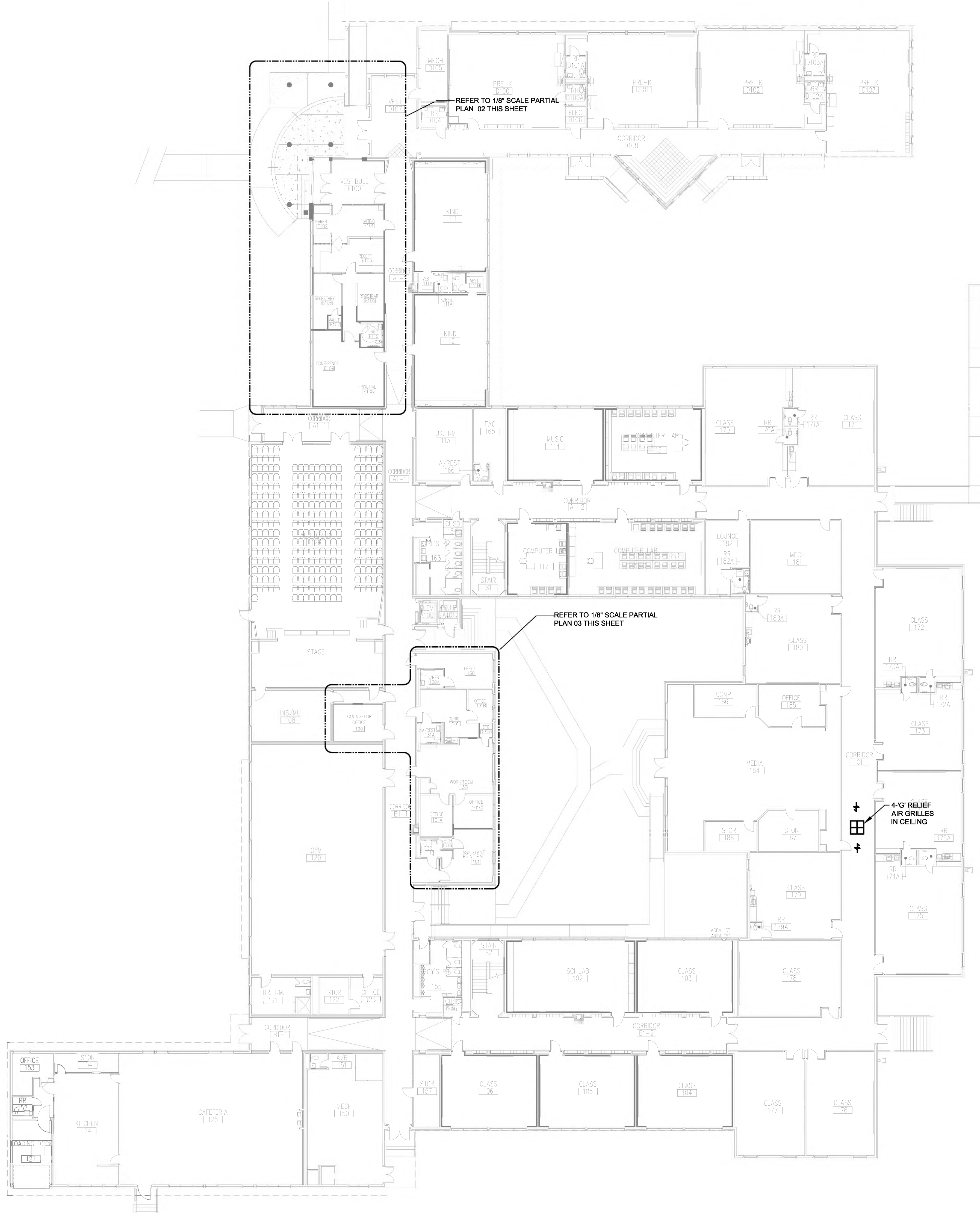


**Dimensions ARCHITECTS**  
 1500 W. W. WHITE SUITE 485  
 FLORENCE, TEXAS 75044  
 TEL: 972.382.8004

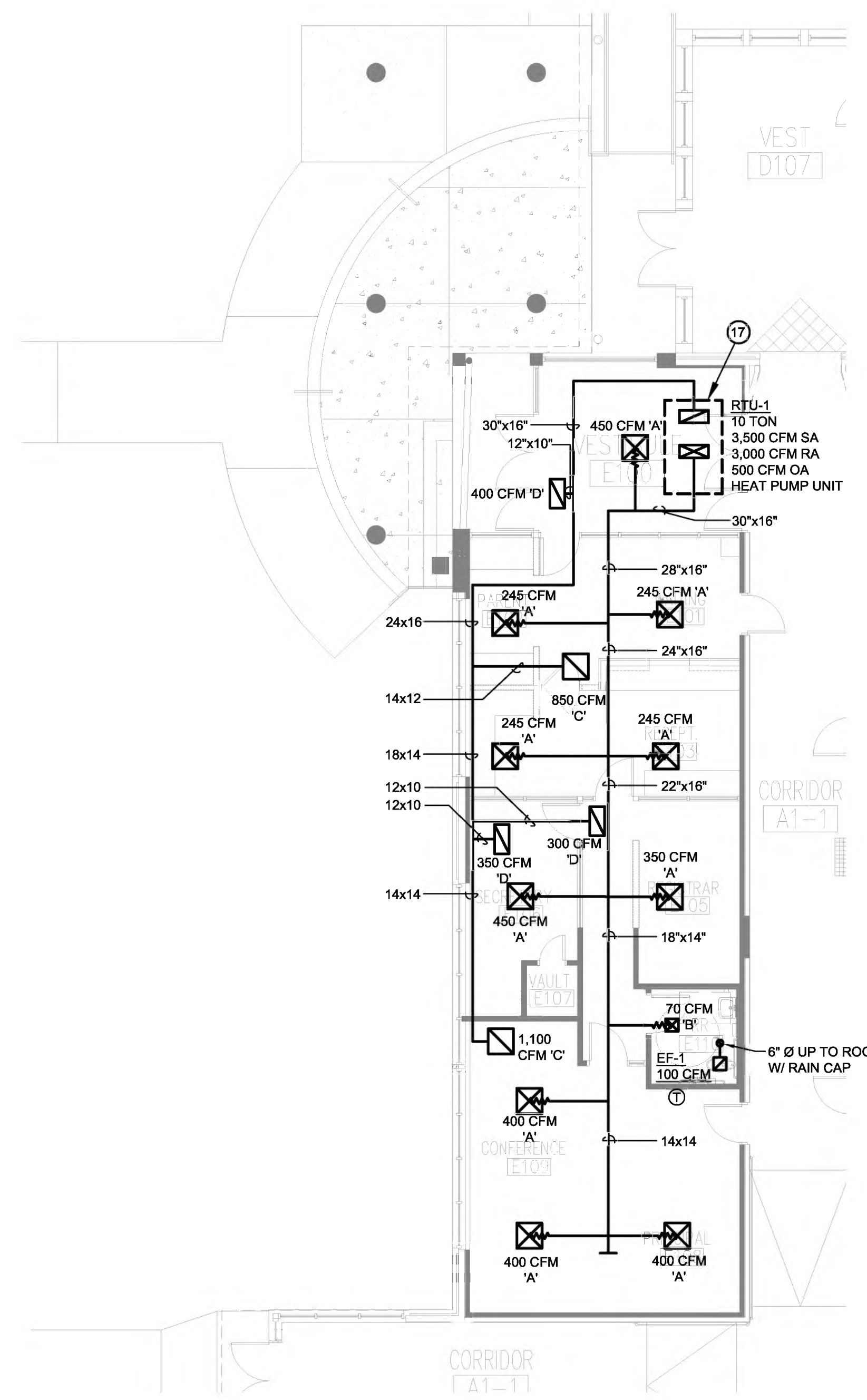
RENOVATIONS TO  
**UMPHREY LEE ELEMENTARY SCHOOL**  
 7808 RACING DR., DALLAS, TEXAS 75232.

Date: 07/07/2024  
 Revised:  
 Project No. 2245  
 File Name: M1.01\_FLR1 DEMO.PDF  
 Sheet Title: 1ST FLOOR PLAN-HVAC DEMO  
 Sheet No.

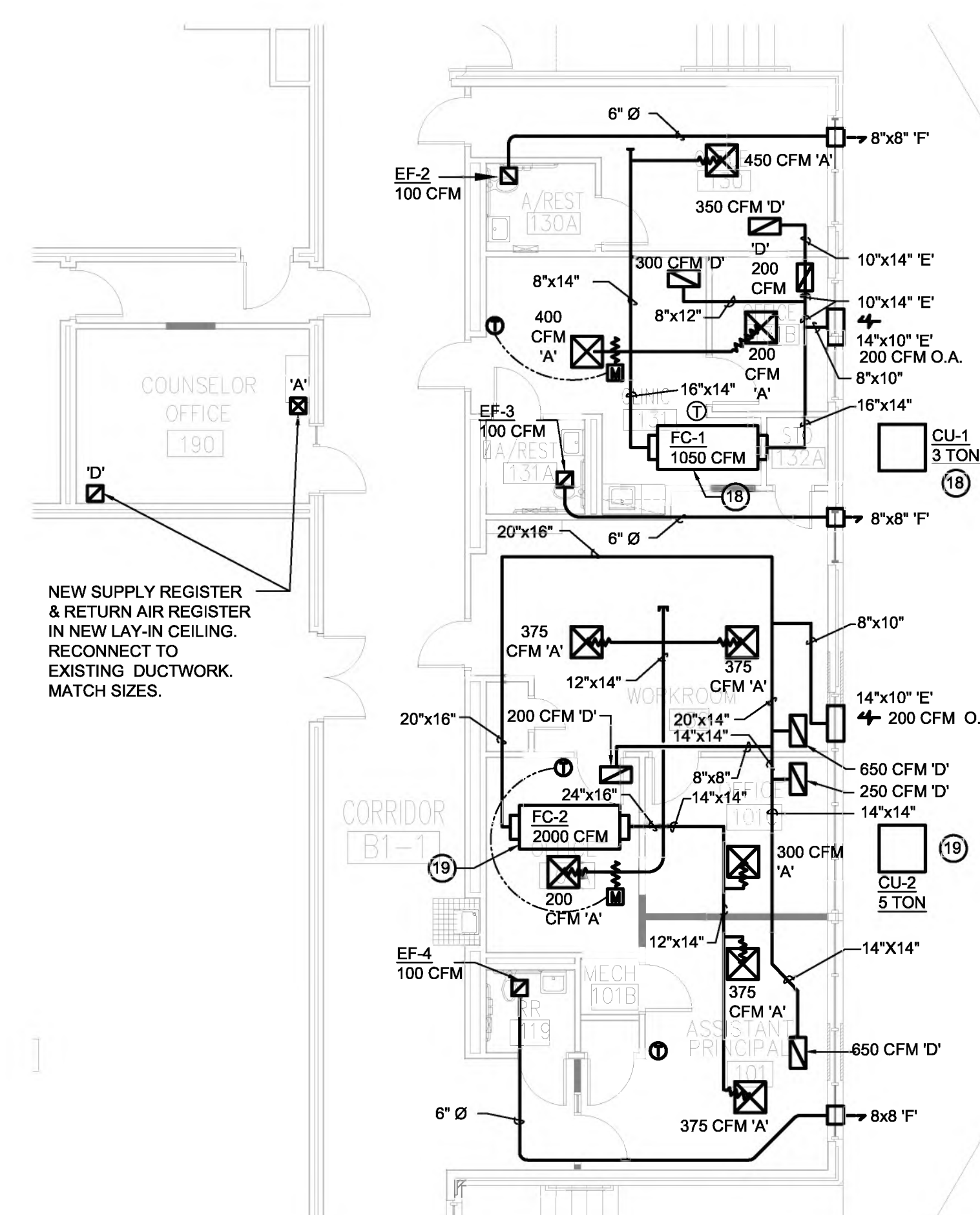




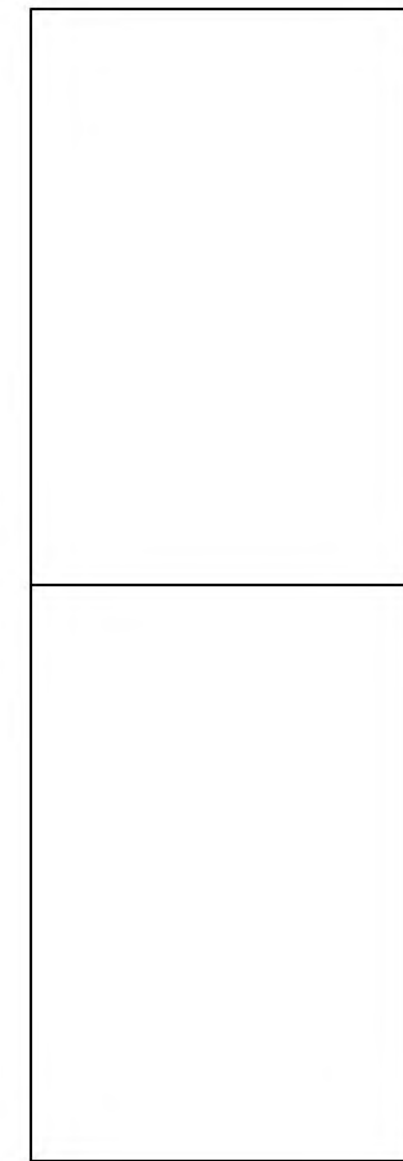
**01 FIRST FLOOR PLAN - NEW HVAC**  
SCALE: 1/16" = 1'-0"  
PLAN NORTH



**02 PARTIAL 1ST FLOOR PLAN - NEW HVAC**  
SCALE: 1/8" = 1'-0"  
PLAN NORTH



**03 PARTIAL 1ST FLOOR PLAN - NEW HVAC**  
SCALE: 1/8" = 1'-0"  
PLAN NORTH



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*Jafarzadeh*  
**JAFARZADEH**  
**ARCHITECTS**  
DALLAS, TEXAS 75243  
TEL: 214.226.3600  
8530 LBJ Fwy, Suite 495  
FAC: 866.226.3756

RENOVATIONS TO  
**UMPHREY LEE ELEMENTARY SCHOOL**  
7808 RACINE DR., DALLAS, TEXAS 75223

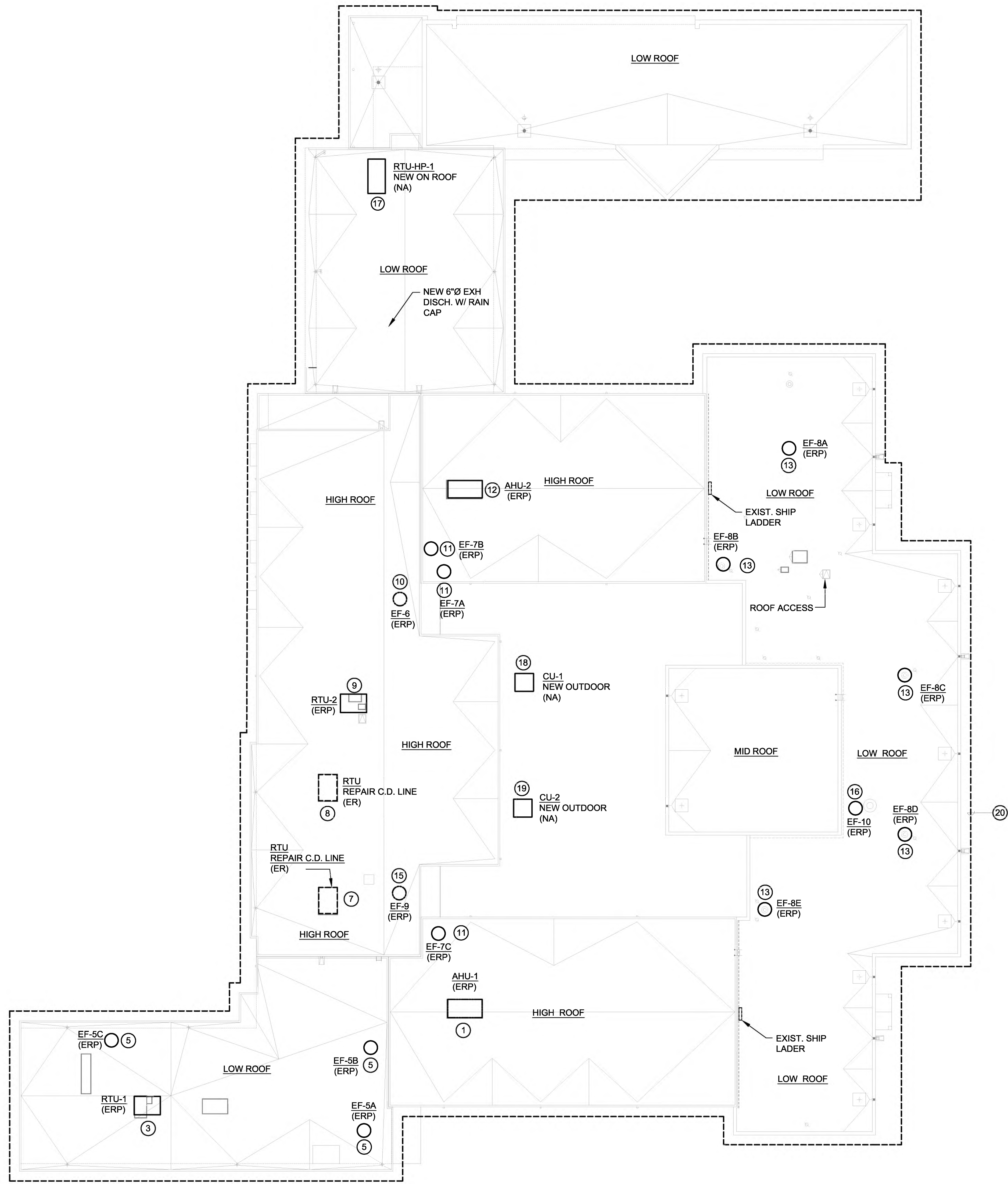
Date: 07/07/2024  
Revised:  
Project No. 2245  
File Name: M1.02\_FLR1 HVAC.PDF  
Sheet Title: 1ST FLOOR PLAN-HVAC  
Sheet No.

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IDA Engineering, Inc.  
16990 N. DALLAS PKWY  
DALLAS, TEXAS 75249  
SUITE 106 (972) 991-1927  
TEXAS REGISTERED ENGINEERING FIRM-P-24089



**M-1**  
Sheet 2 Of 5





**01 ROOF PLAN - HVAC**  
 SCALE: 1/16" = 1'-0"  
 PLAN NORTH

HVAC NOTES: (APPLY TO SHEETS M-1 AND M-2)  
 REPLACE THE FOLLOWING EQUIPMENT EXCEPT AS NOTED OTHERWISE.

- ① AHU/CHW - 15,000 CFM - REPLACE WITH NEW ONE, AHU-1
- ② NOT USED
- ③ RTU/DX/GAS - 6.5 TON - REPLACE WITH NEW ONE, RTU-1
- ④ NOT USED
- ⑤ EXH. FAN - 500 CFM, 1/2 HP - REPLACE WITH NEW ONE, EF-5A, EF-5B, EF-5C
- ⑥ NOT USED
- ⑦ RTU/DX/GAS - CONDENSATE DRAIN NEEDS TO BE RUN ON ROOF TO HUB DRAIN INSIDE THE BUILDING. UNIT CURRENTLY HAS NO C.D. LINE.
- ⑧ RTU/DX/GAS - CONDENSATE DRAIN LINE SPILLS ON ROOF. RUN C.D. LINE TO HUB DRAIN INSIDE THE BUILDING. UNIT CURRENTLY HAS NO C.D. LINE.
- ⑨ RTU/DX/GAS - 7.5 TON - REPLACE WITH NEW ONE, RTU-2
- ⑩ RELIEF AIR FAN - 15,000 CFM, 3.5 HP - REPLACE WITH NEW ONE, EF-6
- ⑪ EXH. FAN - 500 CFM, 1/2 HP - REPLACE WITH NEW ONE, EF-7A, EF-7B, EF-7C
- ⑫ AHU/CHW - 15,000 CFM - REPLACE WITH NEW ONE, AHU-2
- ⑬ EXH. FAN - 100 CFM, HP - REPLACE WITH NEW ONE, EF-8A, EF-8B, EF-8C, EF-8D, EF-8E
- ⑭ NOT USED
- ⑮ RELIEF AIR FAN - 12,000 CFM, 3.5 HP - REPLACE WITH NEW ONE, EF-9.
- ⑯ RELIEF AIR FAN - 12,000 CFM, REPLACE WITH NEW ONE, EF-10.
- ⑰ NEW 10 TON RTU (HEAT PUMP WITH ELECT. STRIP HEAT), RTU-HP-1
- ⑱ NEW 3 TON SPLIT SYSTEM A/C UNIT, CU-1, FC-1 (REMODELLED AREA)
- ⑲ NEW 5 TON SPLIT SYSTEM CONDENSING UNIT, CU-2, FC-2 (REMODELLED AREA)
- ⑳ REPLACEMENT OF THE ENTIRE SCHOOLS HVAC CONTROLS SYSTEM PER DALLAS ISD TDG STANDARDS. REFER TO SPECIFICATIONS.

ABBREVIATION LEGEND ON ROOF	
(ER)	EXISTING TO REPAIR
(ERP)	EXISTING TO REPLACE
(NA)	NEW TO BE ADDED

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**Dimension**  
 ARCHITECTS  
 8530 LBJ FWY, SUITE 495  
 DALLAS, TEXAS 75243  
 TEL: 214.226.3800  
 FAX: 866.226.3756

RENOVATIONS TO  
**UMPHREY LEE ELEMENTARY SCHOOL**  
 7808 RACING DR., DALLAS, TEXAS 75222

Date: 07/07/2024  
 Revised:  
 Project No. 2245  
 File Name: M1.03\_ROOF HVAC.PDF  
 Sheet Title: ROOF PLAN - HVAC  
 Sheet No.

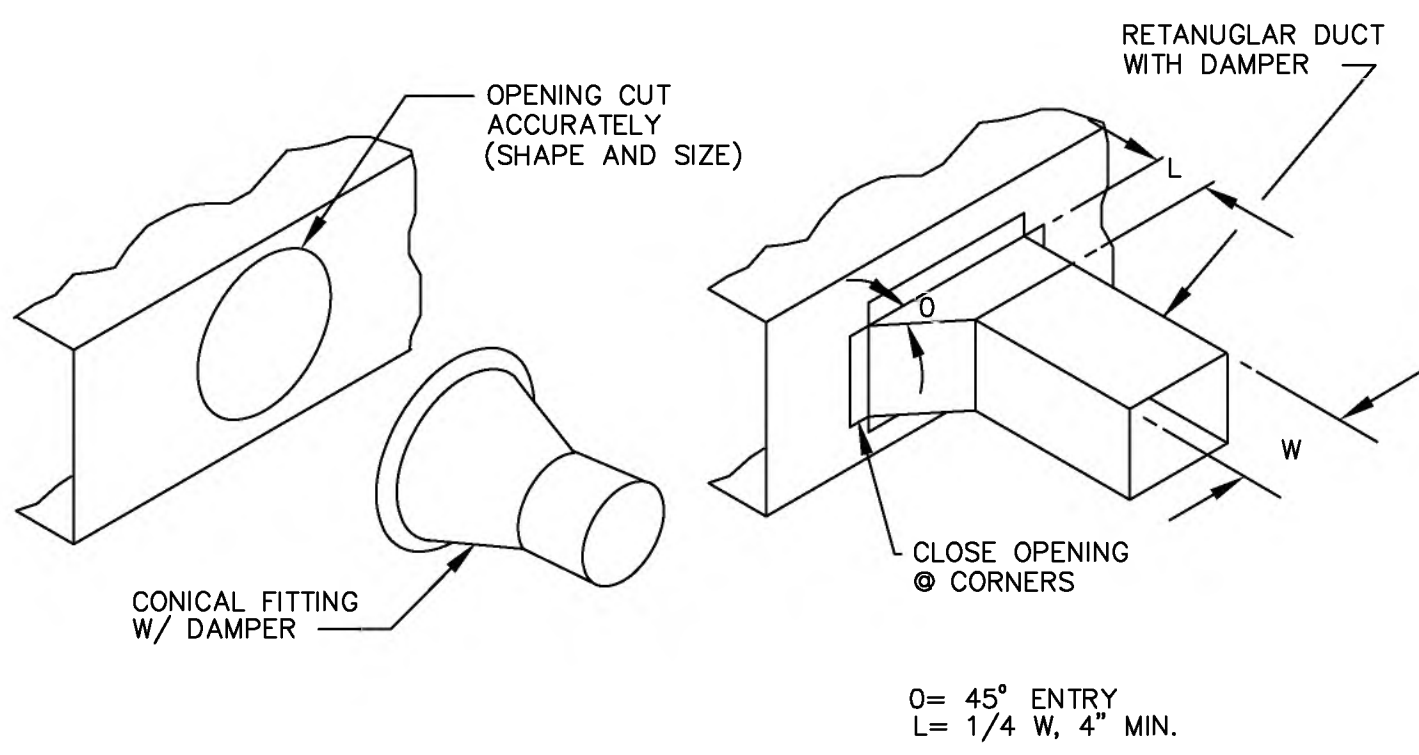
IDA JOB # 22-018A  
**IDA Engineering, Inc.**  
 16990 N. DALLAS FWY  
 DALLAS, TEXAS 75249  
 SUITE 106 (972) 991-1927  
 TEXAS REGISTERED ENGINEERING FIRM-P-24089

**M-2**  
 Sheet 3 Of 5

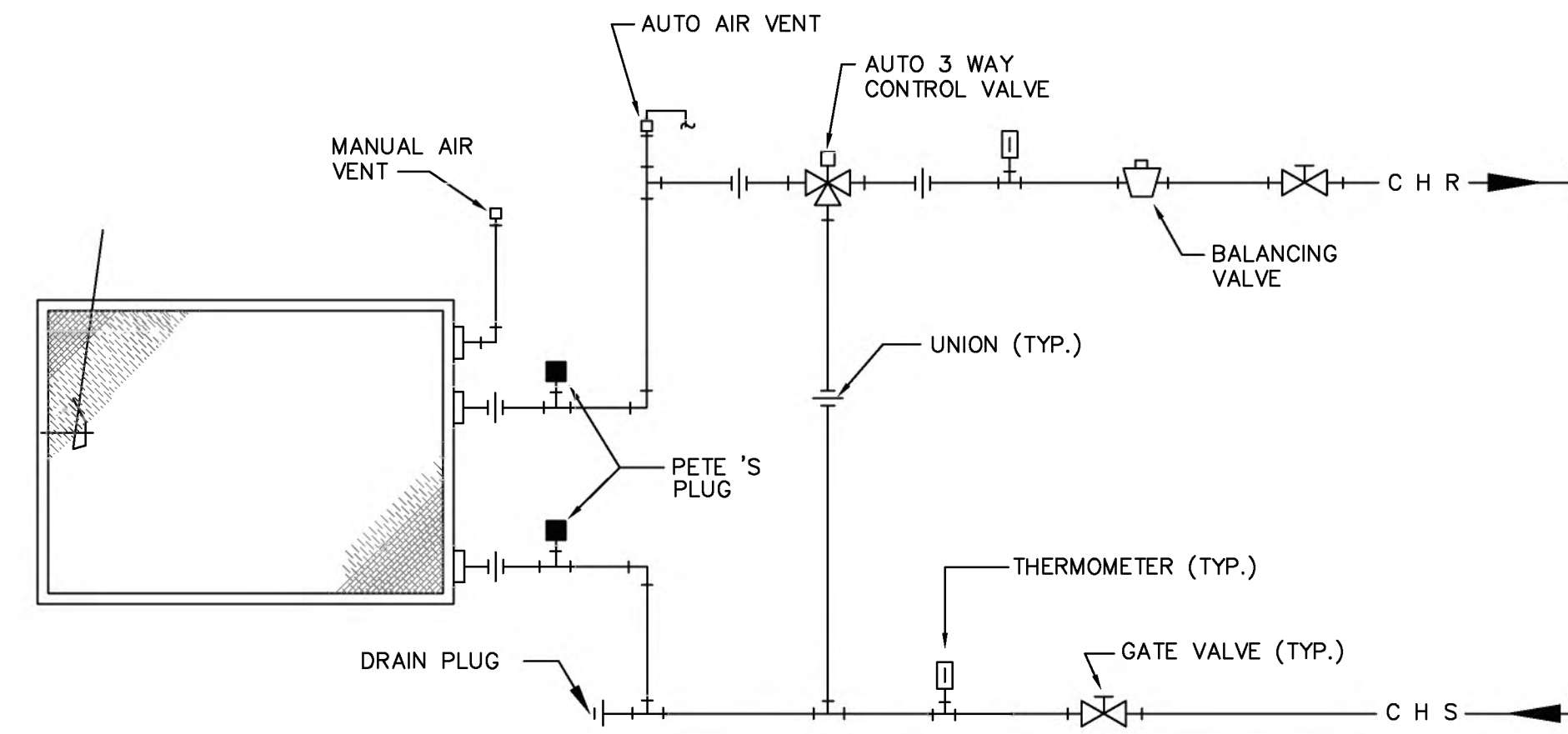




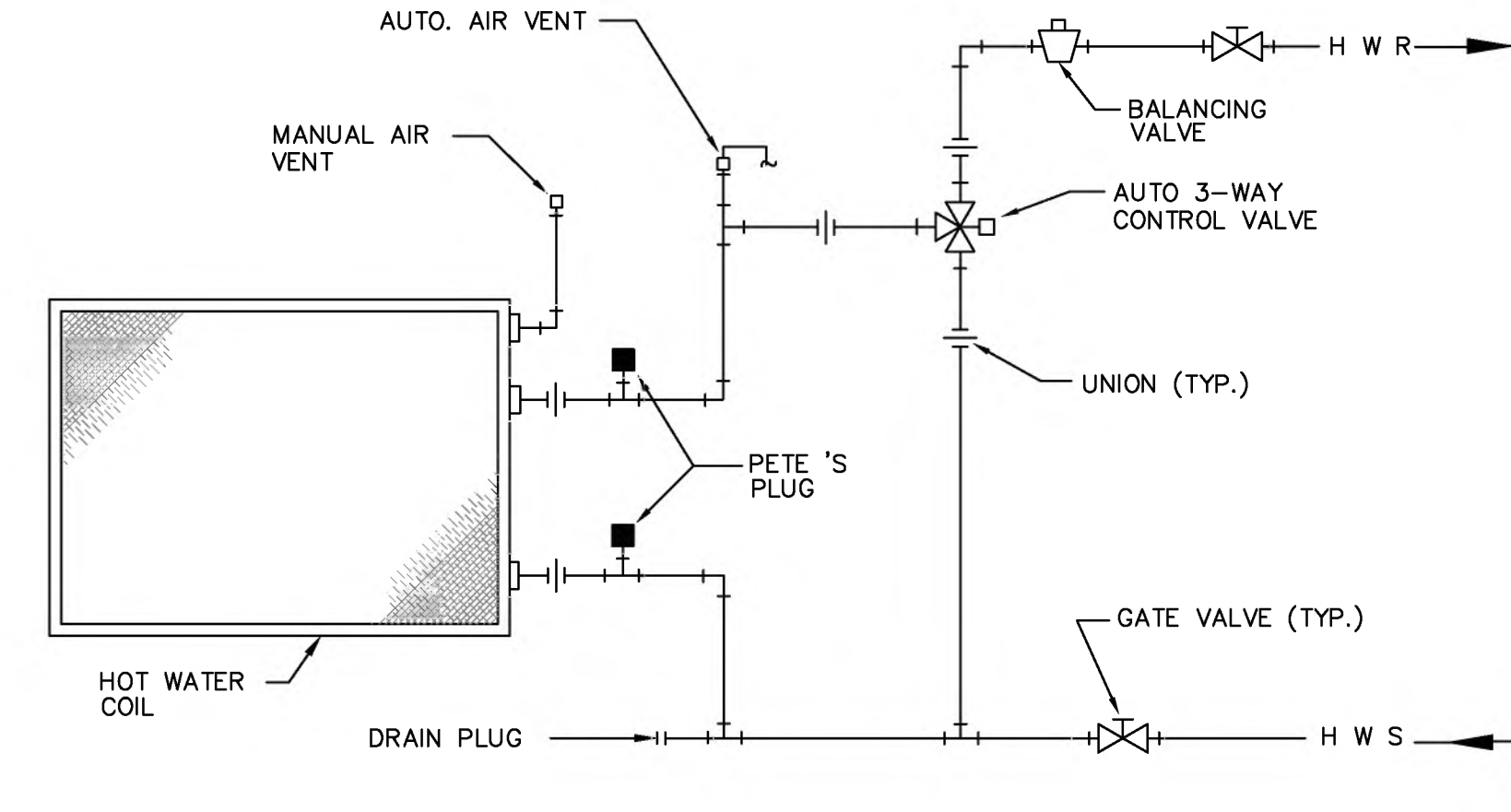




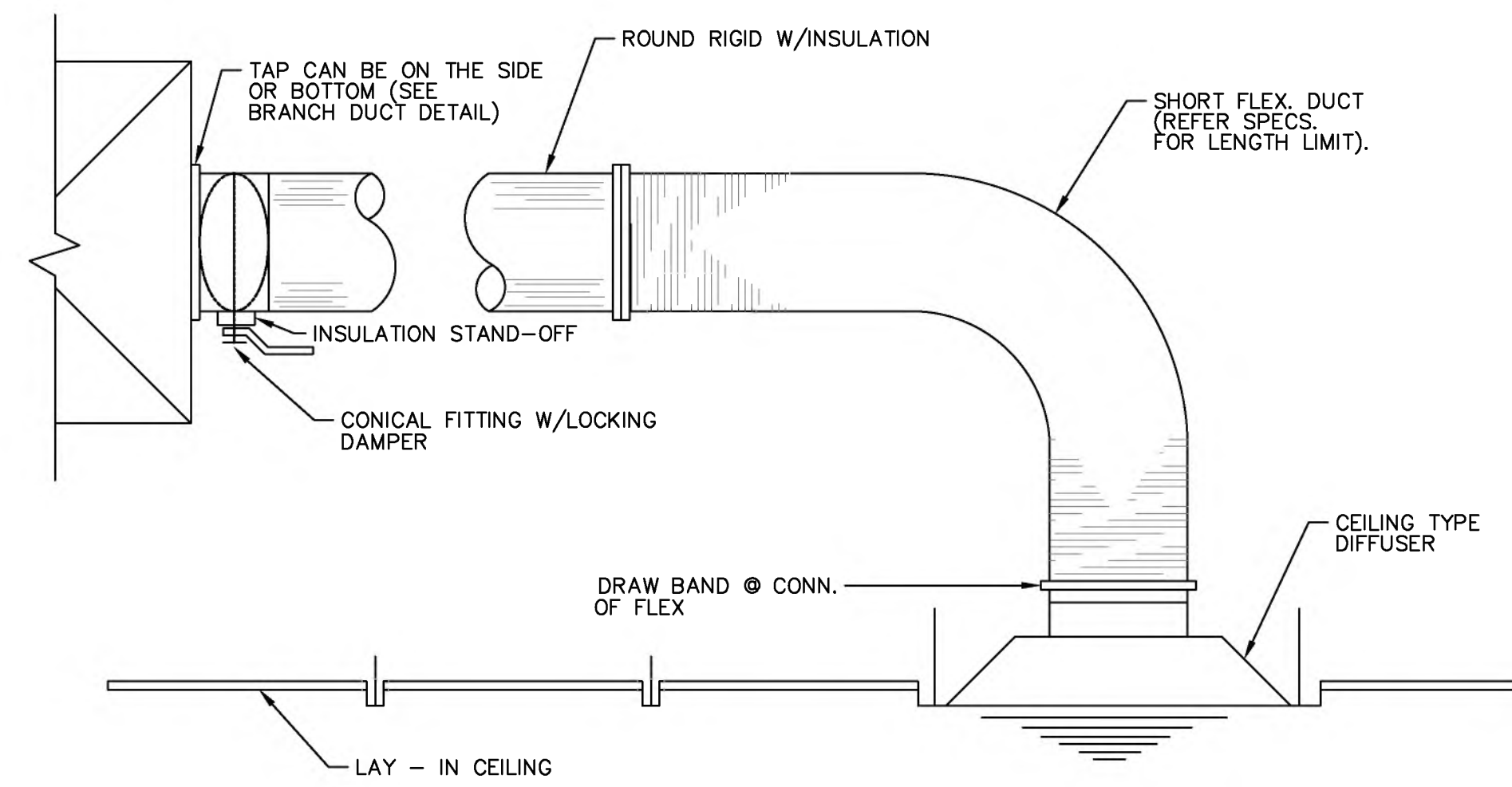
**BRANCH DUCT DETAIL CONNECTIONS**  
NOT TO SCALE (LOW PRESSURE)



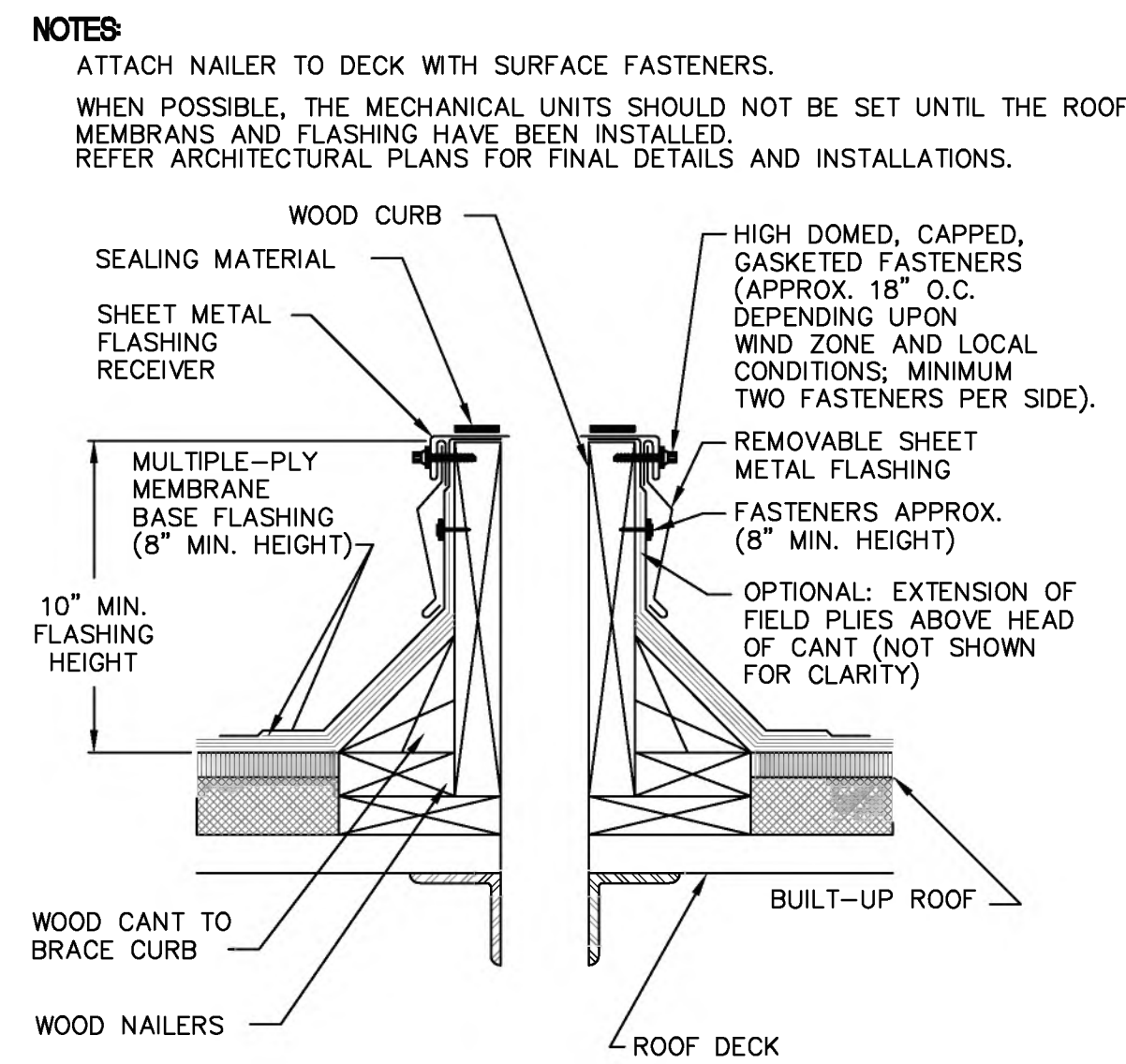
**CHILLED WATER COIL PIPING DIAGRAM**  
NOT TO SCALE



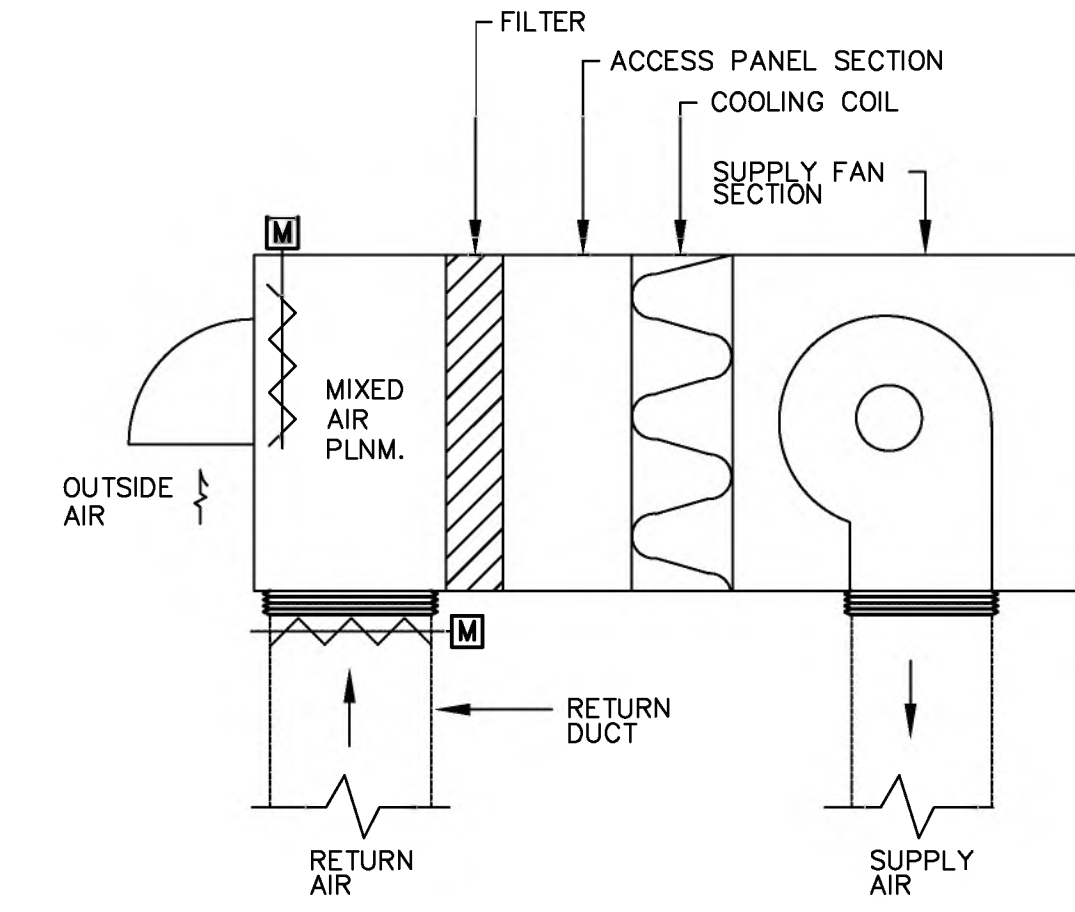
**HOT WATER COIL PIPING DIAGRAM**  
NOT TO SCALE



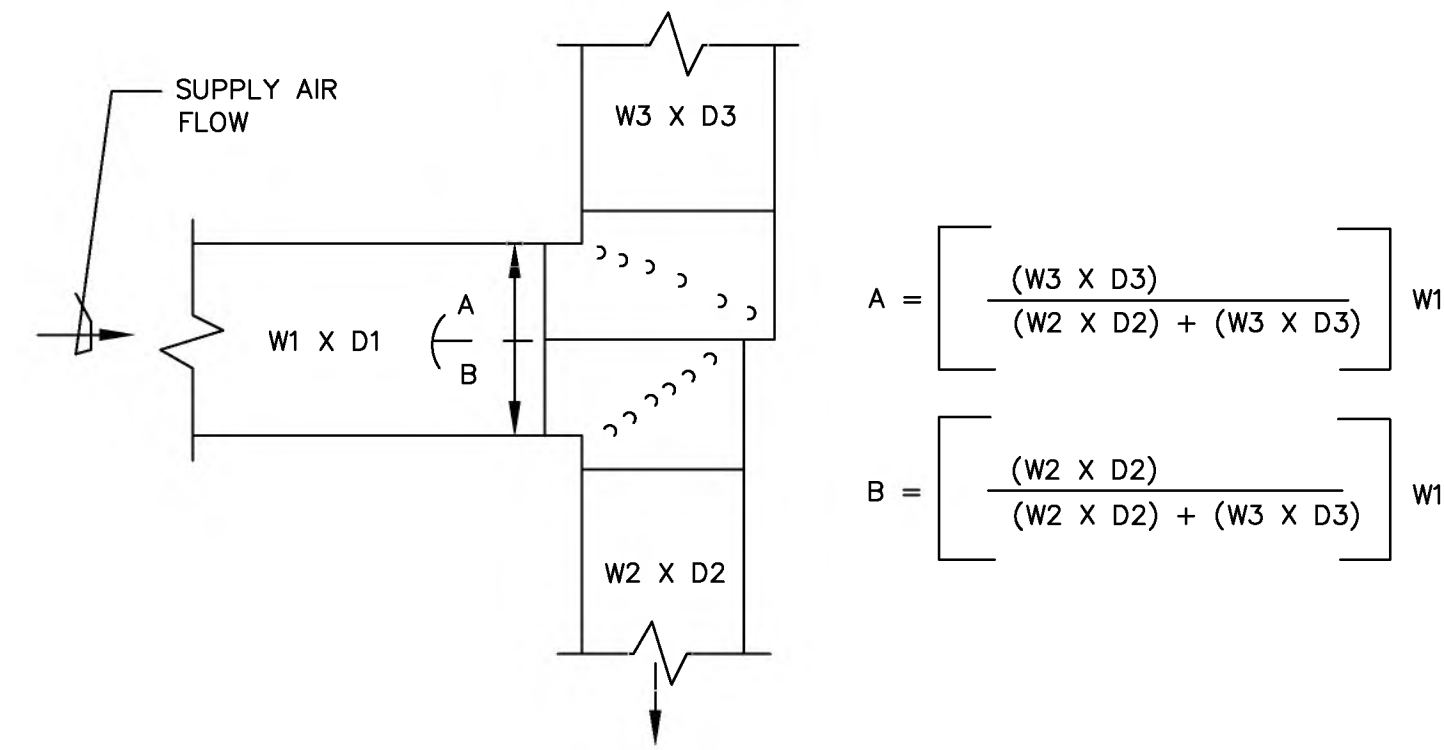
**TYPICAL CEILING SUPPLY DIFFUSER DETAIL**  
NOT TO SCALE



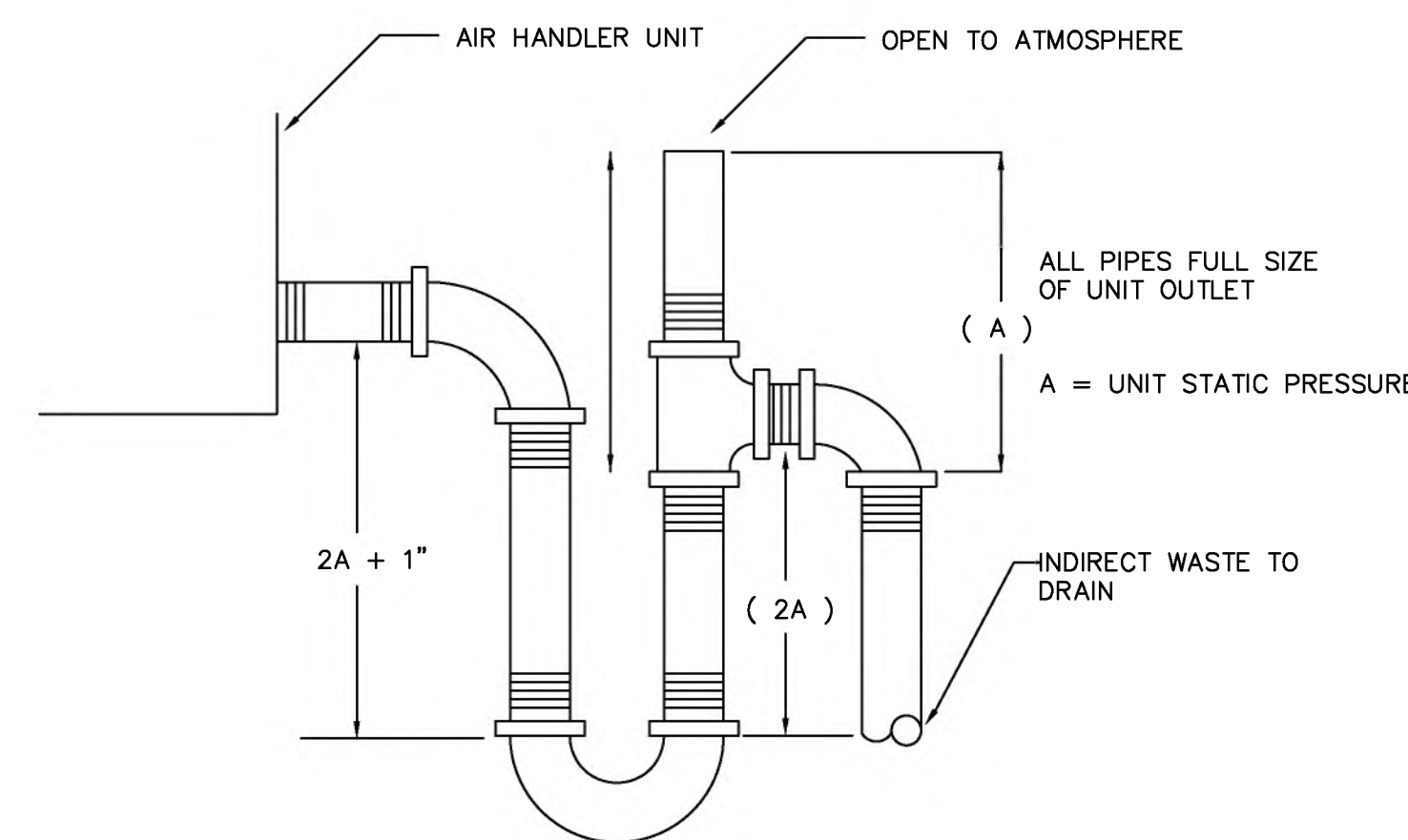
**ROOF CURB DETAIL**  
NOT TO SCALE



**TYPICAL OUTDOOR AIR HANDLING UNIT SCHEMATIC DETAIL**  
NOT TO SCALE (OUTDOOR ROOF UNIT) (VAV APPLICATION) (DRAW-THRU SYSTEM)



**TRUNK DIVIDER SIZES DETAIL**  
NOT TO SCALE



**CONDENSATE DRAIN PIPING DIAGRAM**  
NOT TO SCALE

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RENOVATIONS TO  
**UMPHREY LEE ELEMENTARY SCHOOL**  
7808 RACINE DR., DALLAS, TEXAS 75222

Date: 07/07/2024

Revised:

Project No. 2245

File Name: M6.02\_SCHED DTL.PDF

Sheet Title: SCHEDULES-DETAILS

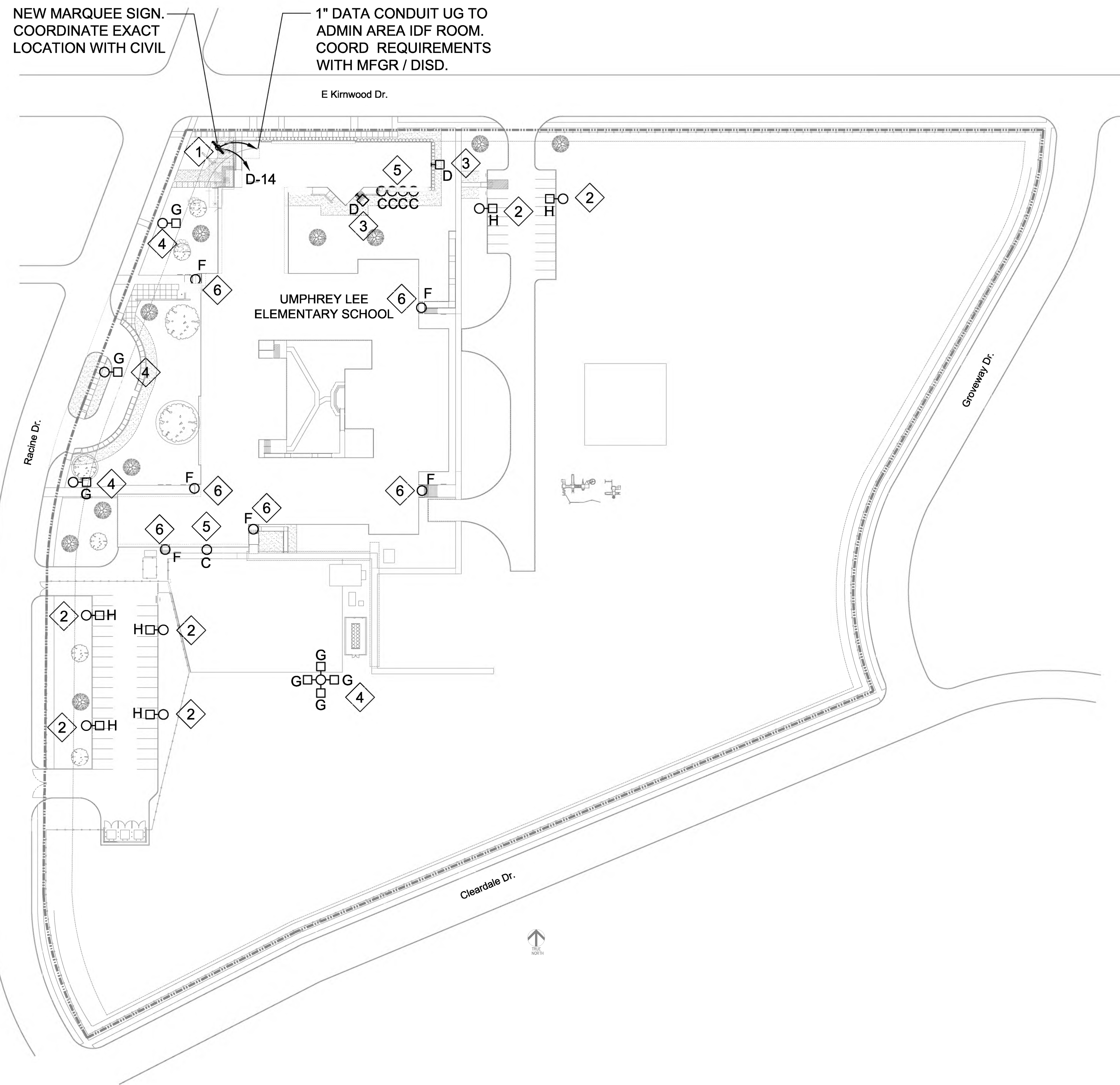
Sheet No.

IDA JOB # 22-018A  
IDA Engineering, Inc.  
16990 N. DALLAS FRWY  
DALLAS, TEXAS 75249  
SUITE 106 (972) 991-1927  
TEXAS REGISTERED ENGINEERING FIRM-P-24089



**M-4**  
Sheet 5 Of 5





NEW MARQUEE SIGN.  
COORDINATE EXACT  
LOCATION WITH CIVIL

1" DATA CONDUIT UG TO  
ADMIN AREA IDF ROOM.  
COORD REQUIREMENTS  
WITH MFGR / DISD.

E Kirmwood Dr.

UMPHREY LEE  
ELEMENTARY SCHOOL

Racine Dr.

Grovesway Dr.

Cleardale Dr.

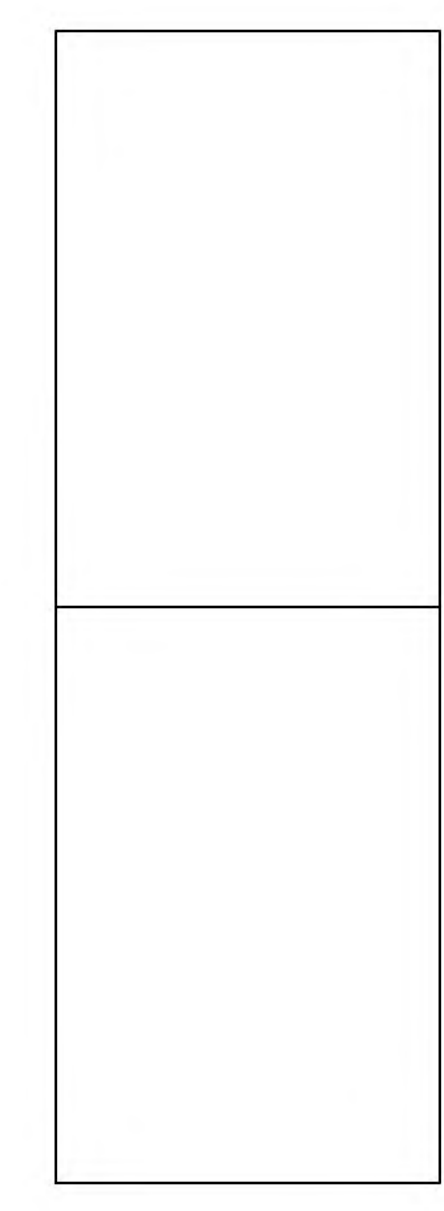
01 SITE PLAN - ELECTRICAL  
SCALE: 1" = 50'

**KEYED NOTES** ◇

- ◇ (THIS SHEET "SE-1" ONLY)  
THE OUTDOOR MARQUEE SIGN IS OLD AND  
OUTDATED. PROVIDE ELECTRICAL POWER /  
LIGHTING AND CONTROLS AS REQUIRED FOR  
NEW OUTDOOR MARQUEE SIGN. PROVIDE 1" C  
DATA AND 3/4" C POWER BACK TO ADMIN AND  
ELECTRICAL PANEL. PROVIDE TWO GROUND  
WIRES, ONE EACH SIDE.
- ◇ EXISTING PARKING LOT LIGHT. REPLACE  
LUMINAIRES WITH LED LUMINAIRES WITH  
PHOTOCELL AND MOTION SENSOR.
- ◇ EXISTING WALL MOUNTED SECURITY LIGHTS.  
REPLACE WITH LED TYPE SECURITY LIGHTS.
- ◇ EXISTING POLE MOUNTED SECURITY LIGHTS.  
REPLACE LUMINAIRES WITH LED TYPE  
LUMINAIRES.
- ◇ EXISTING RECESSED CEILING MOUNTED  
SECURITY LIGHTS. REPLACE LAMPS WITH LED  
TYPE LAMPS.
- ◇ EXISTING SURFACE MOUNTED SECURITY  
LIGHTS. REPLACE LUMINAIRES WITH LED  
TYPE LUMINAIRES.

**GENERAL NOTES**  
(THIS SHEET "SE-1" ONLY)

- A. REFER TO SPECIFICATION DIVISION 26 FOR  
ALL LIGHTING CONTROLS.



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*Dimensions*  
ARCHITECTS  
DALLAS, TEXAS 75243  
8500 LBJ Fwy, Suite 495  
Tel: 214.226.3800

RENOVATIONS TO  
**UMPHREY LEE ELEMENTARY SCHOOL**  
7808 RACINE DR.,  
DALLAS, TEXAS 75223

Date: 07/07/2024  
Revised:  
Project No. 2245  
File Name: E1.00\_SITE ELEC.PDF  
Sheet Title: SITE PLANS - ELEC

Sheet No.  
**SE-1**  
Sheet 1 Of 1

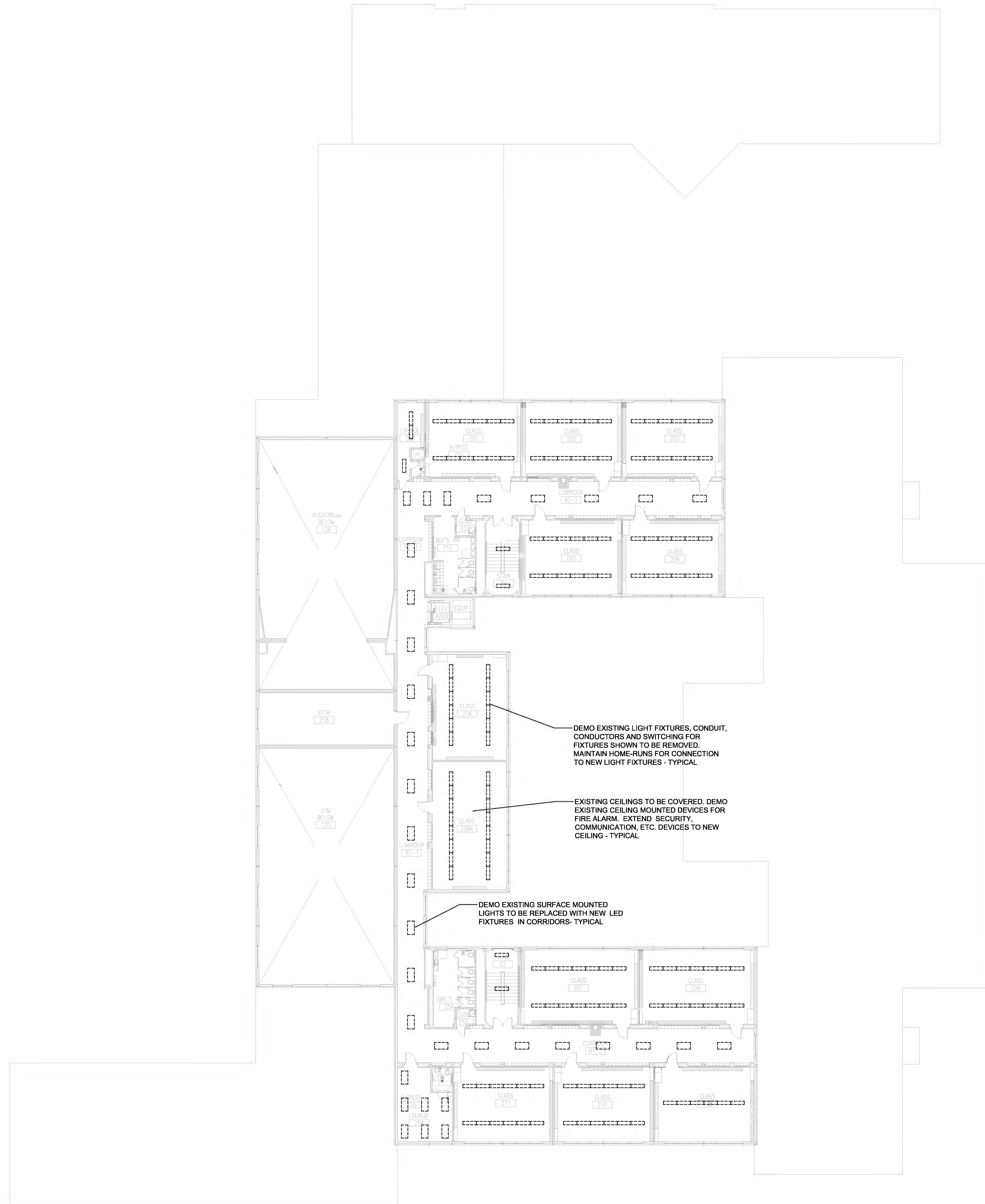
IDA JOB # 22-018A  
IDA Engineering, Inc.  
16990 N. DALLAS FRWY  
DALLAS, TEXAS 75249  
SUITE 106 (972) 991-1927  
TEXAS REGISTERED ENGINEERING FIRM-P-24089



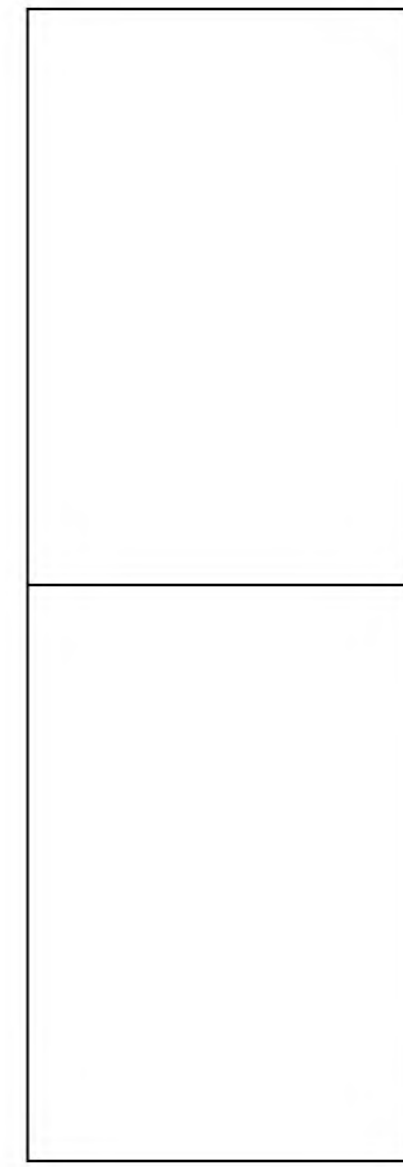




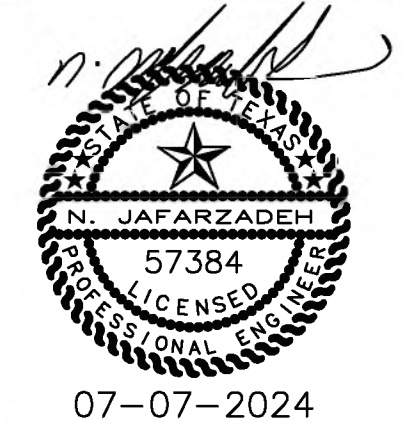




**01 SECOND FLOOR PLAN - ELECTRICAL DEMO**  
 SCALE: 1/16" = 1'-0" PLAN NORTH



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*Dimensions*  
 ARCHITECTS  
 8500 LBJ FWY, SUITE 495  
 DALLAS, TEXAS 75248  
 TEL: 214-263-5000

RENOVATIONS TO  
**UMPHREY LEE ELEMENTARY SCHOOL**  
 7808 RACINE DR., DALLAS, TEXAS 75222

Date: 07/07/2024

Revised:

Project No. 2245

File Name: E1.02\_FLR2 DEMO.PDF

Sheet Title:

2nd FLOOR PLAN-ELEC DEMO

Sheet No.

IDA JOB # 22-018A

IDA Engineering, Inc.  
 16990 N. DALLAS PKWY  
 DALLAS, TEXAS 75248  
 SUITE 100 (972) 991-1927  
 TEXAS REGISTERED ENGINEERING FIRM-P-24089



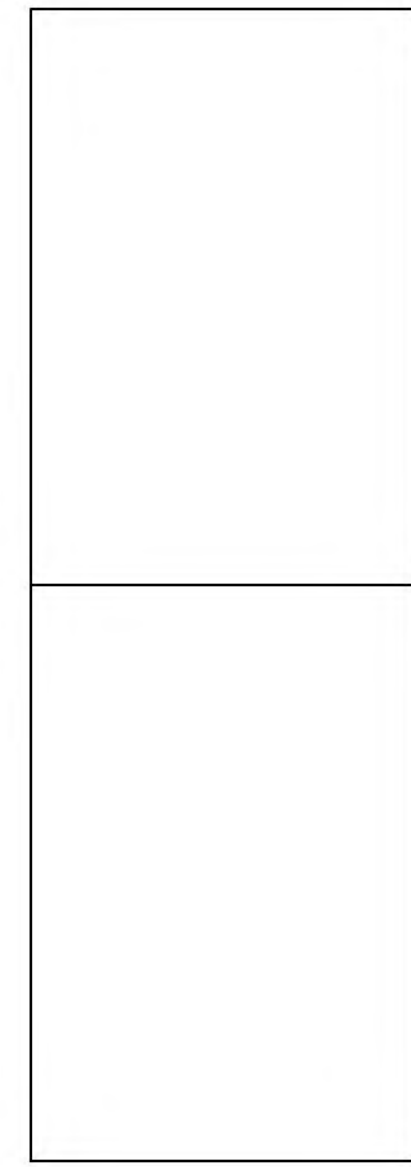
**DE-2**

Sheet 2 Of 8





**01 ROOF PLAN - ELECTRICAL DEMO** PLAN NORTH  
 SCALE: 1/16" = 1'-0"



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07-07-2024

**Dimensions**  
 ARCHITECTS  
 8530 LBJ Fwy, Suite 495  
 Dallas, TX 75243  
 Tel: 214.226.3800

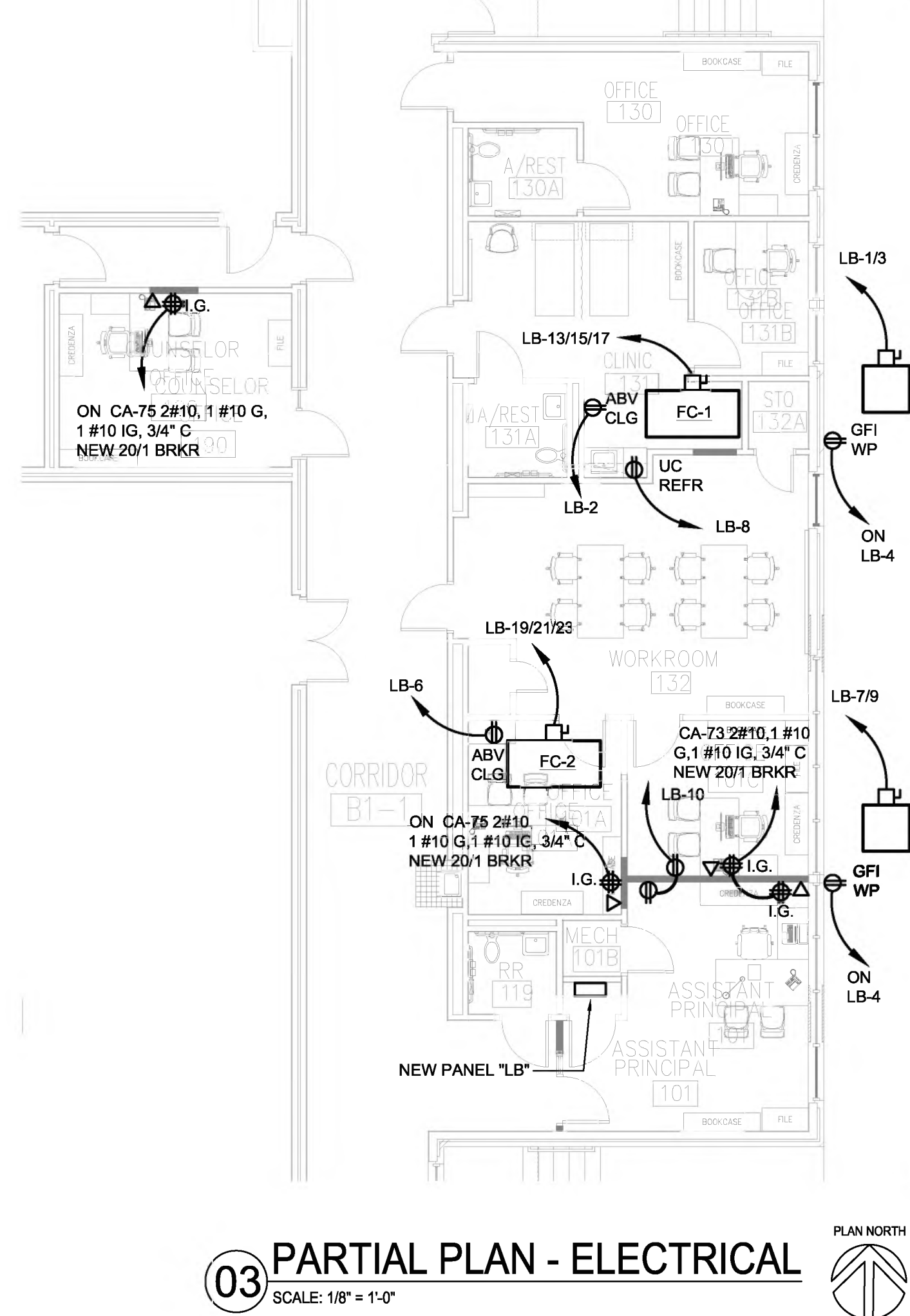
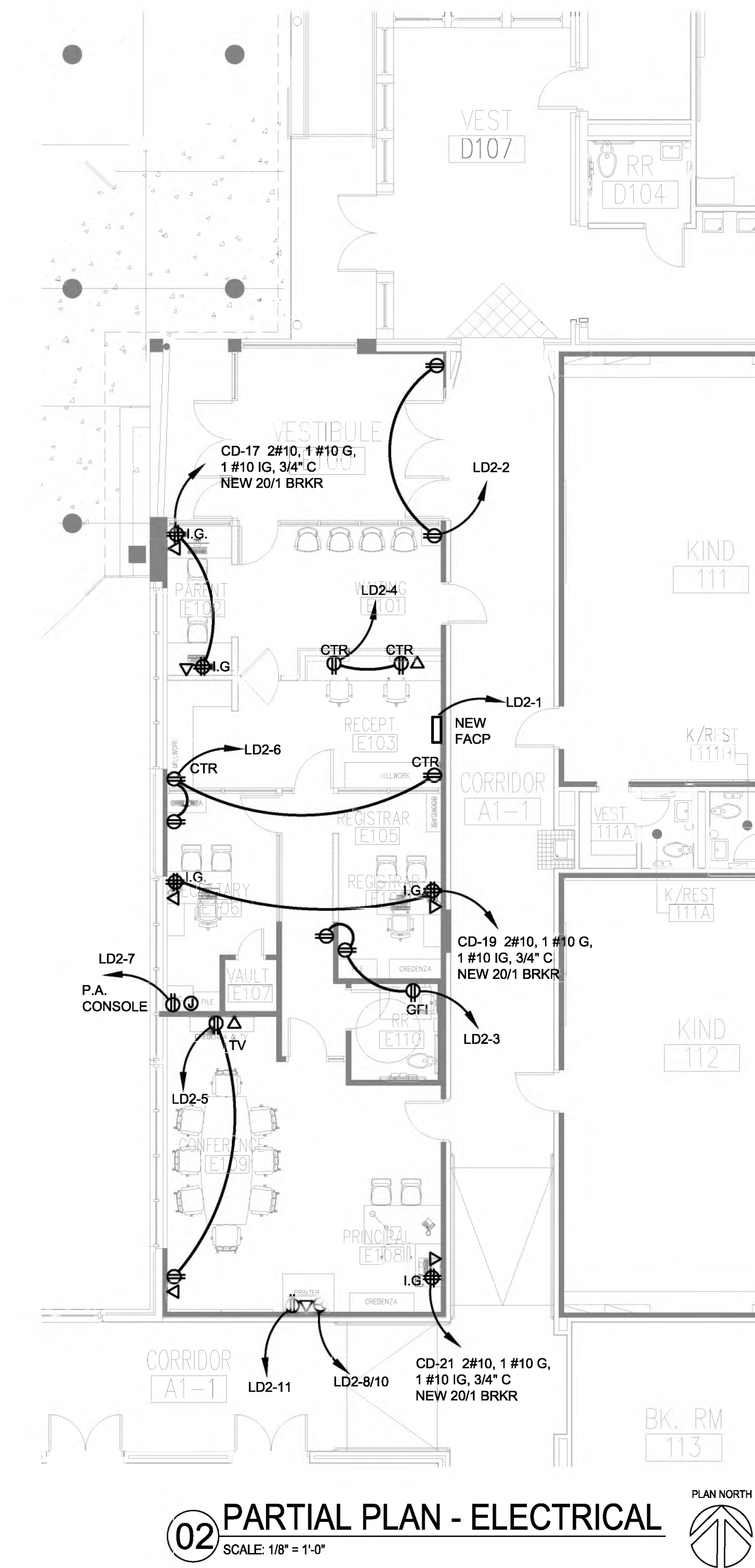
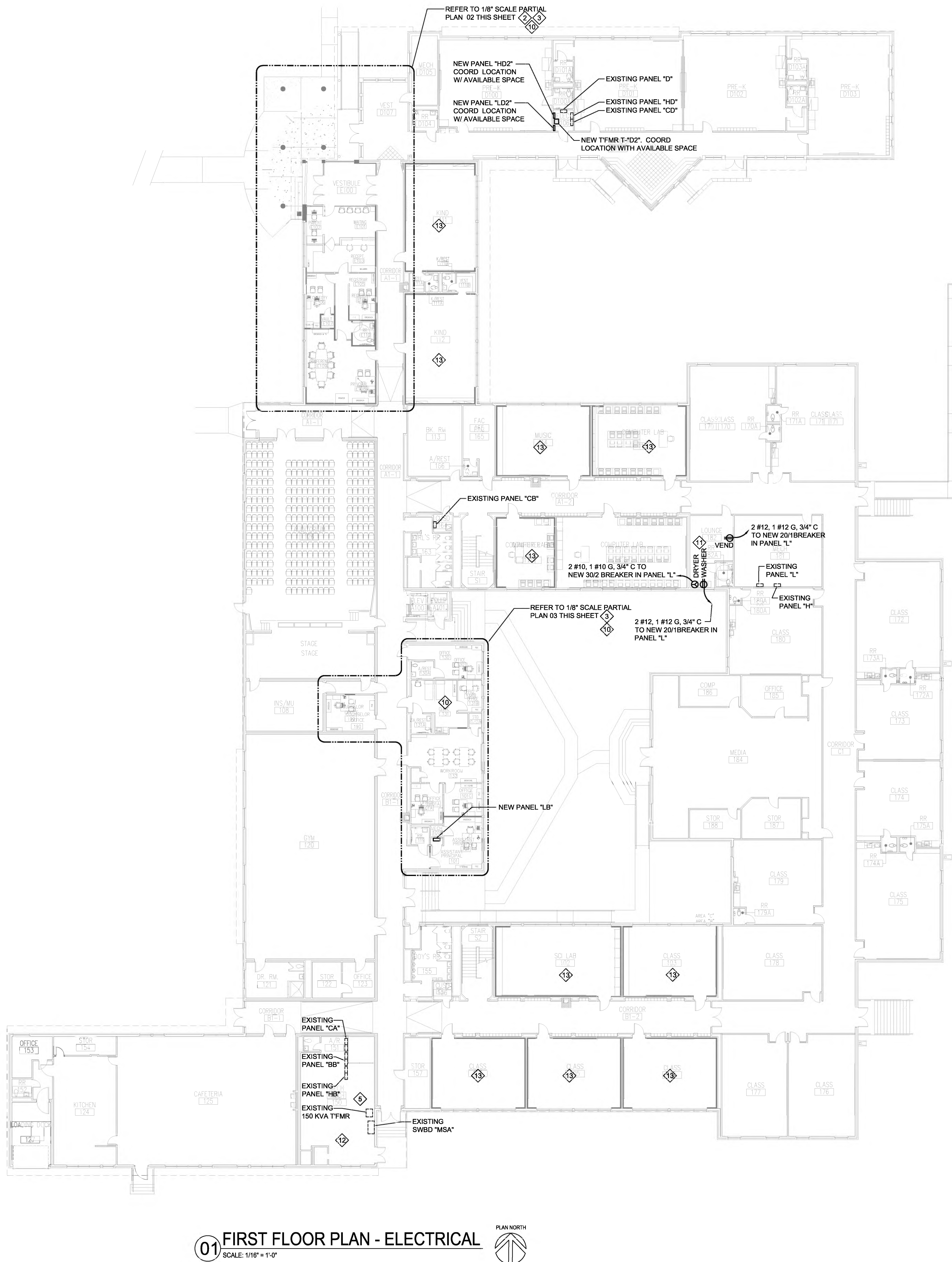
RENOVATIONS TO  
**UMPHREY LEE ELEMENTARY SCHOOL**  
 7808 RACINE DR., DALLAS, TEXAS 75222

Date: 07/07/2024  
 Revised:  
 Project No. 2245  
 File Name: E1.03\_ROOF DEMO.PDF  
 Sheet Title: ROOF PLAN - ELEC DEMO

Sheet No.  
**DE-3**  
 Sheet 3 Of 8

IDA JOB # 22-018A  
**IDA Engineering, Inc.**  
 16990 N. DALLAS FRWY  
 DALLAS, TEXAS 75244  
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 TEXAS REGISTERED ENGINEERING FIRM-P-24089





**KEYED NOTES**

- 1 (ALL "E" and "T" SHEETS)  
EXISTING SECURITY SYSTEM IS OLD AND IS TO BE UPDATED BY ADDING INFRASTRUCTURE FOR ADDITIONAL CAMERAS, CARD READERS AND DOOR CONTACTS. SEE SECURITY AND ACCESS DRAWINGS. INFRASTRUCTURE BY DIV 26. EXISTING SECURITY SYSTEM SHALL REMAIN IN OPERATION WHILE CURRENT SYSTEM IS BEING UP-DATED.
- 2 NEW LED LIGHTING, POWER, SECURITY, FIRE ALARM, RECEPTACLES AND COMMUNICATION SYSTEMS SHALL BE PROVIDED FOR SECURE FRONT VESTIBULE.
- 3 NEW LED LIGHTING, POWER, SECURITY, FIRE ALARM, RECEPTACLES AND COMMUNICATION SYSTEMS SHALL BE PROVIDED FOR RENOVATED AND EXPANDED ADMINISTRATION.
- 4 THE ENTIRE EXISTING FIRE ALARM SYSTEM IS OLD AND OUTDATED. IT SHALL BE REPLACED WITH NEW ADDRESSABLE SYSTEM PER DISD TDG. ALL DOWN TIME OF FIRE ALARM SYSTEM MUST HAVE DISD APPROVAL.
- 5 EXTERIOR LIGHTING CONTROL CONSIST OF OLD TECHNOLOGY AND SHALL BE UP-DATED TO MEET DISD TDG REQUIREMENTS.
- 6 EXISTING CEILINGS TO BE REMOVED. DEMO EXISTING CEILING MOUNTED DEVICES FOR FIRE ALARM, SECURITY AND COMMUNICATION, ETC. - TYPICAL.
- 7 DEMO / DISCONNECT EXISTING ELECTRICAL POWER AND CONTROLS SERVING EXISTING HVAC EQUIPMENT TO BE REMOVED. REFER TO HVAC DRAWINGS - TYPICAL.
- 8 PROVIDE INTERIOR LIGHTING CONTROL TO MEET ECC ENERGY CODE. THE EXISTING INTERIOR LIGHTING DOES NOT COMPLY WITH THE ENERGY CODE.
- 9 REPLACE INTERIOR FLUORESCENT LIGHTING WITH NEW LED LIGHTING.
- 10 PROVIDE ELECTRICAL POWER AS REQUIRED FOR HVAC IMPROVEMENTS, INCLUDING POWER FOR NEW AND REPLACED SPLIT SYSTEMS, ROOFTOP UNITS AND EXHAUST FANS. REFER TO HVAC DRAWINGS.
- 11 PROVIDE ELECTRICAL POWER FOR ADDED WASHER/ DRYER.
- 12 PROVIDE ELECTRICAL POWER FOR (REPLACED) WATER HEATER AND CIRCULATION PUMP.
- 13 EXTEND DEVICES AND WIRING IN WALLS THAT HAVE NEW FURRED WALLS TO BE FLUSH WITH NEW FURRED WALLS. ESTIMATE THREE DEVICES MINIMUM EACH FURRED WALL. FIELD VERIFY QUANTITY AND LOCATIONS.

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Renovations to  
**UMPHREY LEE ELEMENTARY SCHOOL**  
7808 RACINE DR., DALLAS, TEXAS 75223  
8530 LBJ Fwy, Suite 495  
Dallas, TX 75246  
TEL: 214.262.3600

RENOVATIONS TO  
**UMPHREY LEE ELEMENTARY SCHOOL**  
7808 RACINE DR., DALLAS, TEXAS 75223

Date: 07/07/2024

Revised:

Project No. 2245

File Name: E1.04\_FLR1\_ELEC.PDF

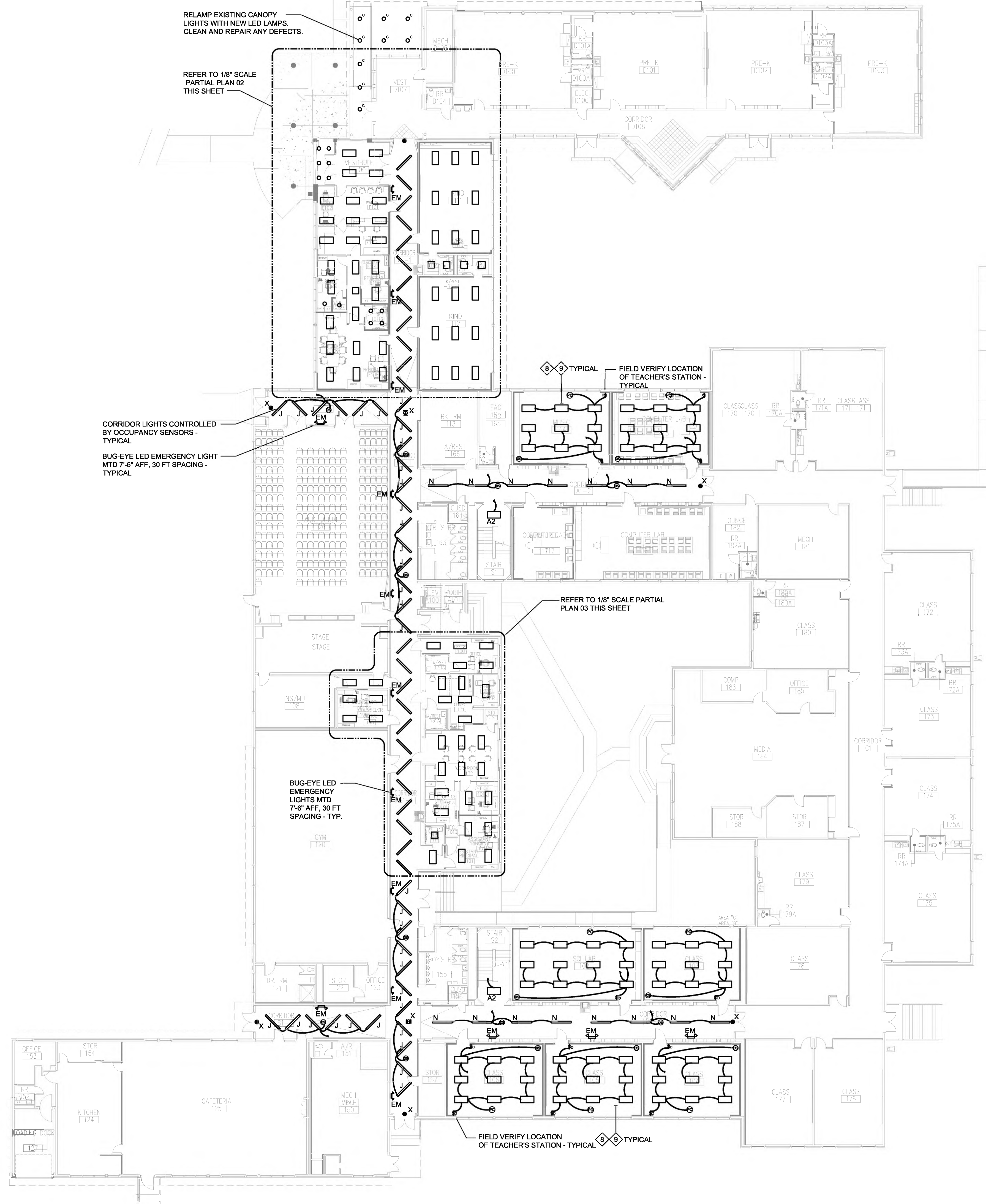
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Sheet No.

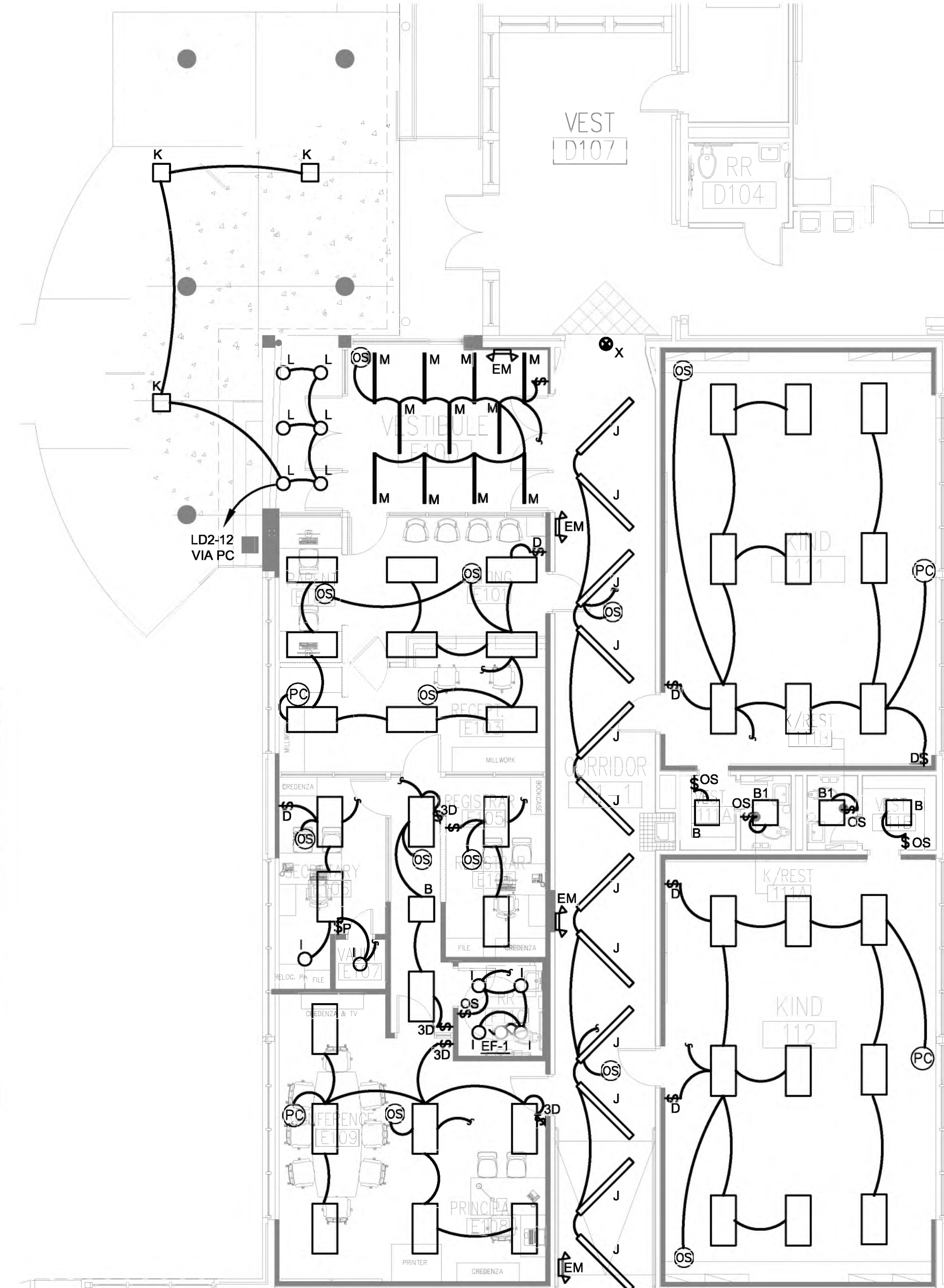
IDA JOB # 22-018A  
IDA Engineering, Inc.  
16990 N. DALLAS PKWY  
DALLAS, TEXAS 75249  
SUITE 106 (972) 991-1927  
TEXAS REGISTERED ENGINEERING FIRM-P-24089

**E-1**  
Sheet 4 Of 8

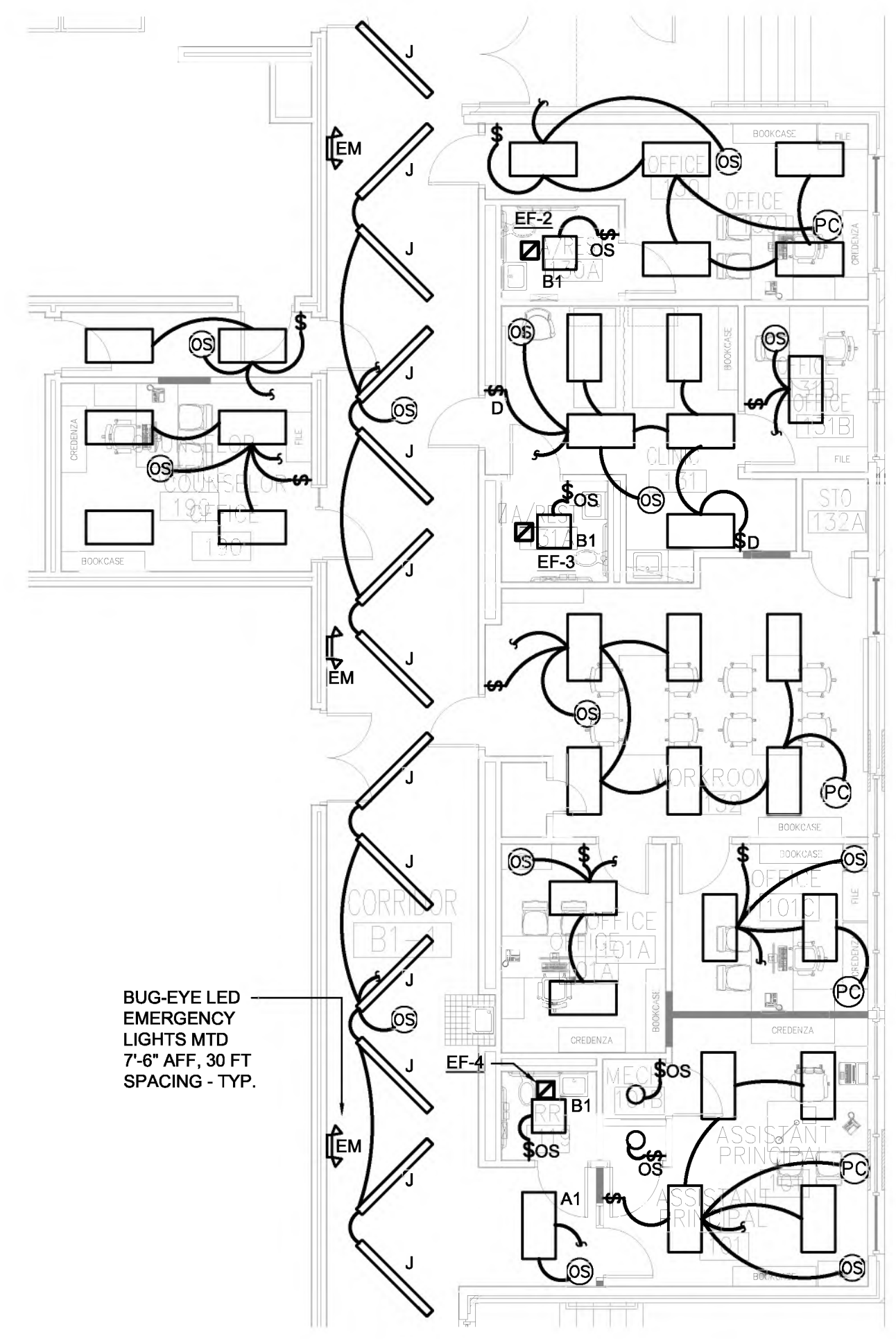




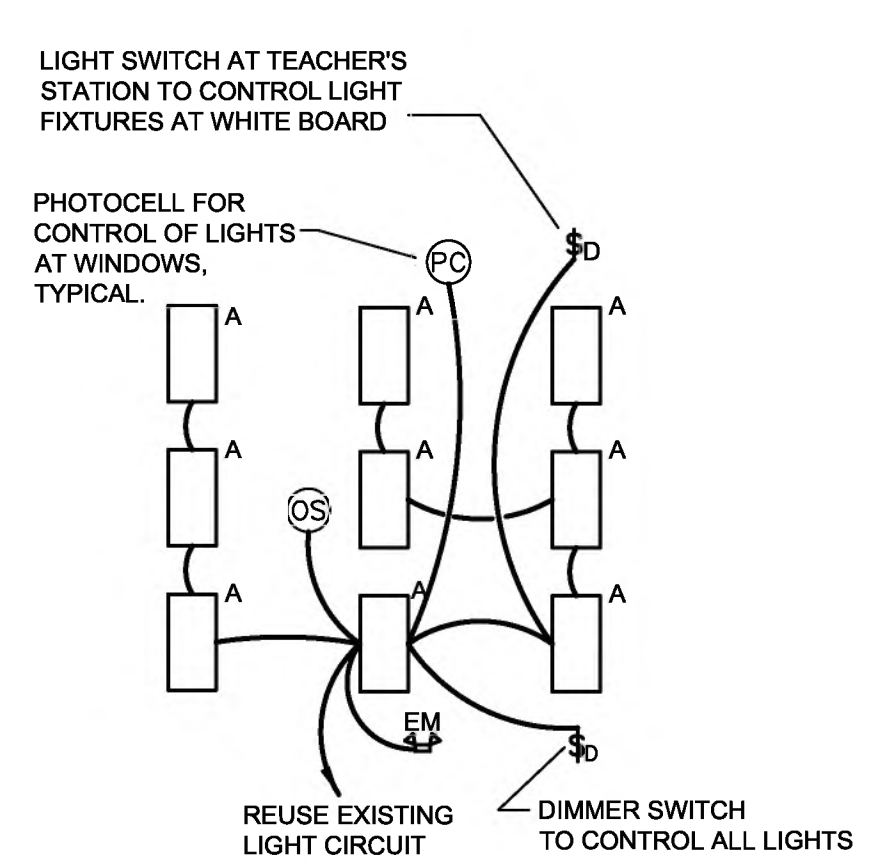
**01 FIRST FLOOR PLAN - LIGHTING**  
SCALE: 1/16" = 1'-0"



**02 PARTIAL PLAN - LIGHTING**  
SCALE: 1/8" = 1'-0"



**03 PARTIAL PLAN - LIGHTING**  
SCALE: 1/8" = 1'-0"



**04 TYPICAL CLASSROOM LIGHTING CONCEPT**  
NO SCALE

**NOTE:**  
LIGHTING CONTROL CONCEPT IS FOR GENERAL CONTROL SEQUENCES ONLY. LIGHTING CONTROL FOR ALL RENOVATED LIGHTING SHALL COMPLY WITH SPECIFICATION SECTION 29 09 41 - LIGHTING CONTROLS, AND 2021 IECC. SUBMIT SHOP DRAWINGS PER SPECIFICATION 26 09 41 - 1.8 FOR EACH SPACE.

- KEYED NOTES** (ALL "E" and "T" SHEETS)
- 1 EXISTING SECURITY SYSTEM IS OLD AND IS TO BE UP-DATED BY ADDING INFRASTRUCTURE FOR ADDITIONAL CAMERAS, CARD READERS AND DOOR CONTACTS. SEE SECURITY AND ACCESS DRAWINGS. INFRASTRUCTURE BY DIV 26. EXISTING SECURITY SYSTEM SHALL REMAIN IN OPERATION WHILE CURRENT SYSTEM IS BEING UP-DATED.
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  - 6 EXISTING CEILINGS TO BE REMOVED. DEMO EXISTING CEILING MOUNTED DEVICES FOR FIRE ALARM, SECURITY, COMMUNICATION, ETC. - TYPICAL.
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  - 8 PROVIDE INTERIOR LIGHTING CONTROL TO MEET IECC ENERGY CODE. THE EXISTING INTERIOR LIGHTING DOES NOT COMPLY WITH THE ENERGY CODE.
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  - 10 PROVIDE ELECTRICAL POWER AS REQUIRED FOR HVAC IMPROVEMENTS, INCLUDING POWER FOR NEW AND REPLACED SPLIT SYSTEMS, ROOFTOP UNITS AND EXHAUST FANS. REFER TO HVAC DRAWINGS.
  - 11 PROVIDE ELECTRICAL POWER FOR ADDED WASHER / DRYER.
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  - 13 EXTEND DEVICES AND WIRING IN WALLS THAT HAVE NEW FURRED WALLS TO BE FLUSH WITH NEW FURRED WALLS. ESTIMATE THREE DEVICES MINIMUM EACH FURRED WALL. FIELD VERIFY QUANTITY AND LOCATIONS.

RELAMP EXISTING CANOPY LIGHTS WITH NEW LED LAMPS. CLEAN AND REPAIR ANY DEFECTS.

REFER TO 1/8" SCALE PARTIAL PLAN 02 THIS SHEET

CORRIDOR LIGHTS CONTROLLED BY OCCUPANCY SENSORS - TYPICAL

BUG-EYE LED EMERGENCY LIGHT MTD 7'-6" AFF, 30 FT SPACING - TYPICAL

BUG-EYE LED EMERGENCY LIGHTS MTD 7'-6" AFF, 30 FT SPACING - TYP.

TYPICAL FIELD VERIFY LOCATION OF TEACHER'S STATION - TYPICAL

REFER TO 1/8" SCALE PARTIAL PLAN 03 THIS SHEET

TYPICAL FIELD VERIFY LOCATION OF TEACHER'S STATION - TYPICAL

LIGHT SWITCH AT TEACHERS STATION TO CONTROL LIGHT FIXTURES AT WHITE BOARD

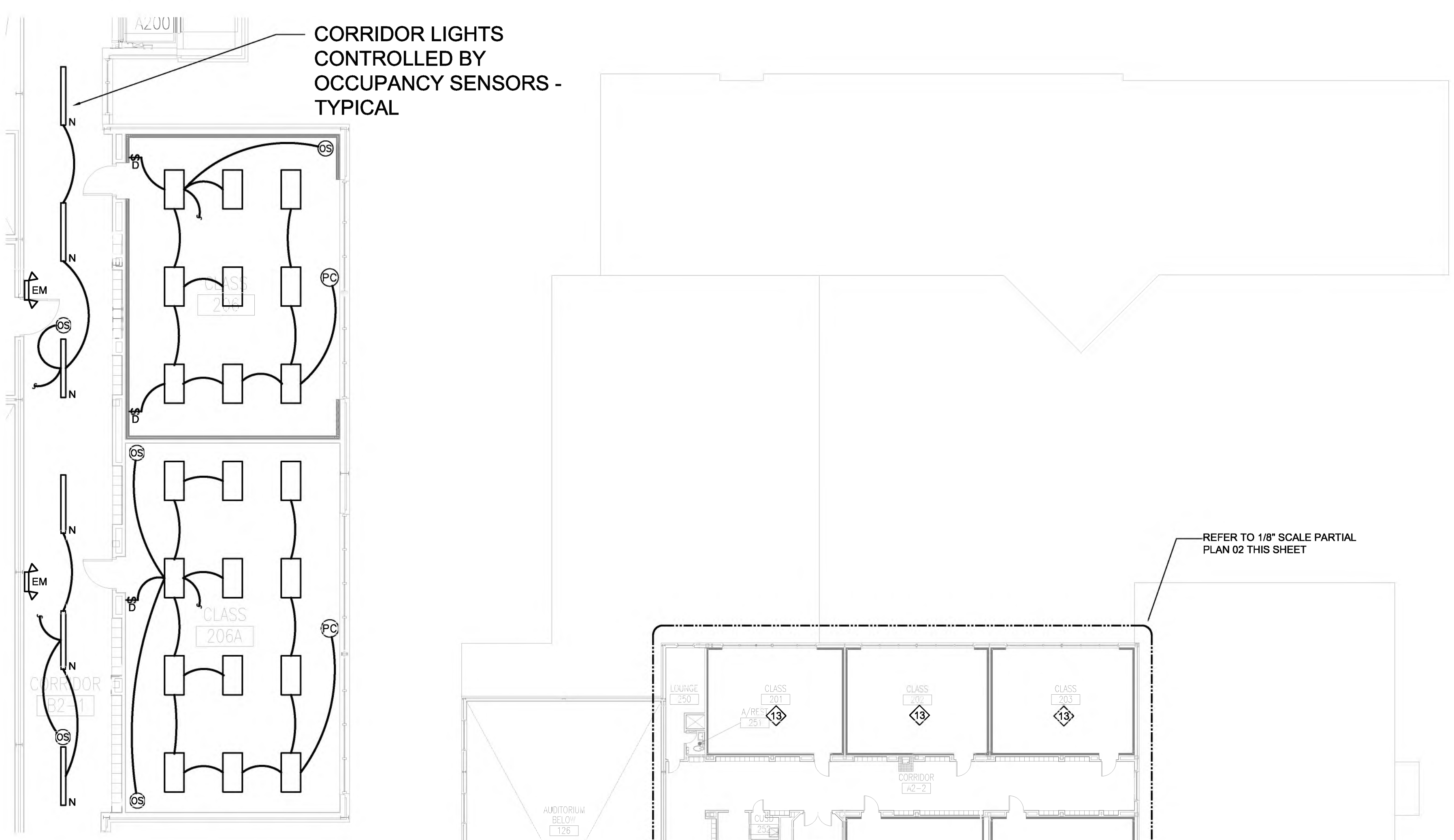
PHOTOCELL FOR CONTROL OF LIGHTS AT WINDOWS, TYPICAL.

REUSE EXISTING LIGHT CIRCUIT

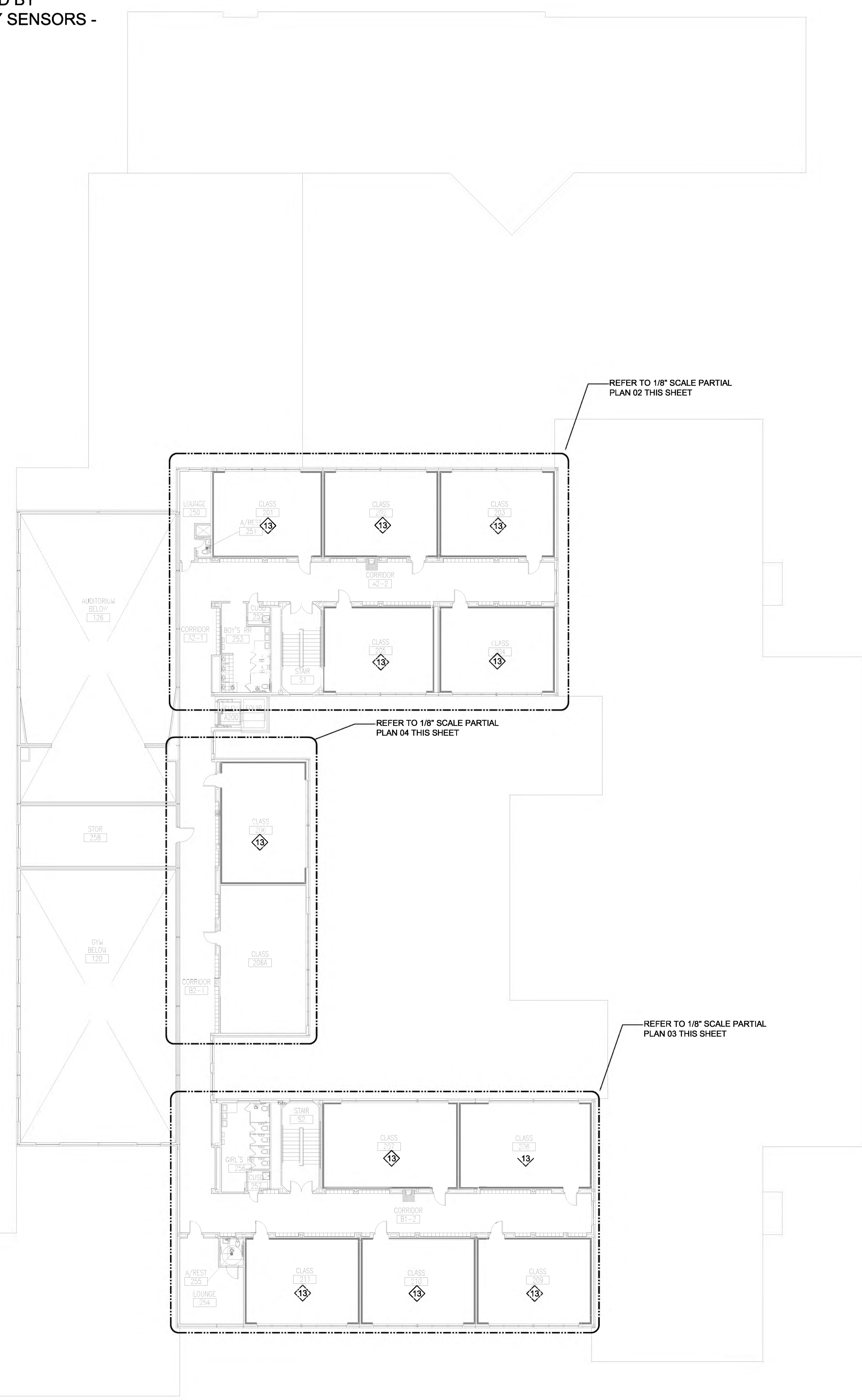
DIMMER SWITCH TO CONTROL ALL LIGHTS



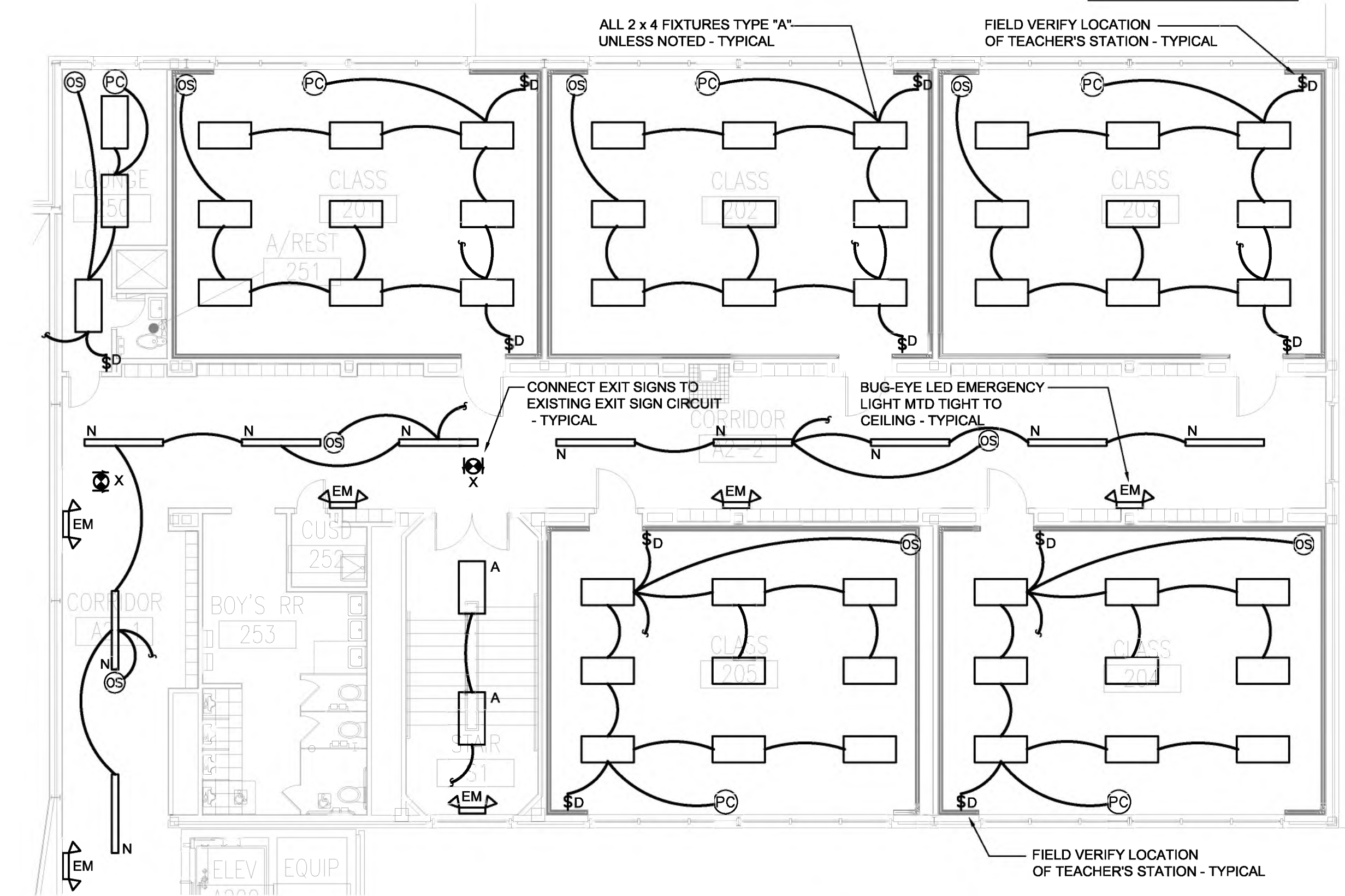




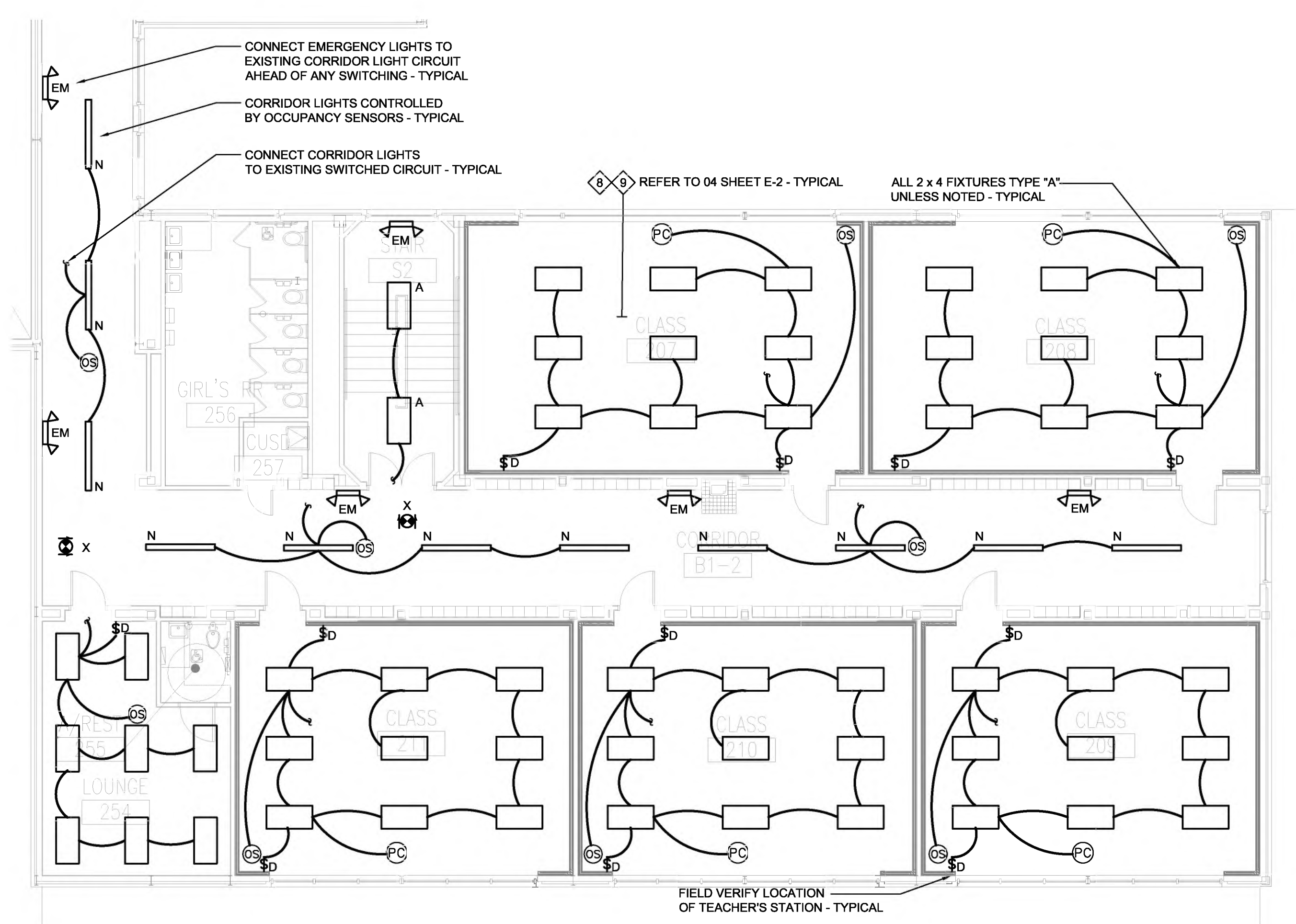
**04 PARTIAL FLOOR PLAN - LIGHTING**  
 SCALE: 1/8" = 1'-0"  
 PLAN NORTH



**01 SECOND FLOOR PLAN - ELECTRICAL**  
 SCALE: 1/16" = 1'-0"  
 PLAN NORTH

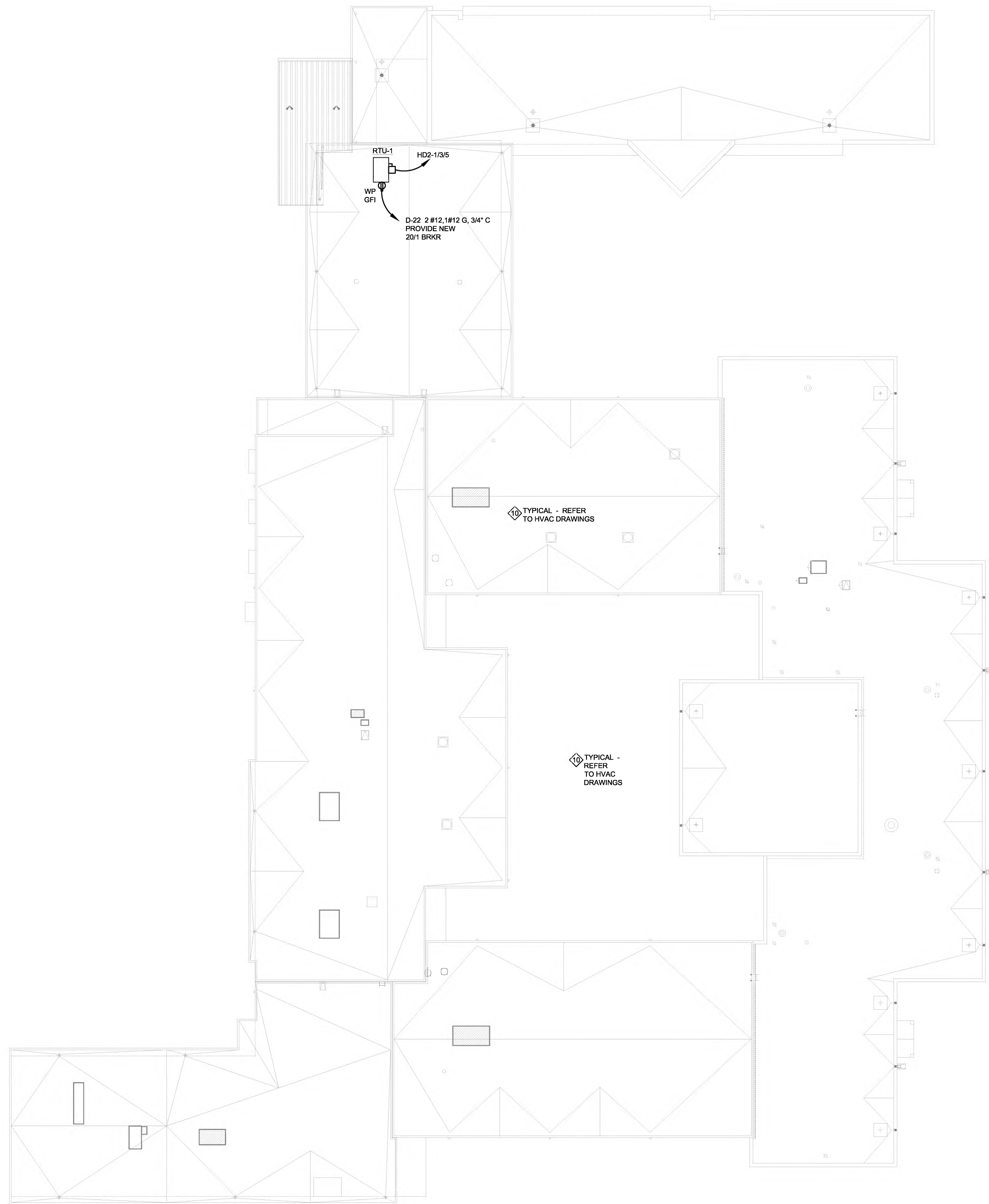


**02 PARTIAL FLOOR PLAN - LIGHTING**  
 SCALE: 1/8" = 1'-0"  
 PLAN NORTH

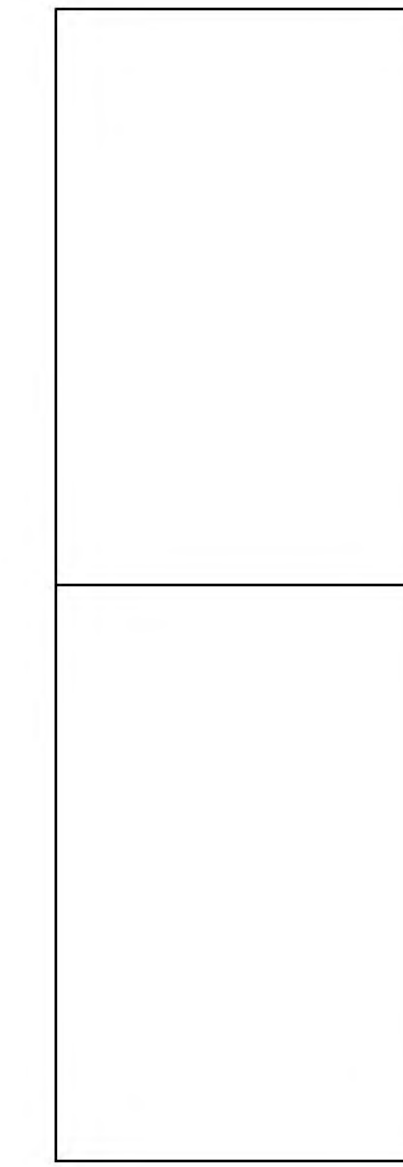


**03 PARTIAL FLOOR PLAN - LIGHTING**  
 SCALE: 1/8" = 1'-0"  
 PLAN NORTH





**01 ROOF PLAN - ELECTRICAL**  
 SCALE: 1/16" = 1'-0"  
 PLAN NORTH



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07-07-2024



RENOVATIONS TO  
**UMPHREY LEE ELEMENTARY SCHOOL**  
 7608 RACINE DR.,  
 DALLAS, TEXAS 75232

Date: 07/07/2024  
 Revised:  
 Project No. 2245  
 File Name: E1.07\_ROOF ELEC.PDF  
 Sheet Title: ROOF PLAN - ELEC

Sheet No.  
**E-4**  
 Sheet 7 Of 8

IDA JOB # 22-018A  
 IDA Engineering, Inc.  
 16990 N. DALLAS PKWY  
 DALLAS, TEXAS 75249  
 SUITE 106 (972) 991-1927  
 TEXAS REGISTERED ENGINEERING FIRM-P-24089



PANELBOARD "HD2" SCHEDULE													
VOLTAGE		480/277		EQUIPMENT GROUND BUS		FULLY RATED		MAIN		M.L.D.			
PHASE		3		ISOLATED GROUND BUS		MAIN BREAKER		100A		100%			
WIRE		4		OTHER		M.L.D.		100%		100%			
S/N		100%		100%		100%		100%		100%			
LOCATED: _____ MOUNTING: _____ SURFACE: _____													
CRIT #	TRIP #	NO. POLES	WIRE	LOAD SERVED	PHASE LOAD (VA)	A	B	C	LOAD SERVED	WIRE	NO. TRIP POLES	TRIP #	
1	60	3	2	MTU-1 (10 TONS)	14133	0	0	0	SPACE ONLY	-	-	-	2
3	-	-	-	-	0	0	0	0	SPACE ONLY	-	-	-	4
5	-	-	-	-	0	0	0	0	SPACE ONLY	-	-	-	6
7	20	3	1	SPARE	0	0	0	0	SPACE ONLY	-	-	-	8
9	-	-	-	-	0	0	0	0	SPACE ONLY	-	-	-	10
11	-	-	-	-	0	0	0	0	SPACE ONLY	-	-	-	12
13	20	3	1	PANEL "LD2" VIA TFRM	1750	0	0	0	SPACE ONLY	-	-	-	14
15	-	-	-	-	0	0	0	0	SPACE ONLY	-	-	-	16
17	-	-	-	-	0	0	0	0	SPACE ONLY	-	-	-	18
ENTIRE PANEL TOTALS:					15833	15833	15833						
TOTAL CONNECTED LOAD:				47.5	KVA	1		3#6, 1 #10 G, 3/4" C		WIRE			
TOTAL CONNECTED AMPS:				57.2		1		3#6, 1 #10 G, 3/4" C					
DESIGN LOAD:				51.9	KVA	2		3#6, 1 #10 G, 3/4" C					
LOAD TYPE   LGHS (VA)   RCPTS (VA)   MOTORS (VA)   MFD EQUIP (VA)   NO.   HEAT (VA)   MISC (VA)   TOTALS (VA)													
TOTALS (VA)	0	5100	42300	0	0	0	0	0	0	0	0	47400	
FACTOR	1.25	RCPTS (VA)	- PER SEC	1.0	-	1.00	1.00	-	-	-	-	-	
DENSEN (VA)	0	5100	45932.25	0	-	0	0	0	0	0	0	51832.25	

PANELBOARD "LD2" SCHEDULE												
VOLTAGE		208/120		EQUIPMENT GROUND BUS		FULLY RATED		MAIN		M.L.D.		
PHASE		3		ISOLATED GROUND BUS		MAIN BREAKER		500		100%		
WIRE		4		OTHER		M.L.D.		100%		100%		
S/N		100%		100%		100%		100%		100%		
LOCATED: _____ MOUNTING: _____ SURFACE: _____												
CRIT #	TRIP #	NO. POLES	WIRE	LOAD SERVED	PHASE LOAD (VA)	A	B	C	LOAD SERVED	WIRE	NO. TRIP POLES	TRIP #
1	20	1	1	FACP	500	0	0	0	RCPT-3 E105, E101	1	1	20
3	20	1	1	RCPT-3 E105, E110	540	0	0	0	RCPT-2 E103	1	1	20
5	20	1	1	RCPT-2 E109 TV	380	0	0	0	RCPT-1 E103 EX06	1	1	20
7	20	1	1	P.A. CONSOLE	500	0	0	0	PRINTER	1	2	20
9	20	1	1	SPARE	0	0	0	0	-	-	-	10
11	20	1	1	SPARE	0	0	0	0	OUTDOOR LIGHTS	1	1	20
13	20	1	1	SPARE	0	0	0	0	SPACE ONLY	-	-	14
15	20	1	1	SPARE	0	0	0	0	SPACE ONLY	-	-	16
17	20	1	1	SPARE	0	0	0	0	SPACE ONLY	-	-	18
19	20	1	1	SPACE ONLY	0	0	0	0	SPACE ONLY	-	-	20
21	20	1	1	SPACE ONLY	0	0	0	0	SPACE ONLY	-	-	22
23	20	1	1	SPACE ONLY	0	0	0	0	SPACE ONLY	-	-	24
25	20	1	1	SPACE ONLY	0	0	0	0	SPACE ONLY	-	-	26
27	20	1	1	SPACE ONLY	0	0	0	0	SPACE ONLY	-	-	28
29	20	1	1	SPACE ONLY	0	0	0	0	SPACE ONLY	-	-	30
ENTIRE PANEL TOTALS:					1860	1400	1760					
TOTAL CONNECTED LOAD:				5.8	KVA	1		2 #12, 1 #12 G, 3/4" C		WIRE		
TOTAL CONNECTED AMPS:				15.5		1		2 #12, 1 #12 G, 3/4" C				
DESIGN LOAD:				5.1	KVA	1		2 #12, 1 #12 G, 3/4" C				
LOAD TYPE   LGHS (VA)   RCPTS (VA)   MOTORS (VA)   MFD EQUIP (VA)   NO.   HEAT (VA)   MISC (VA)   TOTALS (VA)												
TOTALS (VA)	220	2300	0	0	0	0	0	0	2500	5020		
FACTOR	1.25	RCPTS (VA)	- PER SEC	1.0	-	1.00	1.00	-	-	-	-	-
DENSEN (VA)	275	2300	0	0	-	0	0	0	2500	5075		

PANELBOARD "LB" SCHEDULE												
VOLTAGE		208/120		EQUIPMENT GROUND BUS		FULLY RATED		MAIN		M.L.D.		
PHASE		3		ISOLATED GROUND BUS		MAIN BREAKER		100A		100%		
WIRE		4		OTHER		M.L.D.		100%		100%		
S/N		100%		100%		100%		100%		100%		
LOCATED: _____ MOUNTING: _____ SURFACE: _____												
CRIT #	TRIP #	NO. POLES	WIRE	LOAD SERVED	PHASE LOAD (VA)	A	B	C	LOAD SERVED	WIRE	NO. TRIP POLES	TRIP #
1	25	2	2	CJ-1 (3 TONS)	2554	0	0	0	RCPT-1 ABV CLG	1	1	20
3	-	-	-	-	150	0	0	0	RCPT-2 WP	1	1	20
5	-	-	-	-	2654	0	0	0	RCPT-1 ABV CLG	1	1	20
7	50	2	4	CJ-2 (5 TONS)	6558	0	0	0	RCPT-1 UC REFR	1	1	20
9	-	-	-	-	560	0	0	0	RCPT-2 RM 101-101C	1	1	20
11	-	-	-	-	4008	0	0	0	SPACE ONLY	-	-	12
13	35	3	3	FC-1 (3 TONS)	3648	0	0	0	SPACE	-	-	14
15	-	-	-	-	0	0	0	0	SPACE	-	-	16
17	-	-	-	-	0	0	0	0	SPACE	-	-	18
19	60	3	5	FC-2 (5 TONS)	6035	0	0	0	SPACE	-	-	20
21	-	-	-	-	6036	0	0	0	SPACE	-	-	22
23	-	-	-	-	0	0	0	0	SPACE	-	-	24
25	20	1	1	SPACE ONLY	0	0	0	0	SPACE ONLY	-	-	26
27	20	1	1	SPACE ONLY	0	0	0	0	SPACE ONLY	-	-	28
29	20	1	1	SPACE ONLY	0	0	0	0	SPACE ONLY	-	-	30
ENTIRE PANEL TOTALS:					16376	15416	8964					
TOTAL CONNECTED LOAD:				49.3	KVA	1		2 #12, 1 #12 G, 3/4" C		WIRE		
TOTAL CONNECTED AMPS:				136.8		1		2 #12, 1 #12 G, 3/4" C				
DESIGN LOAD (HEATING):				39.6	KVA	1		2 #12, 1 #12 G, 3/4" C				
LOAD TYPE   LGHS (VA)   RCPTS (VA)   MOTORS (VA)   MFD EQUIP (VA)   NO.   HEAT (VA)   MISC (VA)   TOTALS (VA)												
TOTALS (VA)	0	1080	12024	500	1	29052	0	42856				
FACTOR	1.25	RCPTS (VA)	- PER SEC	1.0	-	1.00	1.00	-	-	-	-	
DENSEN (VA)	0	1080	13526	500	-	29652	0	43658				

### GENERAL NOTES (FOR ALL ELECTRICAL SHEETS)

- COORDINATE LOCATION OF LUMINAIRES WITH ARCHITECTURAL REFLECTED CEILING PLANS.
- PROVIDE (1) 3/4" WITH PULL WIRE FROM EACH TELEPHONE, DATA OR COMMUNICATION OUTLET SHOWN, TO ABOVE ACCESSIBLE CEILING, AND CAP.
- COORDINATE EXACT EQUIPMENT LOCATIONS WITH OWNER PRIOR TO ROUGH-INS.
- COORDINATE LOCATION OF ALL OUTLETS WITH ARCHITECTURAL ELEVATIONS, CASEWORK SHOP DRAWINGS AND EQUIPMENT INSTALLATION DRAWINGS.
- COORDINATE LOCATION OF MECHANICAL EQUIPMENT WITH MECHANICAL PLANS AND MECHANICAL CONTRACTOR PRIOR TO ROUGH-IN.
- ANY ITEMS DAMAGED BY THE CONTRACTOR SHALL BE REPLACED BY THE CONTRACTOR.
- G. ALL 120V BRANCH CIRCUITS SHALL BE 3-WIRE (HOT, NEUTRAL, GROUND).
- H. CONTRACTOR SHALL NOT ROUTE ANY CONDUIT WITHIN STRUCTURAL OR TOPPING SLABS OF FLOORS UNLESS NOTED TO DO SO.
- I. REFER TO ARCHITECTURAL PLANS, ELEVATIONS AND DIAGRAMS FOR LOCATIONS OF FLOOR DEVICES AND WALL DEVICES. LOCATION WILL INDICATE VERTICAL AND/OR HORIZONTAL MOUNTING. IF DEVICES ARE NOT NOTED OTHERWISE THEY SHALL BE MOUNTED LONG AXIS HORIZONTAL AT 1/2" TO CENTER.
- J. INFORMATION ON THE DRAWINGS HAS BEEN ASCERTAINED FROM EXISTING DRAWINGS AND CASUAL FIELD OBSERVATIONS. THIS INFORMATION IS AS ACCURATE AS CONDITIONS WOULD ALLOW. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VISIT THE SITE PRIOR TO BID, AND FAMILIARIZE HIMSELF WITH THE EXTENT OF REMODEL WORK REQUIRED. NO EXTRA WILL BE ALLOWED FOR ALTERNATIONS OF A FORESEEABLE NATURE REQUIRED TO ACHIEVE THE END RESULT AS INDICATED BY CONTRACT DOCUMENTS.
- K. ALL NEW WIRING REQUIRED IN REMODELED AREAS SHALL BE FISHED THROUGH EXISTING WALLS OR CONCEALED IN NEW WALLS OR ABOVE CEILING. SURFACE MOUNTED CONDUIT SHALL NOT BE USED IN ANY FINISHED AREAS.
- L. PROVIDE UPDATED PANEL DIRECTORIES FOR ALL EXISTING PANELS BEING AFFECTED BY REMODEL WORK. PROVIDE NEW CIRCUIT BREAKER NUMBER IDENTIFICATION AS REQUIRED.
- M. MAINTAIN CIRCUIT CONTINUITY FOR ALL EXISTING ITEMS THAT ARE REMAINING OR BEING RELOCATED.
- N. ALL ITEMS SHOWN TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY INCLUDING ALL ASSOCIATED CONDUIT AND WIRE BACK TO POINT OF ORIGIN OR NEAREST EXISTING ITEM THAT IS REMAINING, UNLESS OTHERWISE NOTED.
- O. WHERE EXISTING DEVICES, SWITCHES, MOTOR CONNECTIONS, ETC. ARE TO BE REMOVED FROM WALLS WHICH ARE REMAINING, WALLS SHALL BE PATCHED TO MATCH ORIGINAL FINISH. AFTER CONDUCTORS HAVE BEEN REMOVED, BLANK COVERPLATES OVER EXISTING BOXES ARE NOT ACCEPTABLE.
- P. IF EXISTING CONDUITS ARE ROUTED IN CONCRETE FLOOR SLABS, CONCRETE WALLS OR CONCRETE CEILING, THEY SHALL BE CUT BACK TO WITHIN CONCRETE AND FILLED WITH GROUT TO ACHIEVE A SMOOTH AND EVEN FINISH FLUSH WITH CONCRETE SURFACE AFTER CONDUCTORS HAVE BEEN REMOVED.
- Q. ALL EXISTING LOW VOLTAGE WIRING AND BRANCH CIRCUIT WIRING ABOVE CEILING SHALL BE NOT LIMITED TO, ALL FIRE ALARM, DATA, PUBLIC ADDRESS, ENERGY MANAGEMENT, BRANCH CIRCUIT WIRING, ETC. TO REMAIN.

**FIRE ALARM GENERAL NOTE**  
 EXISTING FIRE ALARM SYSTEM SHALL BE REPLACED. FIRE ALARM CONTRACTOR LICENSED BY STATE OF TEXAS SHALL BE RESPONSIBLE FOR DESIGN AND APPROVAL OF NEW FIRE ALARM SYSTEM. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION. ALL DOWN TIME OF THE FIRE ALARM SYSTEM SHALL HAVE DISD PRIOR APPROVAL.

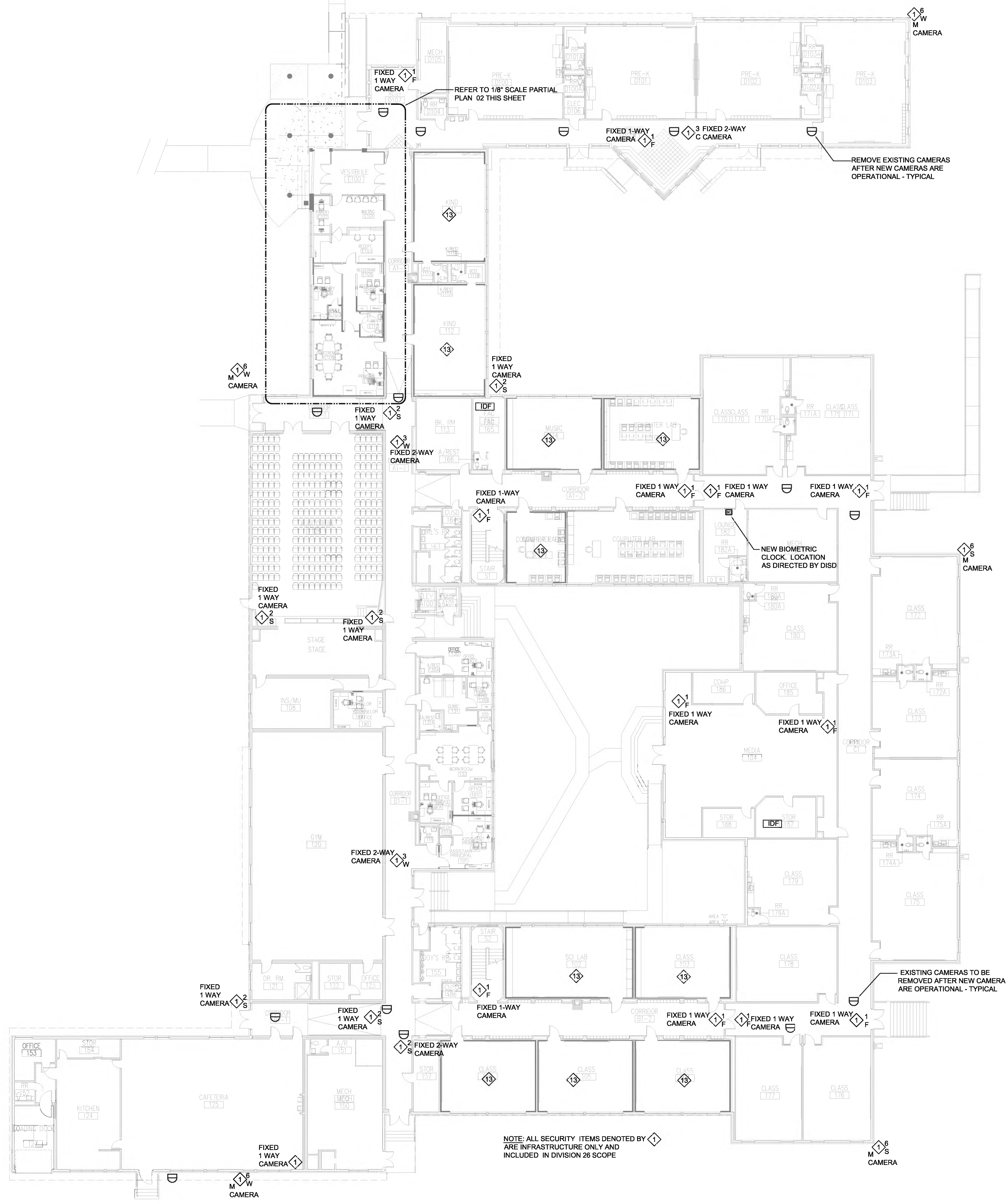
### LIGHTING FIXTURE SCHEDULE

SYMBOL	TYPE	MFG. AND CATALOG NO.	MOUNTING	LAMPS NO. / TYPE	DESCRIPTION	REMARKS
A	LED	LITHONIA 2R7L4-48L-LP840-N100	RECESSED	48W / LED	2 X 4 LED LAY-IN TROFFER	MULTI VOLT 120-277
A1	LED	LITHONIA 2R7L4-48L-LP840-DG2A-N100	RECESSED	48W / LED	2 X 4 LED FLANGED TROFFER	MULTI VOLT 120-277
A2	LED	LITHONIA 2R7L4-48L-LP840-DG2A-N100 2X4SMKSHF PAF	SURFACE	48W / LED	2 X 4 LED SURFACE MOUNTED TROFFER	MULTI VOLT 120-277, MATTE WHITE FINISH
B	LED	LITHONIA 2R7L2-33L-LP840-N100-EL7L	RECESSED	37W / LED	2 X 2 LED LAY-IN TROFFER	MULTI VOLT 120-277
B1	LED	LITHONIA 2R7L2-33L-LP840-DG22-N100	RECESSED	37W / LED	2 X 2 LED FLANGED TROFFER	MULTI VOLT 120-277
C	LED	EXISTING TO REMAIN	FLUSH MOUNT	RELAMP	EXISTING CANOPY LIGHT	CLEAN AND RELAMP WITH LED LAMPS
D	LED	LITHONIA WDC2 LED P3 40K 80CRI VW MVOLT SHM PE DDBXD SERIES	WALL MTD	18W / LED	WALL MTD SECURITY LIGHT	PHOTO CELL, COLD WEATHER
EM	LED	LITHONIA ELM2L-LED SD	SURFACE	10W / LED	BUG-EYE EMERGENCY LIGHTING	SELF DIAGNOSTIC
F	LED	LITHONIA CNY LED P1 40K MVOLT DOB M4 SERIES	SURFACE	35W / LED	SURFACE CANOPY MTD SECURITY LIGHT	
G	LED	LITHONIA RSX2 LED P3 40K R3 MVOLT SPA / RPA PE SERIES	EXISTING POLE	147W / LED	POLE MTD SECURITY LIGHT	RELD VERIFY SQUARE OR ROUND POLE. PROVIDE ADAPTERS AS REQUIRED, MATCH POLE COLOR
H	LED	LITHONIA RSX2 LED P3 40K R3 MVOLT SPA / RPA NL T862 80RM SERIES	EXISTING POLE	147W / LED	PARKING LOT LIGHT	RELD VERIFY SQUARE OR ROUND POLE. PROVIDE ADAPTERS AS REQUIRED, MATCH POLE COLOR
I	LED	LITHONIA LDNA 40/10 L04 AR LSS TRW MVOLT	RECESSED	10.6W / LED	DOWNLIGHT	
J	LED	NEO RAY S123DR-V-1000D-8-40-FES-6R-1-U-DD-F-B SERIES	PENDANT MOUNTED	48.6W / LED	3" X 6" PENDANT MOUNTED	BLACK FINISH
K	LED	EELP VR10-Q-LED	SURFACE	55W / LED	CANOPY LIGHT	BLACK FINISH
L	LED	LITHONIA LDNA 40/15 L04 BR LSS TRBL MVOLT	RECESSED	17.5W / LED	CANOPY DOWNLIGHT	BLACK TRIM
M	LED	NEO RAY S123DR-V-1000D-8-40-FES-6R-1-U-DD-F-W SERIES	RECESSED	32.4W / LED	3" X 4" RECESSED MOUNTED	MATTE WHITE FINISH
N	LED	NEO RAY S123DR-V-1000D-8-40-FES-6R-1-U-DD-F-W SERIES	SURFACE	48.6W / LED	3" X 6" SURFACE MOUNTED	MATTE WHITE FINISH
X	LED	LITHONIA LE S1 REL N SD	WALL / CEILING / DOUBLE FACE AS REQUIRED	5W / LED	EXIT SIGN	SELF DIAGNOSTIC

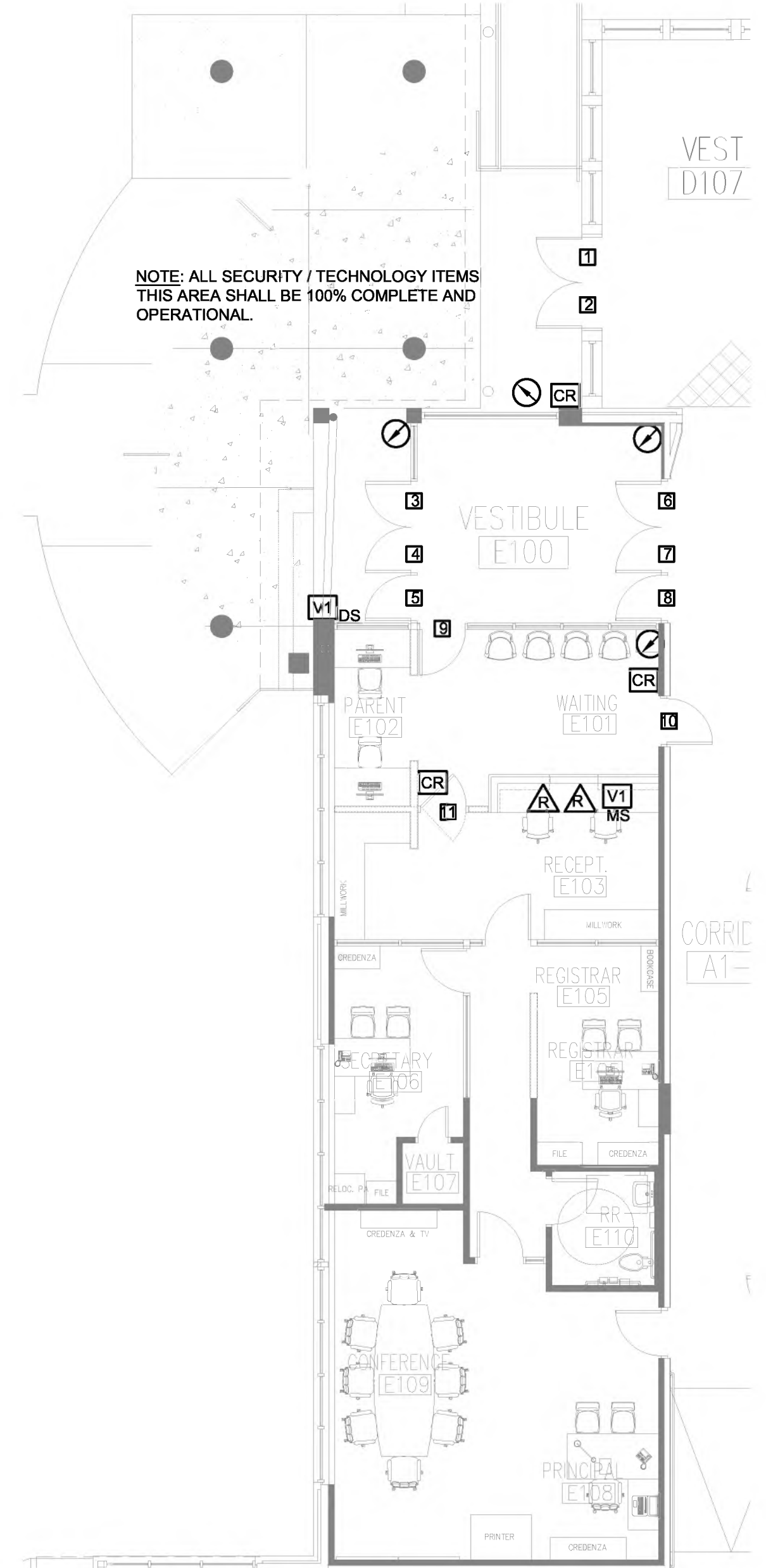
### ELECTRICAL SYMBOLS

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
⊞	TOGGLE SWITCH-SPST	---	BURIED CONDUIT
⊞	DUPLEX RECEPTACLE	—	RIGID CONDUIT
⊞	JUNCTION BOX	⊞	FLEX CONDUIT
⊞	SPECIAL PURPOSE RECEPTACLE	⊞	CONDUIT STUB UP
⊞	FLUORESCENT OR LED LIGHT FIXTURE	⊞	FLOOR MICROPHONE JACK
⊞	EMERGENCY FLUORESCENT OR LED FIXTURE W/ BATTERY PACK	⊞	WALL MICROPHONE JACK
⊞	HOMERUN	⊞	CARBON MONOXIDE DETECTOR
⊞	LED LIGHT FIXTURE - WALL MOUNTED	⊞	SMOKE DETECTOR
⊞	POWER PACK FOR OCCUPANCY SENSOR	⊞	SMOKE DETECTOR (THERMAL)
⊞	TRACK LIGHT FIXTURE	⊞	SMOKE DETECTOR (IONIZATION)
⊞	EMERGENCY BATTERY PACK	⊞	FIRE ALARM MAGNETIC DOOR HOLDER
⊞	EXIT LIGHT	⊞	FIRE ALARM CONTROL PANEL
⊞	JUNCTION BOX	⊞	FIRE ALARM ANNUNCIATOR PANEL
⊞	JUNCTION BOX WALL MOUNTED	⊞	FIRE ALARM HORN AND LIGHT (75 CANDELLA UNLESS NOTED OTHERWISE)
⊞	CLOCK	⊞	TEMPER SWITCH FLOW SWITCH
⊞	SECURITY SYSTEM KEY PAD	⊞	FIRE ALARM STROBE ONLY (75 CANDELLA UNLESS NOTED OTHERWISE)
⊞	TOGGLE SWITCH 3-WAY	⊞	FIRE ALARM MANUAL PULL STATION
⊞	WALL DIMMER	⊞	HOMERUN
⊞	PROJECTION SCREEN SWITCH	⊞	DEMOTES CABLE TV OUTLET
⊞	MOTOR SWITCH	⊞	THERMOSTAT
⊞	DUPLEX RECEPT. 8" ABOVE COUNTERTOP	⊞	PANIC BUTTON-RED
⊞	QUADRAPLEX RECEPTACLE	⊞	INFRARED DETECTOR - CEILING MOUNTED
⊞	SINGLE RECEPTACLE	⊞	INFRARED AND MICROWAVE DETECTOR - WALL MOUNTED
⊞	DUPLEX RECEPTACLE	⊞	UNDERGROUND
⊞	ISOLATED GROUND QUADRAPLEX RECEPTACLE	⊞	WEATHERPROOF
⊞	ISOLATED GROUND DUPLEX RECEPTACLE	⊞	A.F.F. ABOVE FINISHED FLOOR
⊞	SPECIAL PURPOSE RECEPTACLE	⊞	A.F.F. ABOVE FINISHED GRADE





**01 FIRST FLOOR PLAN - TECHNOLOGY**  
SCALE: 1/16" = 1'-0"  
PLAN NORTH



**02 PARTIAL PLAN - TECHNOLOGY**  
SCALE: 1/8" = 1'-0"  
PLAN NORTH

**TECHNOLOGY LEGEND**

- DOOR NUMBER
- CAMERA (WITH VIEWING DIRECTION)
- CARD READER
- VIDEO INTERCOM DOOR STATION
- VIDEO INTERCOM MASTER STATION
- REMOTE RELEASE
- BIOMETRIC CLOCK. LOCATION AS DIRECTED BY DISD
- EXISTING CAMERA TO BE REMOVED AFTER NEW CAMERAS ARE OPERATIONAL

**RESPONSIBILITY MATRIX**

Taken from Dallas ISD TDG General Requirements 01/01/20 Updated June 18, 2021

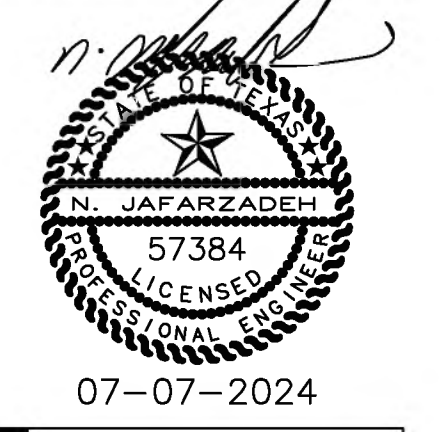
Dallas ISD Organization	Dallas ISD Dept/Div/Group	Building System	Description: Equipment & Devices	Equipment & Devices	Pathways, Cable Trays, Conduit, Backbones, et al:	Equipment & Devices	Pathways, Cable Trays, Conduit, Backbones, et al:	Power
				Designed & Documented for Construction by	Designed & Documented for Construction by	Provided and installed by	Provided and installed by	Provided and installed by
M&O	Grounds	Marquee Sign	Marquee Sign	A/E	A/E	CS-General Contractor	CS-General Contractor	CS-General Contractor
M&O	Alarms	Fire Alarm	Fire Alarm Wireless Radio (AES) Call-out Panel Devices	A/E	A/E	CS-General Contractor	CS-General Contractor	CS-General Contractor
IT	Infrastructure	E-Rate	Technology Infrastructure	A/E Consultant	A/E	IT-Infrastructure PM	CS-General Contractor	CS-General Contractor
M&O	Alarms	Intrusion Detection System	Intrusion Wireless Call-out Panel Keyboards, Cabling, Devices	A/E	A/E	CS-General Contractor	CS-General Contractor	CS-General Contractor
IT/Police	CSS/EM	Secure Vestibule	See "Access Control" Div 28	CSS-Security Contractor	A/E	CSS-Security Contractor	CS-General Contractor	CS-General Contractor
IT/Police	CSS/EM	Access Control	Card Readers	CSS-Security Contractor	A/E	CSS-Security Contractor	CS-General Contractor	N/A
IT/Police	CSS/EM	Access Control	Door Contacts	CSS-Security Contractor	A/E	CSS-Security Contractor	CS-General Contractor	N/A
IT/Police	CSS/EM	Access Control	Electrified Door Hardware	A/E	A/E	CS-General Contractor	CS-General Contractor	N/A
IT/Police	CSS/EM	Access Control	Electrified Door Hardware Power Supplies	A/E	A/E	CS-General Contractor	CS-General Contractor	CS-General Contractor
IT/Police	CSS/EM	Access Control	IP Intercoms: Masters	CSS-Security Contractor	A/E	CSS-Security Contractor	CS-General Contractor	N/A
IT/Police	CSS/EM	Security: Electronic Surveillance	Cameras: Exterior	CSS-Security Contractor	A/E	CSS-Security Contractor	CS-General Contractor	N/A
IT/Police	CSS/EM	Security: Electronic Surveillance	Cameras: Interior	CSS-Security Contractor	A/E	CSS-Security Contractor	CS-General Contractor	N/A
IT/Police	CSS/EM	Security: Electronic Surveillance	Cabling: Switch to Device	CSS-Security Contractor	A/E	CSS-Security Contractor	CS-General Contractor	CS-General Contractor
IT	Infrastructure	Network	Biometric Clocks (Bioclocks)	A/E	A/E	Cabling by IT-Contractor. Device provided by CS-GS purchased from IT-Biometric Vendor	CS-General Contractor	POE by IT-Cabling Contractor. Does not require voltage power.

**KEYED NOTES**

- 1 EXISTING SECURITY SYSTEM IS OLD AND IS TO BE UP-DATED BY ADDING INFRASTRUCTURE FOR ADDITIONAL CAMERAS, CARD READERS AND DOOR CONTACTS. SEE SECURITY AND ACCESS DRAWINGS. INFRASTRUCTURE BY DIV 26. EXISTING SECURITY SYSTEM SHALL REMAIN IN OPERATION WHILE CURRENT SYSTEM IS BEING UP-DATED.
- 2 NEW LED LIGHTING, POWER, SECURITY, FIRE ALARM, RECEPTACLES AND COMMUNICATION SYSTEMS SHALL BE PROVIDED FOR SECURE FRONT VESTIBULE.
- 3 NEW LED LIGHTING, POWER, SECURITY, FIRE ALARM, RECEPTACLES AND COMMUNICATION SYSTEMS SHALL BE PROVIDED FOR RENOVATED AND EXPANDED ADMINISTRATION.
- 4 THE ENTIRE EXISTING FIRE ALARM SYSTEM IS OLD AND OUTDATED. IT SHALL BE REPLACED WITH NEW ADDRESSABLE SYSTEM PER DISD TDG. ALL DOWN TIME OF FIRE ALARM SYSTEM MUST HAVE DIST APPROVAL.
- 5 EXTERIOR LIGHTING CONTROL CONSIST OF OLD TECHNOLOGY AND SHALL BE UP-DATED TO MEET DISD TDG REQUIREMENTS.
- 6 EXISTING CEILING TO BE REMOVED. DEMO EXISTING CEILING MOUNTED DEVICES FOR FIRE ALARM, SECURITY, COMMUNICATION, ETC. - TYPICAL.
- 7 DEMO / DISCONNECT EXISTING ELECTRICAL POWER AND CONTROLS SERVING EXISTING HVAC EQUIPMENT TO BE REMOVED. REFER TO HVAC DRAWINGS - TYPICAL.
- 8 PROVIDE INTERIOR LIGHTING CONTROL TO MEET IECC ENERGY CODE. THE EXISTING INTERIOR LIGHTING DOES NOT COMPLY WITH THE ENERGY CODE.
- 9 REPLACE INTERIOR FLUORESCENT LIGHTING WITH NEW LED LIGHTING.
- 10 PROVIDE ELECTRICAL POWER AS REQUIRED FOR HVAC IMPROVEMENTS, INCLUDING POWER FOR NEW AND REPLACED SPLIT SYSTEMS, ROOFTOP UNITS AND EXHAUST FANS. REFER TO HVAC DRAWINGS.
- 11 PROVIDE ELECTRICAL POWER FOR ADDED WASHER / DRYER.
- 12 PROVIDE ELECTRICAL POWER FOR (REPLACED) WATER HEATER AND CIRCULATION PUMP.
- 13 EXTEND DEVICES AND WIRING IN WALLS THAT HAVE NEW FURRED WALLS TO BE FLUSH WITH NEW FURRED WALLS. ESTIMATE THREE DEVICES MINIMUM EACH FURRED WALL. FIELD VERIFY QUANTITY AND LOCATIONS.

IDA JOB # 22-018A  
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RENOVATIONS TO  
**UMPHREY LEE ELEMENTARY SCHOOL**  
7808 RACING DR., DALLAS, TEXAS 75223

Date: 07/07/2024  
Revised:  
Project No. 2245  
File Name: 11.01\_FLR1 TECH.PDF  
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Sheet No.

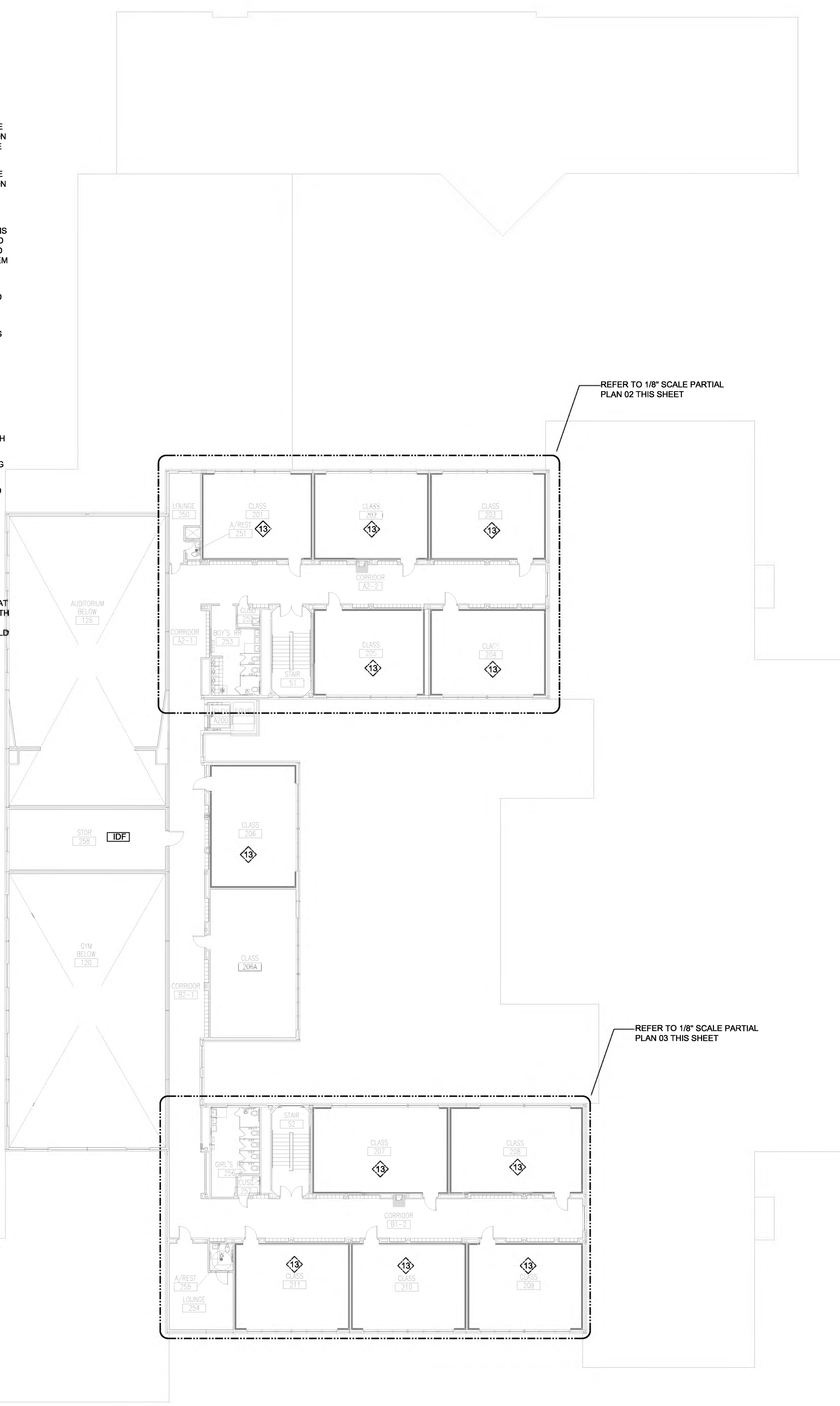
T-1  
Sheet 1 Of 2



**KEYED NOTES** ◆

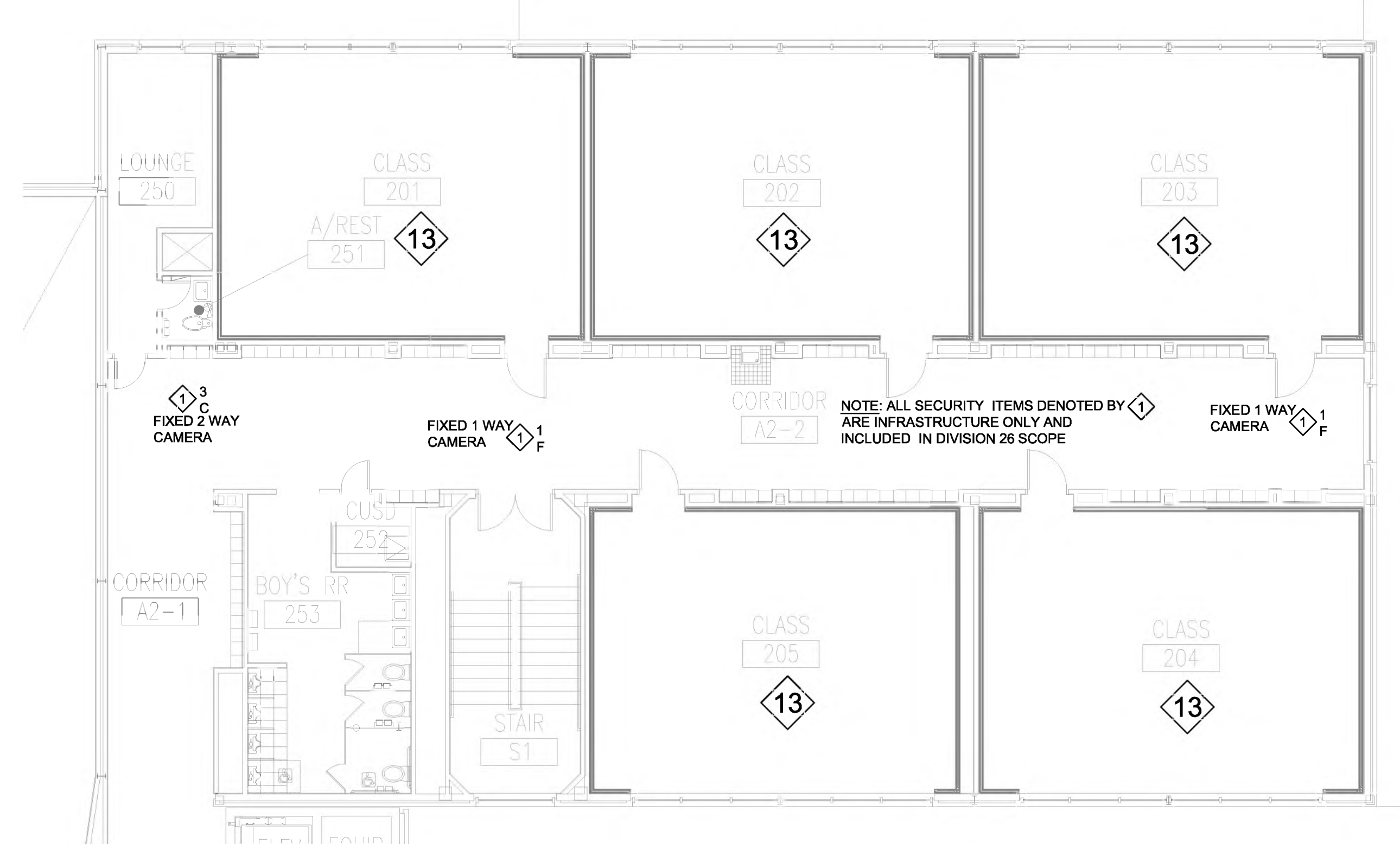
- ◆ (ALL "E" and "T" SHEETS)
- ◆ EXISTING SECURITY SYSTEM IS OLD AND IS TO BE UP-DATED BY ADDING INFRASTRUCTURE FOR ADDITIONAL CAMERAS, CARD READERS AND DOOR CONTACTS. SEE SECURITY AND ACCESS DRAWINGS. INFRASTRUCTURE BY DIV 26. EXISTING SECURITY SYSTEM SHALL REMAIN IN OPERATION WHILE CURRENT SYSTEM IS BEING UP-DATED.
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**01 SECOND FLOOR PLAN - TECHNOLOGY** PLAN NORTH  
SCALE: 1/16" = 1'-0"

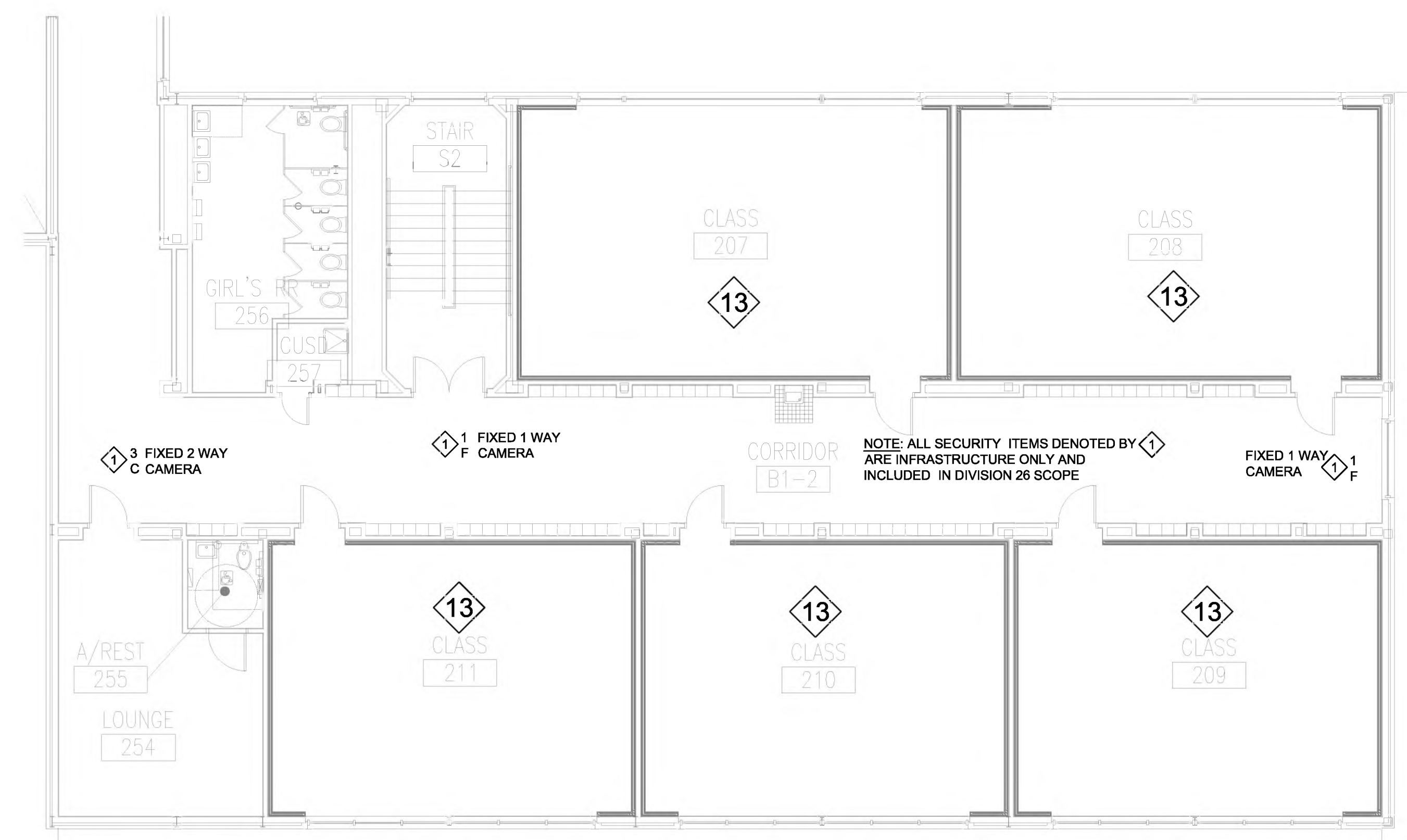


REFER TO 1/8" SCALE PARTIAL PLAN 02 THIS SHEET

REFER TO 1/8" SCALE PARTIAL PLAN 03 THIS SHEET



**02 PARTIAL FLOOR PLAN - TECHNOLOGY** PLAN NORTH  
SCALE: 1/8" = 1'-0"



**03 PARTIAL FLOOR PLAN - TECHNOLOGY** PLAN NORTH  
SCALE: 1/8" = 1'-0"

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RENOVATIONS TO  
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Sheet Title: 2nd FLOOR PLAN-TECHNOLOGY

Sheet No.  
**T-2**  
Sheet 2 Of 2

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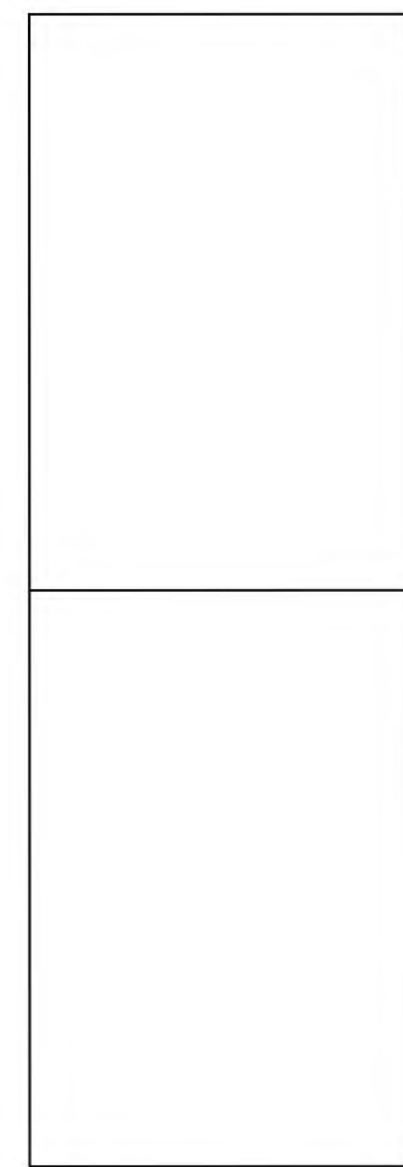




**KEYED PLUMBING NOTES "C":**

1. REMOVE EXISTING PLUMBING FIXTURE (WC). LEAVE EXISTING PIPING FOR FUTURE.

**FIRE PROTECTION NOTES**  
 EXISTING CLASS ROOMS INDICATED WITH HEAVY LINE AROUND WILL HAVE ALL SIDE WALL SPRINKLER HEADS REMOVED WITH PIPING SAVED FOR FUTURE SYSTEM



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RENOVATIONS TO  
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Date: 07/07/2024  
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 File Name: P1\_02\_FLR2 DEMO.PDF  
 Sheet Title: FLOOR PLAN-PLUMB DEMO

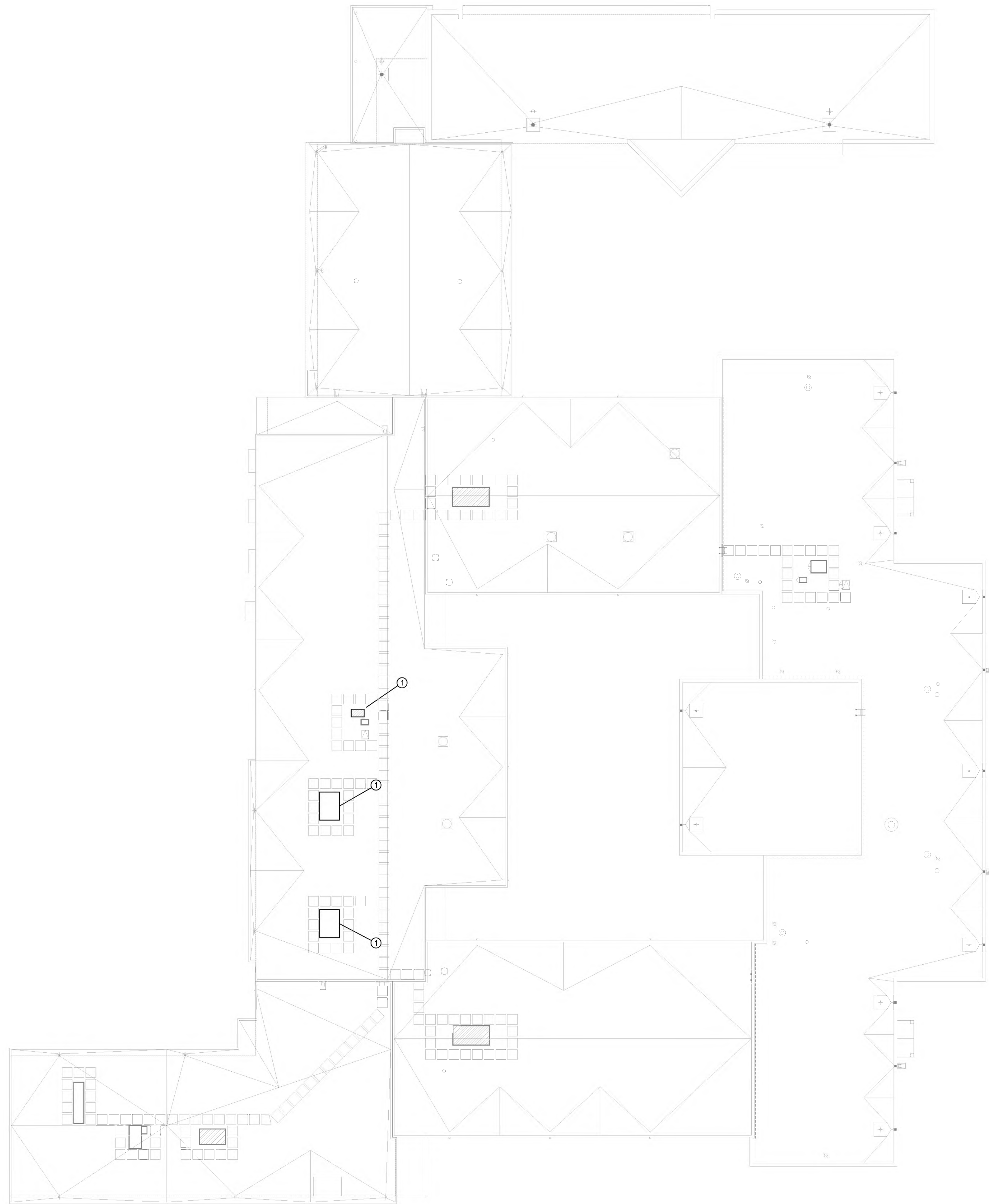
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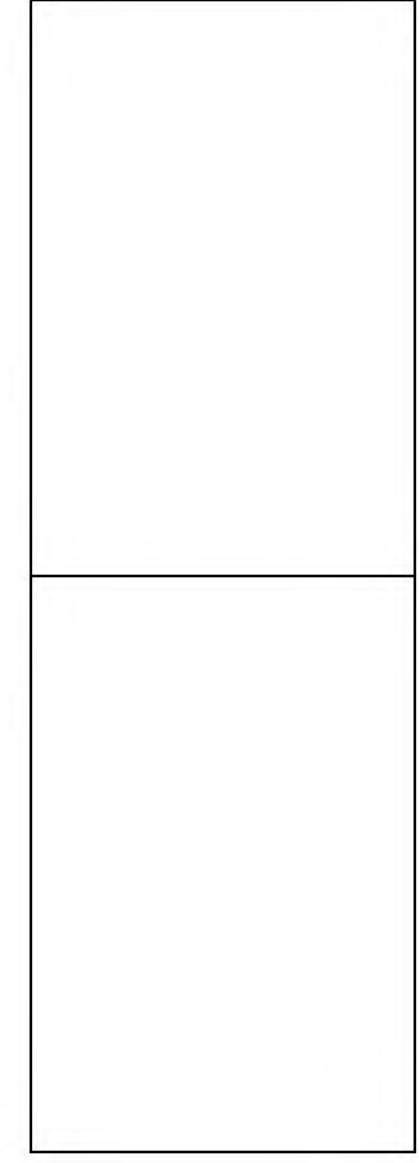


KEYED PLUMBING NOTES "O":

- 1. EXISTING RTU. DEMO CONDENSATE DRAIN.



01 ROOF PLAN - PLUMBING DEMO  
SCALE: 1/16" = 1'-0"



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Sheet Title: ROOF PLAN-PLUMB DEMO

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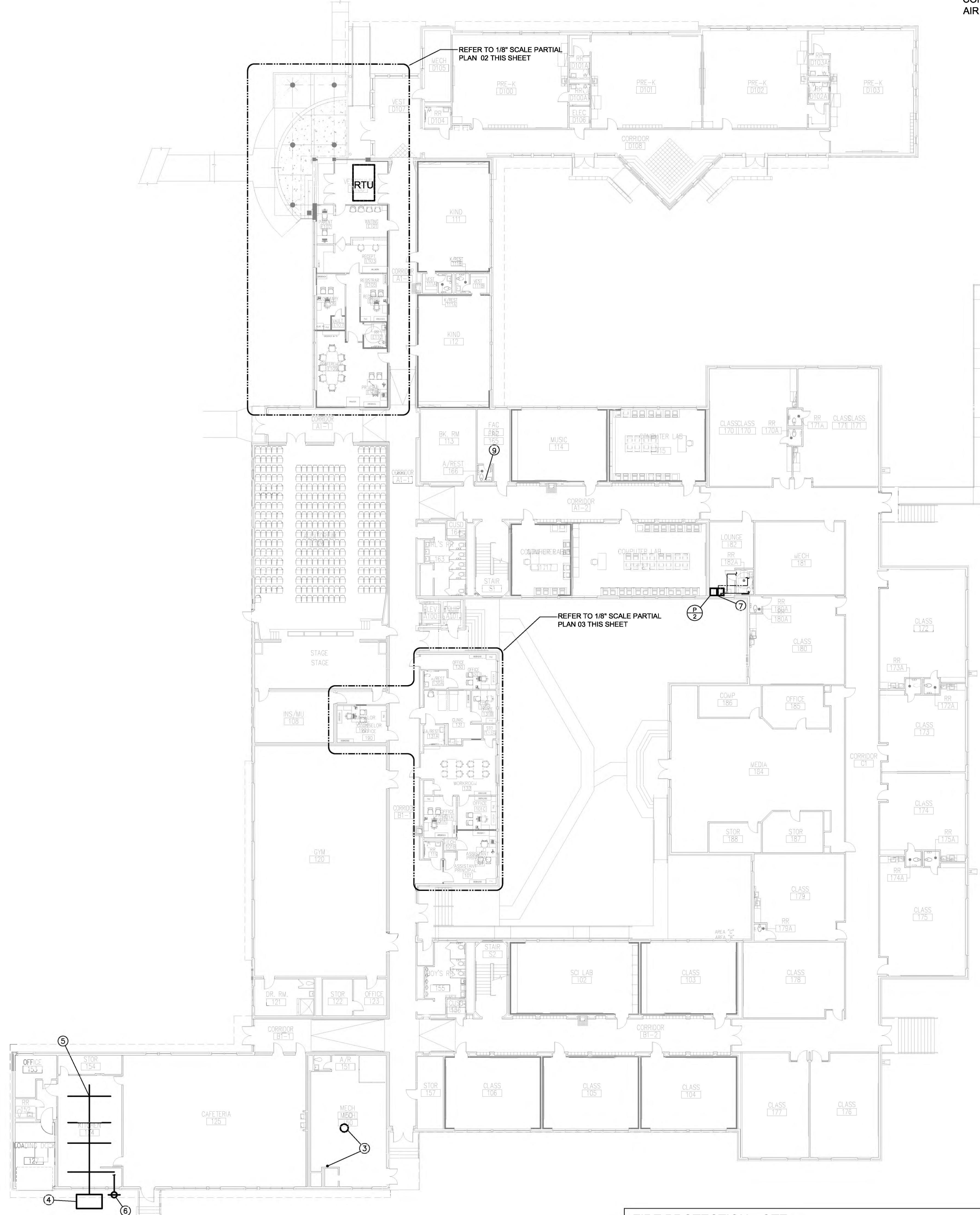
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DP-3

Sheet 3 Of 6



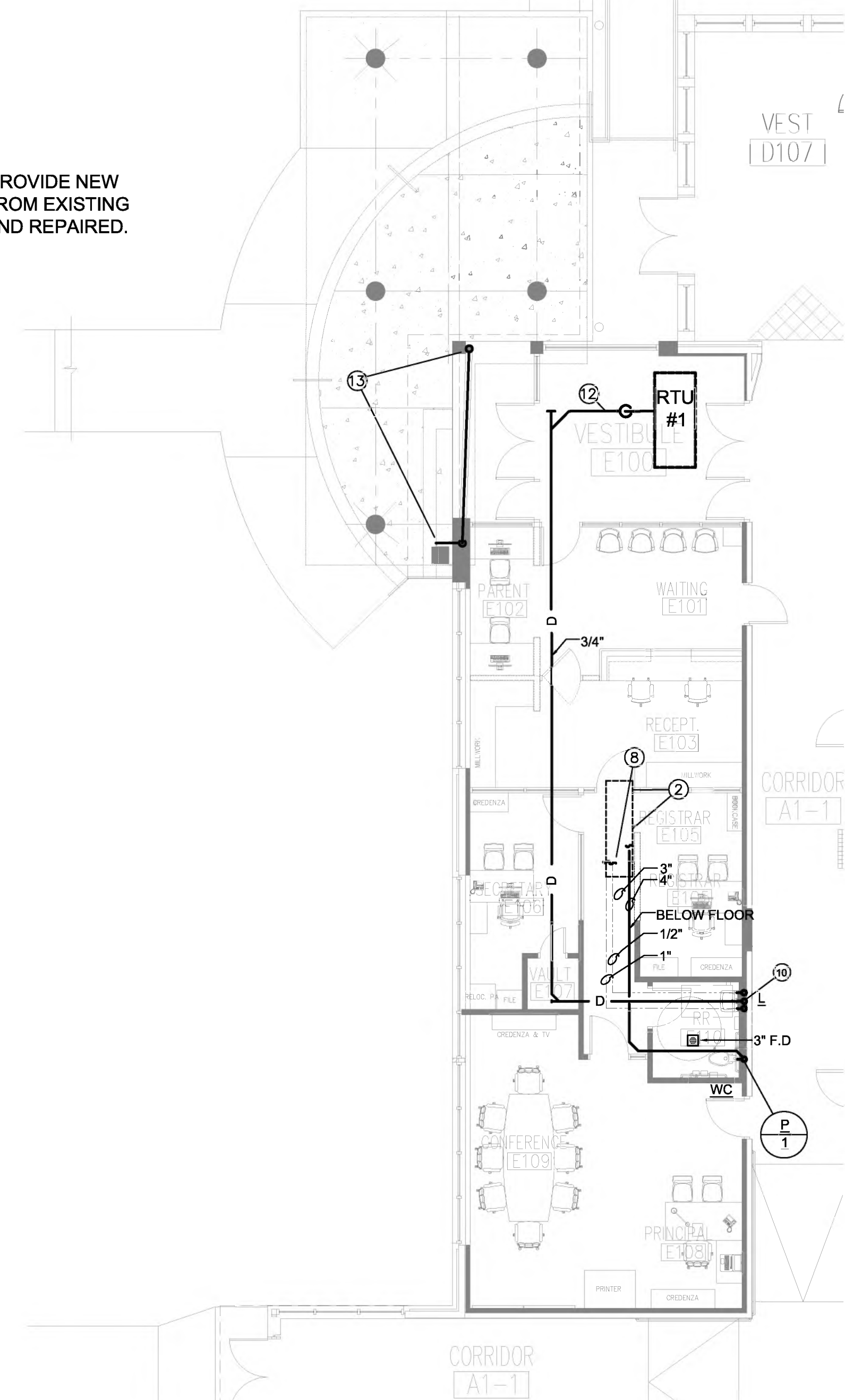


**01 FIRST FLOOR PLAN - PLUMBING**  
SCALE: 1/16" = 1'-0"

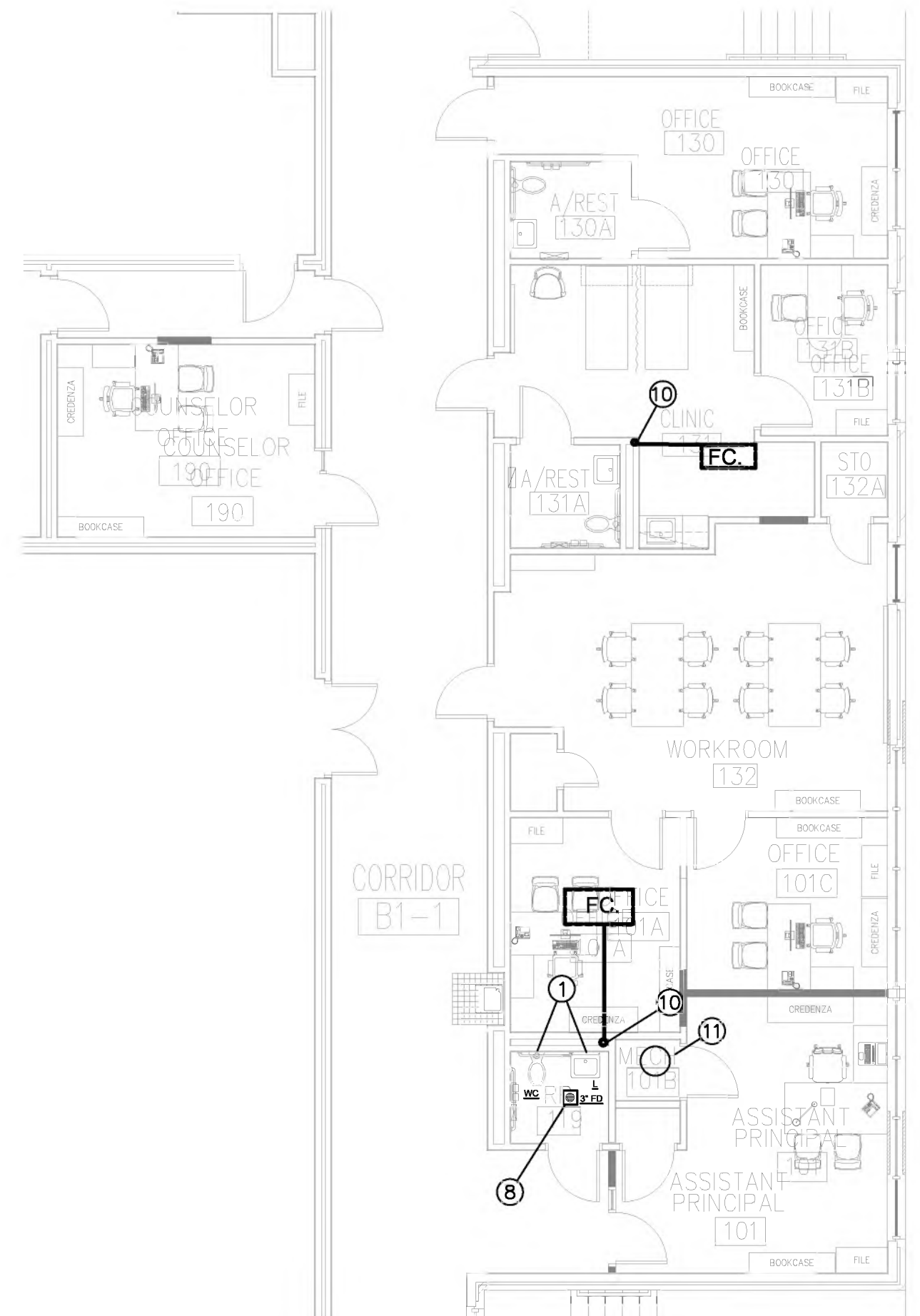
**FIRE PROTECTION NOTE:**  
THE ENTIRE AREA OF THE FIRST & SECOND FLOORS THAT ARE GETTING NEW CEILING SHALL BE RECONFIGURED FOR SPRINKLER SYSTEM. PIPING AND SPRINKLER HEADS LOCATED IN THE NEW CEILING ACCORDING TO THE 2021 CITY OF DALLAS / FIRE CODES.

**GENERAL NOTE:**

1. PLUMBING CONTRACTOR TO PROVIDE NEW CONDENSATE DRAIN PIPING FROM EXISTING AIR UNITS BEING REPLACED AND REPAIRED.



**02 PARTIAL PLAN - PLUMBING**  
SCALE: 1/8" = 1'-0"



**03 PARTIAL PLAN - PLUMBING**  
SCALE: 1/8" = 1'-0"

**KEYED PLUMBING NOTES "O":**

1. PROVIDE NEW PLUMBING FIXTURE SEE FIXTURE SCHEDULE.
2. EXISTING PLUMBING CHASE. CONNECT NEW UTILITIES TO EXISTING PIPING IN CHASE AREA.
3. NEW WATER HEATER CIRCULATOR PUMP AND EXPANSION TANK.
4. CLEAN EXISTING GREASE TRAP.
5. INSTALL ALL NEW SANITARY SEWAGE PIPING BELOW KITCHEN FLOOR CONNECT TO EXISTING FLOOR DRAINS AND FLOOR SINK.
6. INSTALL NEW FREEZE PROOF WALL HYD (TYP. 7 PLACES).
7. PROVIDE UTILITIES FOR NEW WASHER/DRYER 1/2" H&CW. CONNECT TO EXISTING WATER PIPING ABOVE TOILET RM. 2" WASTE AND VENT. CONNECT EXISTING VENT AND WASTE BELOW FLOOR.
8. CONNECT TO EXISTING UTILITY.
9. PROVIDE NEW (WC) AND CONNECT TO EXISTING UTILITIES.
10. PROVIDE NEW 3/4" CONDENSATE LINE FROM FC / RTU DN. IN CHASE TO LAV TAIL PIECE.
11. EXISTING WATER HEATER TO REMAIN.
12. PIPING ON 1ST FLOOR ROOF.
13. PLUMBING CONTRACTOR TO CONNECT TO EXISTING ROOF DRAIN AND OFFSET PIPING WITHIN THE PLENUM, THEN DOWN IN CHASE. DISCHARGE DOWN SPOUT AT EDGE OF THE NEW CONCRETE STEPS. COORDINATE WITH ARCH.

**PLUMBING SYMBOL LEGEND**

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	BALL VALVE		DOMESTIC COLD WATER
	CHECK VALVE		DOMESTIC HOT WATER
	GATE VALVE		DOMESTIC HOT WATER RETURN
	WALL CLEANOUT		SANITARY SEWER VENT
	FLOOR CLEANOUT		SANITARY WASTE LINE
	FLOOR SINK		GAS LINE
	FLOOR DRAIN		BRANCH - TOP CONNECTION
	ROOF DRAIN		PIPE RISER
	HUB DRAIN		PIPE DROP
	NON - FREEZE WALL HYDRANT		DRAIN LINE
	B.F.F. BELOW FINISHED FLOOR		UNDERFLOOR

NOTE: NOT ALL SYMBOLS MAY NOT BE USED ON THIS PROJECT.

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RENOVATIONS TO  
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File Name: P1.04\_FLR1 PLUMB.PDF

Sheet Title: 1ST FLOOR PLAN-PLUMBING

Sheet No.

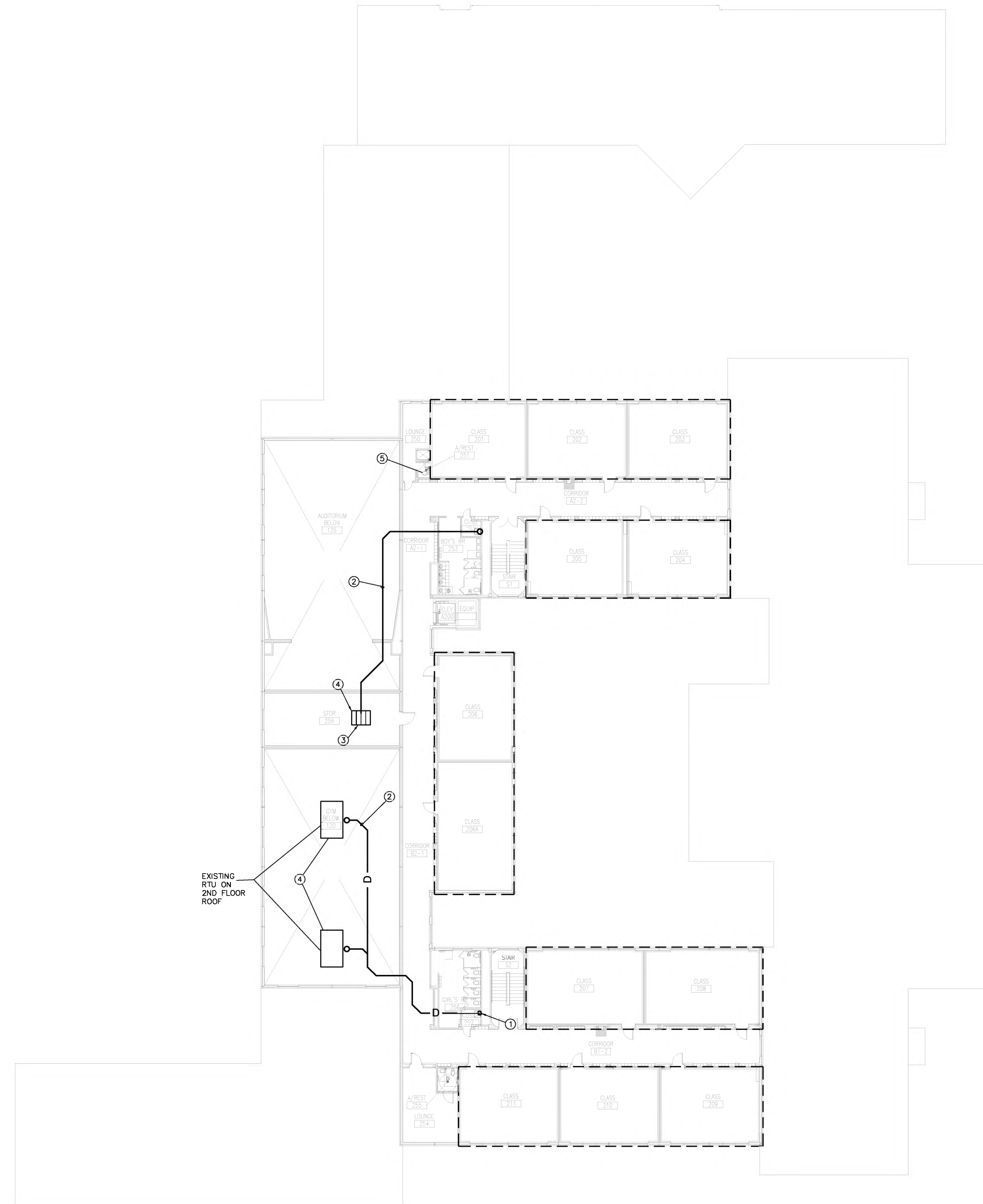
IDA JOB # 22-018A  
IDA Engineering, Inc.  
16990 N. DALLAS PKWY  
DALLAS, TEXAS 75249  
SUITE 106 (972) 991-1927  
TEXAS REGISTERED ENGINEERING FIRM-P-24089



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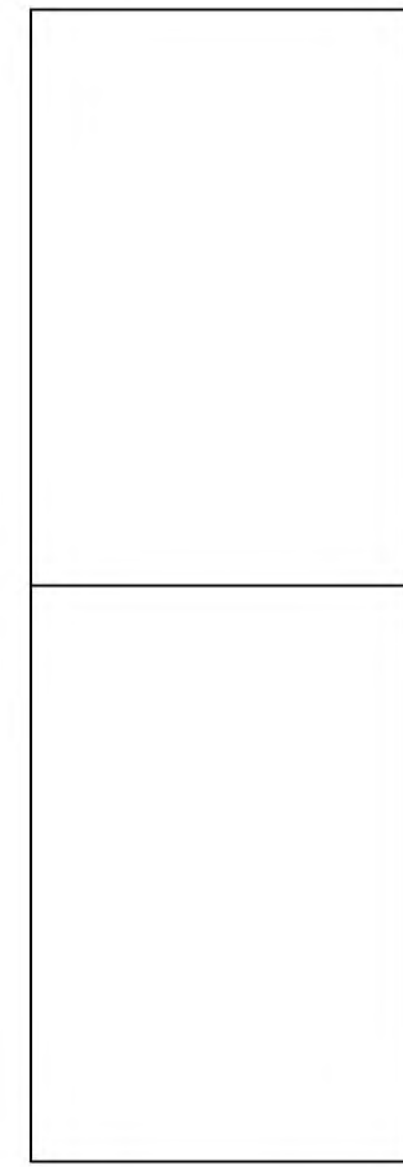


**KEYED PLUMBING NOTES "O" :**

1. RUN 3/4" CONDENSATE DRAIN PIPING IN SECOND FLOOR CEILING AND TURN DOWN IN JANITOR RM 257 DISCHARGE IN MOP SINK.
2. PIPING ON ROOF.
3. RUN 3/4" CONDENSATE DRAIN PIPING IN SECOND FLOOR CEILING TO JANITOR RM 252 TURN DOWN OVER TO JANITOR SINK.
4. RTU CONDENSATE DRAIN.
5. PROVIDE NEW WC. CONNECT TO EXISTING UTILITIES.

**FIRE PROTECTION NOTES**

EXISTING CLASS ROOMS INDICATED WITH HEAVY LINE AROUND WILL HAVE NEW PENDENT HEADS BELOW NEW CEILING. PIPING RECONFIGURING FROM EXISTING SIDE WALL SYSTEM



07.07.2024 100% CONSTRUCTION DOCUMENTS ISSUED FOR PERMIT AND CONSTRUCTION



07-07-2024

**Architects**

*Dimensions*  
ARCHITECTS

DALLAS, TEXAS 75243  
DALLAS, TEXAS 75243  
TEL: 214.226.3800

RENOVATIONS TO  
**UMPHREY LEE ELEMENTARY SCHOOL**  
7808 RACINE DR.,  
DALLAS, TEXAS 75222

Date: 07/07/2024  
Revised:  
Project No. 2245  
File Name: P1.05\_FLR2\_PLUMB.PDF  
Sheet Title: 2ND FLOOR PLAN-PLUMBING

Sheet No.

**01 SECOND FLOOR PLAN - PLUMBING**  
SCALE: 1/16" = 1'-0"  
PLAN NORTH

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08 PLUMBING FIXTURE SCHEDULE		
ITEM	DESCRIPTION	MANUFACTURER & MODEL
WC	WATER CLOSET (ADA) WHITE VITREOUS CHINA, FLOOR MTG. FLUSH VALVE ELONGATED, 1.6 GPF	MODEL: AMER. STD 3461.128 SEAT: CHURCH 9500C FLUSH VALVE-SLOAN-111-1.28
L	LAVATORY (ADA) WHITE CHINA WALL HUNG REFER TO ARCHT. PLANS	AMER. STD # 0355.012 FAUCET: AMER. STD. 1480.115 TRAP: MCGUIRE 8872 DRAIN: AMERICAN STANDARD GRID 7716.020 SUPPLIES: MCGUIRE 167 CARRIER SUPPORT FLOOR MTG. JR SMITH 0710E
FLOOR DRAIN (FD)	JOSAM-MEDIUM DUTY TOP SATIN FINISH NIKALOY TOP.	MODEL: 30000-5A-2 PROVIDE AND TRAP GUARD FOR EACH FLOOR DRAIN
NON FREEZE WALL HYD.	WOODFORD WITH SIPHON VACUUM BREAKER. CHROME PLATED	MODEL: # 65
WB	WASHER BOX	GUY GRAY MODEL B200

NOTES:

- EQUAL PRODUCTS BY OTHER MFG. WILL BE CONSIDERED BUT SHALL NOT BE INSTALLED WITHOUT AND/OR BEFORE APPROVAL FROM OWNER.
- PROVIDE ALL CARRIERS AND SUPPORT MATERIALS REQUIRED FOR A SOLID, SECURE INSTALLATION.
- PROVIDE ALL DRAIN COVERS, ESCUTCHEONS, AND MISCELLANEOUS TRIM ITEMS FOR A NEAT APPEARANCE.
- ALL MOUNTED HEIGHTS SHALL BE VERIFIED WITH THE ELEVATIONS SHOWN ON THE ARCHITECTURAL PLANS.
- ALL SUPPLIES SHALL BE CHROME PLATED.
- PROVIDE TRUEBRO LAV GUARD OR EQUAL UNDER ALL LAVATORIES.
- ALL LAVATORY RECEIVING 120 DEGREE WATER SHALL HAVE A MIXING VALVE BY LEONARD #170-LF REGULATED TEMP. TO 100F

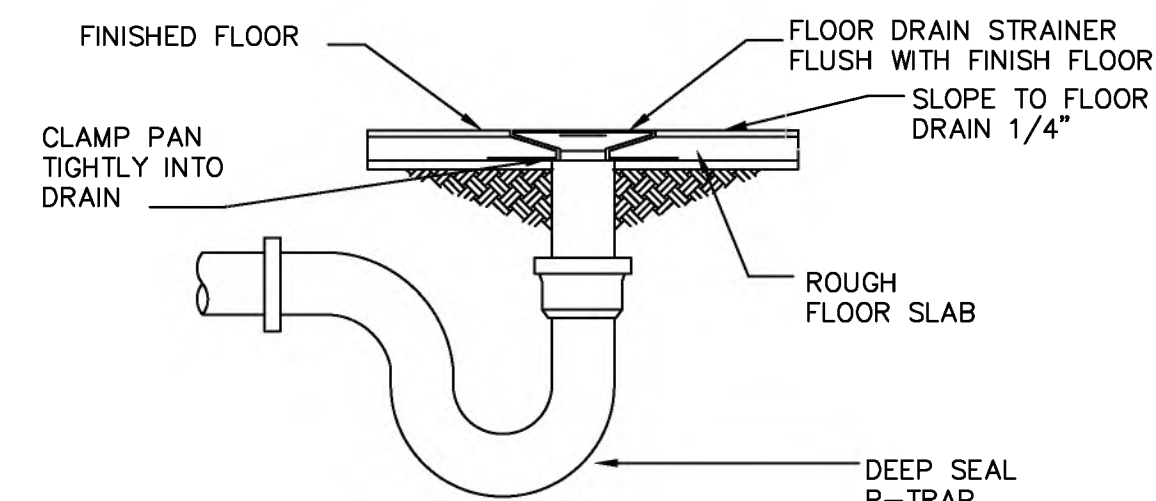
06 WATER HEATER SCHEDULE		
GENERAL	DESIGNATION	
	SERVES AREA	
CAPACITY	STORAGE (GALLONS)	130
	FIRST HR. DELIVERY 100° F RISE:	471
HEATING	NATURAL GAS	
	INPUT (BTUH):	399,000
	OUTPUT (BTUH):	-
ELECTRICAL RESISTANCE	FLUE SIZE:	-
	KW:	-
ELEC. DATA	# ELEMENTS:	-
	SERVICE (V/Ø):	120/1
MODEL	MFG. & MODEL NO.	PW 40L 130A-GCML
	ACCESSORIES:	1,2,3
REMARKS:		-
	DELIVERED WATER TEMP.	140°F & 110°F
ACCESSORIES		
	1. TEMPERATURE/PRESSURE RELIEF VALVE	
	2. ELECTRONIC LOW WATER CUT OFF	
	3. 12 GALLON EXPANSION TANK	

05 PUMP SCHEDULE							
MARK	LOCATION	GPM	PRESS. FT. HD.	MOTOR DATA V / PH / HZ.	HP	MFR. & MODEL No.	REMARKS
CP	BOILER ROOM	25	20	115V / 1Ø / 60	1/3	BELL & GOSSETT H03	

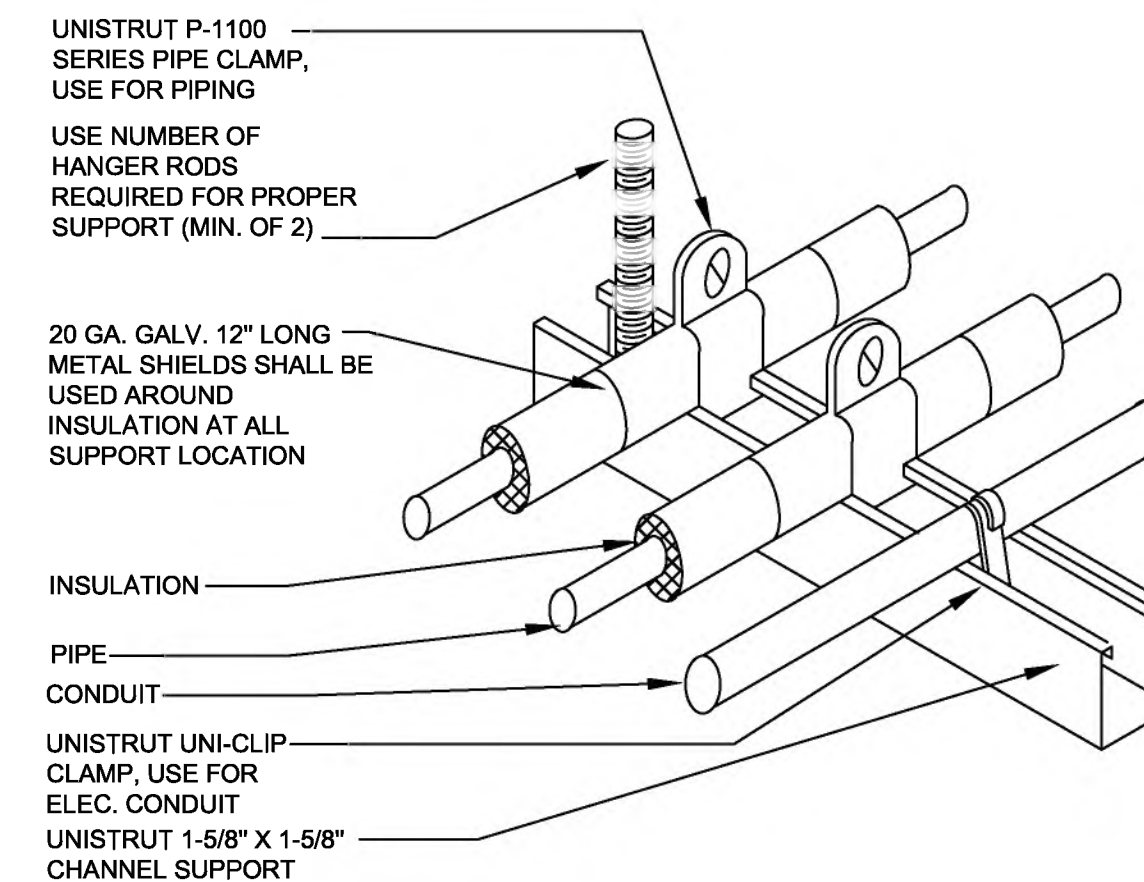
07 PLUMBING FIXTURE CONNECTION SCHEDULE							
MARK	FIXTURE	SOIL OR WASTE	VENT	TRAP	WATER		REMARKS
					COLD	HOT	
WC	WATER CLO.	4"	2"	-	1"	-	FLOOR MTG
L	LAVATORY	1 1/2"	1 1/2"	1 1/4"	1/2"	1/2"	-
WB	WASHER BOX	2"	2"	2"	1/2"	1/2"	-

NOTE:

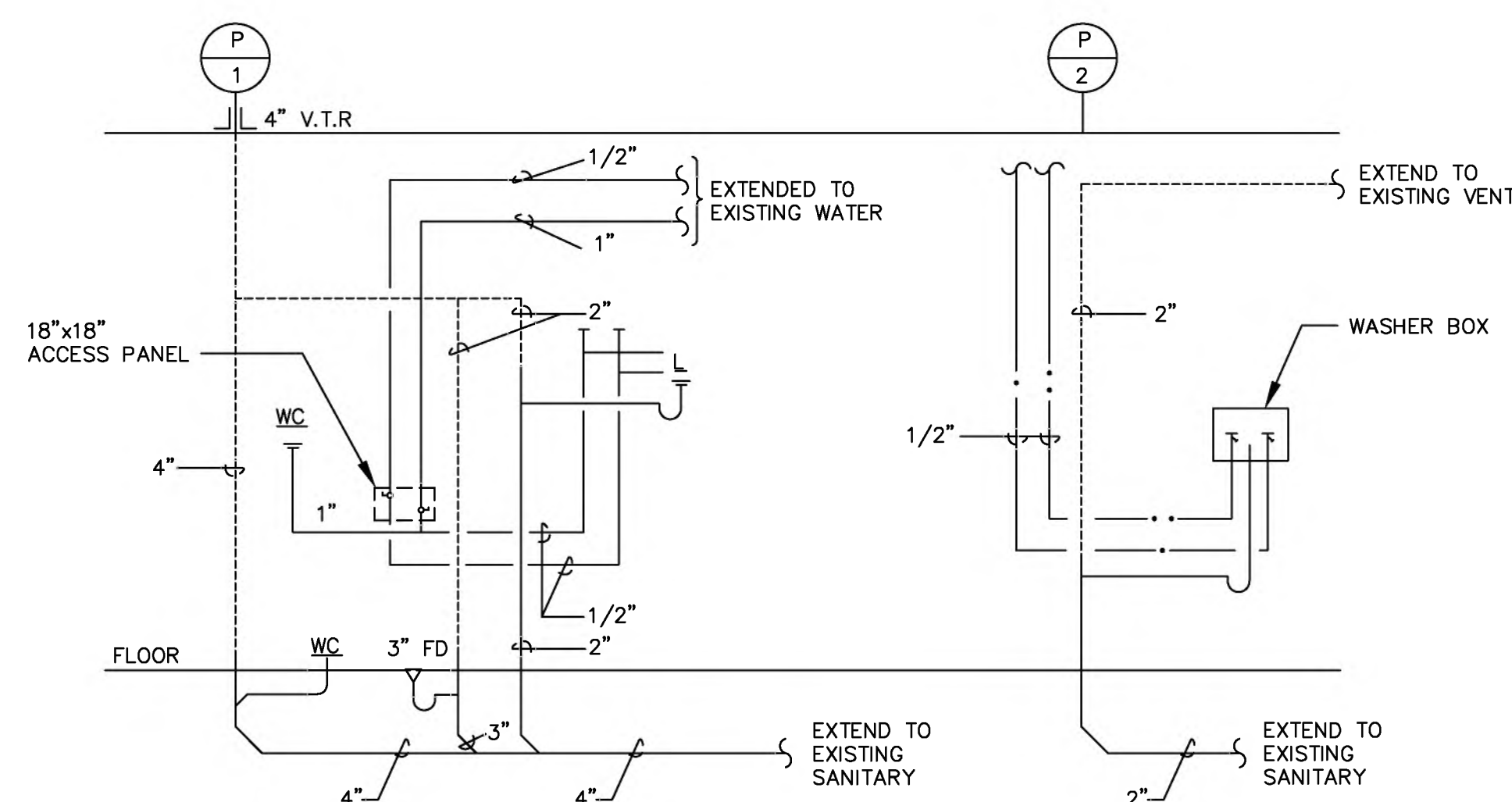
- SIZE SHALL BE INDICATED ABOVE UNLESS NOTED OTHERWISE ON DRAWINGS. SIZE SHOWN ARE FOR ROUGH-IN/BRANCH SIZES AND CONNECTIONS ONLY. MAIN LINE SIZES ARE INDICATED ON DRAWINGS.
- PLUMBING CONTRACTOR SHALL MAKE ALL FINAL CONNECTIONS AS REQUIRED FOR COMPLETE INSTALL SYSTEM. COORDINATE WITH GENERAL CONTRACTOR AND OTHER TRADES.
- REFER TO PLUMBING FIXTURE SCHEDULE FOR MANUFACTURER, MODEL, SIZE, ETC.



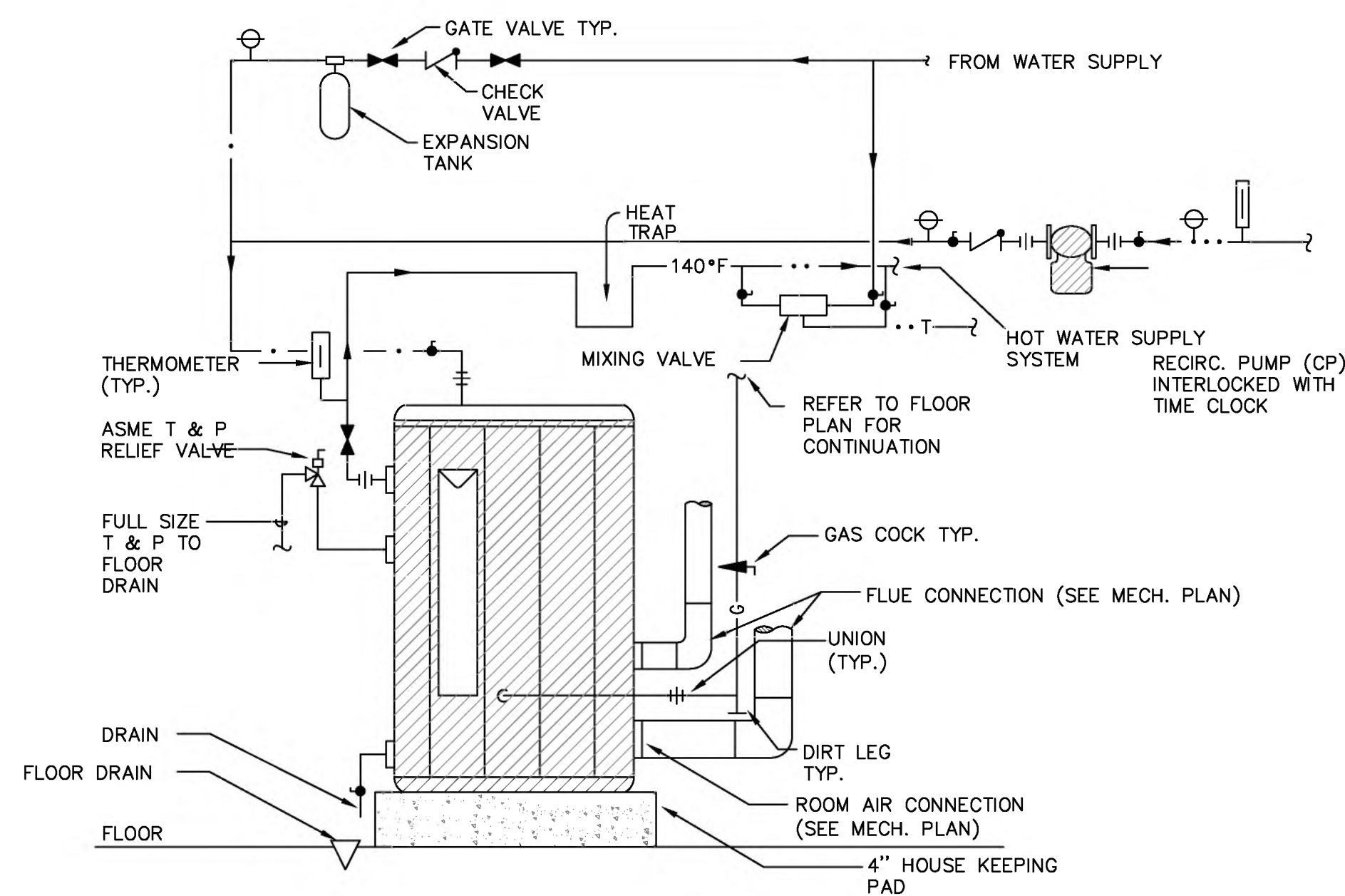
03 TYPICAL FLOOR DRAIN DETAIL  
SCALE: NTS



01 PIPING SUPPORT ABV. CLG. DETAIL  
SCALE: NTS



04 PLUMBING RISER DIAGRAM  
SCALE: NTS



02 WATER HEATER DETAIL  
SCALE: NTS